



Application for Certificate of Appropriateness for a City Landmark or Local Historic District

Adopted December 2012

Permit Information

For Office Use Only	BP- _____ PR- _____ C14H/LHD - _____
	Property Name or LHD: _____ Contributing/Non-contributing
	<input type="checkbox"/> RELEASE PERMIT <input type="checkbox"/> DO NOT RELEASE PERMIT <input type="checkbox"/> HLC REVIEW _____ FEE PAID: \$ _____
	HISTORIC PRESERVATION OFFICE _____ DATE: _____

Property Information

Address: 1013 East 9th Street, Austin Texas, 78702

Scope of Work

We are proposing a Secondary Dwelling unit (2 car garage with studio above) accessed from the rear alley of the site.

Applicant

Name: Annie-Laurie Grabel

Address: 1001 East 8th Street

City/Zip: Austin Texas, 78702

Phone: 512.477.1727 x 208

Email: annie@claytonandlittle.com

Owner

Name: David West and Will Klemm

Address: 1013 East 9th Street

City/Zip: Austin, Texas 78702

Phone: _____

Email: dwest@shoehorndesign.com

Architect or Contractor Information

Company: Paul Clayton

Address: 1001 East 8th Street

City/Zip: Austin Texas, 78702

Phone: 512.477.1727 x 208

Owner's Signature

Date

Applicant's Signature

Date



VIEW FROM 9TH STREET



VIEW FROM 9TH STREET



VIEW FROM ALLEY



VIEW FROM WALLER STREET

CERTIFICATE OF APPROPRIATENESS
PHOTOS TAKEN ON 11.01.2016

Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78702
512 477 1727

www.claytonandlittle.com

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

10.26.16

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

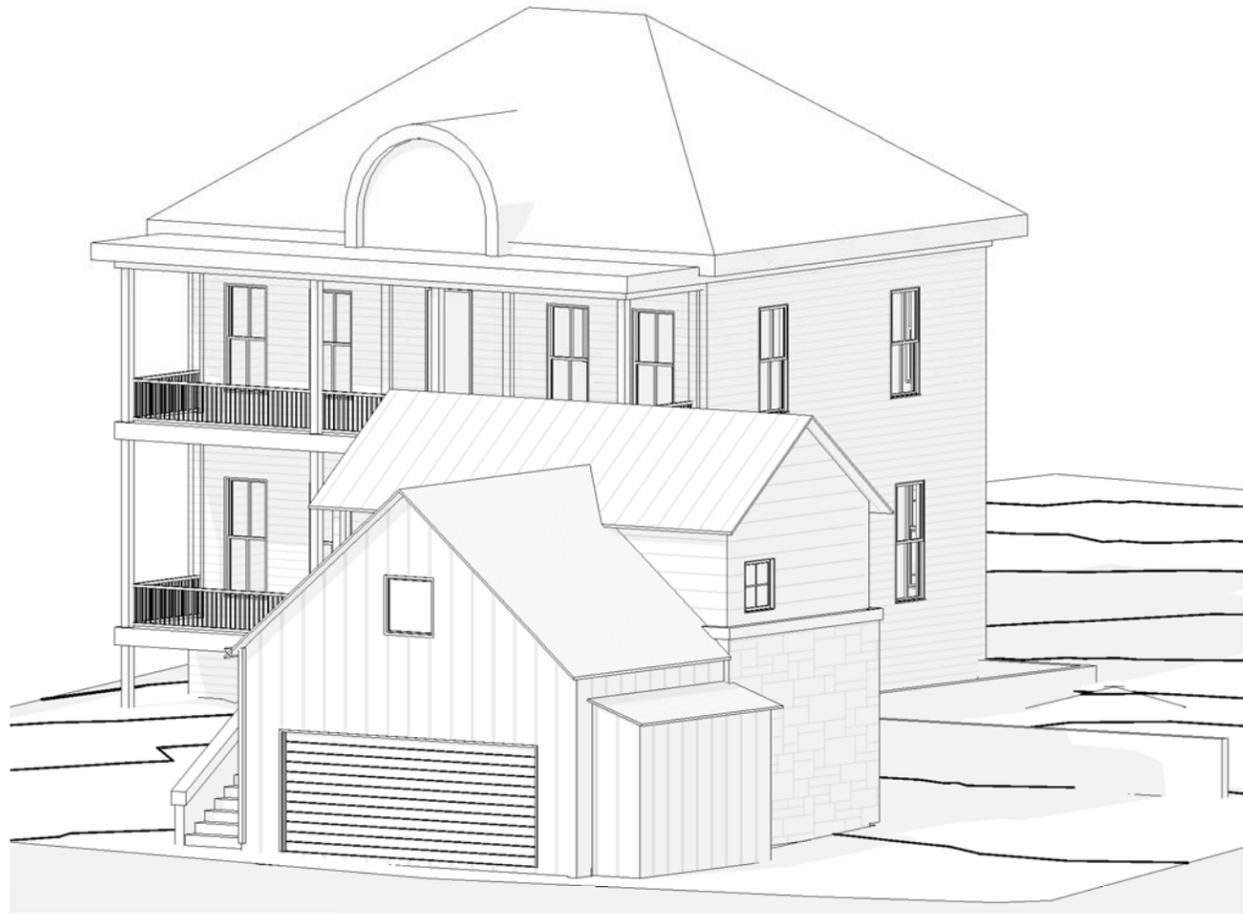
West-Klemm Studio
1013 East 9th Street, Austin TX, 78702

DATE	ISSUED FOR
10.26.16	SD 1
11.03.2016	SD 2
11.30.2016	SD 3

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PROJECT NUMBER: 1644

SCHEDULES

A6.0



WEST KLEMM - STUDIO & GARAGE

1019 EAST 9TH STREET, AUSTIN, TX, 78702

ARCHITECT: CLAYTON & LITTLE ARCHITECTS
 1001 EAST 8TH STREET
 AUSTIN, TEXAS 78702
 CONTACT: ANNIE-LAURIE GRABIEL, ASSOC. AIA
 PHONE: (512) 477.1727 x. 208
 FAX: (512) 477.9876

OWNER INFORMATION

DAVID WEST & WILL KLEMM
 1019 EAST 9TH STREET
 AUSTIN, TX 78702

LEGAL DESCRIPTION

LOT 6 *PLUS SE TRI of LOT 5 BLK 4 OLT 2-3

SITE INFORMATION

SITE INFORMATION TAKEN FROM ALL POINTS SURVEYING

ZONING INFORMATION

Zoning: MF - H - NP
 Previous Land Use: SF-3
 Future Land Use: SF-3
 Property ID: 194798
 Geographic ID: 0206051008
 Legal Description: LOT 6 *PLUS SE TRI of LOT 5 BLK 4 OLT 2-3
 Date built: 1900
 Historic: Yes, Historic Landmark - H-80-05
 Neighborhood: George L. Robertson Subdivision
 Neighborhood Plan: Central East Austin
 TOD: No
 Overlay District: Residential Design Standards
 Floodplain: No
 Watershed: Waller, Urban
 Easements: No
 Minimum Setbacks: Front: 25'
 Street Side: 15'
 Interior Side: 5'
 Rear /Alley: 5'
 Max. Bldg. Height: 32' per McMansion
 Lot Size: 10,899 sf per survey (10,981 sf per TCAD)
 Max Bldg. Coverage: 40% sf (4,360 %) as existing SF-3 use
 Max Impervious Cover: 45% sf (4,905 %) as existing SF-3 use
 Max F.A.R.: 0% sf (4,360 %) as existing SF-3 use
 Parking: 2 Per building use proposed (Code: 25-6 Zoning/Transportation/Appendix A)
 Potential parking reductions: No additional Parking needed with Secondary Dwelling Unit as residence is in the exempt parking district.

INDEX OF DRAWINGS

- G1.0 COVER SHEET
- A1.0 SITE PLAN
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- A1.3 ROOF PLAN
- A2.0 EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTIONS
- A2.1 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A6.0 SCHEDULES

CODE ANALYSIS

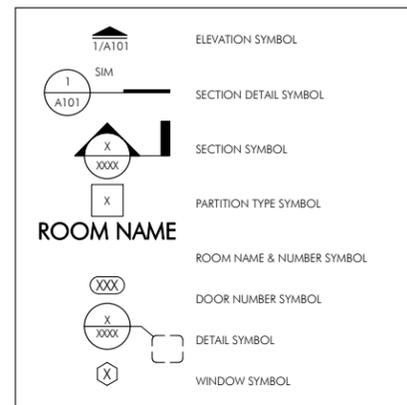
BUILDING CODE: INTERNATIONAL RESIDENTIAL BUILDING CODE 2012, WITH AUSTIN AMMENDMENTS
 BUILDING DESCRIPTION: WOOD FRAME (W/MASONRY AND WOOD VENEER), 2 STORY ACCESSORY DWELLING UNIT
 LEGAL JURISDICTION: AUSTIN, TEXAS, TRAVIS COUNTY

AREA CALCULATIONS:

LOT SIZE - 10,981 S.F.	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1,008 S.F.	810 S.F.	1,818 S.F.
2ND FLOOR CONDITIONED	1,008 S.F.	550 S.F.	1,558 S.F.
BASEMENT (EXEMPT)	520 S.F.	0 S.F.	0 S.F.
COVERED PATIO	472 S.F.	0 S.F.	462 S.F.
BALCONY	328 S.F.	40 S.F.	368 S.F.
OTHER	0 S.F.	0 S.F.	0 S.F.
TOTAL BUILDING COVERAGE	2,816 S.F.	1,400 S.F.	4,216 S.F.
% BUILDING COVERAGE (4,066 / 10,981) = 38.4%			
DRIVEWAY	0 S.F.	140 S.F.	140 S.F.
SIDEWALKS	655 S.F.	0 S.F.	655 S.F.
UNCOVERED PATIO	0 S.F.	0 S.F.	0 S.F.
UNCOVERED WOOD DECK	0 S.F.	0 S.F.	0 S.F.
AC PADS	27 S.F.	0 S.F.	27 S.F.
OTHER	50 S.F.	0 S.F.	50 S.F.
TOTAL NON-BUILDING COVERAGE	732 S.F.	140 S.F.	872 S.F.
TOTAL SITE COVERAGE (IMPERVIOUS)	2,212 S.F.	950 S.F.	3,162 S.F.
% IMPERVIOUS COVER (3,162 / 10,981) = 28.9%			

NOTE: EXISTING AREAS TAKEN FROM TCAD

SYMBOL LEGEND



VICINITY MAP



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West-Klemm Studio
 1019 East 9th Street, Austin TX, 78702

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COVER SHEET

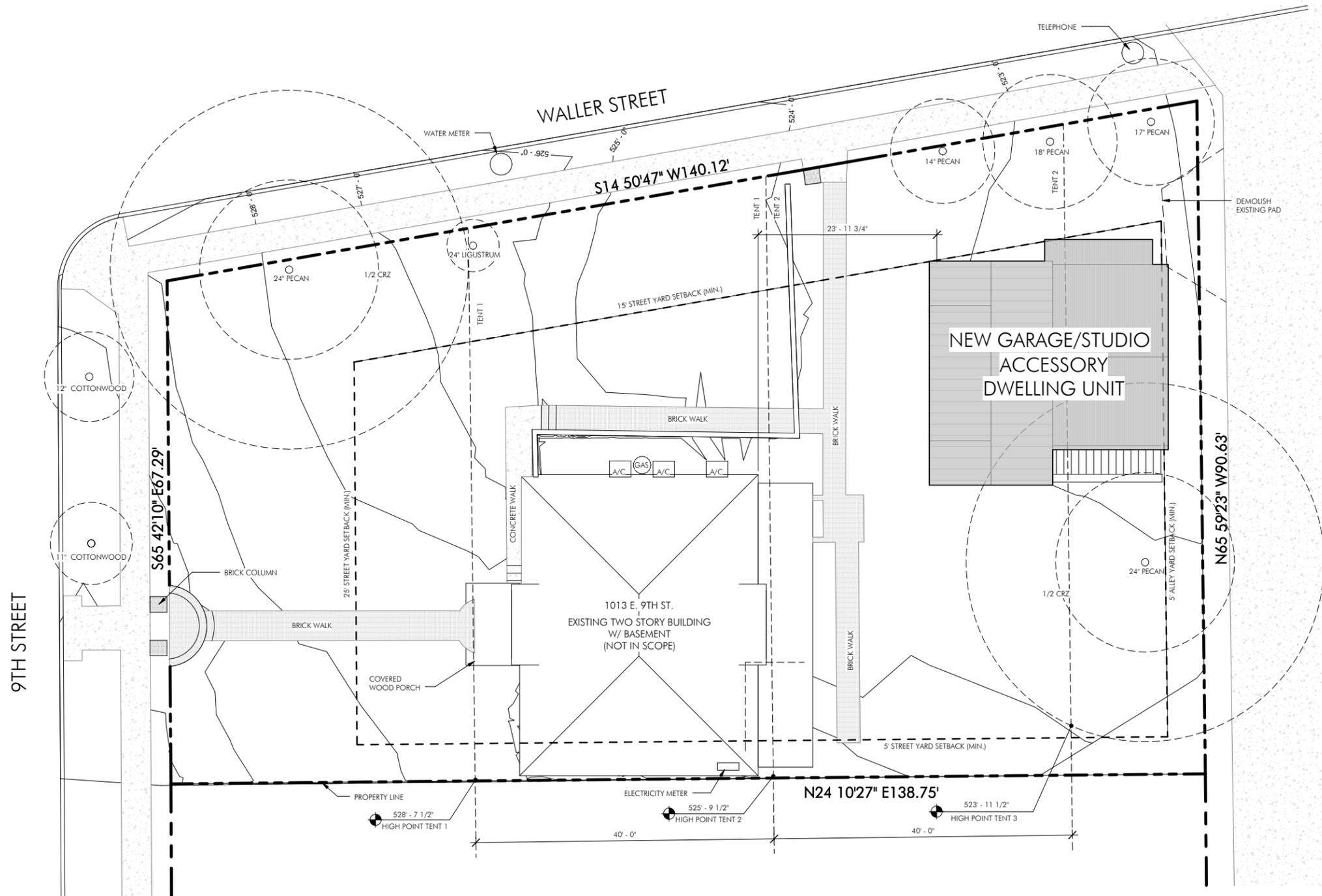
G1.0

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SITE PLAN

1 SITE PLAN
1/8" = 1'-0"

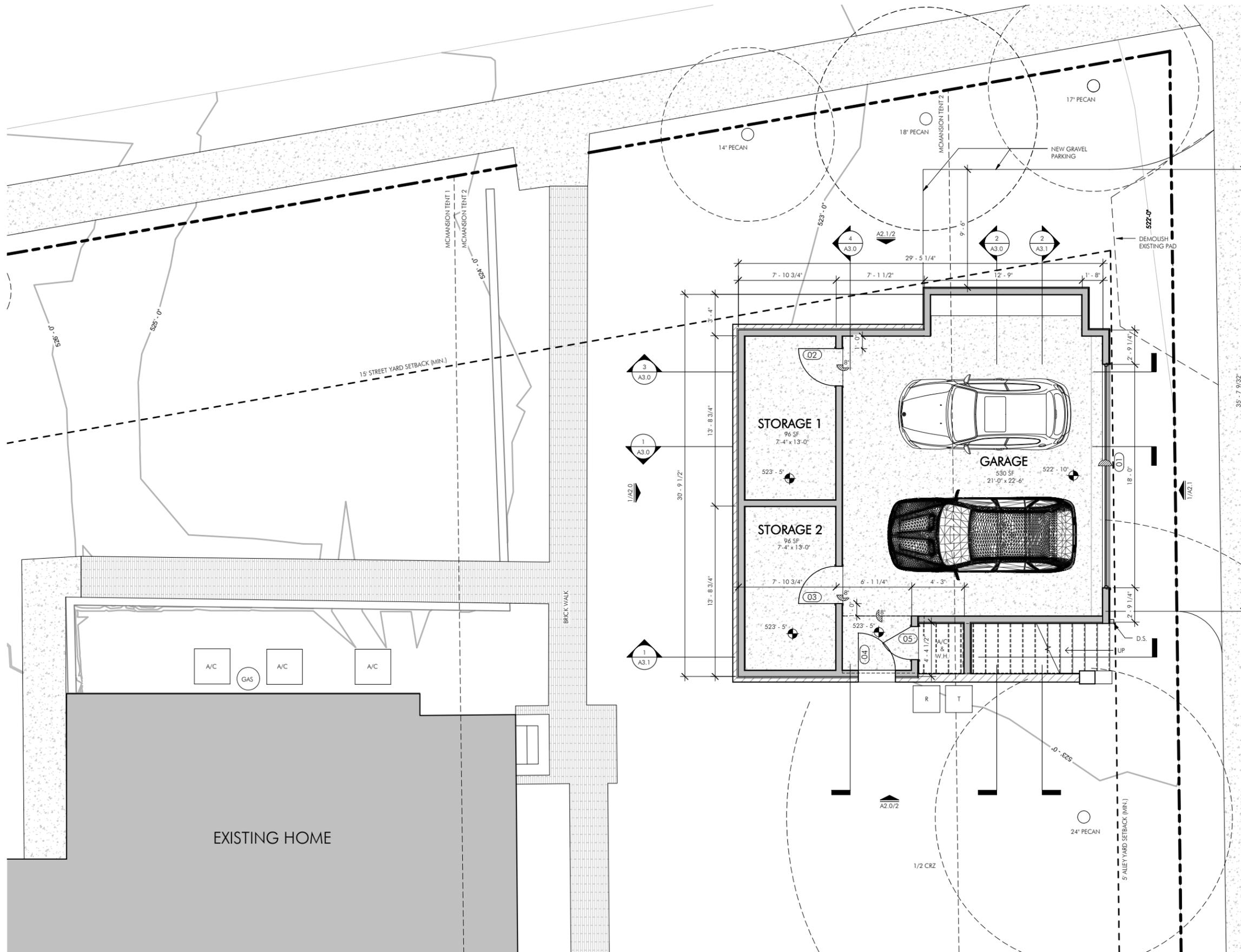
A1.0

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

DRAWING LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE

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FIRST FLOOR PLAN

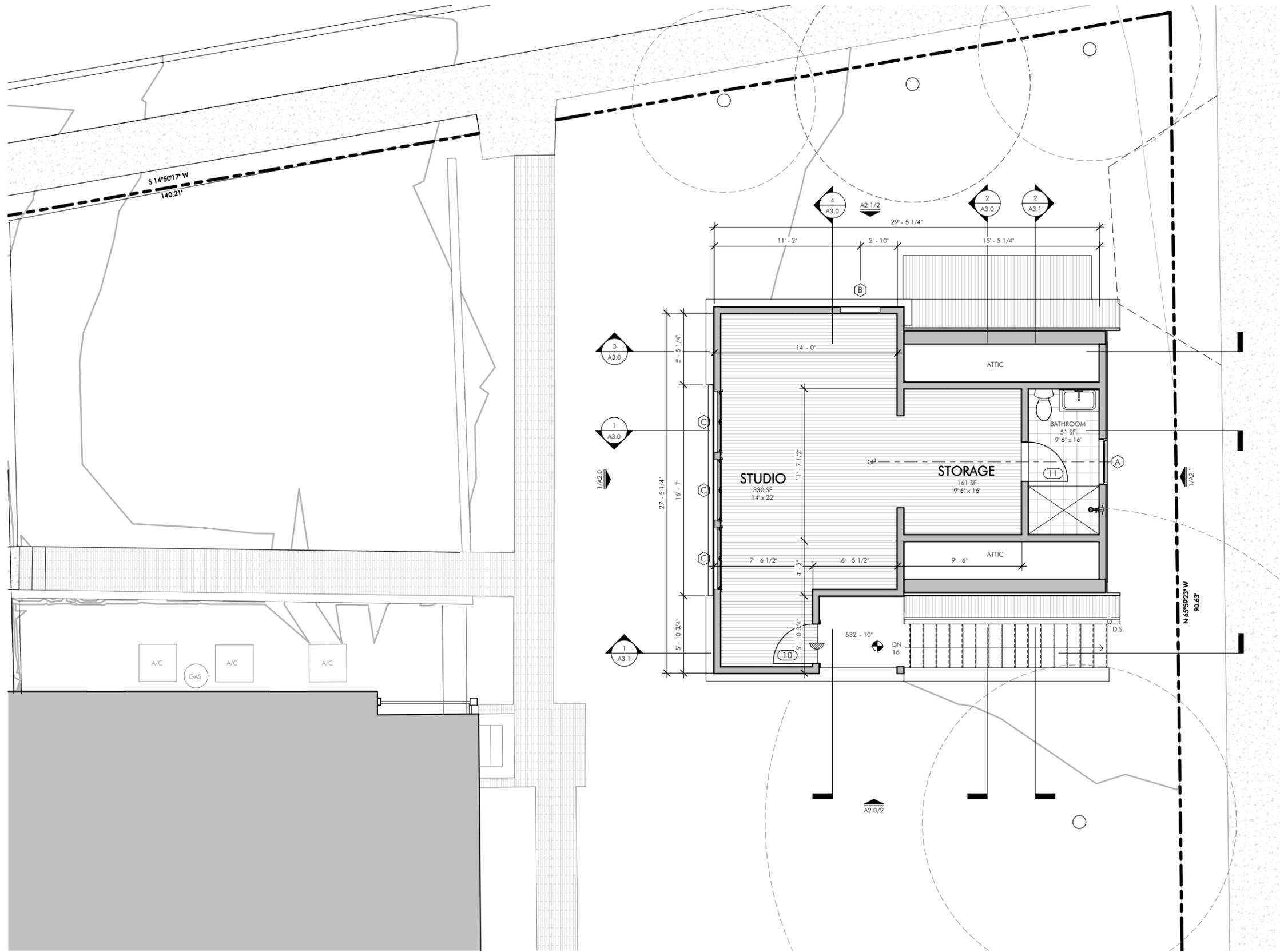
A1.1

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DRAWING LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE

1 SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN

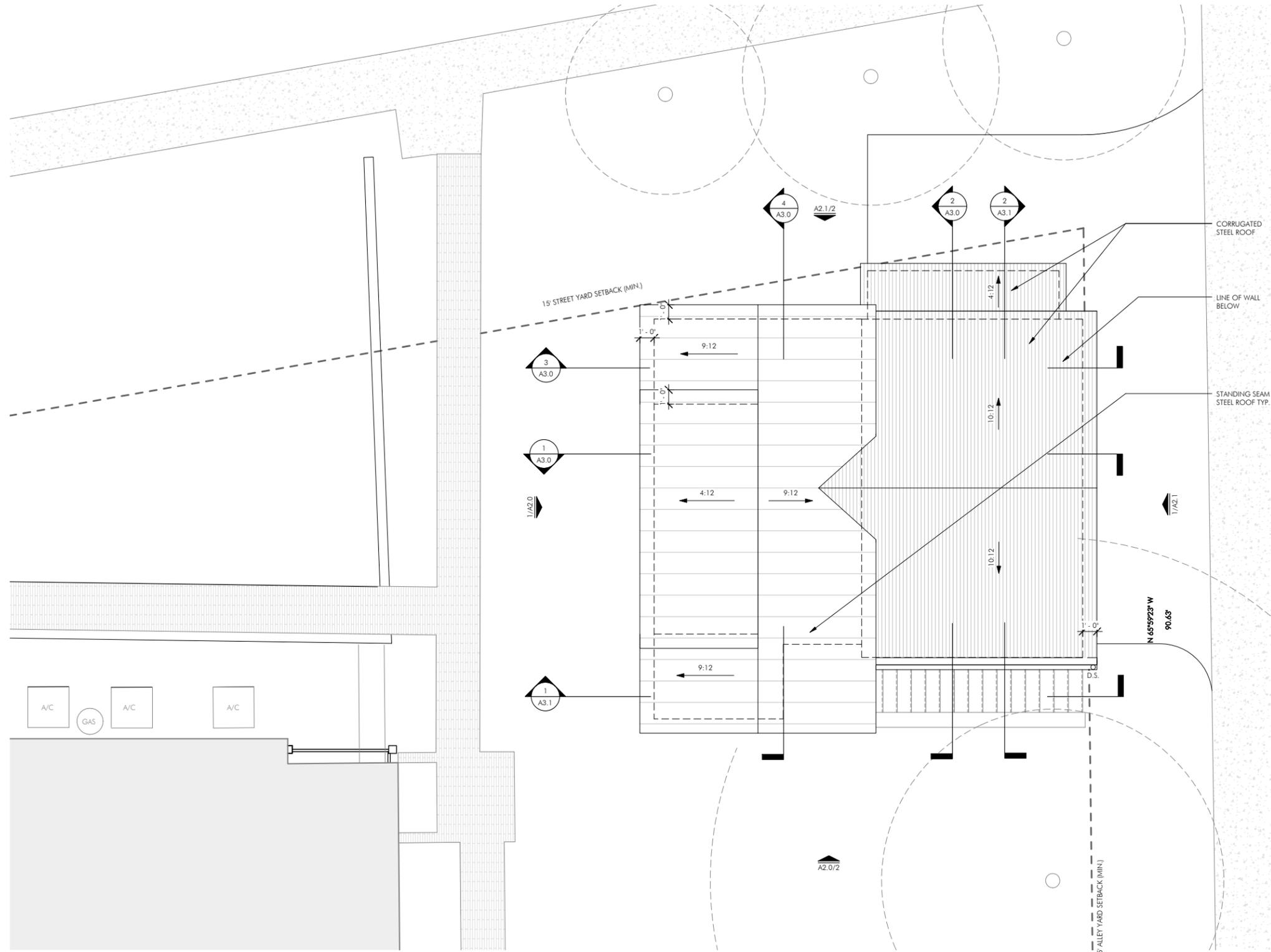
A1.2

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1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

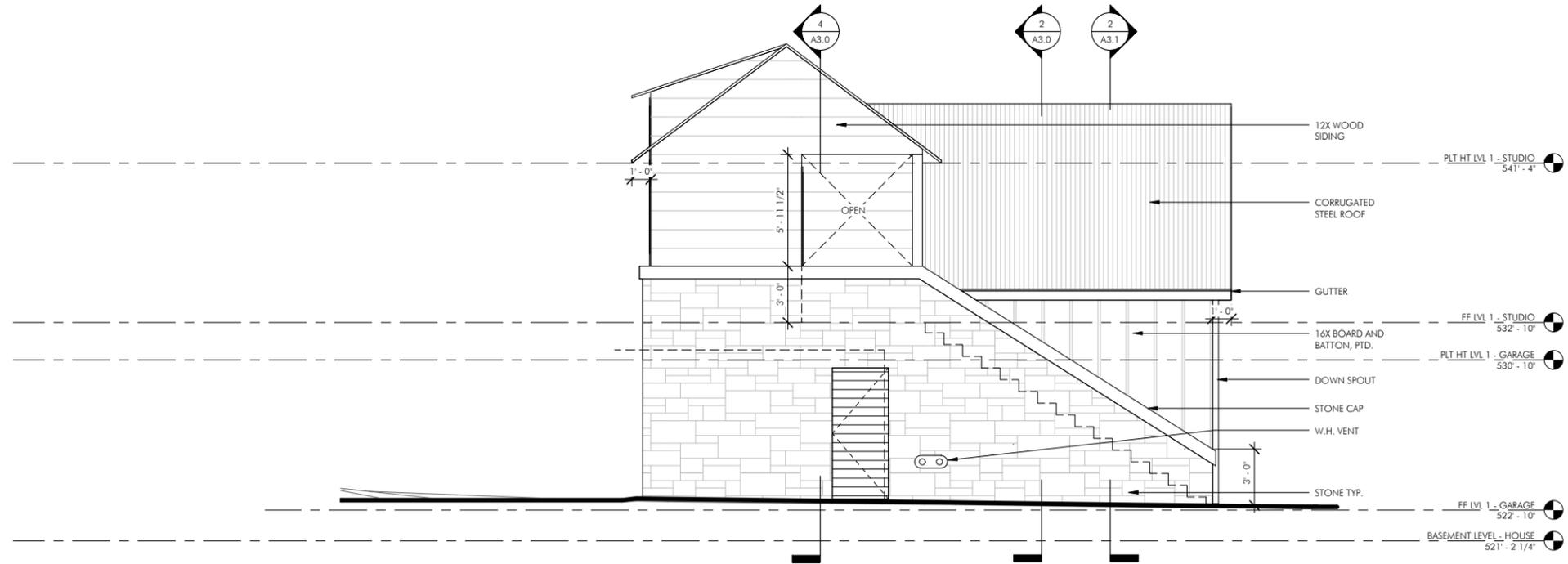
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NOT FOR CONSTRUCTION

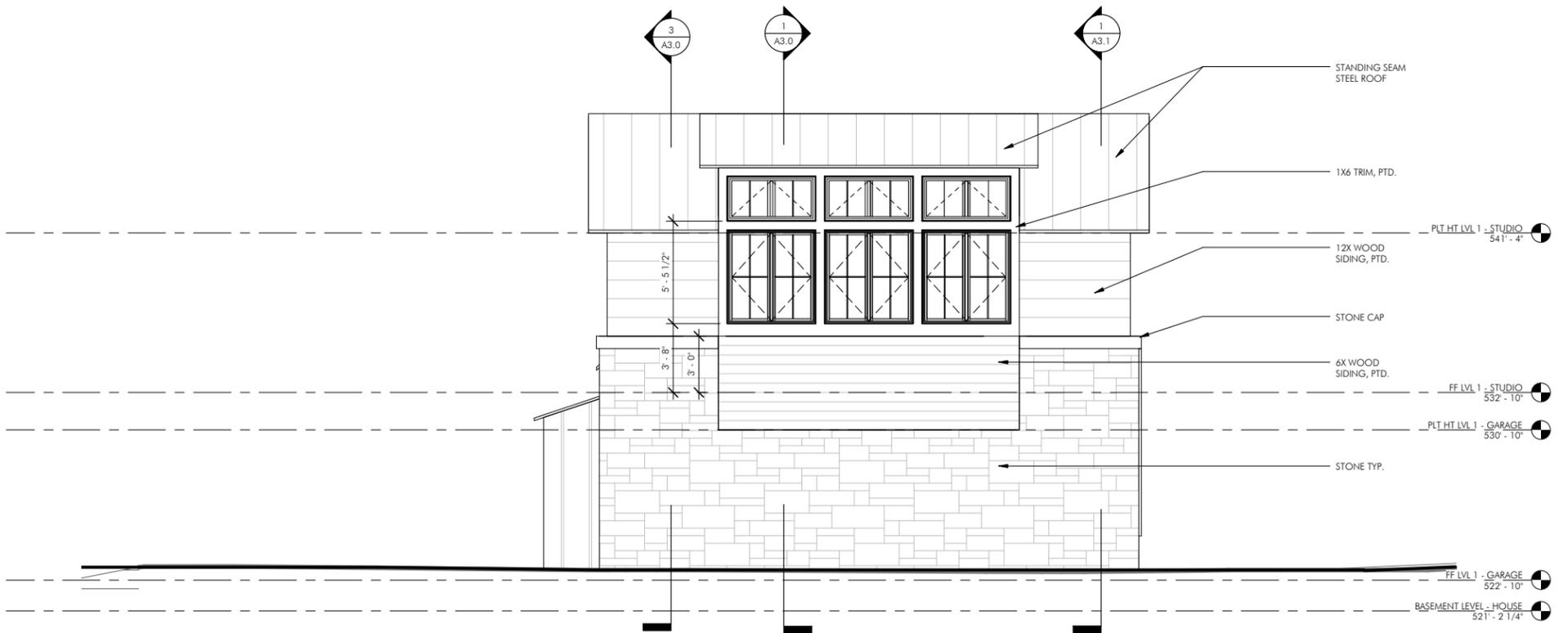
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2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

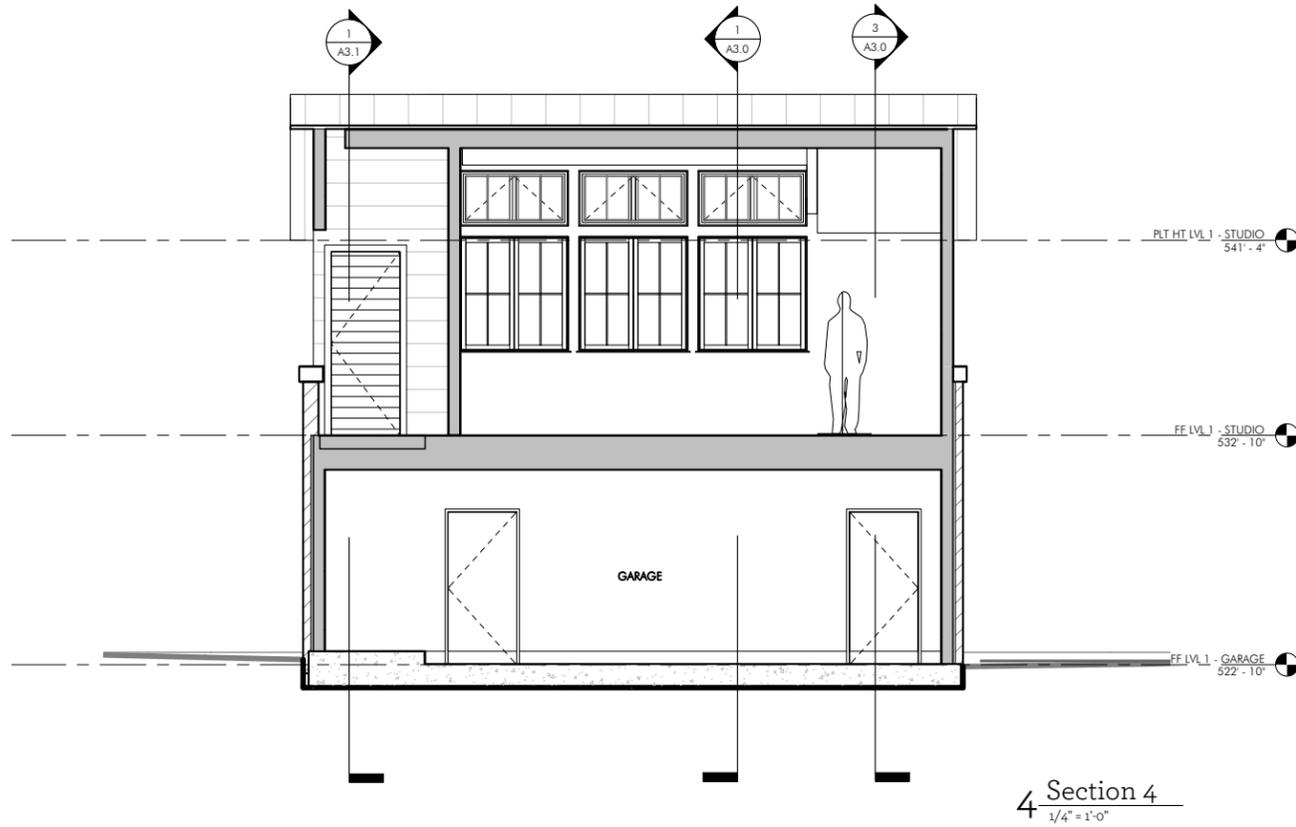
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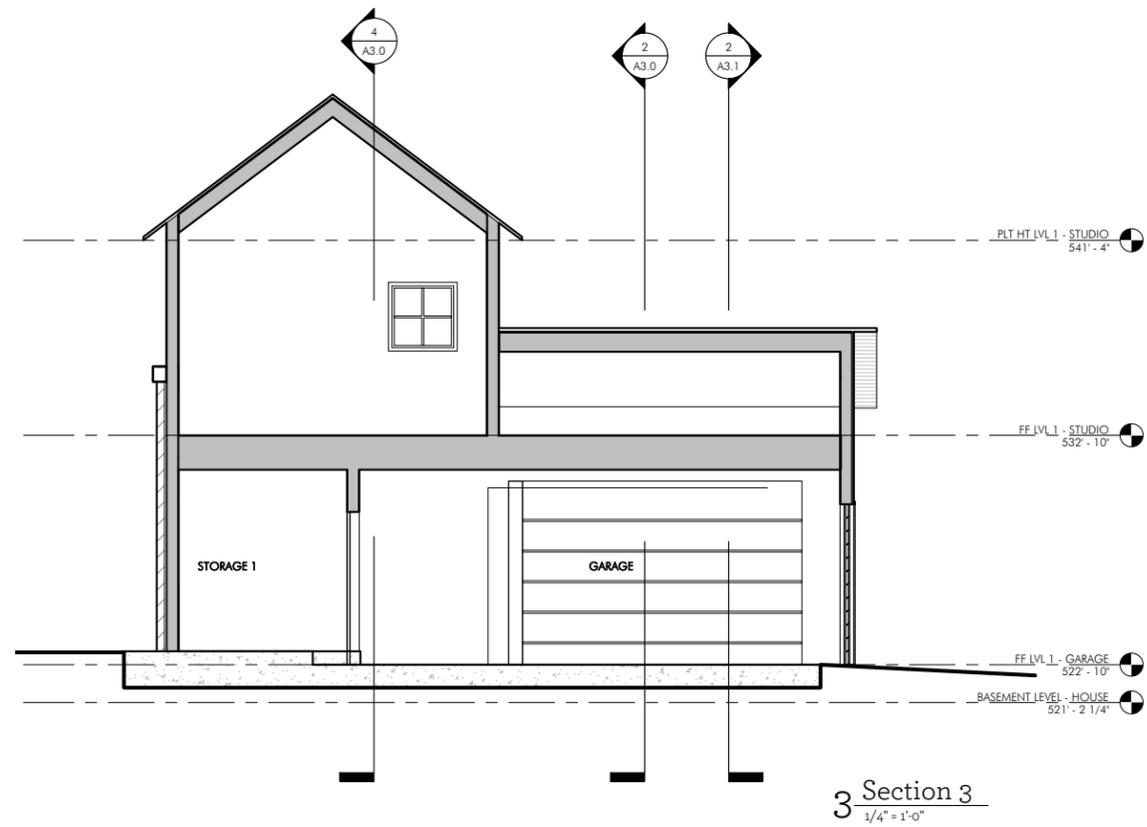
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FIELD INSPECTION REQUIRED

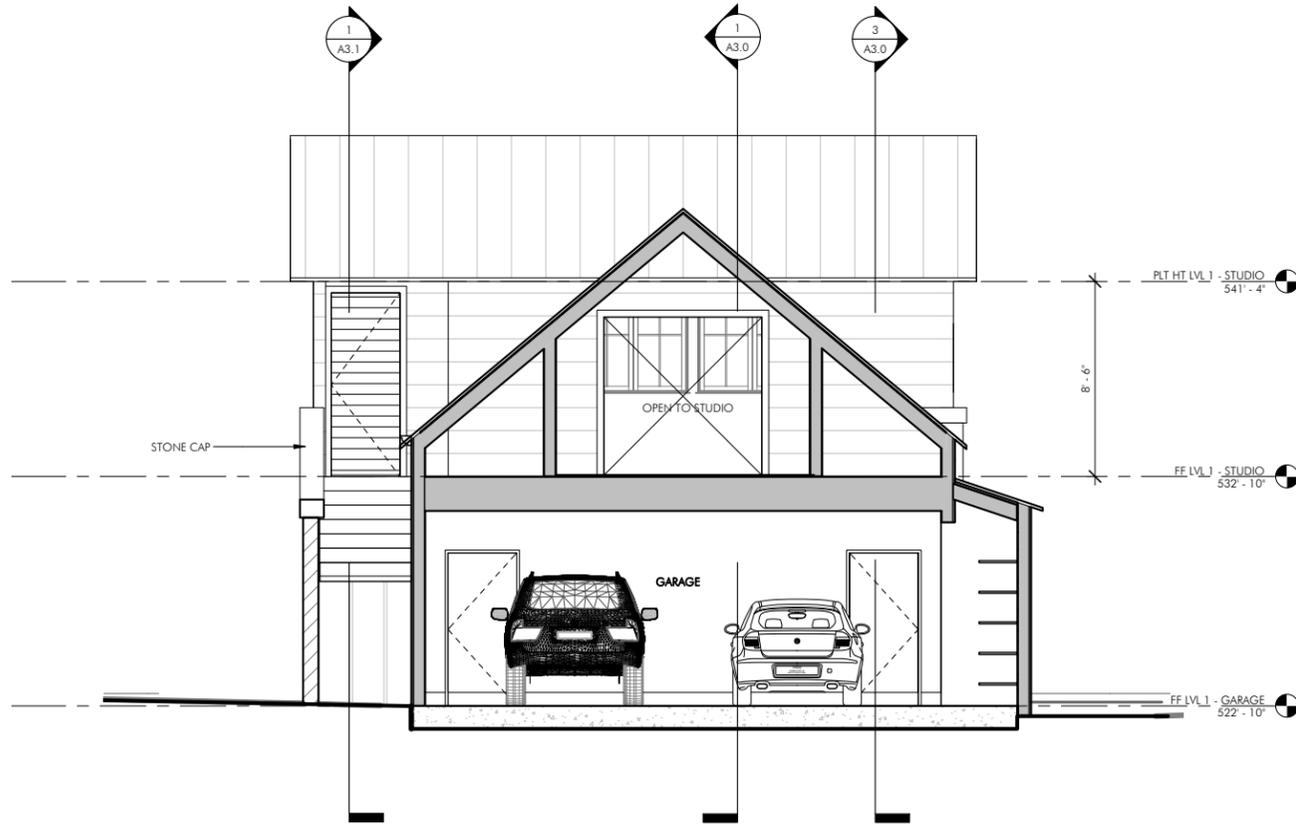
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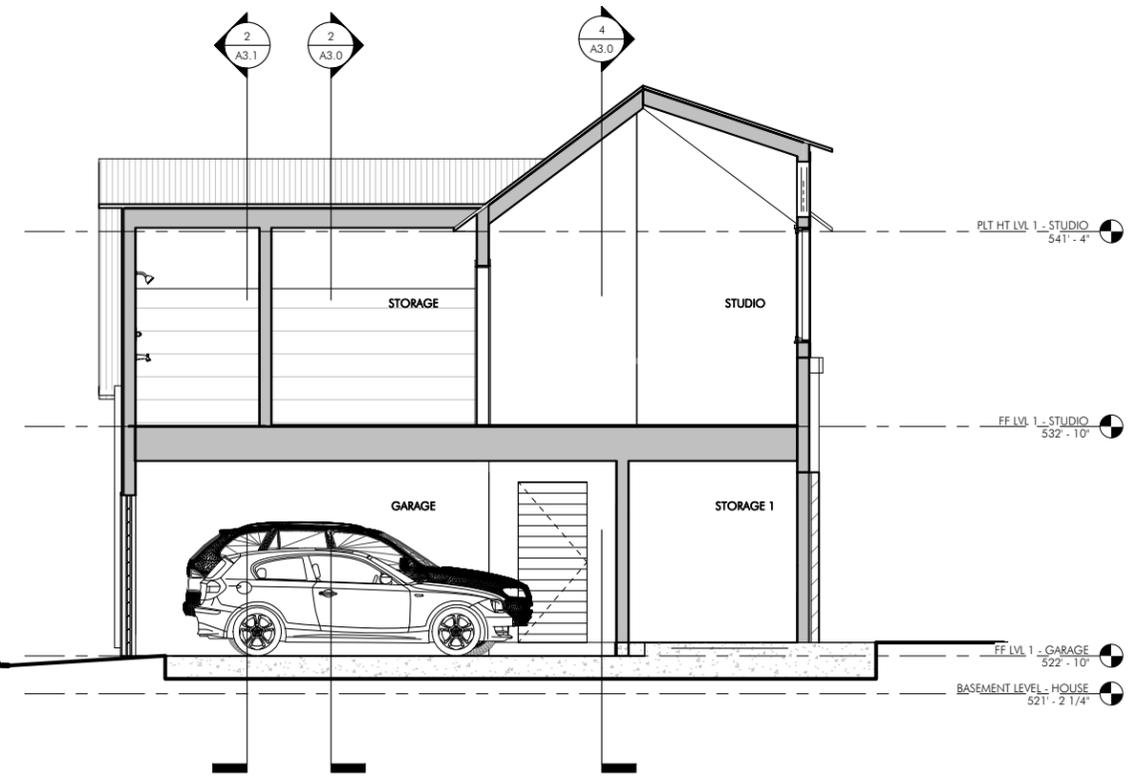
4 Section 4
1/4" = 1'-0"



3 Section 3
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

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BUILDING SECTIONS

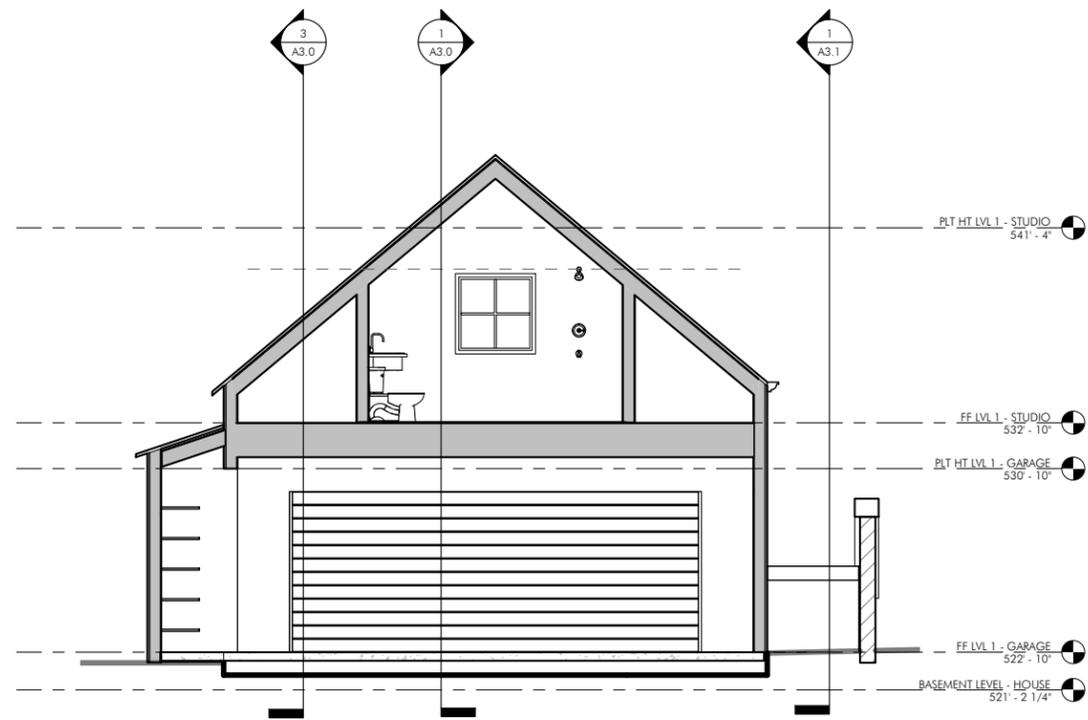
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PRELIMINARY
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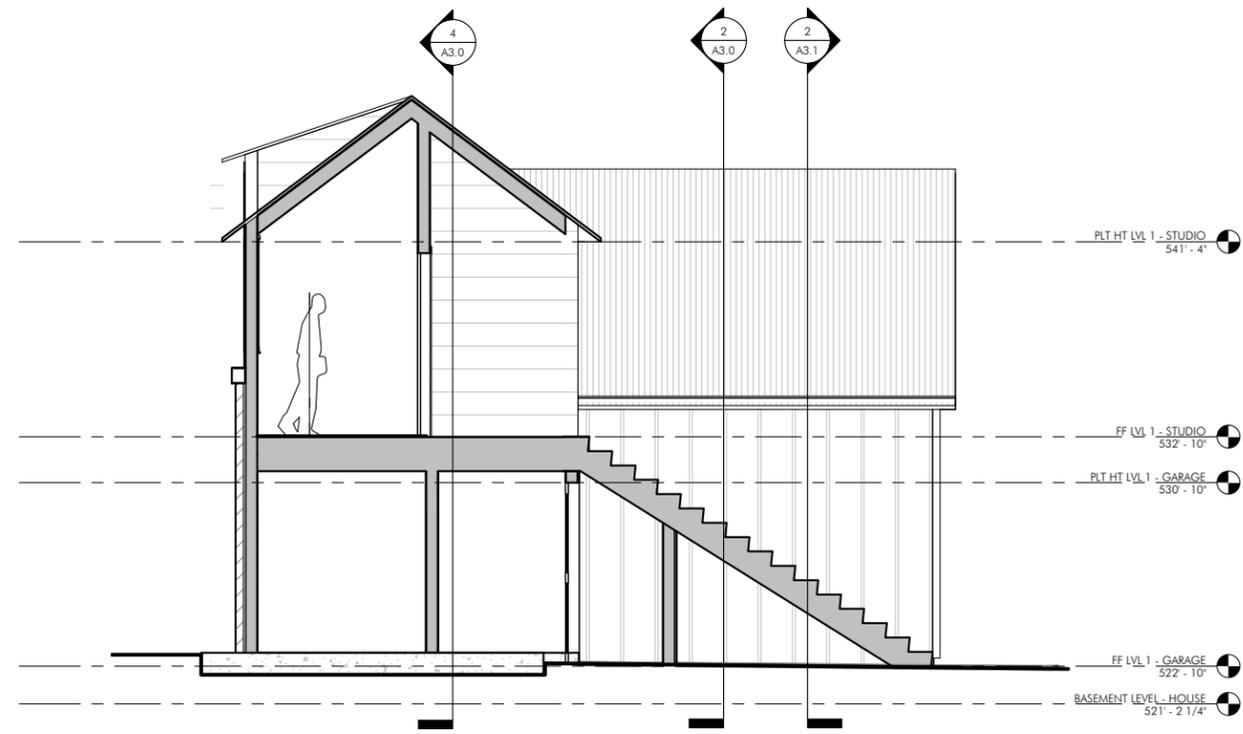
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2 Section 6
1/4" = 1'-0"



1 Section 5
1/4" = 1'-0"

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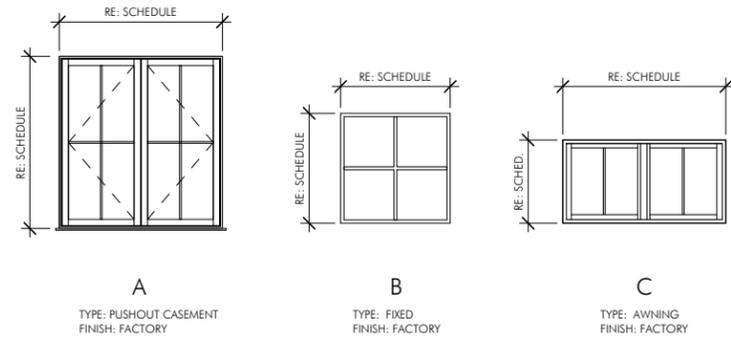
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BUILDING SECTIONS

A3.1

PRELIMINARY
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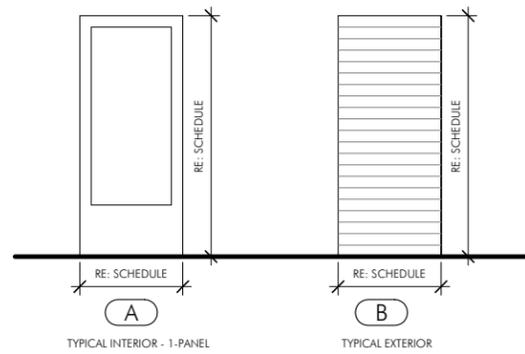
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WINDOW TYPES

WINDOW SCHEDULE							
MARK	DESCRIPTION	TYPE	HEAD HEIGHT	WIDTH	HEIGHT	TRIM	COMMENTS
A	WOOD FIXED	2	9' - 4"	3' - 6"	3' - 6"		
B	WOOD FIXED	2	6' - 8"	3' - 0"	3' - 0"		
C	WOOD PUSH CASEMENT	1	8' - 8"	4' - 9"	5' - 0"	1X6 WOOD	
C	WOOD PUSH CASEMENT	1	8' - 8"	4' - 9"	5' - 0"	1X6 WOOD	
C	WOOD PUSH CASEMENT	1	8' - 8"	4' - 9"	5' - 0"	1X6 WOOD	
D	WOOD AWNING	3	11' - 6 1/2"	4' - 9"	2' - 5"	1X6 WOOD	
D	WOOD AWNING	3	11' - 6 1/2"	4' - 9"	2' - 5"	1X6 WOOD	
D	WOOD AWNING	3	11' - 6 1/2"	4' - 9"	2' - 5"	1X6 WOOD	

- WINDOW NOTES:**
1. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
 2. GLAZING TO BE INSULATED, LOW-E, UNLESS NOTED OTHERWISE. ALL WINDOWS TO MEET CITY OF AUSTIN ENERGY CODE W/ OVERALL U-FACTOR OF 0.40 (OR BETTER) AND A SHGC OF 0.30 (OR BETTER).
 3. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE - TO BE VERIFIED BY CONTRACTOR.
 4. CAULK NAILING FLANGE AND BLOCKING PER WINDOW MFR. INSTALLATION INSTRUCTIONS.
 5. ALL WINDOWS LOCATED INSIDE A SHOWER TO HAVE TEMPERED GLAZING AND BE FIBERGLASS.



DOOR TYPES

DOOR SCHEDULE					
DOOR #	WIDTH	HEIGHT	DOOR		COMMENTS
			TYPE	MATERIAL	
01	18' - 0"	7' - 0"	A		
02	3' - 0"	6' - 8"	B		
03	3' - 0"	6' - 8"	B		
04	3' - 0"	7' - 0"	A		
05	2' - 8"	8' - 0"	B		
10	3' - 0"	8' - 0"	B		
11	3' - 0"	6' - 8"	B		
12	3' - 0"	8' - 0"			
	3' - 0"	8' - 0"			

- DOOR NOTES:**
1. GLAZING, WHERE APPLICABLE, TO BE DOUBLE PANE LOWE WITH A MINIMUM .40 U-FACTOR AND A MINIMUM SHGC RATING OF .25
 2. CONTRACTOR AND WINDOW SUPPLIER TO VERIFY ALL REQUIRED TEMPERED GLAZING LOCATIONS PER CURRENT CODE.
 3. DOOR BETWEEN MAIN HOUSE AND GARAGE TO BE 20 MINUTE FIRE RATED DOOR EQUIPPED WITH SELF-CLOSING DEVICE

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SCHEDULES

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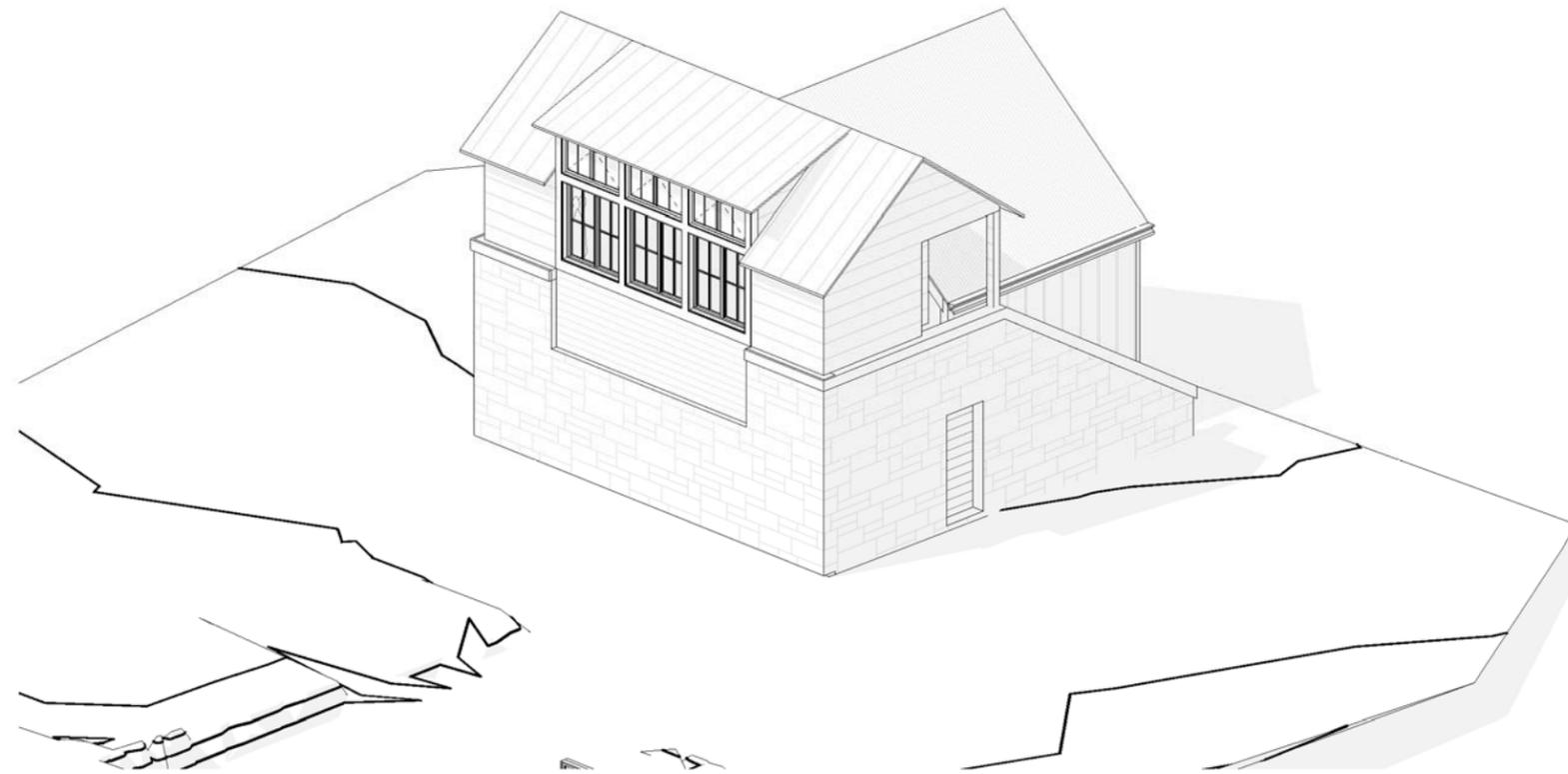
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2 9TH ST. ELEVATION



1 NORTHWEST - AXO

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3D VIEWS

A8.0

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3D VIEWS

A8.1



2 NORTH WEST STREET VIEW



1 SOUTH WEST BIRD'S EYE VIEW