

Chapter 1703 Form-Based Code

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Preamble: A Place-Based Approach to Zoning

Subsections:

P.10	What is a Form-Based Code?
P.20	The Rural-to-Urban Transect: The Framework for the FBC
P.30	Creating a Solid Foundation for the Cincinnati Form-Based Code
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P.10 What is a Form-Based Code?

Form-based coding represents a paradigm shift in the way that the built environment is regulated. This shift is necessary because the conventional, use-based approach to zoning has been shown to be ineffective for regulating diverse, urban, mixed-use environments. Cincinnati is using form-based coding to help achieve the overarching goal of Plan Cincinnati, which is "thriving re-urbanization." The formal short definition of a form-based code is as follows:

Form-based codes foster predictable built results and a high-quality public realm by using physical form (rather than separation of uses) as the organizing principle for the code. These codes are adopted into city or county law as regulations, not mere guidelines. Form-based codes are an alternative to conventional zoning.

~ Form-Based Codes Institute

Unlike conventional codes, form-based codes use the intended form and character of a place (or context) as the organizing principle or framework of the code, rather than use, and regulate a series of important elements not just to create a good individual building but to create a high-quality place. The naming conventions in form-based codes reflect the intended physical form and hierarchy of different places. For example, instead of a zone being labeled "single-family residential," it might be called "traditional neighborhood." Instead of a zone being called "commercial" or "mixed use," it might be called "neighborhood main street." The terms "neighborhood" and "main street" refer to the intended physical form or place, both of which may include a mix of uses and different building types that create vibrant walkable urbanism.

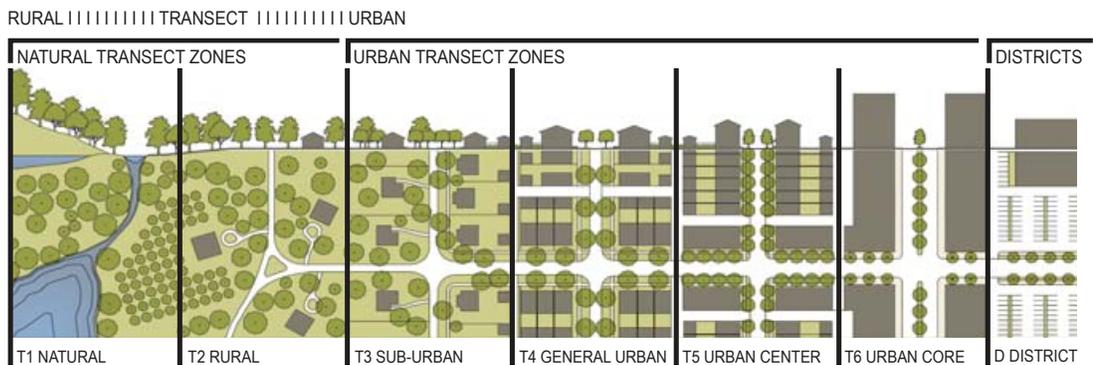
It is also important to note that while form-based codes primarily regulate an intended physical form, they also regulate use secondarily. Form-based codes often allow a range of uses that are carefully chosen to maximize compatibility between uses and the intended physical form of the zone. The use tables are simplified and categorized by use type and are clearly defined to allow a greater degree of administrative decision-making related to particular uses.

P.20 The Rural-to-Urban Transect: The Framework for the Form-Based Code

The rural-to-urban transect is an organizing principle used in form-based coding that establishes a hierarchy of places/contexts from the most rural to the most urban. The designation of each zone along this hierarchy is determined first by the character and form, intensity of development, and type of place and secondly by the mix of uses within the area. This hierarchy of places becomes the framework/organizing principle for the entire form-based code, replacing use as the organizing principle as is used in conventional or Euclidean zoning. Transect zones are used to reinforce existing or to create new walkable mixed-use urban environments.

The Rural-to-Urban Transect is a means for considering and organizing the human habitat in a continuum of intensity that ranges from the most rural condition to the most urban. It provides a standardized method for differentiating between the intentions for urban form in various areas using gradual transitions rather than harsh distinctions. The zones are primarily classified by the physical intensity of the built form, the relationship between nature and the built environment, and the complexity of uses within the zone.

~ Form-Based Codes Institute



A natural transect diagram on top with the rural-to-urban transect below. This urban-to-rural transect diagram illustrates a continuum of places from the most rural to the most urban from left to right. Image courtesy of DPZ.

P.30 Creating a Solid Foundation for the Cincinnati Form-Based Code

In 2012, the City of Cincinnati completed a comprehensive plan update called Plan Cincinnati (<http://www.plancincinnati.org/>). It was the first update since 1980. The primary theme behind Plan Cincinnati is "thriving re-urbanization." As this process evolved it became apparent that a conventional land-use based zoning approach would not enable the City to achieve this objective and focus on reinforcing the extensive framework of walkable urban neighborhoods that exist in Cincinnati. This, in combination with the City's desire to utilize form-based coding to serve as an effective regulatory tool, motivated the City to take a more progressive community character/place type approach within Plan Cincinnati, particularly in place of conventional zoning.

This place-type approach is context specific. It begins by defining and differentiating contexts/places. It categorizes walkable urban neighborhoods into different community types, outlines and maps them with a 5 minute walk, see 1703-6.30.B (Pedestrian Sheds), and introduces the rural-to-urban transect as an important organizing principle. Plan Cincinnati also introduces important components of walkable urban places, such as building types, frontage types, and civic space types, with the intent that they would be further reinforced within the form-based code.

In parallel, the City has developed a Complete Streets Manual that takes a context-driven approach to designing and planning thoroughfares. This document uses a similar methodology as Plan Cincinnati by designating contexts/places as a starting point for thoroughfare design. This document also uses the rural-to-urban transect zones as the organizing principal (the context zones) that further define how the intensity and character of the built environment influences decisions related to street design. This document was very important because it is evident that conventional automobile-centric thoroughfare designs have created unattractive, non-pedestrian friendly streets within Cincinnati's once vibrant walkable neighborhoods that have compromised the quality, character, and economic viability of these neighborhoods, and in particular their main streets.

Both of these documents create a solid foundation for a transition to a form-based coding approach to zoning that is rooted in context with the urban-to-rural transect as the organizing principle. This method has been shown to reduce barriers and provide incentives for the revitalization of existing urban neighborhoods (including transit-oriented development) and the creation of new walkable neighborhoods. For examples of other form-based codes see <http://www.formbasedcodes.org/>.

P.40 The Public Process for the Cincinnati Form-Based Code

The public process was critical for the creation of the Cincinnati Form-Based Code. The comprehensive public process is summarized below.

A. General Education and Touring

Under the leadership of Vice-Mayor Roxanne Qualls, the Form-Based Code Working Group was established in 2008 to build awareness of and support for the implementation of form-based codes in Cincinnati neighborhoods. Vice-Mayor Qualls has organized and hosted training sessions on form-based codes for interested neighborhood stakeholders, developers, City council members and City staff.

The Working Group's membership has changed over time, but has generally consisted of volunteer neighborhood organization leadership, professional staff of organizations that address Cincinnati neighborhood issues (including the Community Development Corporations Association of Greater Cincinnati and the Local Initiative Support Coalition), and design and development professionals. Leadership and staff from City Planning and Buildings, Community Development, Transportation and Engineering, and Law have participated in the working group, along with other community stakeholders.

Since 2008, Vice-Mayor Qualls has organized five delegations of neighborhood leaders, City staff and developers to travel to Nashville, Tennessee to see firsthand the results of Nashville's successful implementation of form-based codes and to better understand the opportunities that a form-based code could present to Cincinnati. Participants met with Nashville planning staff and site developers who have used form-based codes.



Photos from tours of Nashville, Tennessee's Form-Based Code application areas

B. Citywide Multi-Day Charrette

As part of the planning and public outreach process, a five-day public charrette was held on April 28 - May 2, 2012 on the fourth floor of Two Centennial Plaza to enable the community to direct the long-term vision and rezoning that will reinforce the community-wide vision and ensure a predictable implementation. A diverse mix of people participated and attended the various charrette events, with a total attendance of 700 people over five days.

The citywide charrette summary report can be found on the City's website.



Photos from the citywide charrette process

C. Neighborhood Charrettes

A four-day public charrette was held on October 29 - November 1, 2012 on the fourth floor of Two Centennial Plaza to enable the community to direct the long-term vision and rezoning for four neighborhoods: College Hill; Madisonville; Walnut Hills; and Westwood. The neighborhoods worked with the consultants and staff to re-examine their neighborhood plans to update and illustrate their vision for their neighborhoods' future.



Photos from the neighborhood charrette process

P.50**Guiding Principles for the Cincinnati Form-Based Code**

The Cincinnati Form-Based Code is designed to be applied to neighborhoods across the City on a voluntary basis to meet the following principles:

A. The City-Guiding Principles

1. Reinforce a pattern of walkable urban neighborhoods by supporting existing walkable neighborhoods and providing a tool to retrofit those that are not walkable or have been compromised;
2. Provide incentives and remove barriers for revitalization of neighborhoods;
3. Prevent the development of incompatible suburban development in urban areas;
4. Build upon and enhance the unique character of each neighborhood;
5. Encourage appropriately-scaled infill and development;
6. Provide context-sensitive design of thoroughfares that will reinforce the walkable urban neighborhoods; and
7. Support a range of vibrant human habitats.

B. The Neighborhood-Guiding Principles

1. Enable neighborhood main streets to remain or become vibrant social and commercial centers;
2. Support a diversity of urban housing choices appropriate to the determined location along the transect;
3. Balance pedestrian comfort and placemaking with traffic efficiency along major corridors;
4. Encourage and incubate small local businesses as an important part of the local economy;
5. Place services within a safe, comfortable walking distance of homes; and
6. Create a framework of well-designed streets that are safe and secure for pedestrians and bicycles.

C. The Block and Building-Guiding Principles

1. Build upon and reinforce the unique and diverse collection of urban building types within the City;
2. Ensure that each building plays a role in creating a better whole, not just a good building;
3. Meet the changing needs of residents;
4. Ensure that architecture and landscape grow from local climate, history, and building practice; and
5. Choose important/prominent locations for civic buildings to make sure to reinforce their civic stature.

P.60**Classifications of Different Types of Places/Contexts in Cincinnati**

Plan Cincinnati classifies the City into three distinct types of places or contexts: natural places; walkable urban places; and drivable places. This classification is important because different types of places are necessarily regulated differently. The regulations must go beyond use or program and consider whether a design component, whether it be a building or a street design, reinforces and is appropriate for a specific context. Natural and walkable urban areas are most effectively regulated with transect zones, which range from the most natural and rural to the most urban.

A. Natural Places/Contexts

Natural areas consist of undeveloped land that is interspersed throughout the City and along its periphery. These areas are dominated by nature but may include an occasional building or other man-made feature, especially in rural areas. The use of cars is integrated but does not dominate the character of the natural areas.

The proximity of natural areas to the developed portions of Cincinnati, especially those created by topography, such as between Glenway Avenue and Queen City Avenue, and urban parks, such as Mt. Echo Park, Eden Park and Burnett Woods, is an important component in defining the City's unique character.

These areas fit within the T1-T2 transect zones that are not currently part of the Cincinnati Form-Based Code.



Natural contexts are important amenities for Cincinnati residents.

B. Walkable Urban Places/Contexts

Walkable urban areas are those in which a person can walk, bike or ride transit to work and to fulfill most shopping and recreation needs. These environments allow for the use of automobiles but do not require the use of a vehicle to accommodate many daily needs.

Walkable urban areas were primarily developed prior to the 1940's. They were developed in a pattern where a person could live with limited reliance on the automobile and were conducive to destination walking and cycling – characteristics which are still prevalent today. Walkable urban areas are largely supported through a network of interconnected, tree-lined streets, a diversity of housing choices and a mix of appropriate commercial and residential uses in a compact form. These areas also support public transit due to their compact nature. Walkable urban areas generally include downtown, downtown neighborhoods, such as Over-the-Rhine and Pendleton, and other neighborhoods such as College Hill, Price Hill, Walnut Hills and Hyde Park. These areas define the unique character and identity of Cincinnati and fit within the T3-T6 transect zones.



A large percentage of Cincinnati fits within the walkable urban classification.

C. Drivable Places/Contexts

Drivable places are those in which one is mostly dependent on the automobile to travel to work or other destinations and to accomplish most shopping and recreation needs. These environments may contain areas where it is possible to walk or ride a bike for recreational purposes, but due to the lack of connectivity or nearby amenities are not favorable for walking or biking as a primary mode of transportation.

Drivable areas were developed primarily after the 1950's on the periphery of Cincinnati. The design and layout of development in these areas is determined by the need to accommodate the automobile. In addition, and characteristic of most automobile-oriented drivable areas, land uses are segregated and often buffered, which results in large distances between uses. This requires the automobile for day-to-day functions.

Examples of these areas are the commercial big box retail and strip mall centers, single-family residential subdivisions on the periphery of the City, and industrial areas.

These areas do not fit within the T3-T6 transect zones and are addressed by other regulations in the Cincinnati Municipal Code.



The outer communities of Cincinnati developed primarily after 1950 have drivable contexts.

P.70 The Cincinnati Transect

As part of the creation of this Form-Based Code, the consultant team built upon the work of the City in defining and refining the Cincinnati Transect as was introduced in Plan Cincinnati. Work was completed to document different elements of the urban form in different transect zones to extract the Cincinnati-specific "DNA" of the urban form for each sampled area.

The Cincinnati Transect currently covers from T3-T6 zones.

- A. T1 and T2 zones are not used in this Code. There are very few parcels of land that are rural in nature within the city limits. In the future, the Code could be used for rural and undeveloped lands.
- B. The T3 zones applies primarily to pre-WWII single-family neighborhoods that are near a neighborhood main street. The T3 is divided into two zones primarily based on an allowed lot size:
 1. T3 Estate (T3E) allowing only larger lots for single-family homes; and
 2. T3 Neighborhood (T3N) allowing small and medium-sized lots for single-family homes.
- C. The T4 zone applies to areas that have a mix of small to medium footprint, medium-density housing types (attached and detached) and in some instances a mix of single-family homes. The T4 zone is divided into two zones:
 1. T4 Neighborhood Medium Footprint (T4N.MF) allowing medium footprint buildings and larger front and side setbacks; and
 2. T4 Neighborhood Small Footprint (T4N.SF) allowing only small footprint buildings.
- D. The T5 zone applies to areas that are higher density residential or commercial often in attached or slightly detached forms. The T5 is divided into four distinct zones:
 1. T5 Main Street allows both residential and commercial uses;
 2. T5 Neighborhood Large Setback (T5N.LS) allows detached buildings with a medium side and front setback and is primarily residential;
 3. T5 Neighborhood Small Setback (T5N.SS) allows detached buildings with a small side and front setback and is primarily residential; and
 4. T5 Flex (T5F) requires attached forms, but allows a broader range of uses that could include some uses that are currently categorized as light industrial. This last zone would primarily apply to areas like Camp Washington to enable the continued existence of corner stores, residential, churches and other non-industrial uses.
- E. The T6 zone applies large mixed-use buildings or high-density residential primarily within the downtown core of Cincinnati, but would also be appropriate around certain future transit nodes.

The development regulations within this Form-Based Code have been carefully considered in relation to their context or setting along the transect, including parking and building form.

Table: 1703-P.70.A The Cincinnati Transect: Summary Table

← Less Urban			More Urban →
<p>T3 Estate (T3E)</p> 	<p>T3 Neighborhood (T3N)</p> 	<p>T4 Neighborhood Medium Footprint (T4N.MF)</p> 	
			
			
			

Table: 1703-P.70.A The Cincinnati Transect: Summary Table (continued)

Less Urban

More Urban

T4 Neighborhood Small Footprint (T4N.SF)



T5 Main Street (T5MS)



T5 Neighborhood Large Setback (T5N.LS)

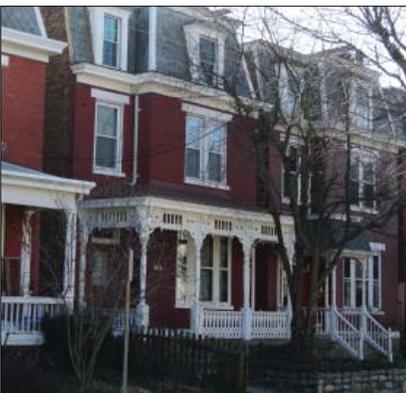


Table: 1703-P.70.A The Cincinnati Transect: Summary Table (continued)



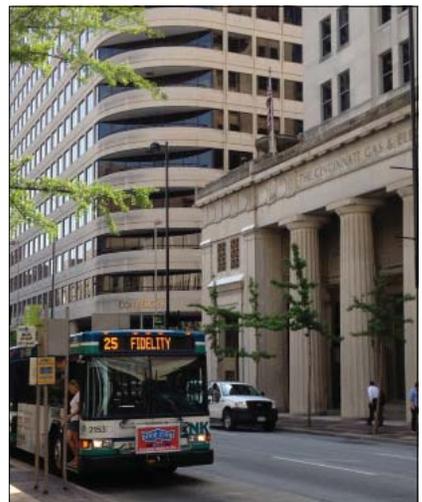
T5 Neighborhood Small Setback (T5N.SS)



T5 Flex (T5F)



T6 Core (T6C)



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Section 1703-I: Overview and Guide to the Cincinnati Form-Based Code

Subsections:

- 1703-1.10 Purpose
- 1703-1.20 Applicability
- 1703-1.30 Organization of the Form-Based Code
- 1703-1.40 How to Use the Form-Based Code Document

1703-1.10 Purpose

The Cincinnati Form-Based Code is a portion of the Cincinnati Land Development Code that pays particular attention to the intended form and character of a place. The Form-Based Code secondarily regulates uses that are carefully chosen to maximize compatibility between uses and the intended physical form of the zone. The organizing principal of the Form-Based Code is based on a hierarchy of places from the most rural to the most urban. The designation of each zone along this hierarchy (or transect) is determined first by the character and form, intensity of development, and type of place, and secondarily by the mix of uses within the area. Form-Based Code transect zones are used to reinforce existing or to create new walkable mixed-use urban environments.

1703-1.20 Applicability

This Form-Based Code applies to all land within the City of Cincinnati zoned as a transect zone or group of transect zones under this Chapter 1703. The relationship between transect zones and other overlay zones and districts is addressed in Section 1703-8 below. All other property not zoned in accordance with this Chapter 1703 shall be governed by the zoning set forth in the applicable Chapter of the Cincinnati Municipal Code.

1703-I.30 Organization of the Form-Based Code

The following text is advisory only and is intended to provide a brief overview of the organization of the Form-Based Code.

Preamble: A Place-Based Approach to Zoning. Introduces an overview of Cincinnati's form and character. This text is not regulatory and is intended to provide an introduction and overview of the Cincinnati Form-Based Code.

Section 1703-1: Overview and Guide to the Cincinnati Form-Based Code. Provides an outline for the structure of the Form-Based Code and an explanation of how to use it.

Section 1703-2: Specific to Transect Zones. Establishes zone-specific standards for transect zones. The application of the transect zones are intended to reinforce a walkable, transit-supportive urban environment.

Section 1703-3: Specific to Building Types. Establishes standards for a wide range of building types found within Cincinnati that are appropriate for walkable, transit-supportive urban environments.

Section 1703-4: Specific to Frontage Types. Establishes standards for a range of appropriate frontages that provide an important transition between the public street and the private realm within buildings.

Section 1703-5: Supplemental to Transect Zones. Establishes development standards that apply to multiple transect zones for topics such as parking, signage and standards for specific uses.

Section 1703-6: Specific to Creating a Walkable Neighborhood. Establishes standards for creating developments within existing walkable communities or creating new walkable communities.

Section 1703-7: Specific to Thoroughfares. Establishes standards for creating complete streets that reinforce walkable communities by providing access to multiple modes of transportation.

Section 1703-8: Administration and Procedures. Establishes procedures for establishing transect zones and implementing, processing and reviewing developments under the Form-Based Code.

Section 1703-9: Form-Based Code Glossary. Provides definitions for certain terms used throughout the Form-Based Code.

1703-1.40 How to Use the Form-Based Code

In graphic form, this Subsection illustrates the basic steps to follow to use this Form-Based Code. This is illustrative only and is not intended to set forth the administration and procedures, which are set forth more fully in Section 1703-8 (Administration and Procedures).

- A. Two sets of basic steps are illustrated:
 - 1. Building-scale projects, development proposals that do not require:
 - a. Subdivision of land; and/or
 - b. Multiple transect zones.
 - 2. Walkable Neighborhood Sites, development proposals that require:
 - a. Subdivision of land;
 - b. Multiple transect zones; and/or
 - c. Parcels, or large development sites under common ownership greater than 10 acres in total size.

Quick Code Guide: Building-Scale Projects

Step	Instructions	Code	Title
	Find the transect zone for your parcel		Maps
	Comply with the standards specific to your zone	1703-2	Specific to Transect Zones
	Choose and comply with the standards specific to your building type	1703-3	Specific to Building Types
	Choose and comply with the standards specific to your frontage type	1703-4	Specific to Frontage Types
	Comply with the standards general to all transect zones	1703-5	Supplemental to Transect Zones
	Follow any necessary procedures.	1703-8	Administration and Procedures
	If you want to subdivide your property, follow the procedures and comply with the requirements of the City's subdivision regulations.		Subdivision and Land Development

Quick Code Guide: Walkable Neighborhood Sites

Step	Instructions	Code	Title
	Find the transect zone for your parcel		Maps
	Comply with the standards for creating walkable neighborhood-scaled site designs	1703-6	Specific to Creating a Walkable Neighborhood
	Choose and comply with the standards for thoroughfares	1703-7	Specific to Thoroughfares
	If you want to subdivide your property, follow the procedures and comply with the requirements in the City's subdivision regulations		Subdivision and Land Development
	Follow the procedures for opting into the Cincinnati Form-Based Code	1703-8	Administration and Procedures
	Follow the procedures for Building-Scale Projects	see previous page	Building-Scale Projects

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Section 1703-2: Specific to Transect Zones

Subsections:

1703-2.10	Purpose
1703-2.20	Applicability
1703-2.30	Transect Overview
1703-2.40	T3 Estate (T3E)
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1703-2.110	T5 Flex (T5F)
1703-2.120	T6 Core (T6C)

1703-2.10 Purpose

This Section provides regulatory standards governing building form and other related matters, such as land use and signage, within the transect zones. The Form-Based Code is a reflection of the community vision for implementing the intent of Plan Cincinnati to create places of walkable urbanism. These standards are intended to ensure that proposed development is compatible with existing and future development on neighboring properties and produces a walkable, urban environment.

1703-2.20 Applicability

- A. The standards of this Section shall apply to all transect zones and shall be considered in combination with the standards in Sections 1703-3 (Specific to Building Types), 1703-4 (Specific to Frontage Types), and 1703-5 (Supplemental to Transect Zones).
- B. The standards of this Section shall be considered in combination with the requirements of Cincinnati Municipal Code Chapter 1433 (Hillside Overlay Districts) and Chapter 1435 (Historic Preservation). If there is a conflict between this Section and/or Chapter 1433 and Chapter 1435, please see Section 1703-8 to determine which regulations control and govern.
- C. Uses not listed in a use table are not permitted in the transect zone.

1703-2.30 Transect Overview

The standards in this Section provide building form standards, land use, parking and signage standards for each transect zone. Some of the transect zones have a sub-zone that allows the same built form, but allows additional ground floor and upper floor land uses. The Cincinnati Transect currently ranges from T3 Estate to T6 Core. Table A below provides an overview of the Cincinnati Transect.

Table: 1703-2.30.A The Cincinnati Transect: Summary Table



Zone(s)

T3 Estate

Desired form

- Detached
- Wide Lot
- Medium-to-Large Footprint
- Large Front Setback
- Medium-to-Large Side Setback
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

General Use

Primarily residential with smaller neighborhood-supporting uses in ancillary buildings.

Intent

To protect the integrity of existing, large lot, detached homes and reinforce their role within walkable neighborhoods and to allow new neighborhoods with this component.



Zone(s)

T3 Neighborhood

Desired form

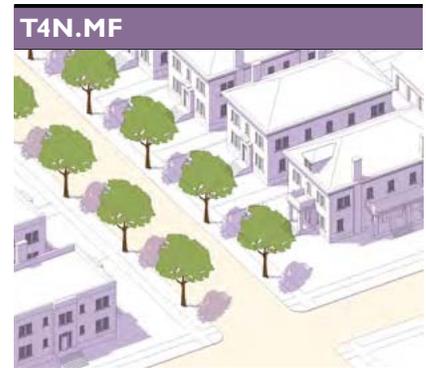
- Detached
- Narrow-to-Medium Lot Width
- Small-to-Medium Footprint
- Medium-to-Large Front Setback
- Medium-to-Large Side Setback
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

General Use

Primarily residential with smaller neighborhood-supporting uses in ancillary buildings.

Intent

To protect the integrity of existing, small-to-medium lot detached homes and reinforce their role within walkable neighborhoods and to allow new neighborhoods with this component.



Zone(s)

T4 Neighborhood Medium Footprint

Sub-Zone: T4N.MF-Open

Desired form

- Detached
- Medium-to-Large Lot Width
- Medium Footprint
- Medium-to-Large Front Setback
- Small-to-Medium Side Setbacks
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

General Use

Primarily residential with smaller neighborhood-supporting uses in ancillary buildings.

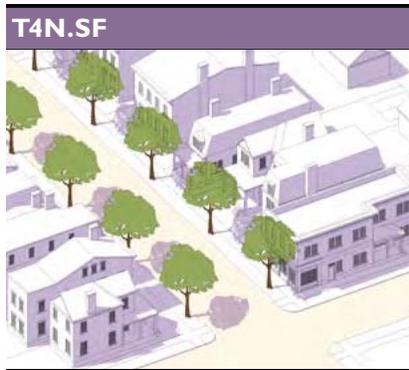
Intent

To provide a variety of housing choices, in medium footprint, medium-density building types, which reinforce the walkable nature of the neighborhood, support neighborhood-serving commercial adjacent to this zone, and support public transportation alternatives.

The open sub-zone provides the same building form but allows for a more diverse mix of uses.

Table: 1703-2.30.A The Cincinnati Transect: Summary Table (continued)

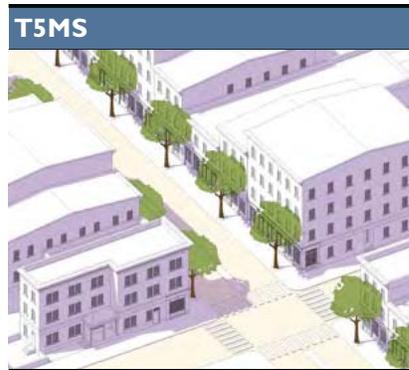
More Urban 



Zone(s)
T4 Neighborhood Small Footprint
Sub-Zone: T4N.SF-Open
Desired form
Detached or Attached
Narrow-to-Medium Lot Width
Small-to-Medium Footprint
Building at or Close to ROW
Small to No Side Setbacks
Up to 2½ Stories
Elevated Ground Floor
Primarily with Stoops and Porches

General Use
 Primarily residential with smaller neighborhood-supporting uses in ancillary buildings, existing corner store buildings, and in the open sub-zone.

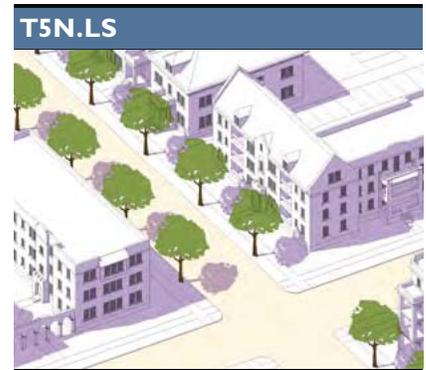
Intent
 To provide variety of urban housing choices, in small-to-medium footprint, medium-to-high density building types, which reinforce the walkable nature of the neighborhood, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives.
 The open sub-zone provides the same building form but allows for a more diverse mix of uses.



Zone(s)
T5 Main Street
Sub-Zone: T5MS-Open
Desired form
Attached
Small-to-Medium Footprint
Simple Wall Plane along Street
Building at the ROW
Small to No Side Setbacks
Up to 5 Stories
Diverse Mix of Frontages

General Use
 Primarily ground floor commercial uses with a mix of commercial and residential uses on the floors above. In the open sub-zone, the ground floor can be a combination of commercial and residential uses.

Intent
 To provide a focal point for neighborhoods that accommodates neighborhood serving retail, service, and residential uses in compact, walkable urban form.
 The open sub-zone provides the same building form but allows for a more diverse mix of uses on the ground floor, including residential, thus enabling the retail and service area to mature over time.



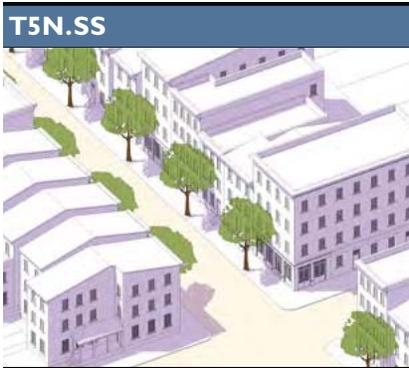
Zone(s)
T5 Neighborhood Large Setback
Sub-Zone: T5N.LS-Open
Desired form
Attached or Detached
Medium-to-Large Footprint
Simple Wall Plane setback from the Street
Medium-to-Large Front Setback
Small to Medium Side Setbacks
Up to 4 Stories
Diverse Mix of Frontages

General Use
 Primarily multi-unit residential with smaller neighborhood-supporting uses on the ground floor of the open sub-zone.

Intent
 To provide a variety of urban housing choices, in medium-to-large footprint, medium-to-high density building types, which reinforce the neighborhood's walkable nature, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives.
 The open sub-zone provides the same building form but allows for a more diverse mix of uses.

Table: 1703-2.30.A The Cincinnati Transect: Summary Table (continued)

More Urban 



Zone(s)

T5 Neighborhood Small Setback

Sub-Zone: T5N.SS-Open

Desired form

Attached or Detached

Small-to-Medium Footprint

Simple Wall Plane along Street

Building at or Close to ROW

Small to No Side Setbacks

Up to 6 Stories

Diverse Mix of Frontages

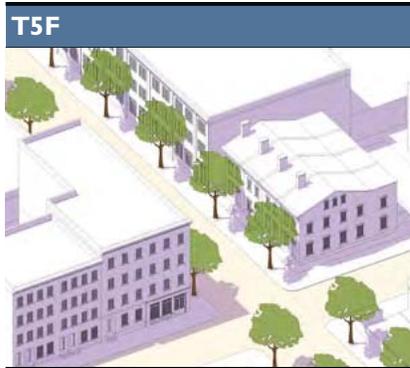
General Use

A diverse mix of residential building types, general retail, and small to medium-sized neighborhood supporting services and commercial uses.

Intent

To provide a variety of urban housing choices, in small-to-medium footprint, medium-to-high density building types, which reinforce the neighborhood's walkable nature, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives.

The open sub-zone provides the same building form but allows for a more diverse mix of uses.



Zone(s)

T5 Flex

Desired form

Attached

Small-to-Large Footprint

Simple Wall Plane along Street

Building at the ROW

Small to No Side Setbacks

Up to 4 Stories

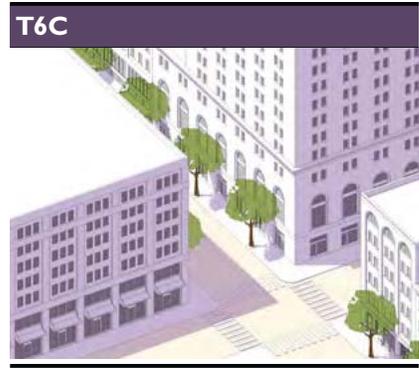
Diverse Mix of Frontages

General Use

Vertical and horizontal mixed use: retail, commercial, residential and light industrial uses on any floors. Ideal location for work/live conditions.

Intent

To provide an urban form that can accommodate a very diverse range of uses, including some light industrial, to reinforce the pattern of existing walkable neighborhoods and to encourage revitalization and investment.



Zone(s)

T6 Core

Desired form

Attached

Medium-to-Large Footprint

Simple Wall Plane along Street

Building at ROW

No Side Setbacks

4 Stories or More

Diverse Mix Of Frontages

Primarily Shopfronts

General Use

Vertical mixed use: retail, general commercial, and services on the ground floors with residential or commercial uses on upper floors.

Intent

To reinforce and enhance the vibrant, walkable urban, downtown and city core and to enable it to evolve into a complete neighborhood that provides locally and regionally serving service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices. This zone can also be used around transit nodes.

The open sub-zone provides the same building form but allows for a more diverse mix of uses.

T3 Estate (T3E)

1703-2.40 T3 Estate (T3E)



A. Intent

To protect the integrity of existing, large lot, detached homes and reinforce their role within walkable neighborhoods and to allow new neighborhoods with this component. The following are generally appropriate form elements in this zone:

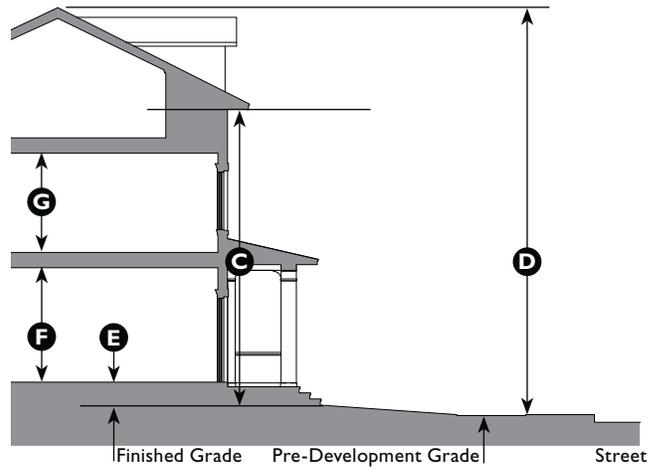
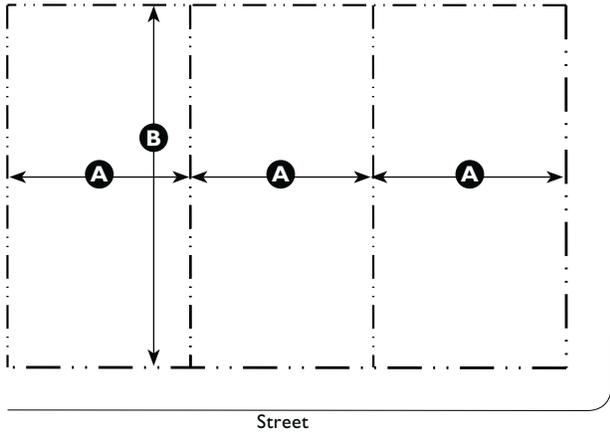
- Detached
- Wide Lot
- Medium-to-Large Footprint
- Large Front Setback
- Medium-to-Large Side Setback
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

B. Sub-zone(s)

n/a

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T3 Estate (T3E)



Key

---- ROW / Lot Line

C. Allowed Building Types			
Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Detached House: Medium	50' min.; 100' max.	100' min.	1703-3.50

D. Building Form
Height (See Section 1703-5.60)

Main Building		
Stories	2½ stories max.	
To Eave/Parapet	24' max.	C
Overall	35' max.	D

Accessory Structure(s)		
Accessory Dwellings	1½ stories max.	
Other	1 story max.	

Ground Floor Finish Level Above Street Centerline	18" min.	E
Upper Floor(s) Ceiling	8' min.	F

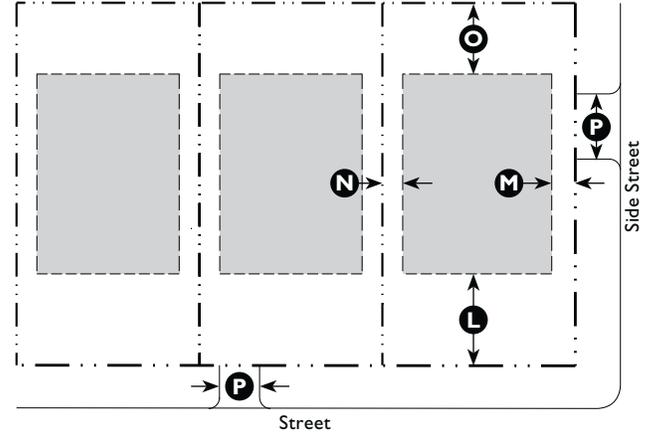
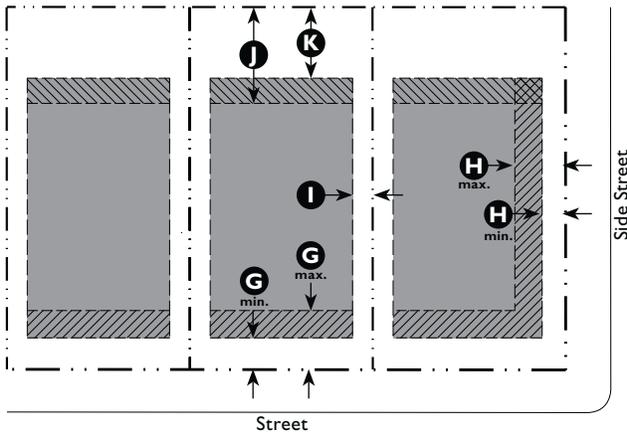
Footprint

Lot Coverage	35% max.
Accessory Structure(s)	
Width	24' max.
Depth	36' max.

Miscellaneous

Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirement.

T3 Estate (T3E)



Key

- ROW / Lot Line
- Building Setback Line
- Buildable Area
- ▨ Acc. Structures Only
- ▩ Facade Zone

Key

- ROW / Lot Line
- Parking Setback Line
- Parking Area

E. Building Placement

Setback¹ (Distance from ROW / Lot Line)²

Front	15' min.; 35' max.	G
Side Street	10' min.; 20' max.	H
Side		
Main Building	10' min.	I
Accessory Structure(s)	10' min.	
Rear		
Main Building, Lot Depth ≤ 100'	20' min.	J
Main Building, Lot Depth > 100'	Lot depth minus 80' min.	
Accessory Structure(s)	15' min.	K
Facade within Facade Zone		
Front	75% min.	
Side	50% min.	

Miscellaneous

¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

F. Parking

Required Spaces

Residential Uses		
Dwellings		1 per unit min.
Service Uses		
≤ 3,500 sf		No spaces required
>3,500 sf		2 spaces/1,000 sf min. above first 3,500 sf

For uses not listed above, see Table 1703-5.50.A (Parking Spaces Required).

No off-street parking required for uses within accessory structure(s).

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	L
Side Street Setback	20' min.	M
Side Setback	10' min.	N
Rear Setback	15' min.	O

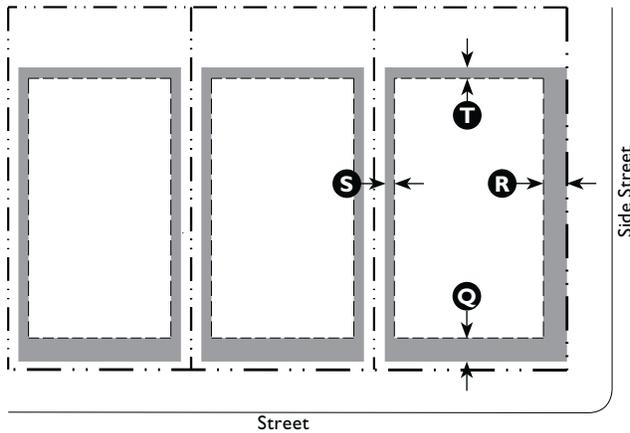
Miscellaneous

10' maximum curb cut width at street and parking driveway width within front or side street setback. P

Driveway width along an alley may be greater than 10'.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T3 Estate (T3E)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments				
	Q	R	S	T
Encroachment Type	Front	Side St.	Side	Rear
Frontage	5' max.	5' max.	—	—
Steps to Building				
Entrance	5' max.	5' max.	—	—
Architectural Features	3' max.	3' max.	3' max.	3' max.
Signage	A	A	—	—
Landscaping	A	A	A	A
Fences or Freestanding				
Wall	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A ³
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish Antennas	—	—	A	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ 4' max. height.

² 6' max. height.

³ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage	
Allowed Total Number of Signs	
Building Signs	1 per building max.
Ground Signs	1 per main main building max.
Allowed Sign Types ⁴	
Building Signs	
Wall ⁵	1703-5.80.S
Ground Signs	
Pole/Monument ⁵	1703-5.80.O
Landscape Wall ⁵	1703-5.80.M
See Subsection 1703-5.80 (Signs) for additional standards.	

⁴ Changeable copy signs allowed for public and semi-public uses only.

⁵ Allowed as identification sign for non-residential uses only.

T3 Estate (T3E)

I. T3E Use Table

Use Type	Specific Use Standards	T3E
Residential		
Dwelling		P
Accessory Dwelling		P
Home Occupation	1703-5.100.H	P
Home Office		MUP
Services		
Day Care Home:	1703-5.100.E	
Adult		UP
Type A (7 - 12 Children)		UP
Type B (1 - 6 Children)		P
Lodging: Bed & Breakfast	1703-5.100.C	P
Recreation, Education, Public Assembly		
Cemetery:		
Existing		P ¹
Expansion		UP
Cultural Institution		UP
Meeting Facilities:		
≤ 5,000 sf		MUP
> 5,000 sf		—
Park, Open Space, Playground		P
Public Safety Facility		MUP
Recreational Facility: Outdoor		UP
Religious Assembly		MUP
School: Public or Private		MUP
Studio: Art, Music, Dance		P ²

Use Type	Specific Use Standards	T3E
Agriculture		
Community Gardens	1703-5.100.D	P
Transportation, Communications, Infrastructure		
Utility		—
Wireless Telecommunications:	1703-5.100.K	
Antenna ≤ 20' tall		P
Antenna > 20' tall		UP
Facility		UP
Accessory		
Accessory Building/Structure		P

Key

P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹ Only allowed if existing before the time of adoption of this Form-Based Code.

² Only allowed in accessory structure up to 500 square feet in total size.

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T3 Neighborhood (T3N)

1703-2.50 T3 Neighborhood (T3N)



A. Intent

To protect the integrity of existing, small-to-medium lot detached homes and reinforce their role within walkable neighborhoods and to allow new neighborhoods with this component. The following are generally appropriate form elements in this zone:

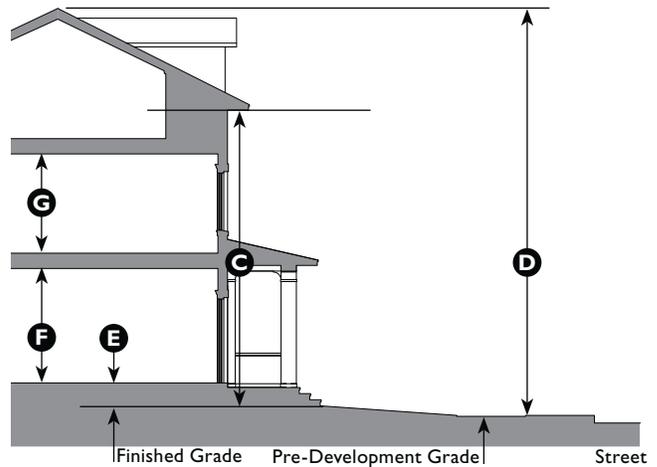
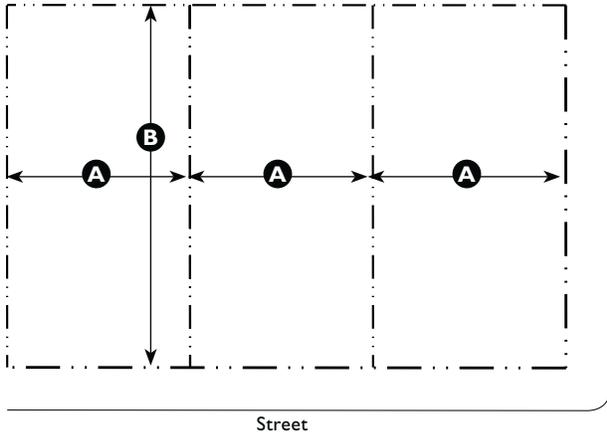
- Detached
- Narrow-to-Medium Lot Width
- Small-to-Medium Footprint
- Medium-to-Large Front Setback
- Medium-to-Large Side Setback
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

B. Sub-zone(s)

n/a

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T3 Neighborhood (T3N)



Key

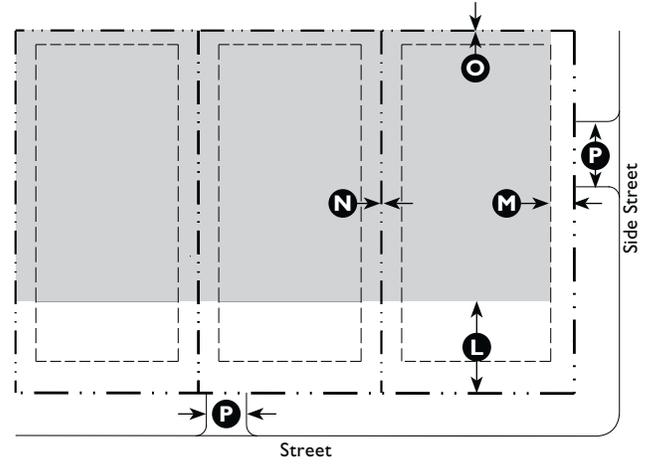
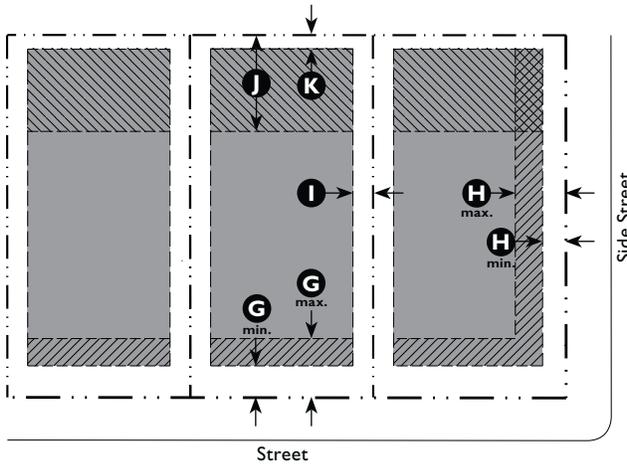
---- ROW / Lot Line

C. Allowed Building Types			
Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Detached House: Medium	50' min.; 75' max.	80' min.	1703-3.50
Detached House: Compact	30' min.; 50' max.	80' min.	1703-3.60
Cottage Court	75' min.; 175' max.	100' min.	1703-3.70
Duplex	50' min.; 75' max.	100' min.	1703-3.80

D. Building Form		
Height (See Section 1703-5.60)		
Main Building		
Stories	2½ stories max.	
To Eave/Parapet	24' max.	C
Overall	35' max.	D
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level Above Street Centerline	18" min.	E
Upper Floor(s) Ceiling	8' min.	F
Footprint		
Lot Coverage	35% max.	
Accessory Structure(s)		
Width	24' max.	
Depth	36' max.	

Miscellaneous
 Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirements.

T3 Neighborhood (T3N)



Key	Buildable Area
.... ROW / Lot Line	Acc. Structures Only
--- Building Setback Line	Facade Zone

Key	Parking Area
.... ROW / Lot Line	
--- Parking Setback Line	

E. Building Placement

Setback² (Distance from ROW / Lot Line)³

Front	15' min.; 20' max.	G
Side Street	10' min.; 20' max.	H
Side		
Main Building ¹	4' min.; 12' min. combined	I
Accessory Structure(s)	5' min.	
Rear		
Main Building Lot Depth ≤ 100'	20' min.	J
Main Building Lot Depth > 100'	Lot depth minus 80' min.	
Accessory Structure(s)	5' min.	K
Facade within Facade Zone		
Front	75% min.	
Side Street	50% min.	

F. Parking

Required Spaces

Residential Uses	
Dwellings	1 per unit min.
Service Uses	
≤ 3,500 sf	No spaces required
>3,500 sf	2 spaces/1,000 sf min. above first 3,500 sf

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A.

No off-street parking required for uses within accessory structure(s).

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	L
Side Street Setback	15' min.	M
Side Setback	0' min.	N
Rear Setback	0' min.	O

Miscellaneous

- 10' maximum curb cut width at street and parking driveway width within front or side street setback. **P**
- Driveway width along an alley may be greater than 10'.
- Driveways may be shared between adjacent parcels.

¹Side setback not required between attached duplex units.

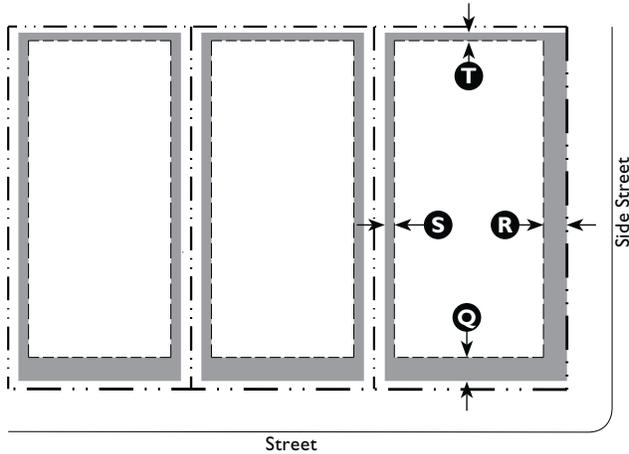
Miscellaneous

² Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

³ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T3 Neighborhood (T3N)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments				
	Q	R	S	T
Encroachment Type	Front	Side St.	Side	Rear
Frontage	5' max.	5' max.	—	—
Steps to Building				
Entrance	5' max.	5' max.	—	—
Architectural Features	3' max.	3' max.	3' max.	3' max.
Signage	A	A	—	—
Landscaping	A	A	A	A
Fences or Freestanding				
Wall	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A ³
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish Antennas	—	—	A	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ 4' max. height.

² 6' max. height.

³ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage

Allowed Total Number of Signs

Building Signs	1 per building max.
Ground Signs	1 per main building max.

Allowed Sign Types⁴

Building Signs	
Wall ⁵	1703-5.80.S
Ground Signs	
Pole/Monument ⁵	1703-5.80.O
Landscape Wall ⁵	1703-5.80.M

See Subsection 1703-5.80 (Signs) for additional standards.

⁴ Changeable copy signs allowed for public and semi-public uses only.

⁵ Allowed as identification sign for non-residential uses only.

T3 Neighborhood (T3N)

I. T3N Use Table					
Use Type	Specific Use Standards	T3N	Use Type	Specific Use Standards	T3N
Residential			Agriculture		
Dwelling		P	Community Gardens	1703-5.100.D	P
Accessory Dwelling		P	Transportation, Communications, Infrastructure		
Home Occupation	1703-5.100.H	P	Utility		—
Home Office		MUP	Wireless Telecommunications:	1703-5.100.K	
Services			Antenna ≤ 20' tall		P
Day Care Home:	1703-5.100.E		Antenna > 20' tall		MUP
Adult		UP	Facility		MUP
Type A (7 - 12 Children)		UP	Accessory		
Type B (1 - 6 Children)		P	Accessory Building/Structure		P
Lodging: Bed & Breakfast	1703-5.100.C	P			
Recreation, Education, Public Assembly					
Cemetery:					
Existing		P ¹			
Expansion		UP			
Cultural Institution		UP			
Meeting Facilities:					
≤ 5,000 sf		MUP			
> 5,000 sf		—			
Park, Open Space, Playground		P			
Public Safety Facility		MUP			
Recreational Facility: Outdoor		UP			
Religious Assembly		MUP			
School: Public or Private		MUP			
Studio: Art, Music, Dance		P ²			

Key

P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹ Only allowed if existing before the time of adoption of this Form-Based Code.

² Only allowed in accessory structure up to 500 square feet in total size.

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T4 Neighborhood Medium Footprint (T4N.MF)

1703-2.60 T4 Neighborhood Medium Footprint (T4N.MF)



A. Intent

To provide variety of housing choices, in medium footprint, medium-density building types, which reinforce the walkable nature of the neighborhood, support neighborhood-serving commercial adjacent to this zone, and support public transportation alternatives. The following are generally appropriate form elements in this zone:

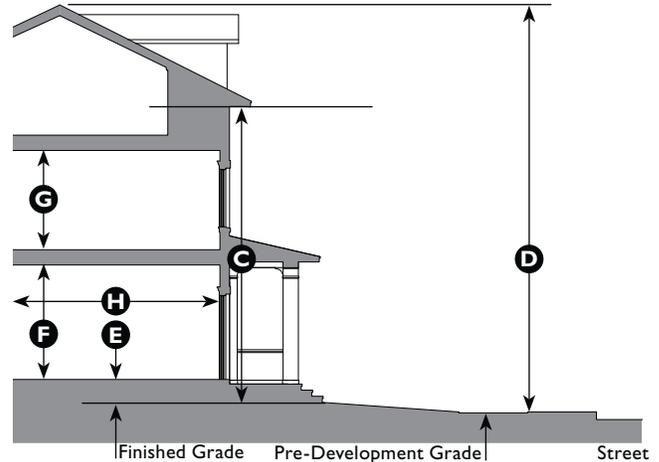
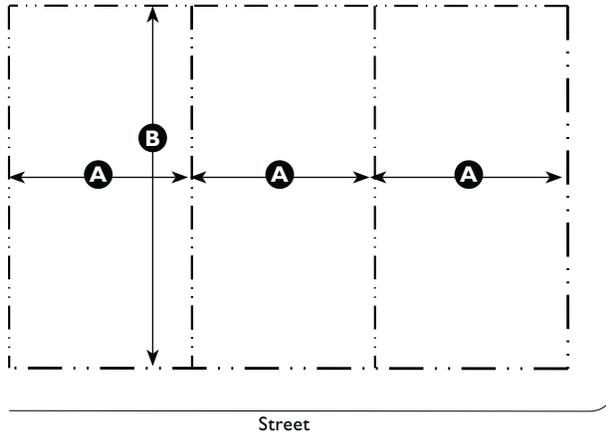
- Detached
- Medium-to-Large Lot Width
- Medium Footprint
- Medium-to-Large Front Setback
- Small-to-Medium Side Setbacks
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

B. Sub-Zone(s)

T4N.MF-Open Zone (T4N.MF-O)
 The open sub-zone provides the same building form but allows for a more diverse mix of uses.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T4 Neighborhood Medium Footprint (T4N.MF)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Detached House: Medium	50' min.; 75' max.	80' min.	1703-3.50
Detached House: Compact	40' min.; 60' max.	80' min.	1703-3.60
Duplex	50' min.; 75' max.	100' min.	1703-3.80
Rowhouse	18' min.; 35' max.	80' min.	1703-3.90
Multi-Plex: Small	50' min.; 100' max.	100' min.	1703-3.100
Multi-Plex: Large	75' min.; 100' max.	100' min.	1703-3.110

D. Building Form

Height (See Section 1703-5.60)

Main Building		
Stories	2½ stories max.	
To Eave/Parapet	24' max.	C
Overall	35' max.	D
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level Above Street Centerline	18" min.	E
Ground Floor Ceiling		F
Service or Retail	12' min.	
Upper Floor(s) Ceiling	8' min.	G

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.

Footprint

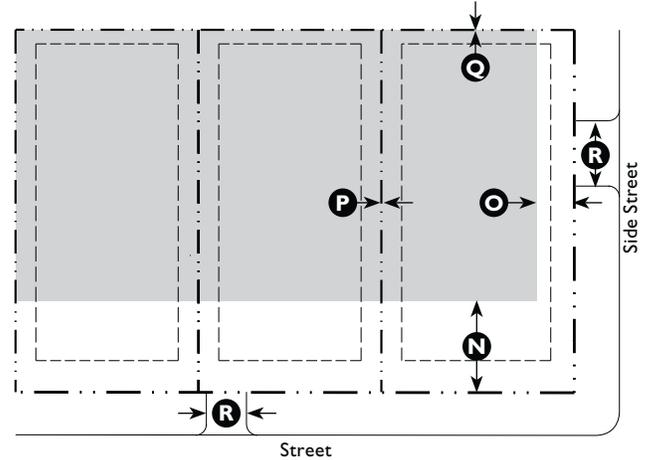
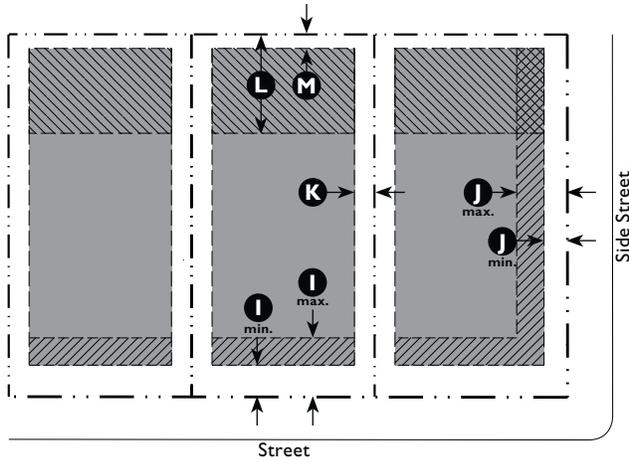
Depth, Ground-Floor Space	24' min.	H
Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

Miscellaneous

Loading docks, overhead doors, and other service entries shall be screened according to Section 1703-5.50 (7) and not be located on primary street facades.

Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirement.

T4 Neighborhood Medium Footprint (T4N.MF)



Key

- Buildable Area
- Acc. Structures Only
- Facade Zone
- ROW / Lot Line
- Building Setback Line

Key

- Parking Area
- ROW / Lot Line
- Parking Setback Line

E. Building Placement

Setback² (Distance from ROW / Lot Line)³

Front	15' min.; 25' max.	I
Side Street	10' min.; 25' max.	J
Side		
Main Building ¹	10' min.	K
Accessory Structure(s)	5' min	
Rear		
Main Building, Lot Depth ≤ 125'	25' min.	L
Main Building, Lot Depth > 125'	Lot depth minus 100' min.	
Accessory Structure(s)	5' min.	M
Facade within Facade Zone		
Front	75% min.	
Side Street	50% min.	

¹Side setback not required between attached rowhouse or duplex units.

Miscellaneous

²Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

³Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

F. Parking

Required Spaces

Residential Uses	
Studio or 1 Bedroom	½ per unit min.
2 or more Bedrooms	1 per unit min.
Service Uses	
≤ 3,500 sf	No spaces required
>3,500 sf	2 spaces/1,000 sf min. above first 3,500 sf

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A.

No off-street parking required for uses within accessory structure(s).

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	N
Side Street Setback	15' min.	O
Side Setback	0' min.	P
Rear Setback	0' min.	Q

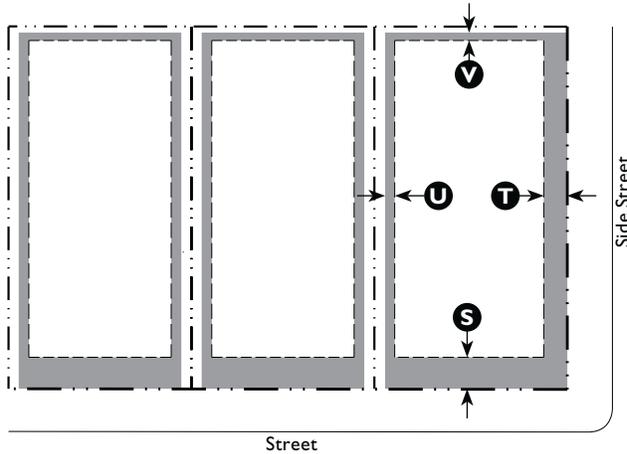
Miscellaneous

Curb Cut or Parking Driveway Width		R
≤ 40 spaces	14' max.	
> 40 spaces	18' max.	

Driveways may be shared between adjacent parcels.

¹Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T4 Neighborhood Medium Footprint (T4N.MF)



Key

- - - - ROW / Lot Line
- - - - Building Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	S	T	U	V
	Front	Side St.	Side	Rear
Frontage	10' max.	10' max.	—	—
Steps to Building				
Entrance	5' max.	5' max.	—	—
Architectural Features	3' max.	3' max.	3' max.	3' max.
Signage	A	A	—	—
Landscaping	A	A	A	A
Fences or Freestanding				
Wall	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A ³
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish Antennas	—	—	A	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ 4' max. height.

² 6' max. height.

³ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage

Allowed Total Number of Signs

Building Signs	1 per building max.
Ground Signs	1 per main building max.

Allowed Sign Types⁴

Sign Type	Code
Building Signs	
Directory ⁵	1703-5.80.L
Wall ⁵	1703-5.80.S
Ground Signs	
Pole/Monument ⁵	1703-5.80.O
Landscape Wall ⁵	1703-5.80.M

See Subsection 1703-5.80 (Signs) for additional standards.

⁴ Changeable copy sign allowed for public and semi-public uses only.

⁵ Allowed as identification sign for non-residential uses only.

T4 Neighborhood Medium Footprint (T4N.MF)

I. T4N.MF Use Table

Use Type	Specific Use Standards	T4N	
		MF	MF-O
Residential			
Dwelling		P	P
Accessory Dwelling		P	P
Home Occupation	1703-5.100.H	P	P
Home Office		MUP	MUP
Services			
Animal Services, except with the following features:	1703-5.100.A		
Boarding		UP	P
Automatic Teller Machine	1703-5.100.B	—	P
Day Care Center	1703-5.100.E	P	P
Day Care Home:	1703-5.100.E		
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging: Bed & Breakfast	1703-5.100.C	P	P
Medical Services:			
Clinic		—	P
Doctor Office		—	P
Office: Professional		—	P
Personal Services		—	P
Recreation, Education, Public Assembly			
Cultural Institution		UP	UP
Meeting Facilities		P	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		UP	UP
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P ¹	P

Use Type	Specific Use Standards	T4N	
		MF	MF-O
Industry, Manufacturing & Processing			
Artisan Production		UP	MUP
General Production		—	—
Limited Production		UP	UP
Agriculture			
Community Gardens	1703-5.100.D	P	P
Transportation, Communications, Infrastructure			
Utility		—	—
Wireless	1703-5.100.K		
Telecommunications:			
Antenna ≤ 20' tall		P	P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹ Only allowed in accessory structure up to 500 sf in total size.

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T4 Neighborhood Small Footprint (T4N.SF)

1703-2.70 T4 Neighborhood Small Footprint (T4N.SF)



A. Intent

To provide variety of urban housing choices, in small-to-medium footprint, medium-to-high density building types, which reinforce the walkable nature of the neighborhood, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives. The following are generally appropriate form elements in this zone:

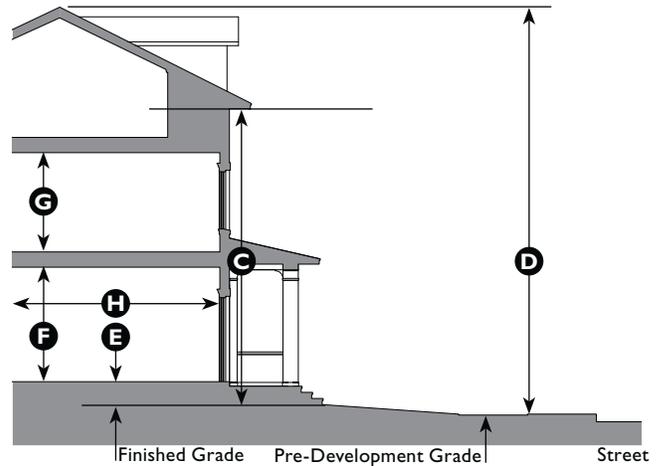
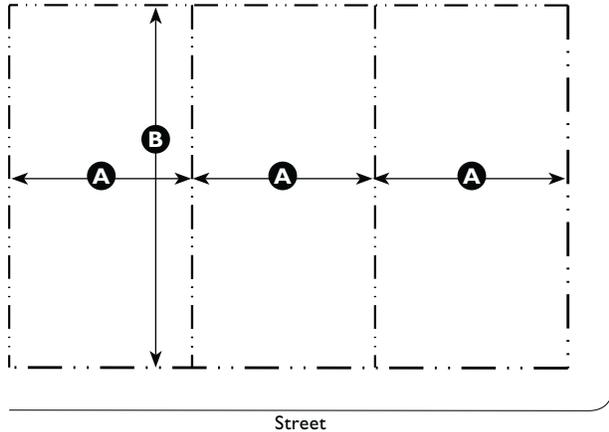
- Detached or Attached
- Narrow-to-Medium Lot Width
- Small-to-Medium Footprint
- Building at or Close to ROW
- Small to No Side Setbacks
- Up to 2½ Stories
- Elevated Ground Floor
- Primarily with Stoops and Porches

B. Sub-Zone(s)

T4N.SF-Open Zone (T4N.SF-O)
 The open sub-zone provides the same building form but allows for a more diverse mix of uses.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T4 Neighborhood Small Footprint (T4N.SF)



Key

---- ROW / Lot Line

C. Allowed Building Types			
Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Detached House: Compact	30' min.; 50' max.	75' min.	1703-3.60
Cottage Court	75' min.; 100' max.	100' min.	1703-3.70
Duplex	40' min.; 75' max.	100' min.	1703-3.80
Rowhouse	18' min.; 35' max.	80' min.	1703-3.90
Multi-Plex: Small	50' min.; 100' max.	100' min.	1703-3.100
Live/Work	18' min.; 35' max.	80' min.	1703-3.130

D. Building Form		
Height (See Section 1703-5.60)		
Main Building		
Stories	2½ stories max.	
To Eave/Parapet	24' max.	C
Overall	35' max.	D
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level		
Above Street Centerline	18" min.	E
Ground Floor Ceiling		
Service or Retail	12' min.	F
Upper Floor(s) Ceiling		
	8' min.	G
Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.		

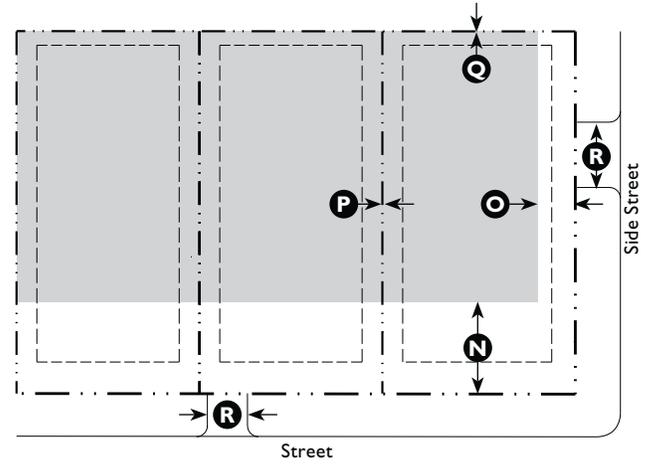
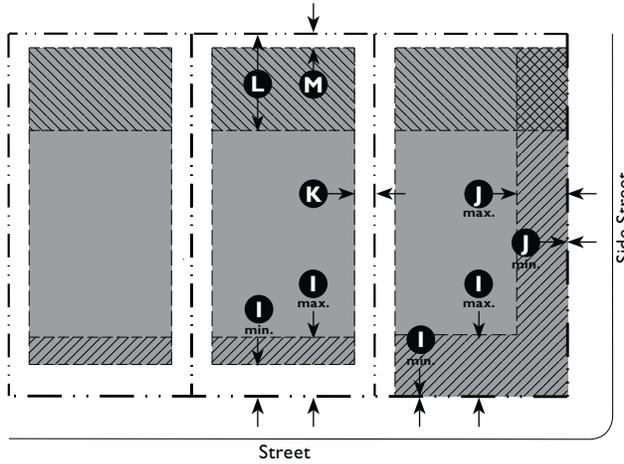
Footprint		
Depth, Ground-Floor Space	24' min.	H
Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

Miscellaneous

Loading docks, overhead doors, and other service entries shall be screened according to Section 1703-5.50 (7) and not be located on primary street facades.

Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirement.

T4 Neighborhood Small Footprint (T4N.SF)



Key

--- ROW / Lot Line	■ Buildable Area
--- Building Setback Line	▨ Acc. Structures Only
	▩ Facade Zone

Key

--- ROW / Lot Line	■ Parking Area
--- Building Setback Line	

E. Building Placement

Setback² (Distance from ROW / Lot Line)³

Front			I
Interior Lot		5' min.; 15' max.	
Corner Lot		0' min.; 15' max.	
Side Street			J
Side Street			0' min.; 15' max.
Side			
Main Building ¹		3' min.; 9' max.	K
Accessory Structure(s)		3' min.	
Rear			
Main Building, Lot Depth ≤ 100'		20' min.	L
Main Building, Lot Depth > 100'		Lot depth minus 80' min.	
Accessory Structure(s)		5' min.	M
Facade within Facade Zone			
Front		75% min.	
Side Street		50% min.	

F. Parking

Required Spaces

Residential Uses		
Studio or 1 Bedroom		½ per unit min.
2 or more Bedrooms		1 per unit min.
Service Uses		
≤ 3,500 sf		No spaces required
>3,500 sf		2 spaces/1,000 sf min. above first 3,500 sf

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A. (Parking Spaces Required)

No off-street parking required for uses within accessory structure(s).

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	N
Side Street Setback	5' min.	O
Side Setback	0' min.	P
Rear Setback	0' min.	Q

Miscellaneous

Curb Cut or Parking Driveway Width			R
≤ 40 spaces		14' max.	
> 40 spaces		18' max.	

Driveways may be shared between adjacent parcels.

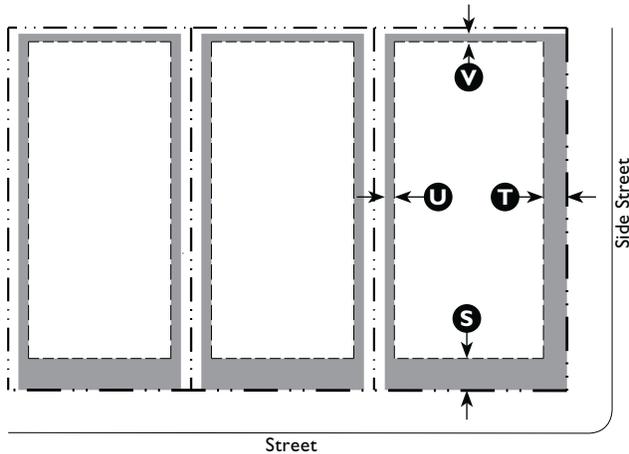
¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

¹ Side setback not required between attached rowhouse or duplex units along a common lot line

² Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

³ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T4 Neighborhood Small Footprint (T4N.SF)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments				
	S	T	U	V
Encroachment Type	Front	Side St.	Side	Rear
Frontage	10' max.	10' max.	—	—
Steps to Building				
Entrance	5' max.	5' max.	—	—
Architectural Features	3' max.	3' max.	3' max.	3' max.
Signage	A	A	—	—
Landscaping	A	A	A	A
Fences or Freestanding				
Wall	A ¹	A ¹	A ²	A ²
Driveways, Walkways	A	A	A	A ³
Utility Lines, Wires and				
Related Structures	A	A	A	A
Satellite Dish Antennas	—	—	A	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ 4' max. height.

² 6' max. height.

³ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage	
Allowed Total Number of Signs	
Building Signs	1 per building max.
Ground Signs	1 per main building max.
Allowed Sign Types ⁴	
Building Signs	
Directory ⁵	1703-5.80.L
Wall ⁵	1703-5.80.S
Ground Signs	
Pole/Monument ⁵	1703-5.80.O
Landscape Wall ⁵	1703-5.80.M

See Subsection 1703-5.80 (Signs) for additional standards.

⁴ Changeable copy sign allowed for public and semi-public uses only.

⁵ Allowed as identification sign for non-residential uses only.

T4 Neighborhood Small Footprint (T4N.SF)

I. T4N.SF Use Table

Use Type	Specific Use Standards	T4N	
		SF	SF-O
Residential			
Dwelling		P	P
Accessory Dwelling		P	P
Home Occupation	1703-5.100.H	P	P
Home Office		MUP	MUP
Services			
Animal Services, except with the following features:	1703-5.100.A		
Boarding		UP	P
Automatic Teller Machine	1703-5.100.B	—	P
Day Care Center	1703-5.100.E	P	P
Day Care Home:	1703-5.100.E		
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging: Bed & Breakfast	1703-5.100.C	P	P
Medical Services:			
Clinic		—	P
Doctor Office		—	P
Office: Professional		—	P
Personal Services		—	P
Recreation, Education, Public Assembly			
Cultural Institution		UP	UP
Meeting Facilities		P	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		UP	UP
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P ¹	P

Use Type	Specific Use Standards	T4N	
		SF	SF-O
Industry, Manufacturing & Processing			
Artisan Production		UP	MUP
General Production		—	—
Limited Production		UP	UP
Agriculture			
Community Gardens	1703-5.100.D	P	P
Transportation, Communications, Infrastructure			
Utility		—	—
Wireless	1703-5.100.K		
Telecommunications:			
Antenna ≤ 20' tall		P	P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes
¹ Only allowed in accessory structure up to 500 sf in total size.

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T5 Main Street (T5MS)

1703-2.80 T5 Main Street (T5MS)



A. Intent

To provide a focal point for neighborhoods that accommodates neighborhood serving retail, service, and residential uses in compact, walkable urban form. The following are generally appropriate form elements in this zone:

- Attached

- Small-to-Medium Footprint

- Simple Wall Plane along Street

- Building at the ROW

- Small to No Side Setbacks

- Up to 5 Stories

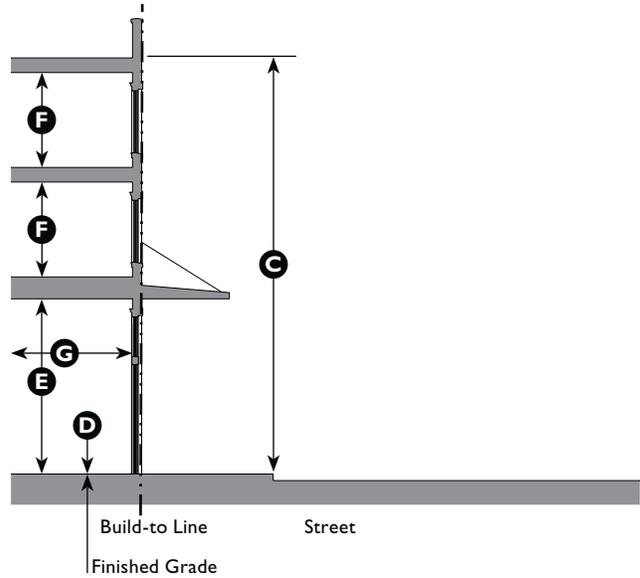
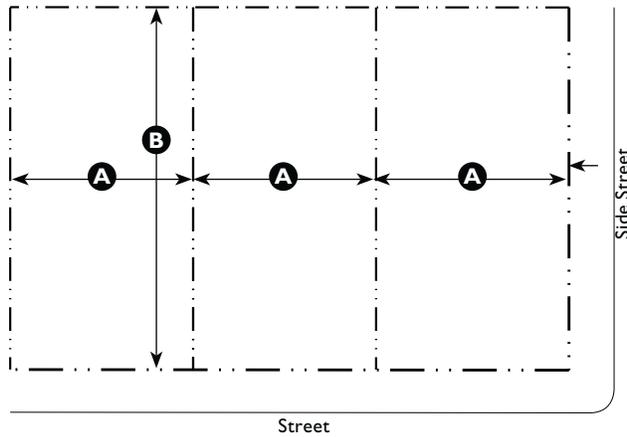
- Diverse Mix of Frontages

B. Sub-Zone(s)

T5MS-Open Zone (T5MS-O)
 The open sub-zone provides the same building form but allows for a more diverse mix of uses on the ground floor, including residential, thus enabling the retail and service area to mature over time.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T5 Main Street (T5MS)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Main Street	25' min.;	100' min.	1703-3.140
Mixed-Use	150' max.		
Mid-Rise	100' min.;	180' min.	1703-3.160,
	200' max.		1703-3.180

D. Building Form

Height (See Section 1703-5.60)		
Main Building	2 stories min.;	C
	5 stories max.	
Accessory Structure(s)	1 story max.	
Ground Floor Finish Level	6" max.	
Above Street Centerline		D
Ground Floor Ceiling	14' min.	E
Upper Floor(s) Ceiling	8' min.	F

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.

D. Building Form (continued)

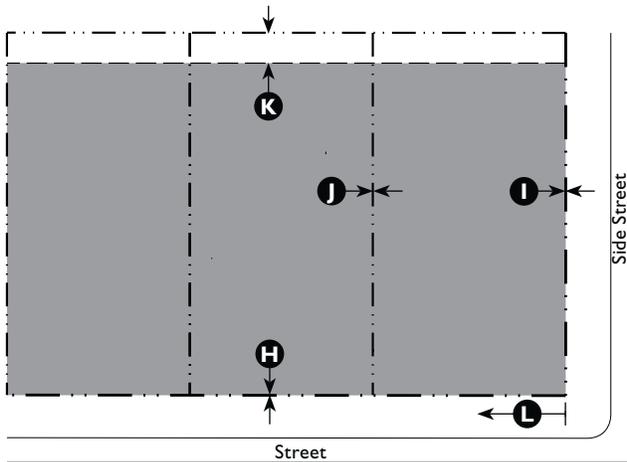
Footprint		
Depth, Ground-Floor Space	40' min.	G
Accessory Structure(s)		
Width	24' max.	
Depth	36' max.	

Miscellaneous

Distance Between Entries to		
Ground Floor (Uses)	50' max.	
Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.		

Any buildings wider than 150' must be designed to read as a series of buildings no wider than 75' each.

T5 Main Street (T5MS)



Key

- - - - ROW / Lot Line
- - - - Building Setback Line
- Buildable Area

E. Building Placement

Build-to Line (Distance from ROW / Lot Line)²

Front	0'	H
Side Street	0'	I

BTL Defined by a Building

Front	90% min.
Side Street	60% min.

Setback¹ (Distance from ROW / Lot Line)²

Side	0' min.	J
Rear		K

Adjacent to Any T5 or T6	
Zone	0' min.
Adjacent to Any Other Zone 5' min.	

Miscellaneous

BTL must be defined by a building within 30' of corner along the front. **L**

A building form with a chamfered corner is allowed only on corner lots and only if a corner entry is provided.

Entire BTL/ROW must be defined by a building or a 2' to 3' high fence or landscape wall.

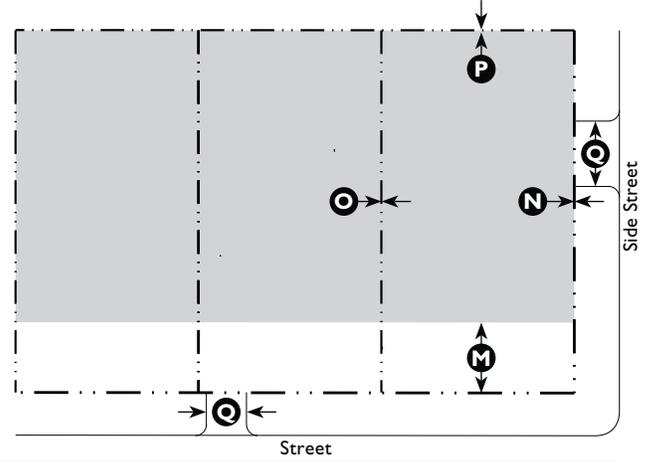
Fence materials shall not include chain link, barbed or razor wire.

Landscape walls shall have a masonry or stucco finish.

No planting strips allowed between sidewalk and building.

¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediate adjacent property.

² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public



Key

- - - - ROW / Lot Line
- - - - Parking Setback Line
- Parking Area

sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

F. Parking

Required Spaces

Residential Uses	1 per 1500 sf min.
Service or Retail Uses	
≤ 5,000 sf	No spaces required
> 5,000 sf	2 spaces/1,000 sf min. above first 5,000 sf; 4 per 1,000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A.

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	M
Side Street Setback	0' min.	N
Side Setback	0' min.	O
Rear Setback	0' min.	P

Miscellaneous

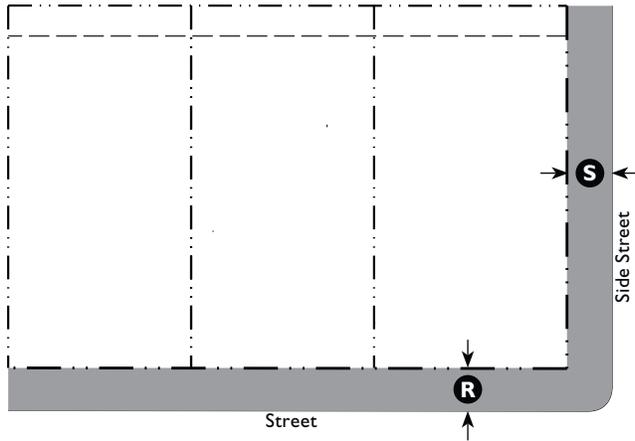
Curb Cut or Parking Driveway Width Q	
≤ 40 Spaces	14' max.
> 40 Spaces	18' max.

All parking structures must be screened from the front street by habitable space at least 40' deep from street.

Driveways may be shared between adjacent parcels.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T5 Main Street (T5MS)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	(R)	(S)
	Front	Side St.
Frontage		
Shopfront: Awning ¹	14' max.	14' max.
Other	—	—
Architectural Features	3' max.	3' max.
Signage ¹	A	A

Encroachments are not allowed across a side or rear lot line, within an Alley ROW or across a curb.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

Key A = Allowed — = Not Allowed

H. Signage

Maximum Sign Area Allowed

Building Signs Max.	1 sf per linear foot of building frontage
Ground Signs Max.	1 sf per linear foot of lot frontage

Allowed Sign Types

Building Signs		
Awning	1 per awning	1703-5.80.K
Directory	1 per building	1703-5.80.L
Marquee	1 per building	1703-5.80.N
Projecting	1 per entry door	1703-5.80.P
Suspended	1 per entry door	1703-5.80.R
Wall ²	1 per establishment	1703-5.80.S
Wall Mural	1 per building	1703-5.80.T
Window	1 per shopfront	1703-5.80.U

Ground Signs		
Landscape Wall	1 per building	1703-5.80.M
Sandwich Board	1 per establishment	1703-5.80.Q

See Subsection 1703-5.80 (Signs) for additional standards.

² Changeable copy signs allowed for public and semi-public uses.

T5 Main Street (T5MS)

I. T5MS Use Table

Use Type	Specific Use Standards	T5	
		MS	MS-O
Residential			
Dwelling		P ¹	P
Home Occupation	1703-5.100.H	P ¹	P
Home Office		P ¹	P
Retail			
General Retail, except with any of the following features:			
		P	P
Alcoholic Beverage Sales		UP	UP
Drive-Through Services	1703-5.100.F	—	—
Floor Area over 10,000 sf		UP	UP
Eating or Drinking Establishment, except with any of the following features:			
		P	P
Alcoholic Beverage Sales		UP	UP
Drive-Through Services	1703-5.100.F	—	—
Floor Area over 10,000 sf		UP	UP
Outdoor Entertainment	1703-5.100.I	P	MUP

Use Type	Specific Use Standards	T5	
		MS	MS-O
Services			
Animal Services, except with any of the following features:			
		P ¹	P
Boarding		UP	UP
Automatic Teller Machine	1703-5.100.B	P	P
Bank/Financial Services, except with the following features:			
		P	P
Drive-Through Services	1703-5.100.F	P	P
Day Care Center	1703-5.100.E	P	P
Day Care Home: 1703-5.100.E			
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging:			
Inn		P ¹	P
Hotel		P ¹	P
Medical Services:			
Clinic		P ¹	P
Doctor Office		P ¹	P
Office: Professional		P ¹	P
Personal Services		P	P
Recreation, Education, Public Assembly			
Cultural Institution		P	P
Meeting Facilities		P ¹	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		MUP ¹	MUP ¹
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P	P

Table Continues on Next Page - - - - ➔

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹Not allowed on the ground floor, except when located behind an allowed ground floor use.

T5 Main Street (T5MS)

I. T5MS Use Table (continued)

Use Type	Specific Use Standards	T5	
		MS	MS-O
Agriculture			
Community Gardens	1703-5.100.D	P	P
Industry, Manufacturing & Processing			
Artisan Production		—	P
General Production		—	—
Limited Production		—	UP
Furniture and Fixture			
Manufacturing		—	P
Media Production		—	P
Printing and Publishing		—	P

Use Type	Specific Use Standards	T5	
		MS	MS-O
Transportation, Communications, Infrastructure			
Parking Facility,			
Public or Private			UP UP
Utility		—	—
Wireless Telecommunications: 1703-5.100.K			
Antenna ≤ 20' tall		P	P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key

P Permitted Use

MUP Minor Use Permit Required

UP Use Permit Required

— Use Not Allowed

End Notes

¹ Not allowed on the ground floor, except when located behind an allowed ground floor use.

T5 Neighborhood Large Setback (T5N.LS)

1703-2.90 T5 Neighborhood Large Setback (T5N.LS)



A. Intent

To provide a variety of urban housing choices, in medium-to-large footprint, medium-to-high density building types, which reinforce the neighborhood's walkable nature, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives. The following are generally appropriate form elements in this zone:

- Attached or Detached

- Medium-to-Large Footprint

- Simple Wall Plane setback from the Street

- Medium-to-Large Front Setback

- Small to Medium Side Setbacks

- Up to 4 Stories

- Diverse Mix of Frontages

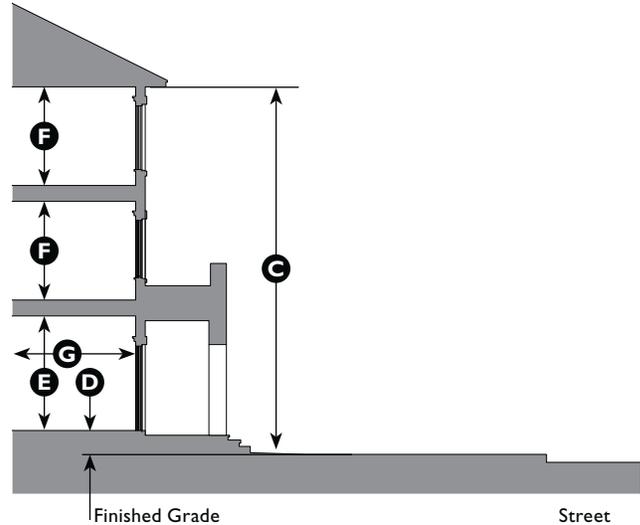
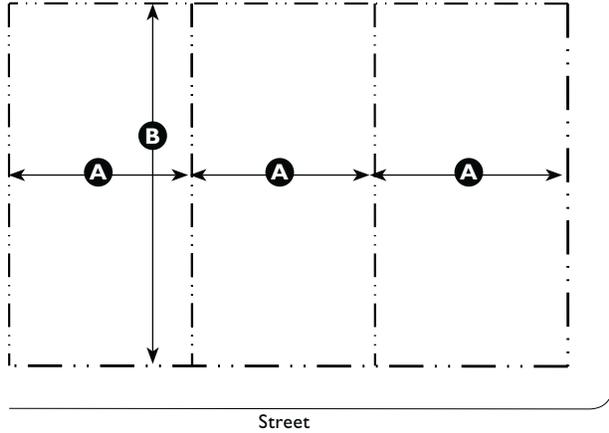
B. Sub-Zone(s)

T5N.LS-Open Zone (T5N.LS-O)

The open sub-zone provides the same building form but allows for a more diverse mix of uses.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T5 Neighborhood Large Setback (T5N.LS)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Multi-Plex: Small	50' min.; 75' max.	100' min.	1703-3.100
Multi-Plex: Large	75' min.; 100' max.	100' min.	1703-3.110
Stacked Flats	125' min.; 250' max.	180' min.	1703-3.120
Mid-Rise	100' min.; 200' max.	180' min.	1703-3.160, 1703-3.180

D. Building Form

Height (See Section 1703-5.60)

Main Building	4 stories max.	C
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level		
Above Street Centerline		D
Residential	18" min.	
Service or Retail	6" max.	

D. Building Form (continued)

Height (continued)

Ground Floor Ceiling		E
Service or Retail	14' min. from floor to ceiling	
Upper Floor(s) Ceiling	8' min. from floor to ceiling	F

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.

Within 20' of the rear lot line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.

Footprint

Depth, Ground-Floor Space	30' min.	G
Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

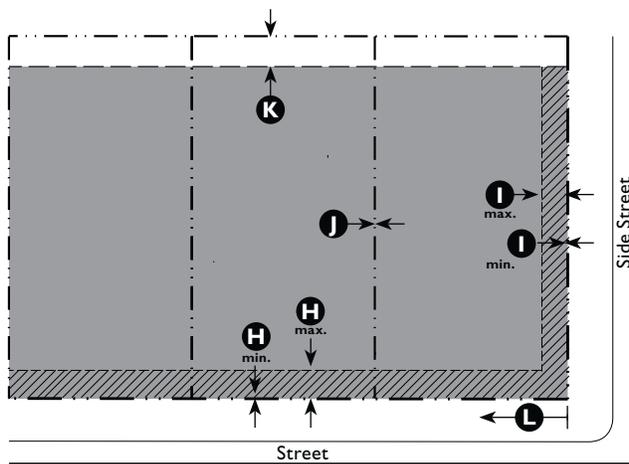
Miscellaneous

Distance Between Entries, to		
Ground Floor (Uses)	50' max.	

Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Any buildings wider than 150' must be designed to read as a series of buildings no wider than 75' each.

T5 Neighborhood Large Setback (T5N.LS)



Key

- ROW / Lot Line
- Building Setback Line
- Buildable Area
- ▨ Facade Zone

E. Building Placement

Setback¹ (Distance from ROW / Lot Line)²

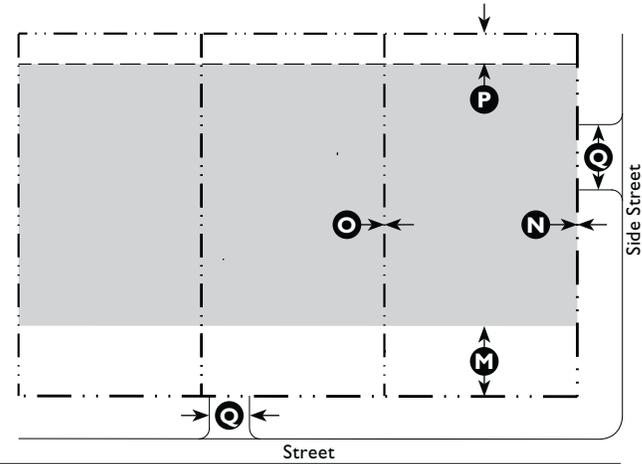
Front	15' min.; 30' max.	H
Side Street	10' min.; 25' max.	I
Side	8' min.	J
Rear		K
Adjacent to Any T5 or T6 Zone	0' min.	
Adjacent to Any Other Zone	20' min.	
Facade within Facade Zone		
Front	80% min.	
Side Street	50% min.	

Miscellaneous

- Facade zone must be defined by a building within 30' of corner along the front. **L**
- A building form with a chamfered corner is allowed only on corner lots and only if a corner entry is provided.
- Entire ROW must be defined by a building or a 2' to 3' high fence or landscape wall.
- Fence materials shall not include chain link, barbed or razor wire.
- Landscape walls shall have a masonry or stucco finish.

¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.



Key

- ROW / Lot Line
- Parking Setback Line
- Parking Area

F. Parking

Required Spaces

Residential Uses	1 per 1500 sf min.
Service or Retail Uses	
≤ 3,500 sf	No spaces required
> 3,500 sf	2 spaces/1,000 sf min. above first 3,500 sf; 4 per 1,000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).
For uses not listed above, see Table 1703-5.50.A.

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	M
Side Street Setback	5' min.	N
Side Setback	0' min.	O
Rear Setback		P
Adjacent to Any T1, T2, T3 or T4 Zone	5' min.	
Adjacent to Any Other Zone	0' min.	

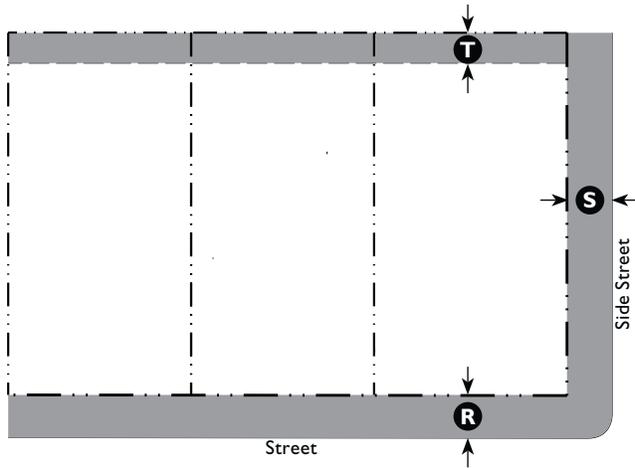
Miscellaneous

- Curb Cut or Parking Driveway Width **Q**
- ≤ 40 spaces 14' max.
- > 40 spaces 18' max.

All parking structures must be screened from the front street by habitable space at least 15' deep from street.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T5 Neighborhood Large Setback (T5N.LS)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments			
Encroachment Type	R	S	T
	Front	Side St.	Rear
Frontage			
Shopfront: Awning ¹	14' max.	14' max.	—
Other	10' max.	10' max.	—
Steps to Building Entrance	5' max.	5' max.	—
Architectural Features	3' max.	3' max.	—
Signage ¹	A	A	—
Landscaping	A	A	A
Fences or Freestanding Wall	A ²	A ²	A ³
Driveways, Walkways	A	A	A ⁴
Utility Lines, Wires and Related Structures	A	A	A
Satellite Dish Antennas	—	—	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

² 4' max. height.

³ 6' max. height.

⁴ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage

Maximum Sign Area Allowed

Building Signs Max. 1 sf per linear foot of building frontage

Ground Signs Max. 1 sf per linear foot of lot frontage

Allowed Sign Types

Building Signs		
Awning ⁶	1 per awning	1703-5.80.K
Directory ⁶	1 per building	1703-5.80.L
Marquee ⁶	1 per building	1703-5.80.N
Projecting ⁶	1 per entry door	1703-5.80.P
Suspended ⁶	1 per entry door	1703-5.80.R
Wall ^{5,6}	1 per establishment	1703-5.80.S
Wall Mural ⁶	1 per building	1703-5.80.T
Window ⁶	1 per shopfront	1703-5.80.U

Ground Signs		
Landscape Wall ⁶	1 per building	1703-5.80.M
Sandwich Board ⁶	1 per establishment	1703-5.80.Q
Yard ⁶	1 per building	1703-5.80.V

See Subsection 1703-5.80 (Signs) for additional standards.

⁵ Changeable copy signs allowed for public and semi-public uses.

⁶ Allowed as identification sign for non-residential uses only.

T5 Neighborhood Large Setback (T5N.LS)

I. T5N.LS Use Table

Use Type	Specific Use Standards	T5N	
		LS	LS-O
Residential			
Dwelling		P	P
Accessory Dwelling		P	P
Home Occupation	1703-5.100.H	P	P
Home Office		UP	P
Retail			
General Retail, except with any of the following features:		—	P
Alcoholic Beverage Sales		—	—
Drive-through Services	1703-5.100.F	—	—
Floor Area Over 10,000 sf		—	—
Eating or Drinking			
Establishment, except with any of the following features:		—	P
Alcoholic Beverage Sales		—	UP
Drive-through Services	1703-5.100.F	—	—
Floor Area Over 10,000 sf		—	—
Operating between 10pm - 7am		—	UP
Outdoor Entertainment	1703-5.100.I	—	MUP

Use Type	Specific Use Standards	T5N	
		LS	LS-O
Services			
Animal Services, except with any of the following features:		—	P
Boarding		—	UP
Automatic Teller Machine	1703-5.100.B	—	P
Bank/Financial Services, except with the following features:		—	P
Drive-Through Services	1703-5.100.F	—	—
Day Care Center	1703-5.100.E	P	P
Day Care Home:	1703-5.100.E		
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging:			
Bed & Breakfast	1703-5.100.C	P	P
Inn		UP	P
Hotel		—	P
Medical Services:			
Clinic		—	P
Doctor Office		—	P
Office: Professional		—	P
Personal Services		—	P
Recreation, Education, Public Assembly			
Cultural Institution		UP	P
Meeting Facilities		P	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		MUP	MUP
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P ¹	P

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

¹ Only allowed in accessory structure.

Table Continues on Next Page - - - - ->

T5 Neighborhood Large Setback (T5N.LS)

I. T5N.LS Use Table (continued)

Use Type	Specific Use Standards	T5N	
		LS	LS-O
Agriculture			
Community Gardens	1703-5.100.D	P	P
Industry, Manufacturing & Processing			
Artisan Production		—	P
General Production		—	—
Limited Production		—	UP
Furniture and Fixture			
Manufacturing		—	P
Media Production		—	P
Printing and Publishing		—	P

Use Type	Specific Use Standards	T5N	
		LS	LS-O
Transportation, Communications, Infrastructure			
Parking Facility: Public or			
Private		—	UP
Utility		—	—
Wireless Telecommunications: 1703-5.100.K			
Antenna ≤ 20' tall			P P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key

P Permitted Use

MUP Minor Use Permit Required

UP Use Permit Required

— Use Not Allowed

¹ Only allowed in accessory structure.

T5 Neighborhood Small Setback (T5N.SS)

1703-2.100 T5 Neighborhood Small Setback (T5N.SS)



A. Intent

To provide a variety of urban housing choices, in small-to-medium footprint, medium-to-high density building types, which reinforce the neighborhood's walkable nature, support neighborhood-serving retail and service uses adjacent to this zone, and support public transportation alternatives. The following are generally appropriate form elements in this zone:

- Attached or Detached

- Small-to-Medium Footprint

- Simple Wall Plane along Street

- Building at or Close to ROW

- Small to No Side Setbacks

- Up to 6 Stories

- Diverse Mix of Frontages

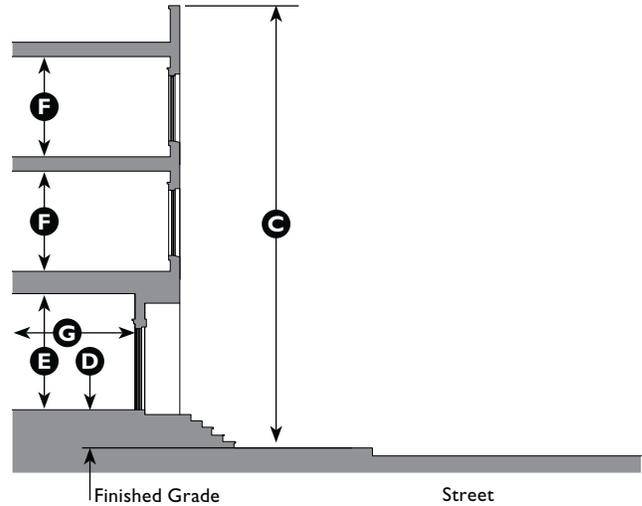
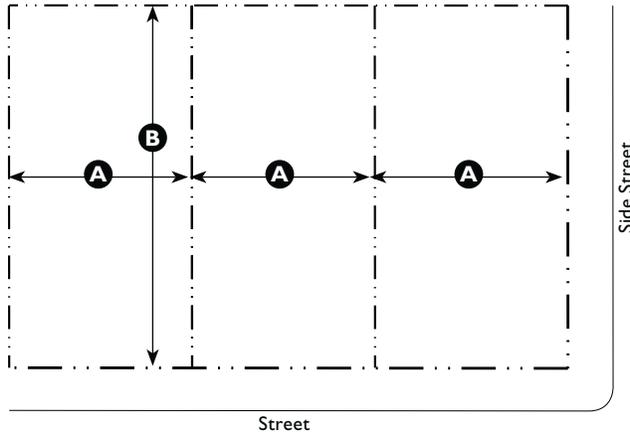
B. Sub-Zone(s)

T5N.SS-Open Zone (T5N.SS-O)

The open sub-zone provides the same building form but allows for a more diverse mix of uses.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T5 Neighborhood Small Setback (T5N.SS)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Rowhouse	18' min.; 35' max.	80' min.	1703-3.90
Multi-Plex: Small	50' min.; 75' max.	100' min.	1703-3.100
Multi-Plex: Large	75' min.; 100' max.	100' min.	1703-3.110
Stacked Flats	100' min.; 200' max.	100' min.	1703-3.120
Live/Work	18' min.; 35' max.	80' min.	1703-3.130
Main Street Mixed-Use	25' min.; 150' max.	100' min.	1703-3.140
Mid-Rise	50' min.; 200' max.	100' min.	1703-3.160, 1703-3.180

D. Building Form

Height (See Section 1703-5.60)

Main Building	6 stories max.	C
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level Above Street Centerline		D
Residential	18" min.	
Service or Retail	6" max.	

Key

D. Building Form (continued)

Height (continued)

Ground Floor Ceiling		E
Service or Retail	14' min.	
Upper Floor(s) Ceiling	8' min.	F
Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level. Within 20' of the rear lot line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.		

Footprint

Depth, Ground-Floor Space	30' min.	G
Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

Miscellaneous

Distance Between Entries, to

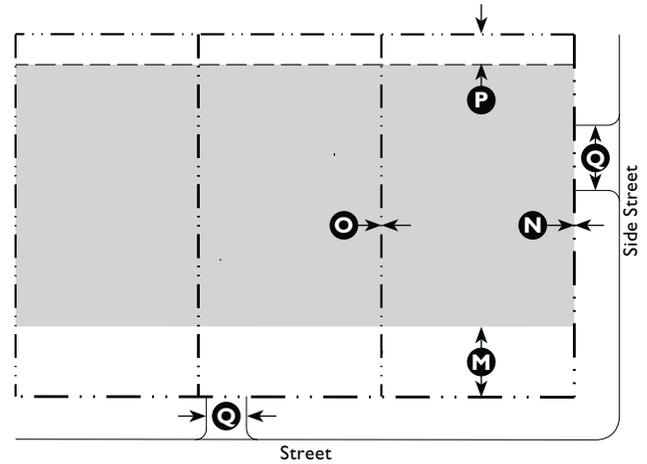
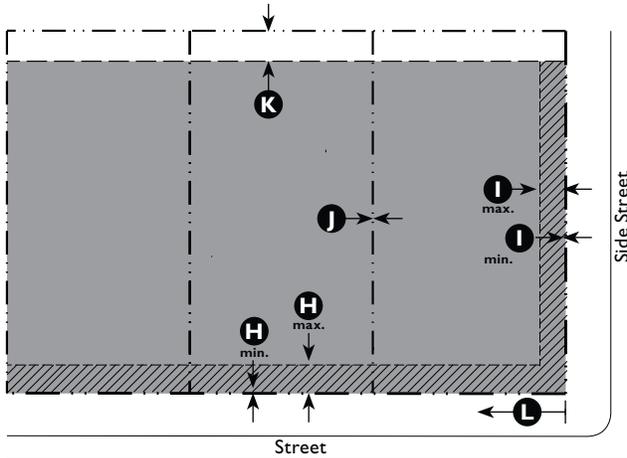
Ground Floor (Uses)	50' max.
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Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Any buildings wider than 100' must be designed to read as a series of buildings no wider than 50' each.

Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirement.

T5 Neighborhood Small Setback (T5N.SS)



- Key**
 - - - - ROW / Lot Line ■ Buildable Area
 - - - - Building Setback Line ▨ Facade Zone

- Key**
 - - - - ROW / Lot Line ■ Parking Area
 - - - - Parking Setback Line

E. Building Placement

Setback¹ (Distance from ROW / Lot Line)²

Front	10' max.	H
Side Street	10' max.	I
Side	0' min.	J
Rear		K
Adjacent to Any T5 or T6 Zone	0' min.	
Adjacent to Any Other Zone	5' min.	

Facade within Facade Zone

Front	75% min.
Side Street	50% min.

Miscellaneous

Facade zone must be defined by a building within 30' **L** of corner along the front.

A building form with a chamfered corner is allowed only on corner lots and only if a corner entry is provided.

Entire ROW must be defined by a building or a 2' to 3' high fence or landscape wall.

Fence materials shall not include chain link, barbed or razor wire.

Landscape walls shall have a masonry or stucco finish.

¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

F. Parking

Required Spaces

Residential Uses	1 per 1500 sf min.
Service or Retail Uses	
≤ 3,500 sf	No spaces required
>3,5000 sf	2 spaces/1,000 sf min. above first 3,500 sf; 4 per 1,000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A (Parking Spaces Required).

Location (Distance from ROW / Lot Line)¹

Front Setback	40' min.	M
Side Street Setback	5' min.	N
Side Setback	0' min.	O
Rear Setback		P
Adjacent to Any T1, T2, T3 or T4 Zone	5' min.	
Adjacent to Any Other Zone	0' min.	

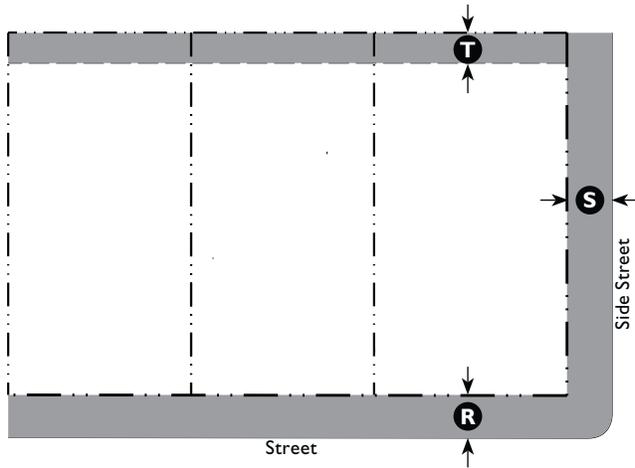
Miscellaneous

Curb Cut or Parking Driveway Width		Q
≤ 40 spaces	14' max.	
> 40 spaces	18' max.	

All parking structures must be screened from the front street by habitable space at least 15' deep from street.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T5 Neighborhood Small Setback (T5N.SS)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	R	S	T
	Front	Side St.	Rear
Frontage			
Shopfront: Awning ¹	14' max.	14' max.	—
Other	10' max.	10' max.	—
Steps to Building Entrance	5' max.	5' max.	—
Architectural Features	3' max.	3' max.	—
Signage ¹	A	A	—
Landscaping	A	A	A
Fences or Freestanding Wall	A ²	A ²	A ³
Driveways, Walkways	A	A	A ⁴
Utility Lines, Wires and Related Structures	A	A	A
Satellite Dish Antennas	—	—	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

² 4' max. height.

³ 6' max. height.

⁴ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage

Maximum Sign Area Allowed

Building Signs Max.	1 sf per linear foot of building frontage
Ground Signs Max.	1 sf per linear foot of lot frontage

Allowed Sign Types

Building Signs		
Awning ⁶	1 per awning	1703-5.80.K
Directory ⁶	1 per building	1703-5.80.L
Marquee ⁶	1 per building	1703-5.80.N
Projecting ⁶	1 per entry door	1703-5.80.P
Suspended ⁶	1 per entry door	1703-5.80.R
Wall ^{5,6}	1 per establishment	1703-5.80.S
Wall Mural ⁶	1 per building	1703-5.80.T
Window ⁶	1 per shopfront	1703-5.80.U

Ground Signs

Landscape Wall ⁶	1 per building	1703-5.80.M
Sandwich Board ⁶	1 per establishment	1703-5.80.Q
Yard ⁶	1 per building	1703-5.80.V

See Subsection 1703-5.80 (Signs) for additional standards.

⁵ Changeable copy signs allowed for public and semi-public uses.

⁶ Allowed as identification sign for non-residential uses only.

T5 Neighborhood Small Setback (T5N.SS)

I. T5N.SS Use Table

Use Type	Specific Use Standards	T5N	
		SS	SS-O
Residential			
Dwelling		P	P
Accessory Dwelling		P	P
Home Occupation	1703-5.100.H	P	P
Home Office		UP	P
Retail			
General Retail, except with any of the following features:		—	P
Alcoholic Beverage Sales		—	—
Drive-through Services	1703-5.100.F	—	—
Floor Area Over 10,000 sf		—	—
Eating or Drinking			
Establishment, except with any of the following features:		—	P
Alcoholic Beverage Sales		—	UP
Drive-through Services	1703-5.100.F	—	—
Floor Area Over 10,000 sf		—	—
Operating between 10pm - 7am		—	UP
Outdoor Entertainment	1703-5.100.I	—	MUP

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

¹ Only allowed in accessory structure.

Use Type	Specific Use Standards	T5N	
		SS	SS-O
Services			
Animal Services, except with any of the following features:		—	P
Boarding		—	UP
Automatic Teller Machine	1703-5.100.B	—	P
Bank/Financial Services, except with the following features:		—	P
Drive-Through Services	1703-5.100.F	—	—
Day Care Center	1703-5.100.E	P	P
Day Care Home:	1703-5.100.E		
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging:			
Bed & Breakfast	1703-5.100.C	P	P
Inn		MUP	P
Hotel		—	P
Medical Services:			
Clinic		—	P
Doctor Office		—	P
Office: Professional		—	P
Personal Services		—	P
Recreation, Education, Public Assembly			
Cultural Institution		UP	P
Meeting Facilities		P	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		MUP	MUP
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P ¹	P

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T5 Neighborhood Small Setback (T5N.SS)

I. T5N.SS Use Table (continued)

Use Type	Specific Use Standards	T5N	
		SS	SS-O
Agriculture			
Community Gardens	1703-5.100.D	P	P
Industry, Manufacturing & Processing			
Artisan Production		—	P
General Production		—	—
Limited Production		—	UP
Furniture and Fixture			
Manufacturing		—	P
Media Production		—	P
Printing and Publishing		—	P

Use Type	Specific Use Standards	T5N	
		SS	SS-O
Transportation, Communications, Infrastructure			
Parking Facility: Public or			
Private		—	UP
Utility		—	—
Wireless Telecommunications: 1703-5.100.K			
Antenna ≤ 20' tall		P	P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key

P Permitted Use

MUP Minor Use Permit Required

UP Use Permit Required

— Use Not Allowed

¹ Only allowed in accessory structure.

T5 Flex (T5F)

1703-2.110 T5 Flex (T5F)



A. Intent

To provide an urban form that can accommodate a very diverse range of uses, including some light industrial, in order to reinforce the pattern of existing diverse walkable neighborhoods and to encourage revitalization and investment. The following are generally appropriate form elements in this zone:

- Attached

- Small-to-Large Footprint

- Simple Wall Plane along Street

- Building at the ROW

- Up to 5 Stories

- Small to No Side Setbacks

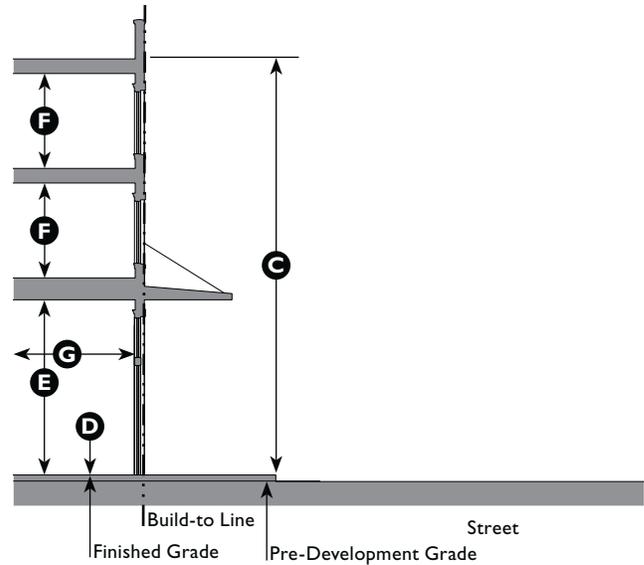
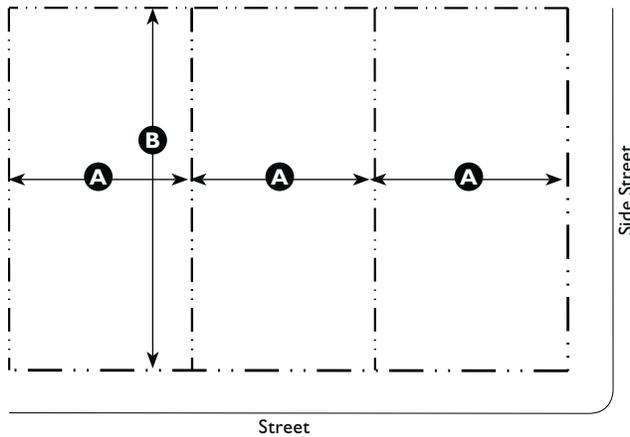
- Diverse Mix of Frontages

B. Sub-zone(s)

n/a

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T5 Flex (T5F)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	1703-3.40
Rowhouse	18' min.; 35' max.	80' min.	1703-3.90
Multi-Plex: Small	50' min.; 100' max.	100' min.	1703-3.100
Multi-Plex: Large	75' min.; 100' max.	100' min.	1703-3.110
Stacked Flats	100' min.; 150' max.	100' min.	1703-3.120
Live/Work	18' min.; 35' max.	80' min.	1703-3.130
Main Street	25' min.; 150' max.	100' min.	1703-3.140
Mixed-Use			
Flex	100' min.; 250' max.	100' min.	1703-3.150
Mid-Rise	100' min.; 200' max.	100' min.	1703-3.160, 1703-3.180

D. Building Form

Height (See Section 1703-5.60)

Main Building	5 stories max.	C
Accessory Structure(s)		
Accessory Dwellings	2 stories max.	
Other	1 story max.	
Ground Floor Finish Level Above Street Centerline		D
Residential	18" min.	
Service or Retail	6" max.	
Ground Floor Ceiling		E
Service or Retail	12' min.	
Upper Floor(s) Ceiling	8' min.	F
Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.		

Footprint

Depth, Ground-Floor Space	30' min.	G
Accessory Structure(s)		
Width	24' max.	
Depth	36' max.	

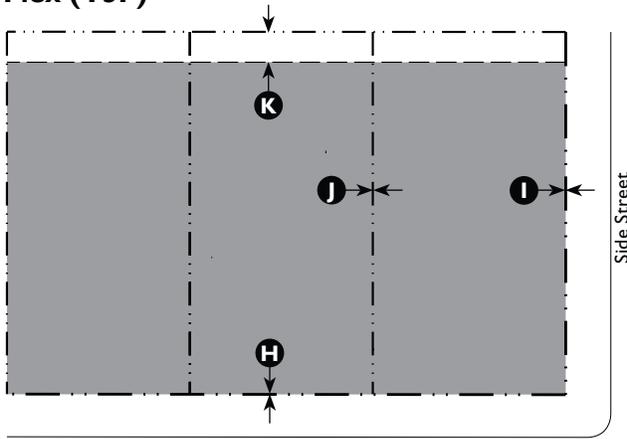
Miscellaneous

Distance Between Entries, to Ground Floor (Uses)	50' max.
--	----------

Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Administrative variations (Subsection 1703-8.30) are available if the project meets visitability standards for Ground Floor Finish Level Above Street Centerline 18" min. requirement.

T5 Flex (T5F)



Key
 - - - ROW / Lot Line ■ Buildable Area
 - - - Building Setback Line

E. Building Placement

Build-to Line (Distance from ROW / Lot Line)

Front	0'	H
Side Street	0'	I

BTL Defined by a Building

Front	40% min.
Side Street	50% min.

Setback¹ (Distance from ROW / Lot Line)²

Side	0' min.	J
Rear		K
Adjacent to Any T5 or T6 Zone	0' min.	
Adjacent to Any Other Zone	5' min.	

Miscellaneous

A building form with a chamfered corner is allowed only on corner lots and only if a corner entry is provided.

Entire BTL/ROW must be defined by a building or a fence or wall up to 7' high with closable gates at drives and loading docks.

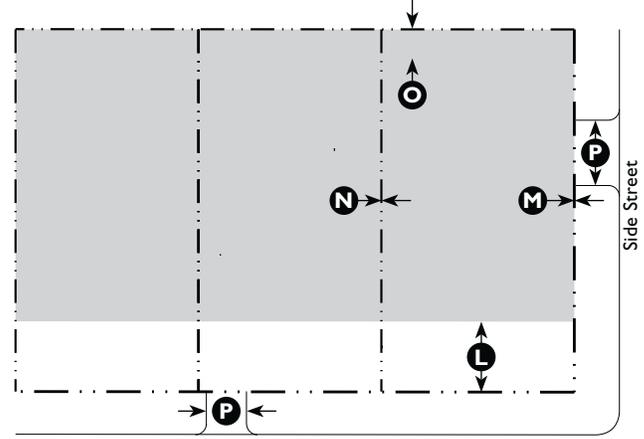
Fence materials shall not include chain link, barbed or razor wire.

Landscape walls shall have a masonry or stucco finish.

No planting strips are allowed between sidewalk and building.

¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.

² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except for where a public sidewalk exists, then the setback is measured



Key
 - - - ROW / Lot Line ■ Parking Area
 - - - Parking Setback Line

public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

Required Spaces

Residential Uses	1 per 1500 sf min.
Service or Retail Uses	
≤ 5,000 sf	No spaces required
> 5,000 sf	2 spaces/1,000 sf min. above first 5,000 sf; 4 per 1,000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A (Parking Spaces Required).

Location (Distance from ROW / Lot Line)¹

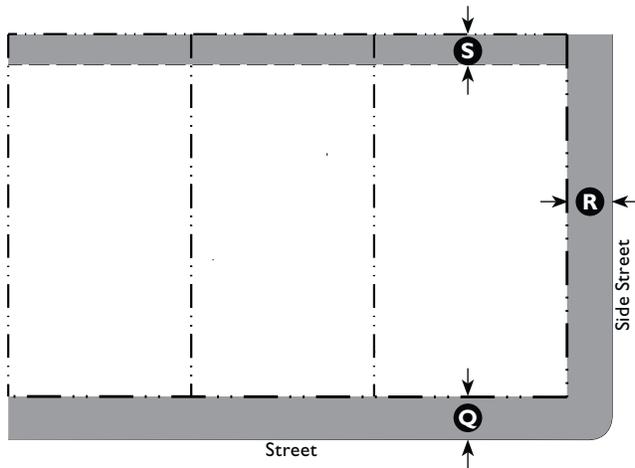
Front Setback	40' min.	L
Side Street Setback	6' min.	M
Side Setback	0' min.	N
Rear Setback		O
Adjacent to Any T1, T2, T3 or T4 Zone	5' min.	
Adjacent to Any Other Zone	0' min.	
Curb Cut or Parking Driveway Width		P
≤ 40 Spaces	14' max.	
> 40 Spaces	18' max.	

All parking structures must be screened from the front street by habitable space at least 15' deep from street.

Driveways may be shared between adjacent parcels.

¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb, except for where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T5 Flex (T5F)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	Q	R	S
	Front	Side St.	Rear
Frontage			
Shopfront: Awning ¹	14' max.	14' max.	—
Other	—	—	—
Architectural Features	3' max.	3' max.	—
Signage ¹	A	A	—
Fences or Freestanding Wall	—	—	A ³
Driveways, Walkways	—	—	A ⁴
Utility Lines, Wires and Related Structures	—	—	A
Satellite Dish Antennas	—	—	A

Encroachments are not allowed within a street ROW, alley ROW or across a lot line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

² 4' max. height.

³ 7' max. height.

⁴ Driveway only allowed when access is from an alley.

Key A = Allowed — = Not Allowed

H. Signage

Maximum Sign Area Allowed

Building Signs Max.	1 sf per linear foot of building frontage
Ground Signs Max.	1 sf per linear foot of lot frontage

Allowed Sign Types⁵

Building Signs		
Awning	1 per awning	1703-5.80.K
Directory	1 per building	1703-5.80.L
Marquee	1 per building	1703-5.80.N
Projecting	1 per entry door	1703-5.80.P
Suspended	1 per entry door	1703-5.80.R
Wall ⁵	1 per establishment	1703-5.80.S
Wall Mural	1 per building	1703-5.80.T
Window	1 per shopfront	1703-5.80.U

Ground Signs		
Landscape Wall	1 per building	1703-5.80.M
Sandwich Board	1 per establishment	1703-5.80.Q
Yard	1 per building	1703-5.80.V

See Subsection 1703-5.80 (Signs) for additional standards.

⁵ Changeable copy signs allowed for public and semi-public uses.

T5 Flex (T5F)

I. T5F Use Table

Use Type	Specific Use Standards	T5F
Residential		
Dwelling		P
Accessory Dwelling		P
Home Occupation	1703-5.100.H	P
Home Office		P
Retail		
General Retail, except with any of the following features:		P
Alcoholic Beverage Sales		—
Drive-through Services	1703-5.100.F	P
Floor Area Over 10,000 sf		—
Eating or Drinking Establishment, except with any of the following features:		P
Alcoholic Beverage Sales		UP
Drive-Through Services	1703-5.100.F	—
Floor Area over 10,000 sf		—
Operating between 10pm - 7am		UP
Outdoor Entertainment	1703-5.100.I	MUP

Use Type	Specific Use Standards	T5F
Services		
Animal Services, except with any of the following features:		P
Boarding		P
Automatic Teller Machine	1703-5.100.B	P
Bank/Financial Services, except with the following features:		P
Drive-Through Services	1703-5.100.F	—
Day Care Center	1703-5.100.E	P
Day Care Home:	1703-5.100.E	
Adult		P
Type A (7 - 12 Children)		P
Type B (1 - 6 Children)		P
Lodging:		
Bed & Breakfast	1703-5.100.C	P
Inn		P
Hotel		P
Medical Services:		
Clinic		P
Doctor Office		P
Office: Professional		P
Personal Services		P
Recreation, Education, Public Assembly		
Cultural Institution		P
Meeting Facilities		P
Park, Open Space, Playground		P
Public Safety Facility		P
Recreational Facility:		
Indoor ≤ 1,000 sf		P
Indoor > 1,000 sf		UP
Outdoor		MUP
Religious Assembly		P
School: Public or Private		P
Studio: Art, Music, Dance		P

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

Table Continues on Next Page - - - - ->

T5 Flex (T5F)

I. T5F Use Table (continued)

Use Type	Specific Use Standards	T5F
Agriculture		
Community Gardens	1703-5.100.D	P
Industry, Manufacturing & Processing		
Furniture and Fixture		
Manufacturing		P
Media Production		P
Printing and Publishing		P
Production:		
Artisan		P
General		MUP
Intensive High Impact		—
Limited		P
Storage:		
Outdoor		P
Personal Storage Facility		P
Research and Development		P
Wholesaling and Distribution		P

Use Type	Specific Use Standards	T5F
Transportation, Communications, Infrastructure		
Parking Facility: Public or		
Private		UP
Utility		—
Wireless Telecommunications: 1703-5.100.K		
Antenna ≤ 20' tall		P
Antenna > 20' tall		MUP
Facility		MUP
Accessory		
Accessory Building/Structure		P

Key

P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

T6 Core (T6C)

1703-2.120 T6 Core (T6C)



A. Intent

To reinforce and enhance the downtown city core and to enable it to evolve into a complete neighborhood that provides local and regional service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices. This zone can also be used around transit nodes. The following are generally appropriate form elements in this zone:

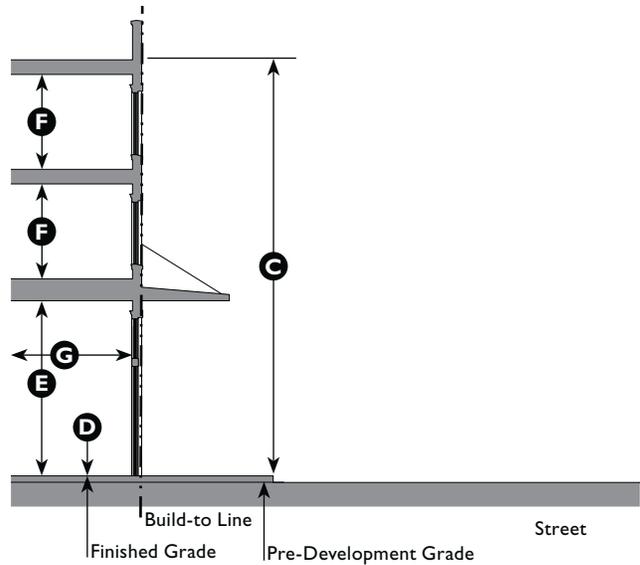
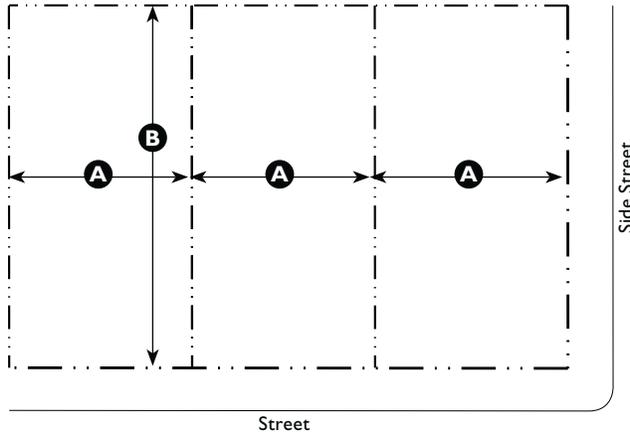
- Attached
- Medium-to-Large Footprint
- Simple Wall Plane along Street
- Building at ROW
- No Side Setbacks
- 4 Stories or More
- Diverse Mix of Frontages
- Primarily Shopfronts

B. Sub-Zone(s)

T6C-Open Zone (T6C-O)
 The open sub-zone provides the same building form but allows for a more diverse mix of uses.

General note: The drawing above is intended to provide a brief overview of this transect zone and is illustrative only.

T6 Core (T6C)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Main Street	25' min.;	100' min.	1703-3.140
Mixed-Use	150' max.		
Mid-Rise	50' min.;	100' min.	1703-3.160,
	250' max.		1703-3.180
High-Rise	100' min.;	100' min.	1703-3.170,
	300' max.		1703-3.180

D. Building Form
Height (See Section 1703-5.60)

Main Building	4 stories min.	C
Accessory Structure(s)	1 story max.	
Ground Floor Finish Level above Street Centerline	6" max.	D
Ground Floor Ceiling		E
Service or Retail	14' min.	
Upper Floor(s) Ceiling	9' min.	F

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.

Within 20' of the rear lot line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.

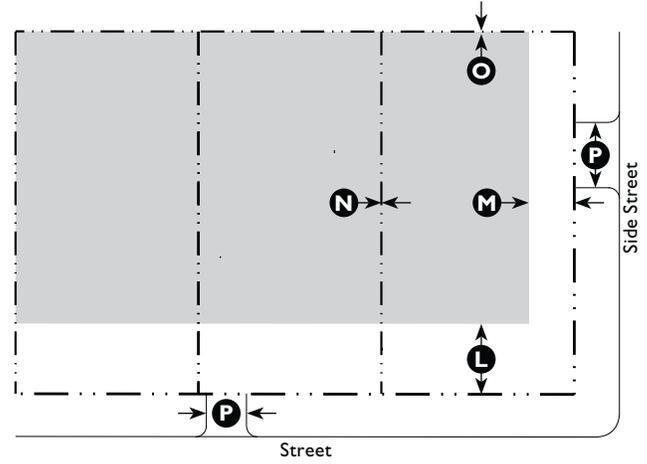
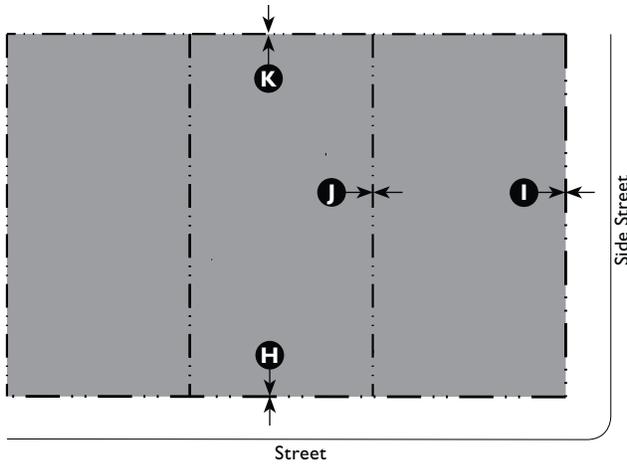
D. Building Form (continued)

Footprint		
Per Section 1703-3 (Specific to Building Types)		
Depth, Ground-Floor Space	50' min.	G
Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

Miscellaneous

Distance Between Entries, to	
Ground Floor (Uses)	50' max.
Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.	
All mechanical equipment and utilities must be screened from view from the street.	

T6 Core (T6C)



Key

- ROW / Lot Line
- Building Setback Line
- Buildable Area

E. Building Placement

Build-to Line (Distance from ROW / Lot Line)

Front	0'	H
Side Street	0'	I
BTL Defined by a Building		
Front	100%	
Side Street	80% min.	

Setback¹ (Distance from ROW / Lot Line)²

Side	0' max.	J
Rear	0' min.	K

Miscellaneous

- ¹ Where existing adjacent buildings are in front of the regulated minimum front setback, the building may be set to align with the front building facade of the most immediately adjacent property.
- ² Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

Key

- ROW / Lot Line
- Parking Setback Line
- Parking Area

F. Parking

Required Spaces

Residential Uses	No min.
Service, Retail, Recreation, Education, Public Assembly Uses	No min.; 4 per 1000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).

For uses not listed above, see Table 1703-5.50.A (Parking Spaces Required).

Location (Distance from ROW / Lot Line)¹

Front Setback		L
Ground Floor	50' min.	
Upper Floors	30' min.	
Side Street Setback		M
Ground Floor	30' min.	
Upper Floors	0' min.	
Side Setback	0' min.	N
Rear Setback	0' min.	O

Miscellaneous

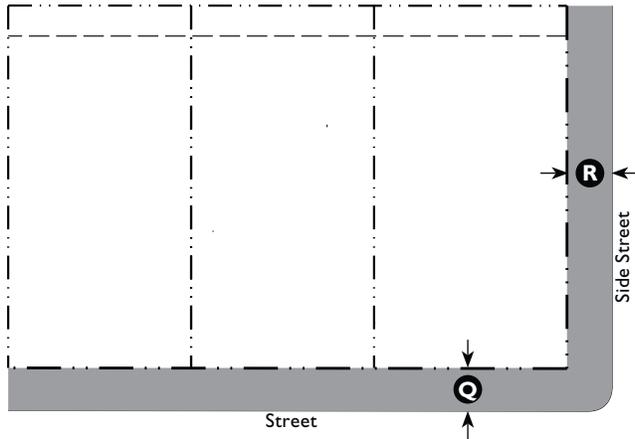
Curb Cut or Parking Driveway Width		P
≤ 40 spaces	14' max.	
> 40 spaces	18' max.	

All parking structures must be screened from the front street by habitable space at least 15' deep from street.

Driveways may be shared between adjacent parcels.

- ¹ Where the lot line extends to the centerline of the street, the setback is measured from the closest edge of the curb, or presumable curb except where a public sidewalk exists, then the setback is measured from the closest edge of the public sidewalk.

T6 Core (T6C)



Key

- ROW / Lot Line
- Building Setback Line
- Encroachment Area

G. Encroachments

Encroachment Type	Ⓚ	Ⓡ
	Front	Side St.
Frontage		
Shopfront: Awning ¹	14' max.	14' max.
Other	—	—
Architectural Features	3' max.	3' max.
Signage ¹	A	A

Encroachments are not allowed across a side or rear lot line, within an Alley ROW or across a curb.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

Key A = Allowed — = Not Allowed

H. Signage

Maximum Sign Area Allowed

Building Signs Max.	1 sf per linear foot of building frontage
Ground Signs Max.	1 sf per linear foot of lot frontage

Allowed Sign Types

Building Signs		
Awning	1 per awning	1703-5.80.K
Directory	1 per building	1703-5.80.L
Marquee	1 per building	1703-5.80.N
Projecting	1 per entry door	1703-5.80.P
Suspended	1 per entry door	1703-5.80.R
Wall ²	1 per establishment	1703-5.80.S
Wall Mural	1 per building	1703-5.80.T
Window	1 per shopfront	1703-5.80.U

Ground Signs		
Landscape Wall	1 per building	1703-5.80.M
Sandwich Board	1 per establishment	1703-5.80.Q

See Subsection 1703-5.80 (Signs) for additional standards.

² Changeable copy signs allowed for public and semi-public uses.

T6 Core (T6C)

I. T6C Use Table

Use Type	Specific Use Standards	T6	
		C	C-O
Residential			
Dwelling		P ¹	P
Home Occupation	1703-5.100.H	P ¹	P
Home Office		UP ¹	P
Retail			
General Retail, except with any of the following features:			
		P	P
Alcoholic Beverage Sales		UP	UP
Drive-Through Services	1703-5.100.F	—	—
Floor Area over 10,000 sf		UP	UP
Eating or Drinking Establishment, except with any of the following features:			
		P	P
Alcoholic Beverage Sales		UP	UP
Drive-Through Services	1703-5.100.F	—	—
Floor Area over 10,000 sf		UP	UP
Outdoor Entertainment	1703-5.100.I	P	MUP

Use Type	Specific Use Standards	T6	
		C	C-O
Services			
Animal Services, except with any of the following features:			
		P ¹	P
Boarding		UP ¹	UP
Automatic Teller Machine	1703-5.100.B	P	P
Bank/Financial Services, except with the following features:			
		P	P
Drive-Through Services	1703-5.100.D	—	—
Day Care Center	1703-5.100.E	P	P
Day Care Home: 1703-5.100.E			
Adult		P	P
Type A (7 - 12 Children)		UP	P
Type B (1 - 6 Children)		P	P
Lodging:			
Inn		P ¹	P
Hotel		P ¹	P
Medical Services:			
Clinic		P ¹	P
Doctor Office		P ¹	P
Office: Professional		P ¹	P
Personal Services		P	P

Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹ Not allowed on the ground floor, except when located behind an allowed ground floor use.

Recreation, Education, Public Assembly			
Cultural Institution		P	P
Meeting Facilities		P ¹	P
Park, Open Space, Playground		P	P
Public Safety Facility		P	P
Recreational Facility:			
Indoor ≤ 1,000 sf		P	P
Indoor > 1,000 sf		UP	UP
Outdoor		MUP ¹	MUP ¹
Religious Assembly		P	P
School: Public or Private		P	P
Studio: Art, Music, Dance		P	P

Table Continues on Next Page - - - - ->

T6 Core (T6C)

I. T6C Use Table (continued)

Use Type	Specific Use Standards	T6	
		C	C-O
Agriculture			
Community Gardens	1703-5.100.D	P	P
Industry, Manufacturing & Processing			
Artisan Production		—	P
General Production		—	—
Limited Production		—	UP
Furniture and Fixture			
Manufacturing		—	P
Media Production		—	P
Printing and Publishing		—	P

Use Type	Specific Use Standards	T6	
		C	C-O
Transportation, Communications, Infrastructure			
Parking Facility,			
Public or Private			UP UP
Utility		—	—
Wireless Telecommunications: 1703-5.100.K			
Antenna ≤ 20' tall		P	P
Antenna > 20' tall		MUP	MUP
Facility		MUP	MUP
Accessory			
Accessory Building/Structure		P	P

Key

P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
—	Use Not Allowed

End Notes

¹ Not allowed on the ground floor, except when located behind an allowed ground floor use.

Section 1703-3: Specific to Building Types

Subsections:

1703-3.10	Purpose
1703-3.20	Applicability
1703-3.30	Building Types Overview
1703-3.40	Carriage House
1703-3.50	Detached House: Medium
1703-3.60	Detached House: Compact
1703-3.70	Cottage Court
1703-3.80	Duplex
1703-3.90	Rowhouse
1703-3.100	Multi-plex: Small
1703-3.110	Multi-plex: Large
1703-3.120	Stacked Flats
1703-3.130	Live/Work
1703-3.140	Main Street Mixed-Use
1703-3.150	Flex
1703-3.160	Mid-Rise
1703-3.170	High-Rise
1703-3.180	Additional Standards for Mid-Rise and High-Rise Building Types

1703-3.10 Purpose

This Section sets forth the standards applicable to the development of each building type. These standards supplement the standards for each zone within which the building types are allowed. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Cincinnati's neighborhoods and downtown.

1703-3.20 Applicability

- A. The requirements of this Section shall apply to all proposed development with Residential, Service, Retail Accessory, and Industry, Manufacturing & Processing uses within the transect zones, and shall be considered in combination with the standards for the applicable zone in Section 1703-2 (Specific to Transect Zones) and in the rest of this Section.
- B. Development with Recreation, Education, Public Assembly, Transportation, Communications and/or Infrastructure uses shall comply with the standards for the applicable zone in Section 1703-2 (Specific to Transect Zones), but shall not be required to meet the standards of this Section.

1703-3.30 Building Types Overview

- A. This Subsection provides an overview of the allowed building types. The names of the building types are not intended to limit uses within a building type. For example, a detached house may have non-residential uses within it, such as a restaurant or office. Table A (Building Types General) provides an overview of building types.

- B. The lot size standards for each building type is codified in the transect zones. See Section 1703-2 (specific to Transect Zones). The lot size designates the range of lot sizes on which the given building type is allowed to be built on. If the lot is smaller or larger than the allowed lot size, a different building type shall be selected.
- C. Each lot shall only have one building type, except as follows:
 - 1. Where allowed by the applicable zone in Section 1703-2 (Specific to Transect Zones) and primary building type, one Carriage House is also allowed; and/or
 - 2. More than one building type is allowed on a lot if the submitted building permit application includes a site plan that meets all the requirements of Chapter 1703.
- D. The Carriage House building type is the only accessory structure in which accessory dwelling units are allowed in transect zones.
- E. Secondary wings and accessory structures shall have a smaller footprint, a narrower width, and a depth not greater than the main building.
- F. Table A (Building Types General) provides an overview of building types.

Table 1703-3.30.A: Building Types General

Building Type

Transect Zones



Carriage House. This building type is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit, home office space, or other small commercial or service use that may be above a garage or at ground level. This type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS
T5N.SS	T5F
T6C	



Detached House: Medium. This building type is a medium-sized detached structure on a medium-sized lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS
T5N.SS	T5F
T6C	



Detached House: Compact. This building type is a small detached structure on a small lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS
T5N.SS	T5F
T6C	



Cottage Court. This building type consists of a series of small, detached structures providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rear yard and becomes an important community-enhancing element of this type. This type is appropriately scaled to fit within primarily single-family or medium-density neighborhoods. It enables appropriately scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS
T5N.SS	T5F
T6C	



Duplex. This building type is a small to medium sized structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS
T5N.SS	T5F
T6C	

Key

T# Allowed

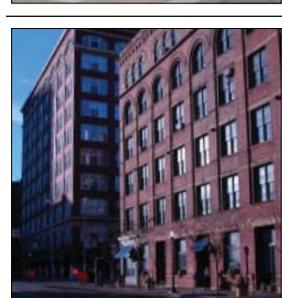
T# Not Allowed

Table 1703-3.30.A: Building Types General (continued)

Building Type	Transect Zones										
 <p>Rowhouse/Townhouse. This building type is a small-to medium-sized typically attached structure that consists of 2–8 rowhouses placed side-by-side. In a feature unique to Cincinnati, this type may also occasionally be detached with minimal separations between the buildings. This type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N										
T4N.MF	T4N.SF										
T5MS	T5N.LS										
T5N.SS	T5F										
T6C											
 <p>Multi-plex: Small. This building type is a medium structure that consists of 3–6 side-by-side and/or stacked dwelling units typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N										
T4N.MF	T4N.SF										
T5MS	T5N.LS										
T5N.SS	T5F										
T6C											
 <p>Multi-plex: Large. This building type is a medium-to large-sized structure that consists of 7–18 side-by-side and/or stacked dwelling units, typically with one shared entry. This type is appropriately scaled to fit in within medium-density neighborhoods or sparingly within large lot predominantly single-family neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N										
T4N.MF	T4N.SF										
T5MS	T5N.LS										
T5N.SS	T5F										
T6C											
 <p>Stacked Flats. This building type is a medium-to large-sized structure that consists of multiple dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or may share a common entry. This type is appropriately scaled to fit adjacent to neighborhood serving main streets and walkable urban neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This building type may include a courtyard.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N										
T4N.MF	T4N.SF										
T5MS	T5N.LS										
T5N.SS	T5F										
T6C											
 <p>Live/Work. This building type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N										
T4N.MF	T4N.SF										
T5MS	T5N.LS										
T5N.SS	T5F										
T6C											

Key T# Allowed T# Not Allowed

Table 1703-3.30.A: Building Types General (continued)

	Building Type	Transect Zones										
	<p>Main Street Mixed-Use. This building type is a small-to medium-sized structure, typically attached, intended to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N											
T4N.MF	T4N.SF											
T5MS	T5N.LS											
T5N.SS	T5F											
T6C												
	<p>Flex. This building type is a medium-to large-sized structure, 1–3 stories tall, and built on a large lot that incorporates structured parking. It can be used to provide a vertical mix of uses with ground-floor industrial, service, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, service or residential, where ground floor retail is not appropriate. This type is a primary component of an urban flexible neighborhood that provides a mix of buildings.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N											
T4N.MF	T4N.SF											
T5MS	T5N.LS											
T5N.SS	T5F											
T6C												
	<p>Mid-Rise. This building type is a medium-to large-sized structure, 4–8 stories tall, built on a large lot that typically incorporates structured parking. It can be used to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses; or may be a single-use building, typically service or residential, where ground floor retail is not appropriate. This type is a primary component of an urban downtown providing high-density buildings.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N											
T4N.MF	T4N.SF											
T5MS	T5N.LS											
T5N.SS	T5F											
T6C												
	<p>High-Rise. This building type is a large-sized structure with portions or all of the building more than eight stories tall, built on a large lot that typically incorporates structured parking. It is used to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses. This type is a primary component of an urban downtown providing high-density buildings.</p>	<table border="1"> <tr><td>T3E</td><td>T3N</td></tr> <tr><td>T4N.MF</td><td>T4N.SF</td></tr> <tr><td>T5MS</td><td>T5N.LS</td></tr> <tr><td>T5N.SS</td><td>T5F</td></tr> <tr><td>T6C</td><td></td></tr> </table>	T3E	T3N	T4N.MF	T4N.SF	T5MS	T5N.LS	T5N.SS	T5F	T6C	
T3E	T3N											
T4N.MF	T4N.SF											
T5MS	T5N.LS											
T5N.SS	T5F											
T6C												

Key T# Allowed T# Not Allowed

1703-3.40 Carriage House



Example of a Carriage House accessed along a side street



Alley-loading Carriage House with small living unit above



One-and-a-half-story Carriage House with an internal stair

A. Description

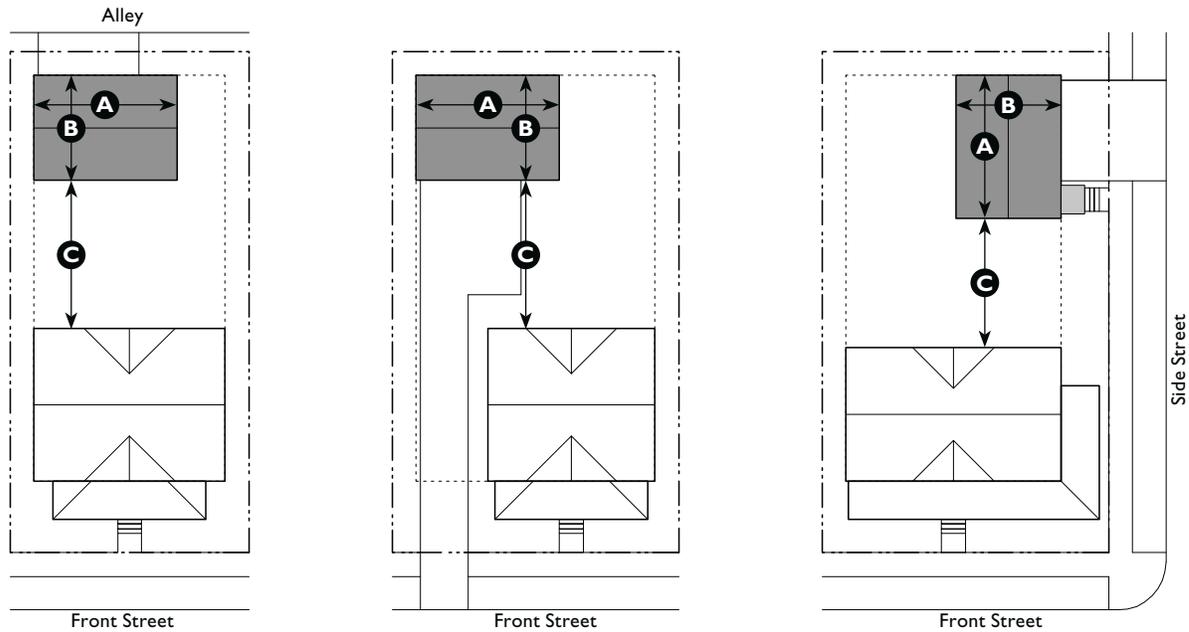
The Carriage House building type is an accessory structure typically located at the rear of a lot. This structure typically provides either a small residential unit, home office space, or other small commercial or service use that may be above a garage or at ground level. This building type is important for providing affordable housing opportunities and incubating small businesses within walkable neighborhoods.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building
- Frontage

B. Lot

Only allowed on lots where the main building has a residential use and is one of the following building types: Detached House: Medium; Detached House: Compact; Duplex; Rowhouse; or Multi-plex: Small.

C. Number of Units

Units per Building 1 max.
 Carriage Houses per Lot 1 max.

D. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width 36' max. **(A)**
 Depth 30' max. **(B)**
 Separation from Main Building 10' min.¹ **(C)**

¹ Carriage house may be connected to the main building by an uninhabitable space such as a breezeway.

Miscellaneous

Carriage houses shall not be taller or have a larger footprint than the main building on the lot.

E. Allowed Frontage Types

Stoop 1703-4.70

Carriage houses are not required to have a frontage type.

F. Pedestrian Access

Main Entrance Location Side street, alley, or internal to the lot

The main entrance may not be through a garage.

G. Vehicle Access and Parking

Parking may be accessed from the alley, side street or front street.

Parking may be accessed from the front only when there is no adjacent alley or side street.

H. Private Open Space

The private open space requirements for the lot shall be determined by the main building on the lot. No additional private open space is required for a carriage house.

1703-3.50 Detached House: Medium



Example of medium-sized Medium Houses with front gables and inviting deep porches



A dormered Medium House with a comfortable front yard



2½ story Medium House with a small wrap-around porch

A. Description

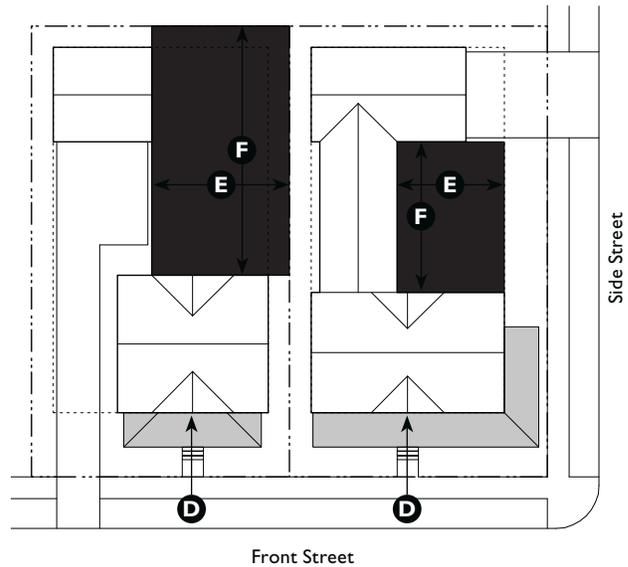
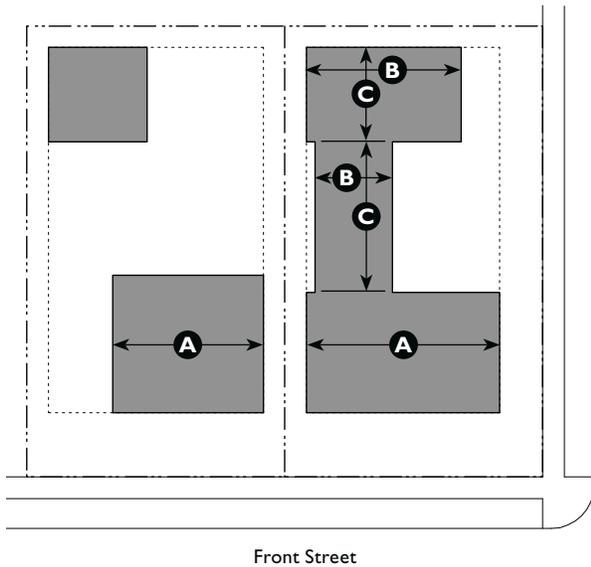
The Detached House: Medium building type is a medium-sized detached structure on a medium-sized lot that incorporates one unit. It is typically located within a primarily single-family residential neighborhood in a walkable urban setting, potentially near a neighborhood main street.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key
 ---- ROW / Lot Line ■ Building
 Setback Line

Key
 ---- ROW / Lot Line ■ Frontage
 Setback Line □ Private Open Space

B. Number of Units

Units per Building	1 max.
Medium Houses per Lot	1 max.

C. Building Size and Massing

Height
 Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width	48' max.	A
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Secondary Wing(s)

Width	20' max.	B
Depth	30' max.	C

D. Allowed Frontage Types

Common Yard	1703-4.40
Porch: Engaged	1703-4.60
Porch: Projecting	1703-4.50

E. Pedestrian Access

Main Entrance Location	Front Street	D
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F. Private Open Space

Width	20' min.	E
Depth	20' min.	F
Area	500 sf min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.
 Required private open space shall be located behind the main body of the building.

1703-3.60 Detached House: Compact



A small Detached House with appropriate scale for a compact, walkable urban neighborhood



Compact Houses with flat sides to accommodate small lots



Cottage with traditional mansard roof and side entrance

A. Description

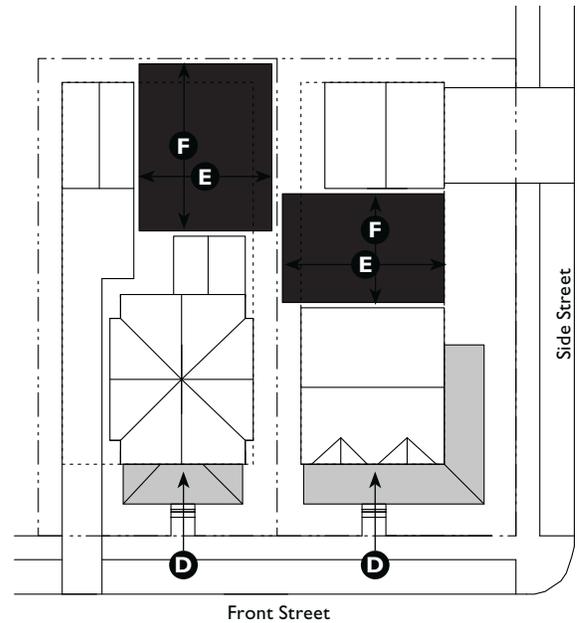
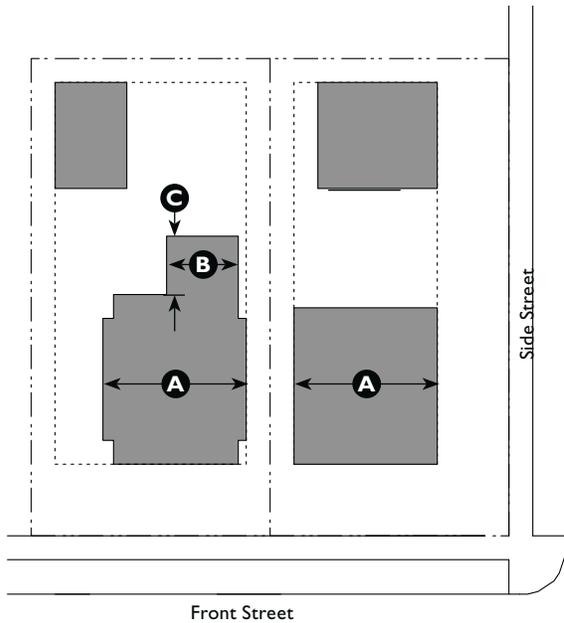
The Detached House: Compact building type is a small, detached structure on a small lot that incorporates one unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting, potentially near a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building 1 max.

Compact Houses per Lot 1 max.

C. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width 36' max. **A**

Secondary Wing(s)

Width 20' max. **B**

Depth 30' max. **C**

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting 1703-4.50

Stoop 1703-4.70

E. Pedestrian Access

Main Entrance Location Front Street **D**

F. Private Open Space

Width 15' min. **E**

Depth 15' min. **F**

Area 300 sf min.

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

1703-3.70 Cottage Court



A Cottage Court with raised stoop entries



A Cottage Court with a center drive and small stoops



A Cottage Court with a heavily landscaped court

A. Description

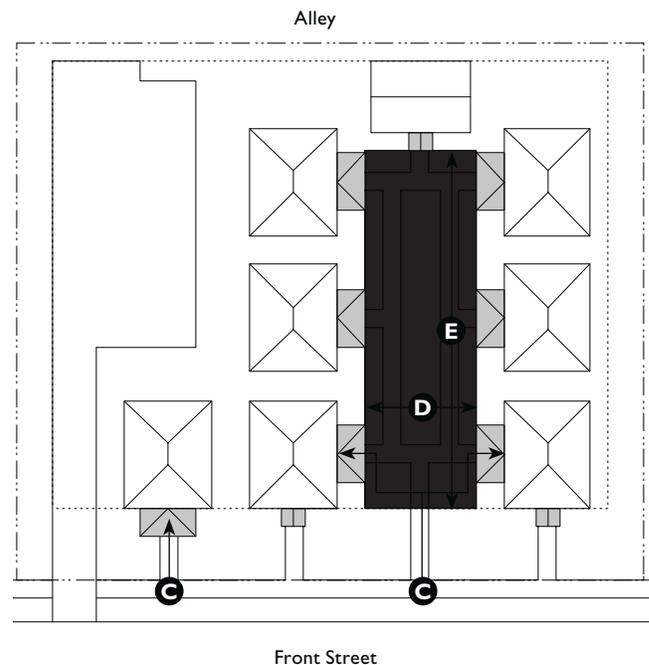
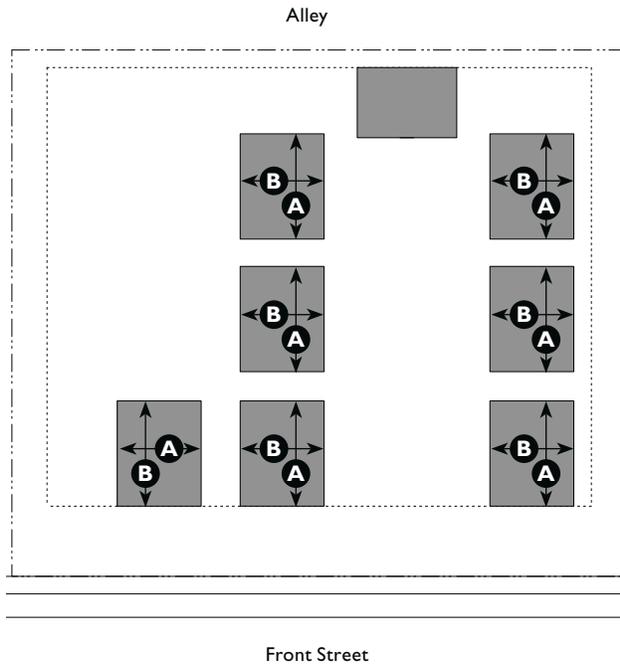
The Cottage Court building type consists of a series of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rear and becomes an important community-enhancing element of this type. This type is appropriately scaled to fit within primarily single-family or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building	1 max.
Cottage Buildings per Lot	3 min.; 9 max.

C. Building Size and Massing

Height

Height	1½ stories max.
--------	-----------------

Main Body

Width	32' max.	A
Depth	24' max.	B

Secondary Wing(s)

Width	24' max.
Depth	12' max.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting	1703-4.50
Stoop	1703-4.70

E. Pedestrian Access

Main Entrance Location	Front Street	C
------------------------	--------------	----------

F. Common Open Space

Width	20' min.	D
Depth	20' min.	E
Area	400 sf per unit min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

1703-3.80 Duplex



A side-by-side Duplex in a higher-density urban neighborhood with formally landscaped dooryard



A Duplex with separated, unique porches for each entrance



A Duplex with stacked units and symmetrical facade

A. Description

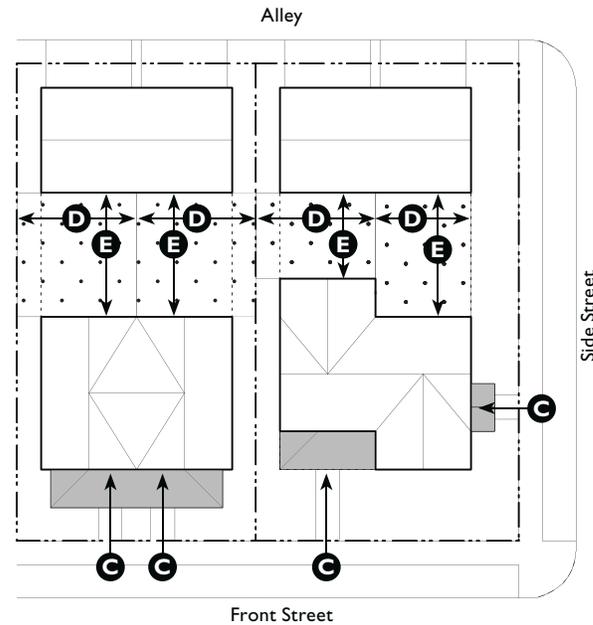
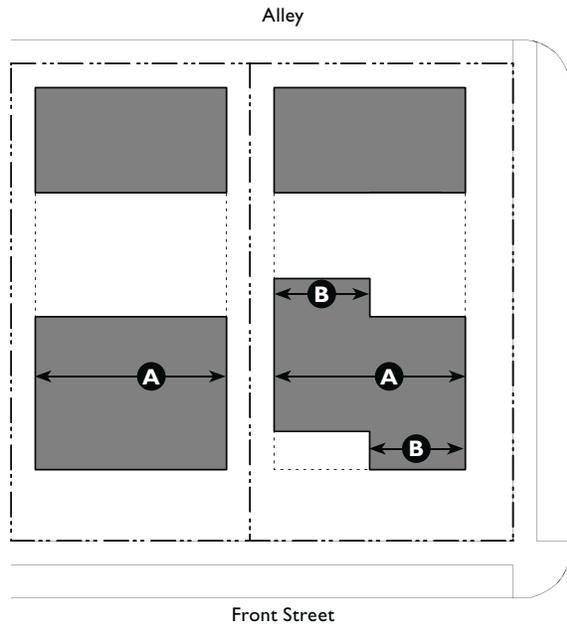
The Duplex building type is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

B. Number of Units

Units per Building	2 max.
Duplexes per Lot	1 max.

C. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width	48' max.	A
-------	----------	----------

Secondary Wing(s)

Width	30' max.	B
-------	----------	----------

D. Allowed Frontage Types

Porch: Engaged	1703-4.60
Porch: Projecting	1703-4.50
Stoop	1703-4.70

E. Pedestrian Access

Main Entrance Location	Front street ²	C
------------------------	---------------------------	----------

Each unit shall have an individual entry facing the street on or no more than 10' behind the front facade.

² On corner lots, each unit shall front a different street.

F. Private Open Space

Width	15' per unit, min.	D
Depth	15' per unit, min.	E
Area	300 sf per unit min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

1703-3.90 Rowhouse



Classically detailed brick Rowhouses are stepped down a steep sidewalk.



Rowhouses with covered stoops acting as a single building



A row of minimally-detached three-bay Rowhouses

A. Description

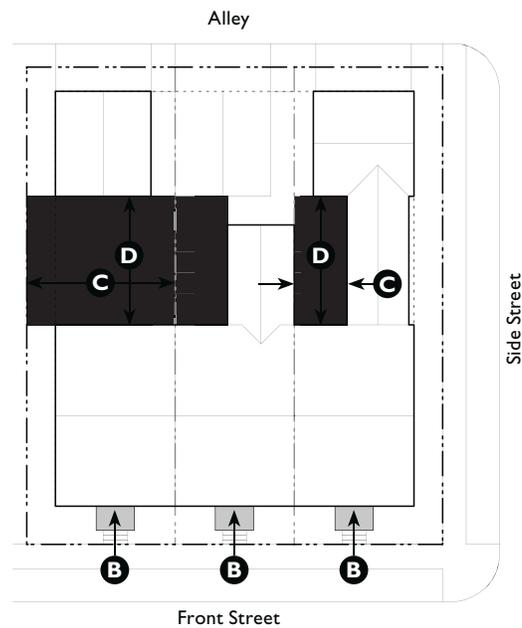
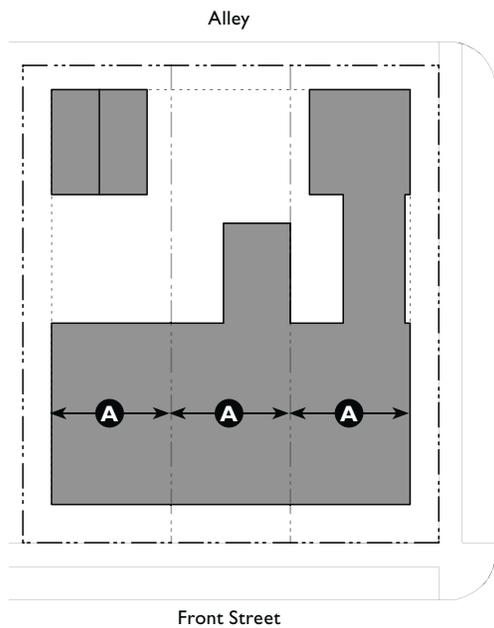
The Rowhouse/Townhouse building type is a small- to medium-sized typically attached structure that consists of 2–8 Rowhouses placed side-by-side. In a feature unique to Cincinnati, this type may also occasionally be detached with minimal separations between the buildings. This type is typically located within medium-density neighborhoods or in a location that transitions from a primarily single-family neighborhood into a neighborhood main street. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Shared Lot Line¹
- Setback Line
- Building

¹Rowhouses may have a shared Lot Line.

B. Number of Units

Units per Rowhouse	1 per floor max.
Rowhouses per Lot	1 max.
Rowhouses per run	2 min.; 8 max.

C. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width per Rowhouse	18' min.; 36' max.	A
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The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Engaged	1703-4.60
Porch: Projecting	1703-4.50
Stoop	1703-4.70

E. Pedestrian Access

Main Entrance Location	Front street	B
Each unit shall have an individual entry facing a street.		

F. Private Open Space

Width	8' per unit min.	C
Depth	8' per unit min.	D
Area	100 sf min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

1703-3.100 Multi-plex: Small



A Multi-plex, scaled to a medium-density neighborhood, with all units accessed from a central entry



A small Multi-plex with front entrance porch and balcony



A Multi-plex with unique Art Deco entrance detailing

A. Description

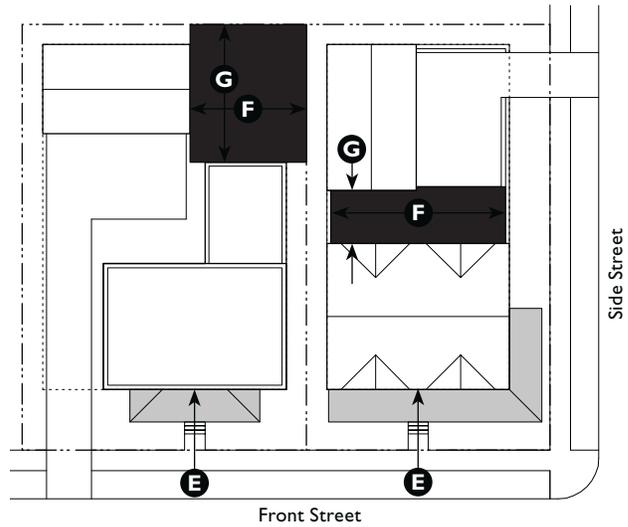
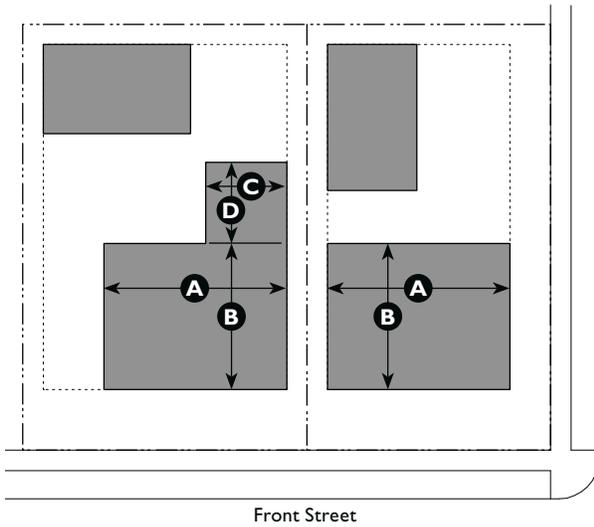
The Multi-plex: Small building type is a medium structure that consists of 3–6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This type has the appearance of a medium-sized family home and is appropriately scaled to fit sparingly within primarily single-family neighborhoods or into medium-density neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building	3 min.; 6 max.
Small Multi-plexes per Lot	1 max.

C. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width	48' max.	A
Depth	48' max.	B

Secondary Wing(s)

Width	30' max.	C
Depth	30' max.	D

The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Engaged	1703-4.60
Porch: Projecting	1703-4.50
Stoop	1703-4.70

E. Pedestrian Access

Main Entrance Location	Front street	E
------------------------	--------------	----------

Each unit may have an individual entry.

F. Private Open Space

Width	8' min.	F
Depth	8' min.	G
Area	100 sf min.	

Required street setbacks and driveways shall not be included in the private open space area calculation.

Required private open space shall be located behind the main body of the building.

1703-3.110 Multi-plex: Large



A Large Multi-plex offers denser living options while still maintaining great wooded neighborhoods and green yards.



A large Multi-plex engaging a street corner



Multi-plex with classical entrance and symmetrical side wings

A. Description

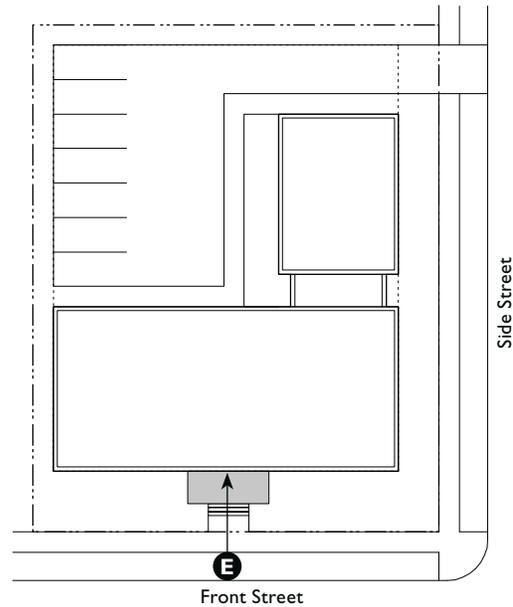
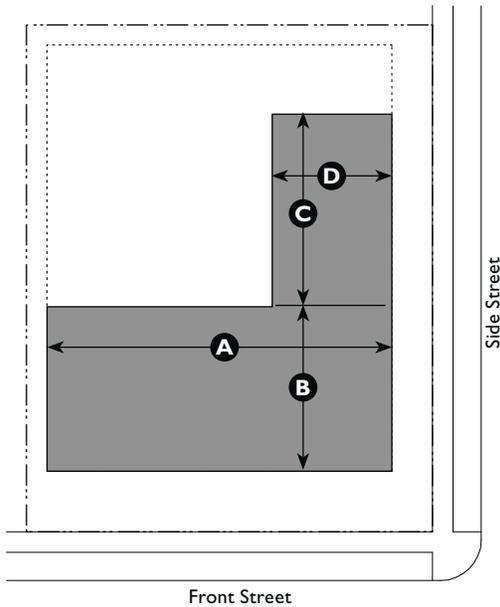
The Multi-plex: Large building type is a medium-to-large-sized structure that consists of 7–18 side-by-side and/or stacked dwelling units, typically with one shared entry. This type is appropriately scaled to fit within medium-density neighborhoods or sparingly within large lot predominantly single-family neighborhoods. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed **T#** Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building	7 min.; 18 max.
Large Multi-plexes per Lot	1 max.

C. Building Size and Massing

Height

Per transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width	80' max.	A
Depth	75' max.	B

Secondary Wing(s)

Width	48' max.	C
Depth	36' max.	D

The footprint area of an accessory structure may not exceed the footprint area of the main body of the building.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting	1703-4.50
Stoop	1703-4.70

E. Pedestrian Access

Main Entrance Location	Front street	E
------------------------	--------------	----------

Units located in the main body shall be accessed by a common entry along the front street.

On corner lots, units in a secondary wing may enter from the side street.

F. Private Open Space

No private open space requirement.

1703-3.120 Stacked Flats



Varying entrance details appropriately reduce the perceived scale of a neighborhood Stacked Flats building.



Stacked Flats with a forecourt frontage



Balconies offer a comfortable scale next to detached houses.

A. Description

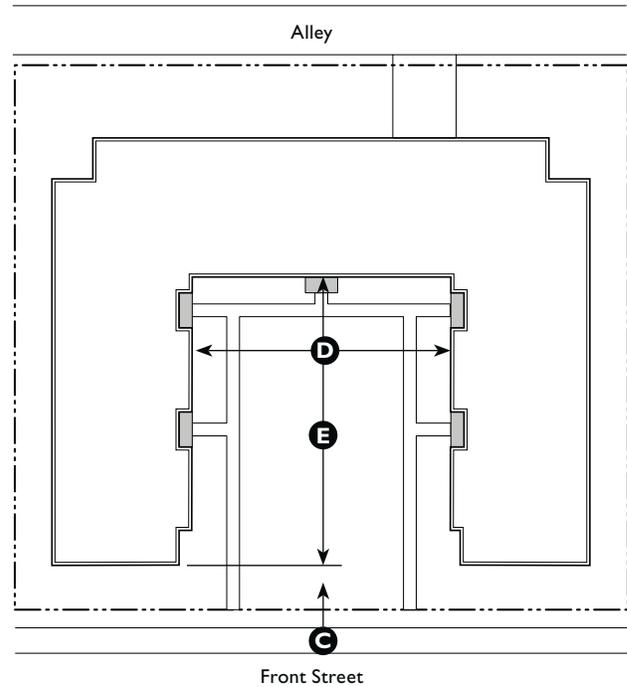
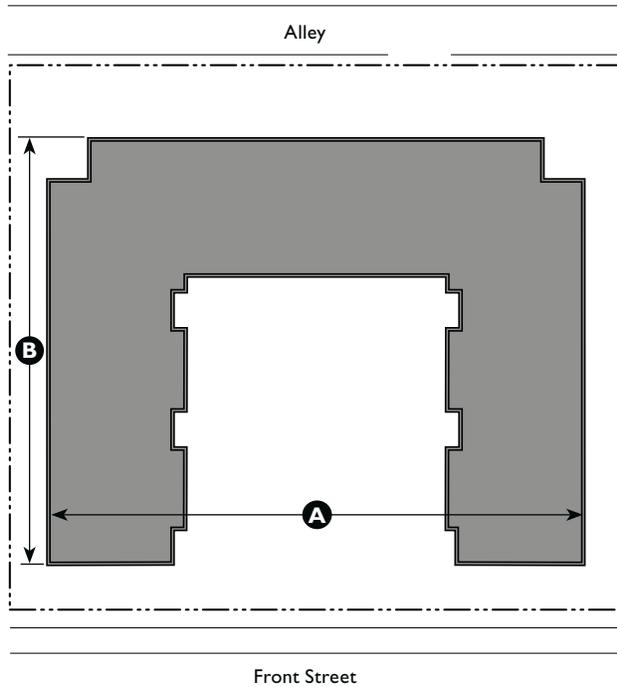
The Stacked Flats building type is a medium- to large-sized structure that consists of multiple dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or may share a common entry. This type is appropriately scaled to fit adjacent to neighborhood serving main streets and walkable urban neighborhoods. It enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability. This building type may include a courtyard.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS T5N.SS T5F
T6C	

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building 12 min.

Stacked Flat Building per Lot 1 max.

C. Building Size and Massing

Height

Height 2 stories min.¹

¹Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body/Secondary Wing(s)

Width 200' max. **A**

Depth 200' max. **B**

Accessory Structure(s)

No accessory structures are allowed.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Open Space

D. Allowed Frontage Types

Porch: Projecting 1703-4.50

Stoop 1703-4.70

Forecourt 1703-4.80

E. Pedestrian Access

Units shall enter from a courtyard or a street.

Courtyards shall be accessible from the front street. **C**

Each unit may have an individual entry.

F. Private Open Space

No private open space requirement.

G. Courtyard(s)

Width 40' min.; 150' max. **D**

Width-to-Height Ratio 1:2 to 2:1

Depth 40' min.; 150' max. **E**

Depth-to-Height Ratio 1:2 to 3:1

Area (Total) 400 sf min.;
50 sf/unit min.

1703-3.130 Live/Work



Live/Work buildings with shopfronts offer flexibility of living and working spaces.



Live/Work units transition easily from main streets.



Live/Work units provide a wide flexibility for smaller uses.

A. Description

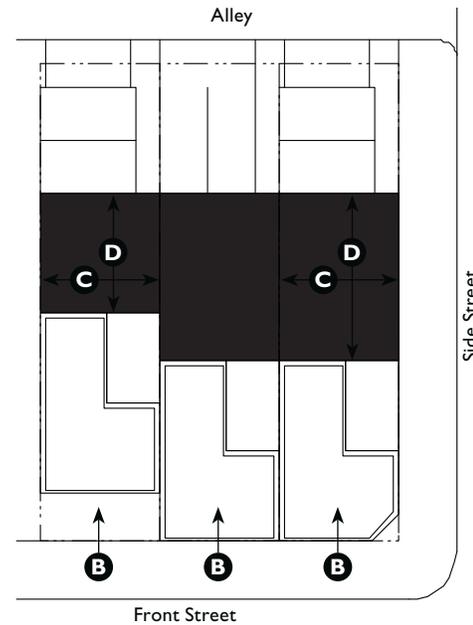
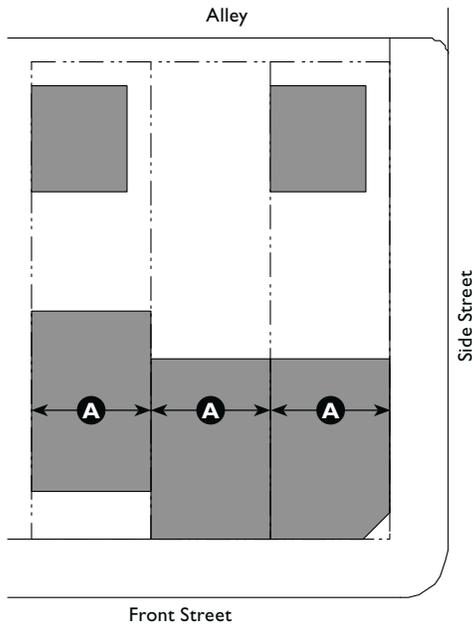
The Live/Work building type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for incubating neighborhood-serving retail and service uses and allowing neighborhood main streets to expand as the market demands.

T3E	T3N
T4N.MF	T4N.SF
T5MS	T5N.LS T5N.SS T5F
T6C	

Key

T# Allowed T# Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building 2 max.; both shall be used by same occupant

Live/Work Buildings per Lot 2 max.

C. Building Size and Massing

Height

Height 2 stories min.; 6 stories max.¹

¹Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width 18' min.; 36' max. **(A)**

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Forecourt	1703-2.80
Dooryard	1703-4.90
Lightwell	1703-4.100
Shopfront	1703-2.110
Terrace	1703-4.120

E. Pedestrian Access

Main Entrance Location Front street **(B)**
 Ground-floor space and upper unit shall have separate entries.

F. Private Open Space

Width	20' min.	(C)
Depth	20' min.	(D)
Area	15% of lot area min.	

1703-3.140 Main Street Mixed-Use



Attached Main Street buildings form a unified streetscape along a vibrant commercial street.



Main Street building with bay windows and bright shopfronts



Main Street building with a variety of shopfront sizes.

A. Description

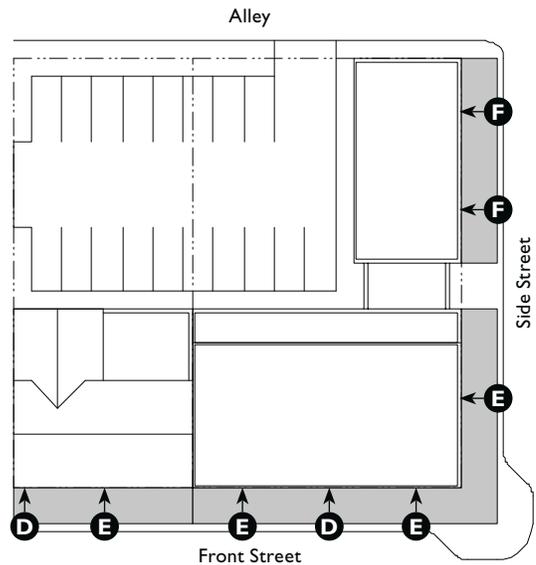
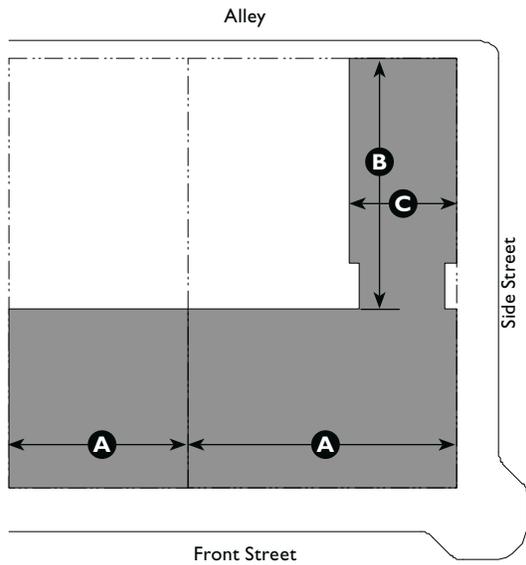
The Main Street Mixed-Use building type is a small- to medium-sized structure, typically attached, intended to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses. This type makes up the primary component of a neighborhood main street and portions of a downtown main street, therefore being a key component to providing walkability.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Units per Building 2 min.

C. Building Size and Massing

Height

Height 2 stories min.;
6 stories max.¹

¹Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width 150' max. **A**

Secondary Wing(s)

Width 100' max. **B**

Depth 65' max. **C**

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Forecourt 1703-2.80

Dooryard 1703-4.90

Lightwell 1703-4.100

Shopfront 1703-2.110

Terrace 1703-4.120

E. Pedestrian Access

Upper floor units located in the main building shall be accessed by a common entry along the front street. **D**

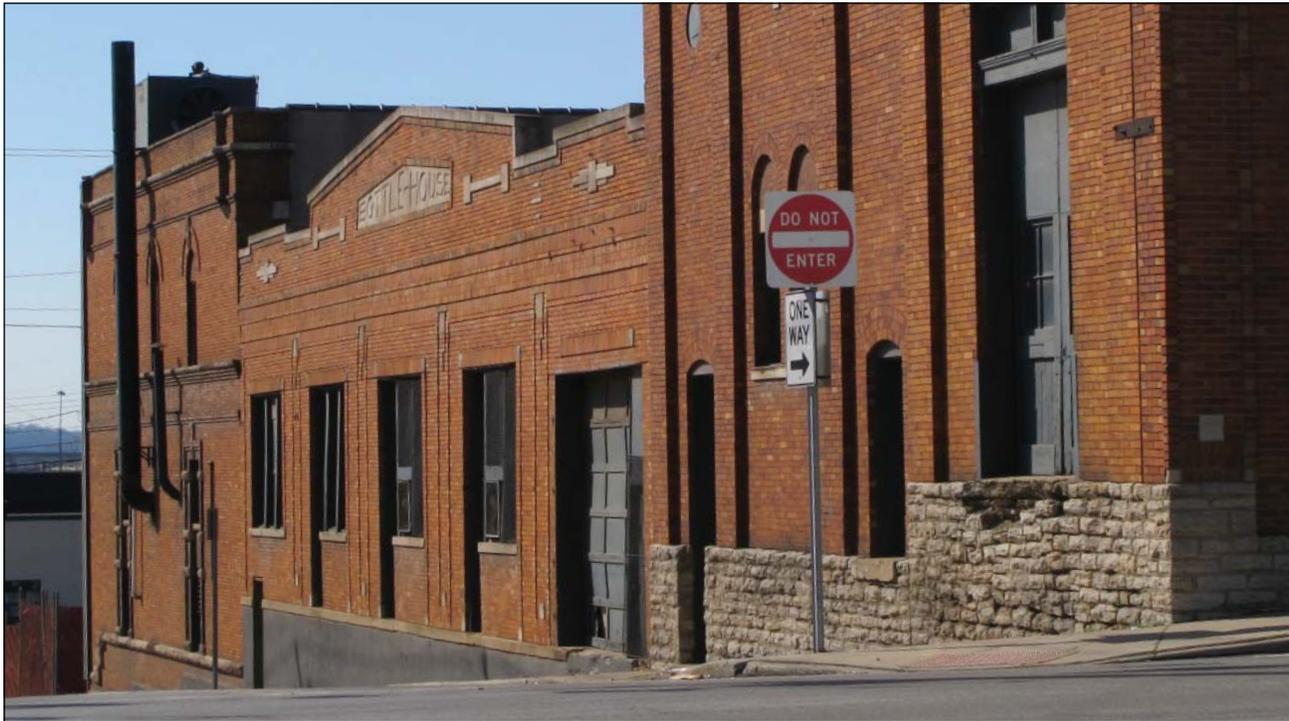
Ground floor units may have individual entries along the front street or side street. **E**

On corner lots, units in a secondary wing/accessory structure may enter from the side street. **F**

F. Private Open Space

No private open space requirement.

1703-3.150 Flex



Flex building follows the topography of the site.



Contemporary Flex building with screened parking lot



Simple Flex building

A. Description

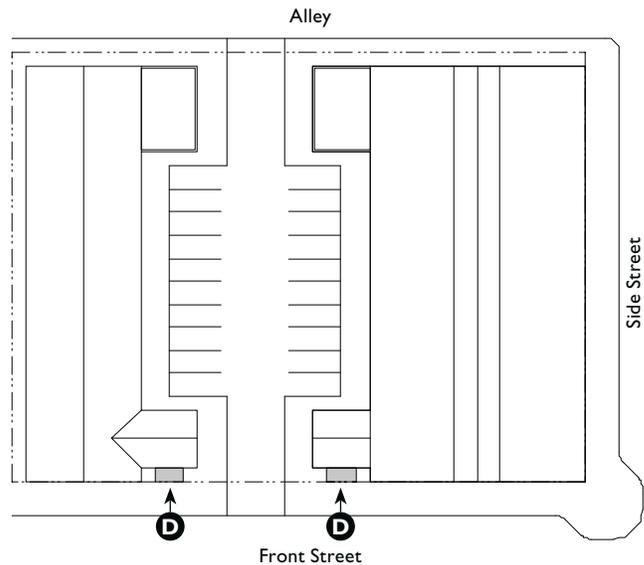
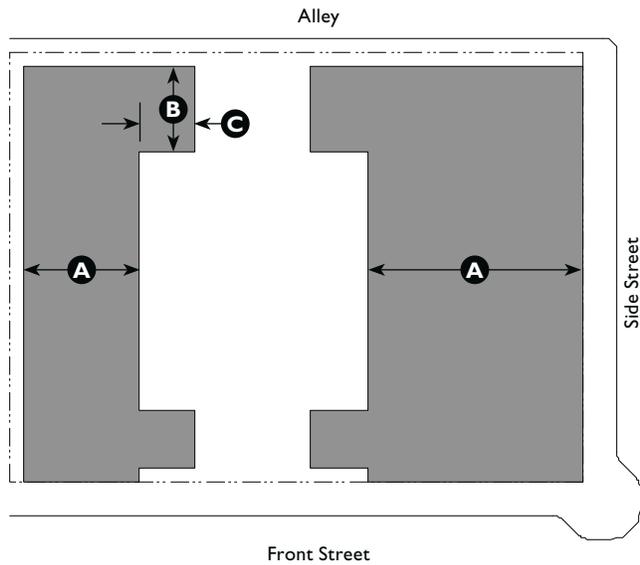
The Flex building type is a medium- to large-sized structure, 1–3 stories tall, built on a large lot that incorporates structured parking. It can be used to provide a vertical mix of uses with ground-floor industrial, service, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, service or residential, where ground floor retail is not appropriate. This type is a primary component of an urban flexible neighborhood that provides a mix of buildings.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed T# Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building

B. Number of Units

Unrestricted

C. Building Size and Massing

Height

Height 1 story min.¹

¹ Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Main Body

Width 150' max. **A**

Secondary Wing(s)

Width 60' max. **B**

Depth 60' max. **C**

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Forecourt 1703-2.80

Shopfront 1703-2.110

Terrace 1703-4.120

E. Pedestrian Access

Ground floor units may have individual entries **D** along the front street or side street.

F. Private Open Space

No private open space requirement.

1703-3.160 Mid-Rise



Unique bay treatments give scale to two Mid-Rise Buildings which hold the street corners at a local commercial node.



Stepped, attached Mid-Rise Buildings along an urban street



Mid-Rise Buildings with a corner shopfront

A. Description

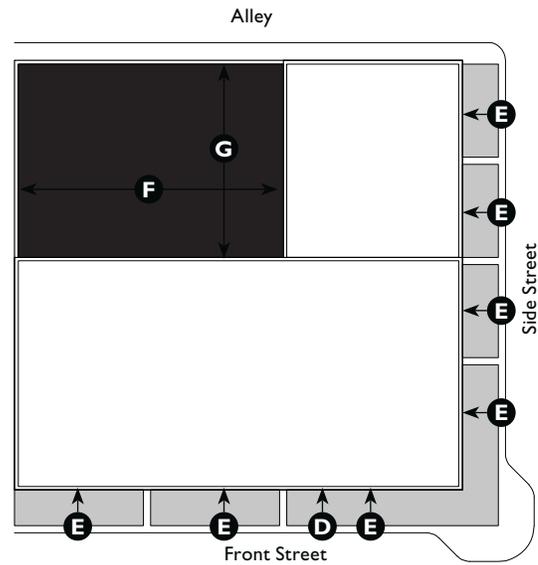
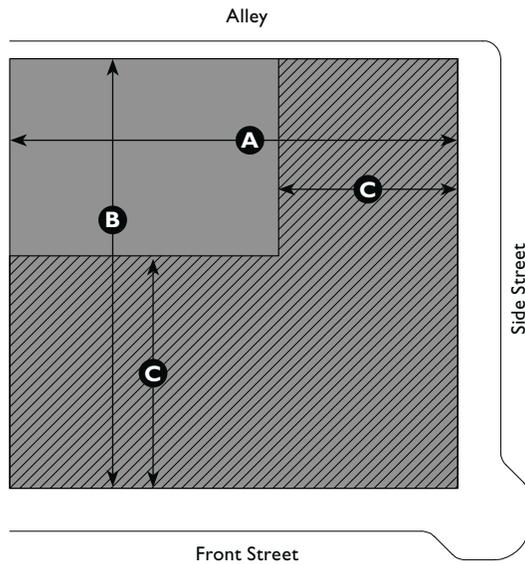
The Mid-Rise building type is a medium to large sized structure, 4–8 stories tall, built on a large lot that typically incorporates structured parking. It can be used to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses; or may be a single-use building, typically service or residential, where ground floor retail is not appropriate. This type is a primary component of an urban downtown providing high-density buildings.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building
- ▨ Floors 3+

B. Number of Units

Unrestricted

C. Building Size and Massing

Height

Height 4 stories min.;
8 stories max.¹

¹Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Footprint

Floors 1-2

Width	150' max.	A
Depth	150' max.	B
Lot Coverage	100% max.	

Floors 3+

Depth	65' max.	C
-------	----------	----------

The floorplate of any floor may not be larger than the floor below.

See Subsection 1703-3.180 (Additional Standards for Mid-Rise and High-Rise Building Types) for additional standards.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Open Space

D. Allowed Frontage Types

Dooryard	1703-4.90
Lightwell	1703-4.100
Shopfront	1703-2.110
Terrace	1703-4.120

E. Pedestrian Access

Upper-floor units shall be accessed by a common entry along the front street. **D**

Ground-floor units may have individual entries along the front street or side street. **E**

F. Private Open Space

No private open space requirement.

Podium tops, if any, should be used to provide open space.

G. Courtyard(s)

Courtyards where provided shall meet the following standards:

Width	20' min.; 50' max.	F
Width-to-Height Ratio	1:2 to 2:1	
Depth	20' min.; 150' max.	G
Depth-to-Height Ratio	1:1 to 3:1	

1703-3.170 High-Rise



An iconic High-Rise Building offers a dramatic vista at the end of a busy downtown streetscape.



A High-Rise Building with a defined base middle and top.

A. Description

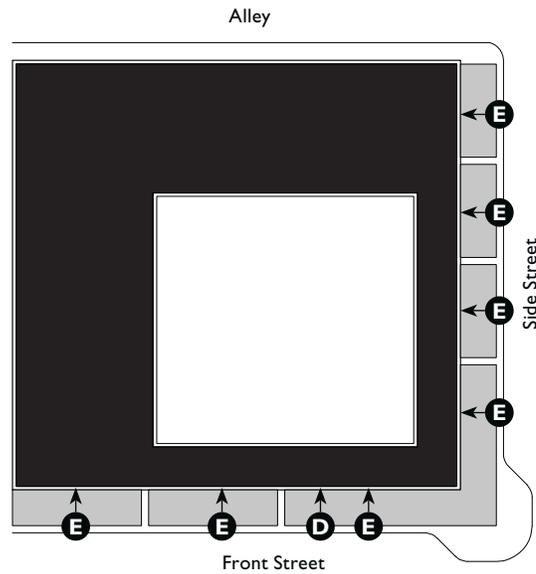
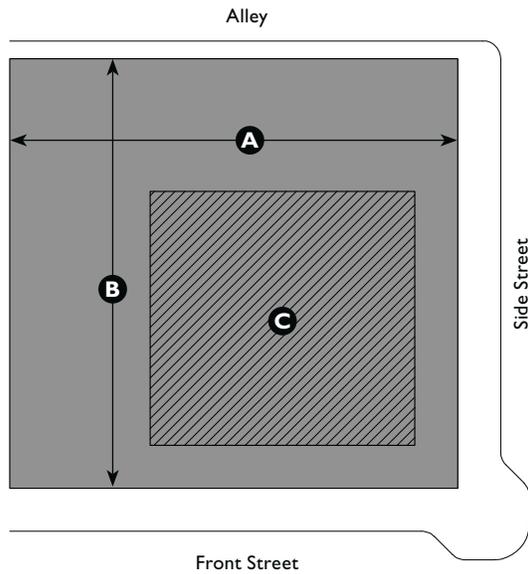
The High-Rise building type is a large sized structure with portions or all of the building more than eight stories tall, built on a large lot that typically incorporates structured parking. It is used to provide a vertical mix of uses with ground-floor retail, or service uses and upper-floor service, or residential uses. This type is a primary component of an urban downtown providing high-density buildings.

T3E	T3N		
T4N.MF	T4N.SF		
T5MS	T5N.LS	T5N.SS	T5F
T6C			

Key

T# Allowed T# Not Allowed

General Note: Photos on this page are illustrative, not regulatory.



Key

- ROW / Lot Line
- Setback Line
- Building
- ▨ Floors 6+

B. Number of Units

Unrestricted

C. Building Size and Massing

Height

Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).

Footprint

Floors 1-5

Width	300' max.	A
Depth	300' max.	B
Lot Coverage	100% max.	

Floors 6-8

Floorplate	80% of lot max.	C
------------	-----------------	----------

Floors 9+

Residential Floorplate	15,000 sf max.	C
Commercial Floorplate	30,000 sf max.	C

The floorplate of any floor may not be larger than the floor below.

See Subsection 1703-3.180 (Additional Standards for Mid-Rise and High-Rise Building Types) for additional standards.

Key

- ROW / Lot Line
- Setback Line
- Frontage
- Open Space

D. Allowed Frontage Types

Dooryard	1703-4.90
Lightwell	1703-4.100
Shopfront	1703-2.110
Terrace	1703-4.120

E. Pedestrian Access

Upper floor units shall be accessed by a common entry along the front street. **D**

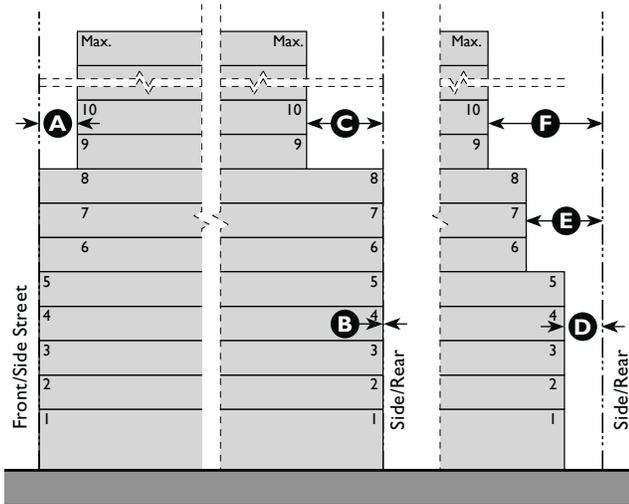
Ground floor units may have individual entries along the front or side street. **E**

F. Private Open Space

No private open space requirement.

Podium tops, if any, should be used to provide open space.

1703-3.180 Additional Standards for Mid-Rise and High-Rise Building Types



Key

---- ROW / Lot Line ■ Building

A. High-Rise/Mid-Rise Buildings		
Front/Side Street Setback		
Floors 9+	10' min.	A
Side/Rear Setback		
Abutting any T6 Zone		
Floors 1-8	0' min.	B
Floors 9+	30' min.	C
Abutting any T5 Zone		
Floors 1-5	0' min.	D
Floors 6-8	10' min.	E
Floors 9+	30' min.	F
Abutting any T4 or T3 Zone		
Floors 1-5	10' min.	D
Floors 6-8	20' min.	E
Floors 9+	30' min.	F

Section 1703-4: Specific to Frontage Types

Subsections:

1703-4.10	Purpose
1703-4.20	Applicability
1703-4.30	Frontage Types Overview
1703-4.40	Common Yard
1703-4.50	Porch: Projecting
1703-4.60	Porch: Engaged
1703-4.70	Stoop
1703-4.80	Forecourt
1703-4.90	Dooryard
1703-4.100	Lightwell
1703-4.110	Shopfront
1703-4.120	Terrace

1703-4.10 Purpose

This Section sets forth the standards applicable to the development of private frontages. Private frontages are the components of a building that provide an important transition and interface between the public realm (street and sidewalk) and the private realm (yard or building). These standards supplement the standards for each zone that the frontage types are allowed within. For each frontage type, a description, a statement of the type's intent and design standards are provided. These standards are intended to ensure development that reinforces the highly-valued existing character and scale of Cincinnati's neighborhoods and downtown.

1703-4.20 Applicability

These standards work in combination with the standards found in Section 1703-2 (Specific to Transect Zones) and Section 1703-3 (Specific to Building Types) and are applicable to all private frontages within transect zones.

1703-4.30 Frontage Types Overview

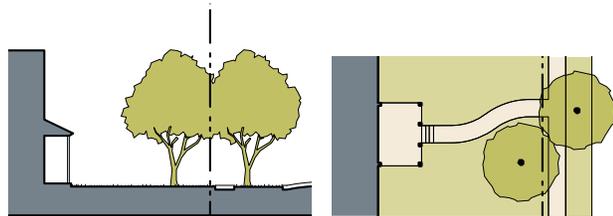
Table A (Frontage Types General) provides an overview of all allowed frontage types.

Table 1703-4.30.A: Frontage Types General

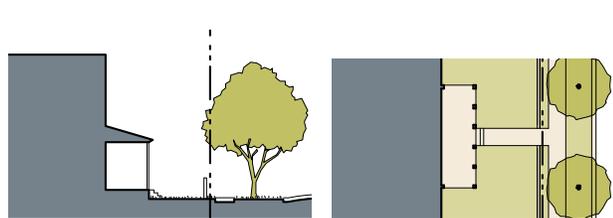
The private frontage is the area between the building facade and the ROW / lot line.

SECTION		PLAN	
LOT/ PRIVATE FRONTAGE	>< R.O.W.	LOT/ PRIVATE FRONTAGE	>< R.O.W.

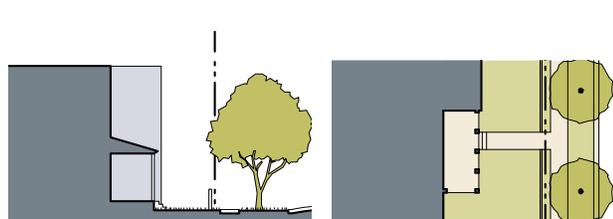
Common Yard. The main facade of the building has a large planted setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.



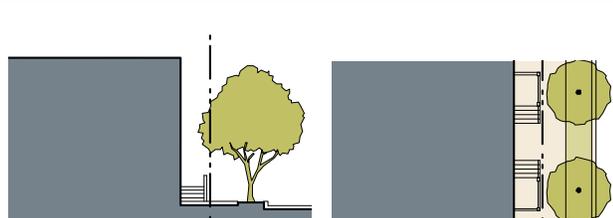
Porch: Projecting. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line.



Porch: Engaged. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.



Stoop. The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.



Forecourt. The main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

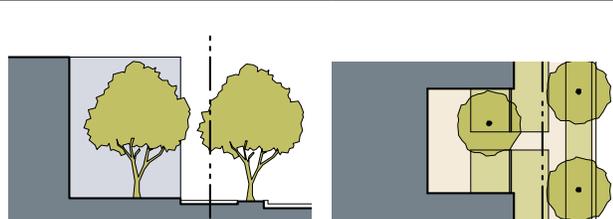
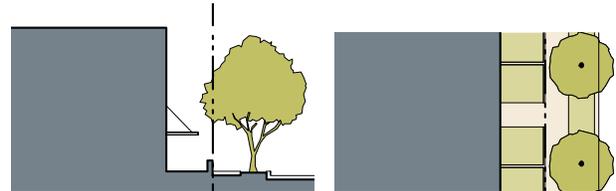


Table 1703-4.30.A: Frontage Types General (continued)

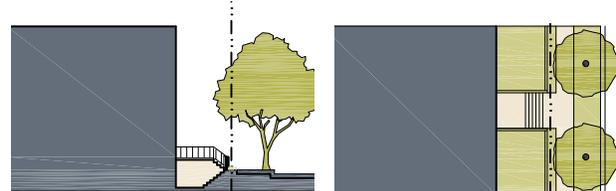
The private frontage is the area between the building facade and the ROW / lot line.

SECTION		PLAN	
LOT/ PRIVATE FRONTAGE	R.O.W.	LOT/ PRIVATE FRONTAGE	R.O.W.

Dooryard. The main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.

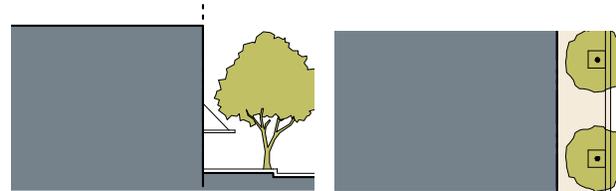


Lightwell. The main facade of the building is set back from the frontage line by an elevated terrace or a sunken lightwell. This type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.

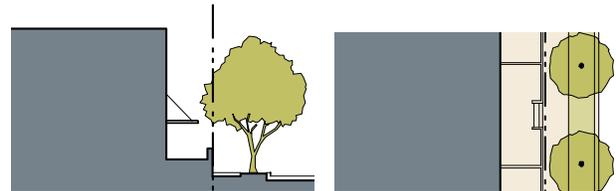


Shopfront. The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.

Syn: Retail Frontage, Awning.

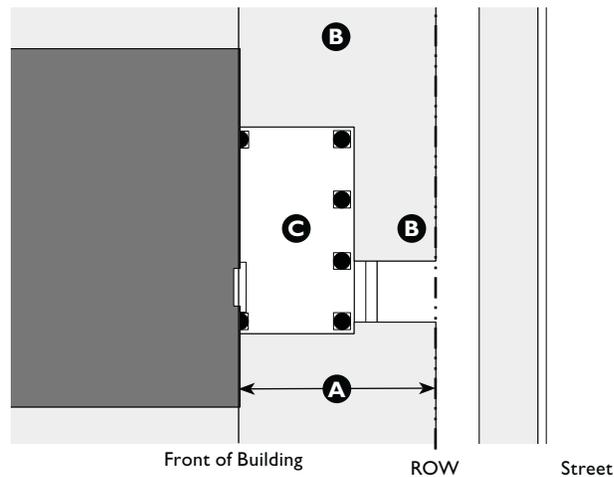
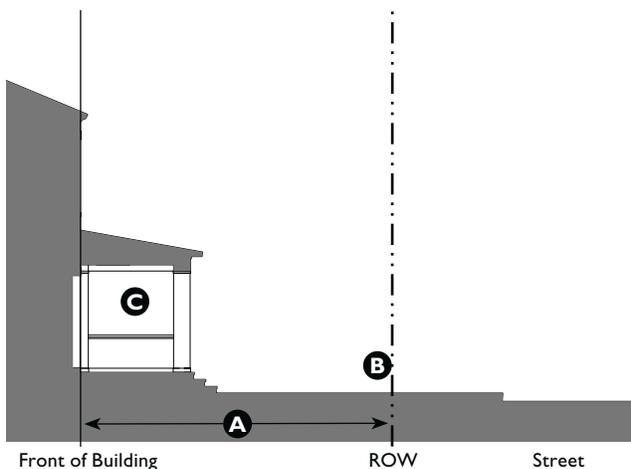


Terrace. The main facade of the building is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic historic loading docks.



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1703-4.40 Common Yard



Key

--- ROW / Lot Line — Front of Building

A. Description

In the Common Yard frontage type, the main facade of the building has a large planted setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.

B. Size

Depth 20' min. **A**

C. Miscellaneous

Fences between front yards or between the sidewalk and front yard are not allowed. **B**

Common Yards shall be used in conjunction with another allowed frontage type, such as the Porch frontage type. **C**

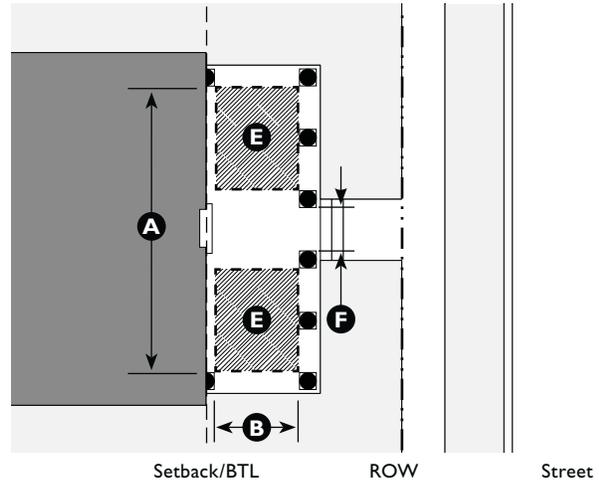
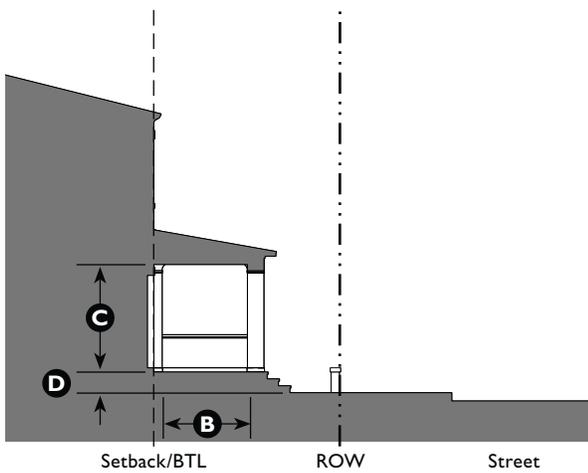


Front yards of these houses form a continuous common yard.



An example of a common yard

1703-4.50 Porch: Projecting



Key

---- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Porch: Projecting frontage type, the main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line

B. Size

Width, Clear	8' min.	(A)
Depth, Clear	6' min.	(B)
Height, Clear	8' min.	(C)
Finish Level above Sidewalk	18" min.	(D)
Furniture Area, Clear	4' x 6' min.	(E)
Path of Travel	3' wide min.	(F)

C. Miscellaneous

Projecting porches must be open on three sides and have a roof.

In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.

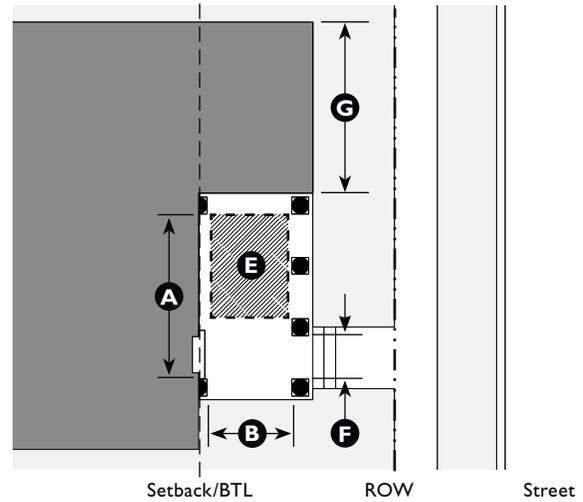
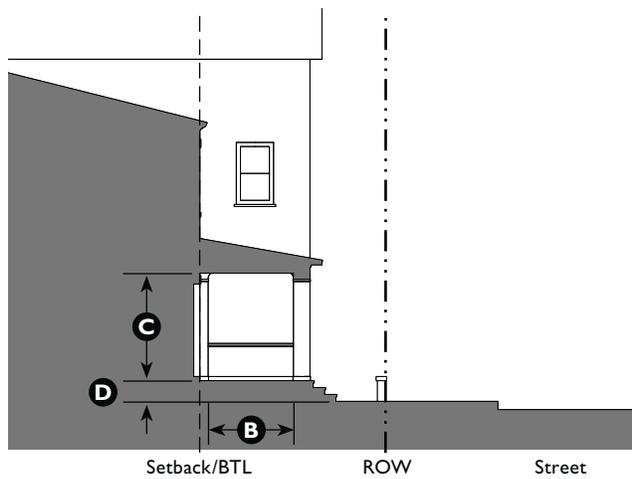


A projecting porch spans the width of the facade



A wrap-around projecting porch

1703-4.60 Porch: Engaged



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Porch: Engaged frontage type, the main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.

B. Size

Width, Clear	8' min.	A
Depth, Clear	6' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Finish Level above Sidewalk	18" min.	D
Furniture Area, Clear	4' x 6' min.	E
Path of Travel	3' wide min.	F

C. Miscellaneous

Up to 2/5 of the building facade may project beyond the setback line into the encroachment area for this frontage type. **G**

Engaged porches must be open on two sides and have a roof.

In transect zones where both porches and encroachments are allowed, a porch and up to 2/5 of the building facade are allowable encroaching elements.

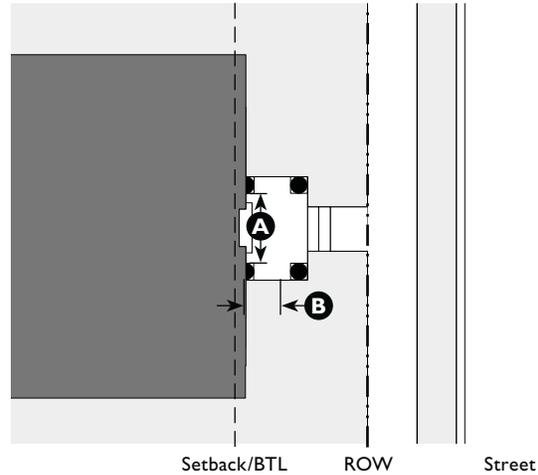
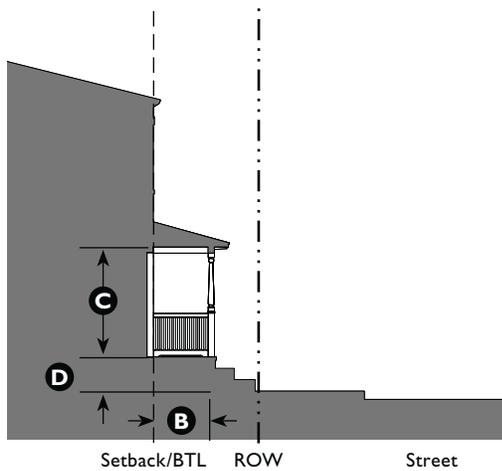


An engaged porch with side entrance



An example of an engaged porch

1703-4.70 Stoop



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Stoop frontage type, the main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.

B. Size

Width, Clear	5' min.; 8' max.	A
Depth, Clear	5' min.; 8' max.	B
Height, Clear	8' min.	C
Height	1 story max.	
Depth of Recessed Entries	6' max.	
Finish Level above Sidewalk	18" min.	D

C. Miscellaneous

Stairs may be perpendicular or parallel to the building facade.

Ramps shall be parallel to facade or along the side of the building.

The entry doors are encouraged to be covered or recessed to provide shelter from the elements.

Gates are not permitted.

All doors must face the street.

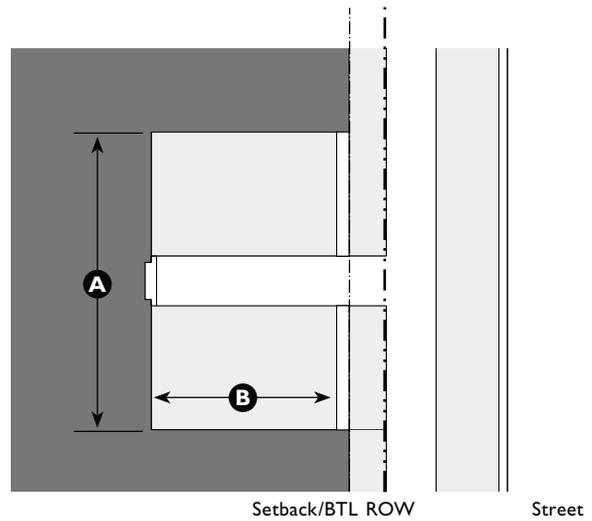
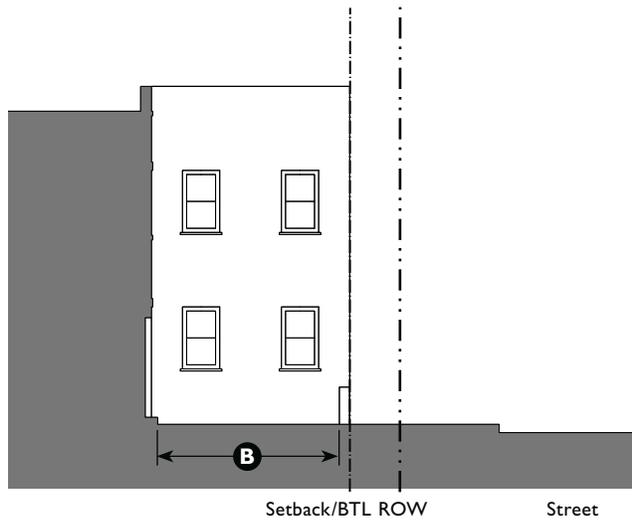


High stoop clears space for low windows along a steep street.



Brightly colored stoops engage the sidewalk.

1703-4.80 Forecourt



Key

--- ROW / Lot Line - - - - Setback Line/BTL

A. Description

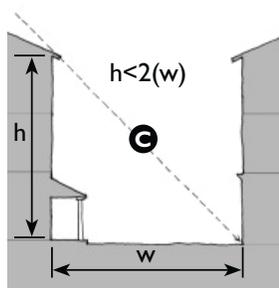
In the Forecourt frontage type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

B. Size

Width, Clear	12' min.	A
Depth, Clear	12' min.	B
Ratio, Height to Width	2:1 max.	C

C. Miscellaneous

The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.

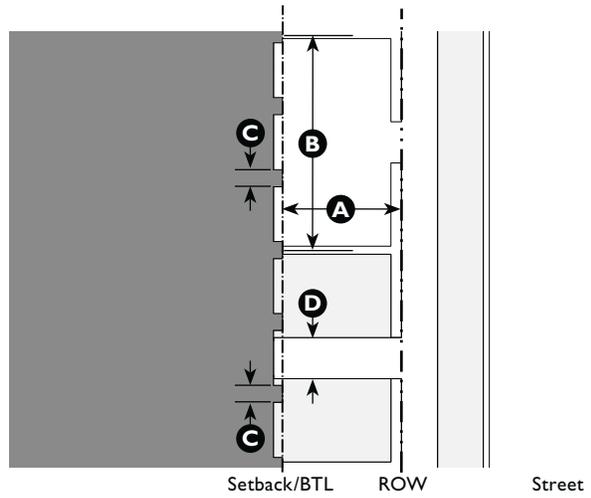
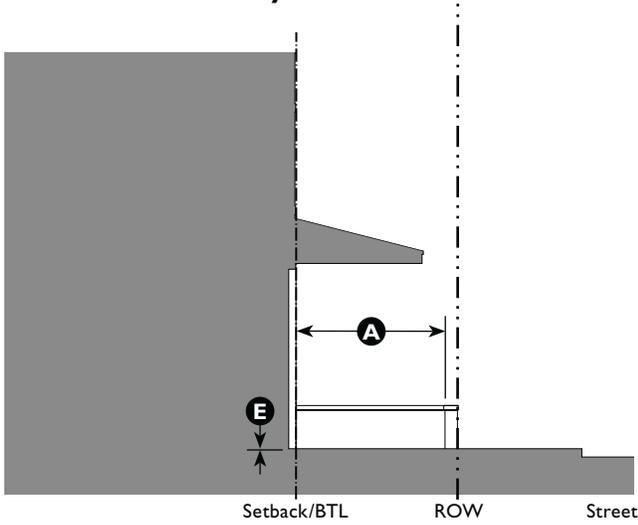


A fence and entry gate maintain the street wall on this residential forecourt.



This residential forecourt provides an entry yard and breaks down the overall massing along the street.

1703-4.90 Dooryard



Key

---- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Dooryard frontage type, the main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.

B. Size

Depth, Clear	8' min.	A
Length	50' max.	B
Distance between Glazing	4' max.	C
Ground Floor Transparency	50% min. ¹	
Depth of Recessed Entries	5' max.	
Path of Travel	3' wide min.	D
Finish Level above Sidewalk	3' 6" max.	E
Finish Level below Sidewalk	6' max.	

¹ For live/work, retail and service uses only

C. Miscellaneous

For live/work, retail and service uses, these standards are to be used in conjunction with those for the Shopfront frontage type. In case of conflict between them, the Dooryard frontage type standards shall prevail.

Shall not be used for circulation for more than one ground floor entry.

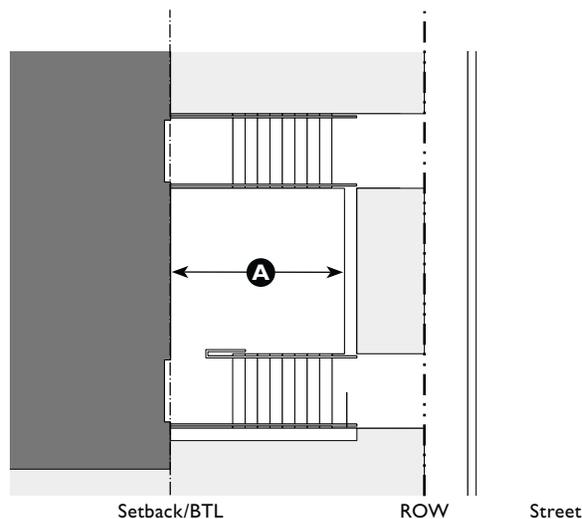
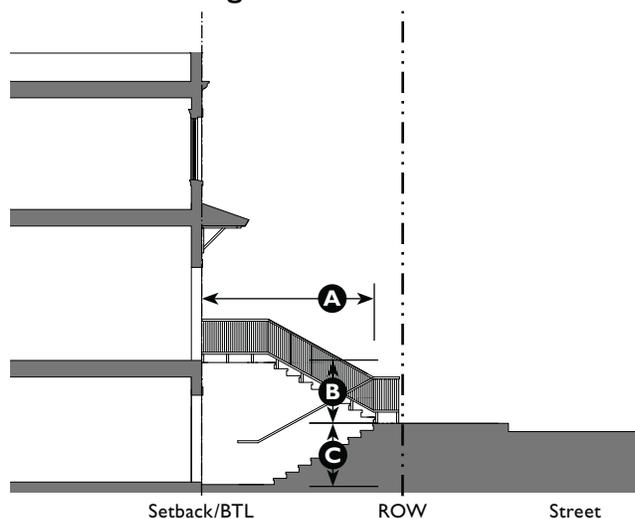


A series of dooryards with railings defining the private edge, and stairs engaging the sidewalk



Landscaped dooryards with stairs accommodate a steep slope

1703-4.100 Lightwell



Key

---- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Lightwell frontage type, the main facade of the building is set back from the frontage line by an elevated terrace or a sunken lightwell. This type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.

B. Size

Depth, Clear	5' min.	A
Height		
Landing (above Sidewalk)	6' max.	B
Lightwell (below Sidewalk)	6' max.	C

C. Miscellaneous

A short fence shall be placed along the BTL or setback where it is not defined by a building.

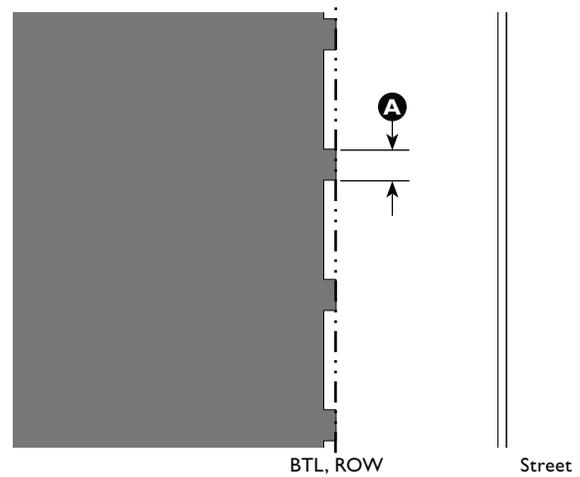
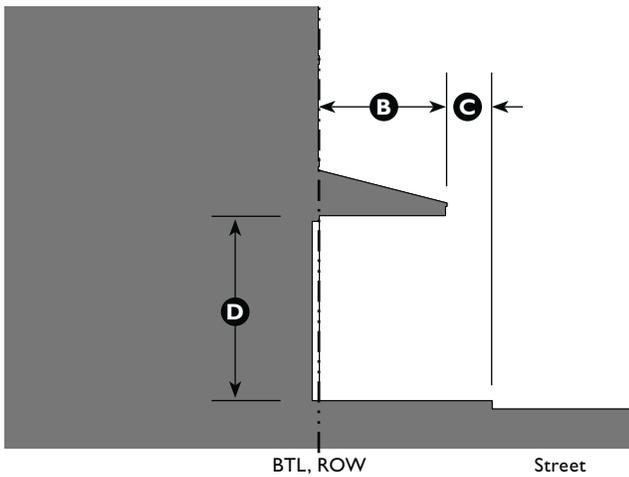


Lightwells providing space for second entrances in rowhouses



A lightwell frontage for a rowhouse building

1703-4.110 Shopfront



Key

---- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Shopfront frontage type, the main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.

B. Size

Distance between Glazing	2' max.	A
Ground Floor Transparency	75% min.	
Depth of Recessed Entries	5' max.	

C. Awning

Depth	4' min.	B
Setback from Curb	2' min.	C
Height, Clear	8' min.	D

D. Miscellaneous

- Residential windows shall not be used.
- Doors may be recessed as long as main facade is at BTL.
- Operable awnings are encouraged.
- Open-ended awnings are encouraged.
- Rounded and hooped awnings are discouraged.
- Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.

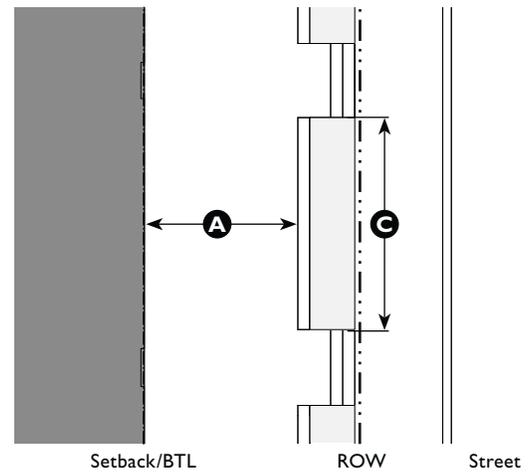
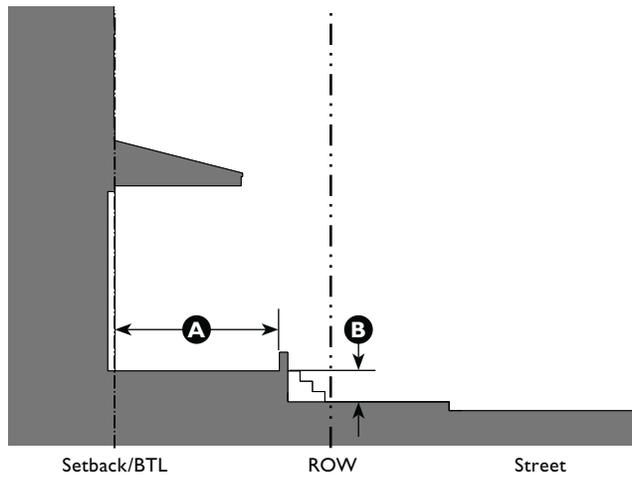


An example of a shopfront with a recessed doorway



An example of a shopfront with formal pilastered bays

1703-4.120 Terrace



Key

--- ROW / Lot Line - - - - - Setback Line/BTL

A. Description

In the Terrace frontage type, the main facade is at or near the frontage line with an elevated terrace providing public circulation along the facade. This type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type may also be used in historic industrial areas to mimic historic loading docks.

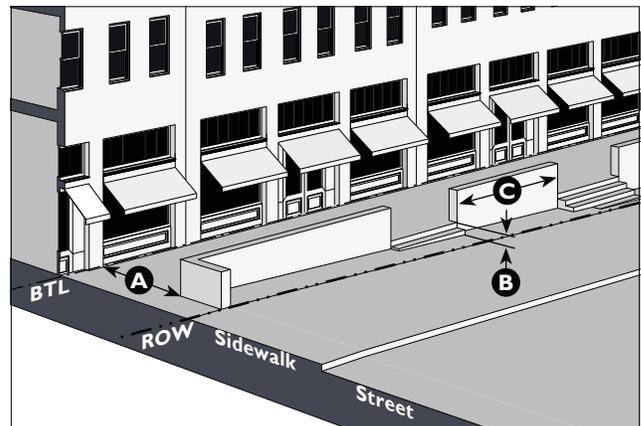
B. Size

Depth, Clear	8' min.	A
Finish Level above Sidewalk	3' 6" max.	B
Length of Terrace	150' max.	
Distance between Stairs	50' max.	C

C. Miscellaneous

These standards are to be used in conjunction with those for the Shopfront frontage type. In case of conflict between them, the Terrace frontage type standards shall prevail.

Low walls used as seating are encouraged.



A terrace accommodating a grade change along a series of shopfronts



The terrace is being used to accommodate a change in grade. The low walls are used to provide seating.

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Section 1703-5: Supplemental to Transect Zones

Subsections:

1703-5.10	Purpose
1703-5.20	Applicability
1703-5.30	Topography and Hillside Overlay Districts
1703-5.40	Historic Landmarks and Districts
1703-5.50	Parking
1703-5.60	Building Height
1703-5.70	Renovations and New Construction Compatibility
1703-5.80	Signs
1703-5.90	Corner Stores
1703-5.100	Additional Standards for Specific Uses
1703-5.110	Accessory Uses
1703-5.120	Temporary Uses

1703-5.10 Purpose

This Section establishes standards that supplement the regulations of each transect zone. The standards are specific to particular aspects of development, such as parking and signage. These standards are intended to promote development that compliments and reinforces the vibrant, mixed-use pedestrian environment of Cincinnati.

1703-5.20 Applicability

This Section applies to all development in applicable transect zones. Each Subsection within this Section further refines the applicability of the standards.

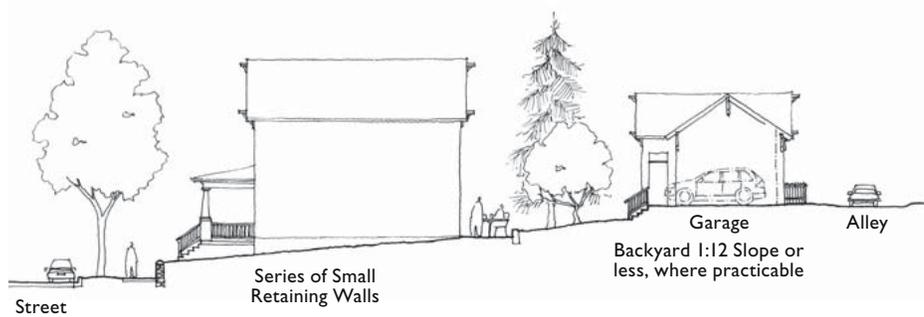
1703-5.30 Topography and Hillside Overlay Districts

- A. **Purpose.** This Subsection establishes standards and guidance for development on sites with irregular, undulating, or uneven topography.
- B. **Applicability**
 1. The standards in this Subsection shall apply in all transect zones that are not located in a Hillside Overlay District. For transect zones located in a Hillside Overlay District, the regulations of the Cincinnati Municipal Code Chapter 1433 shall govern and control.

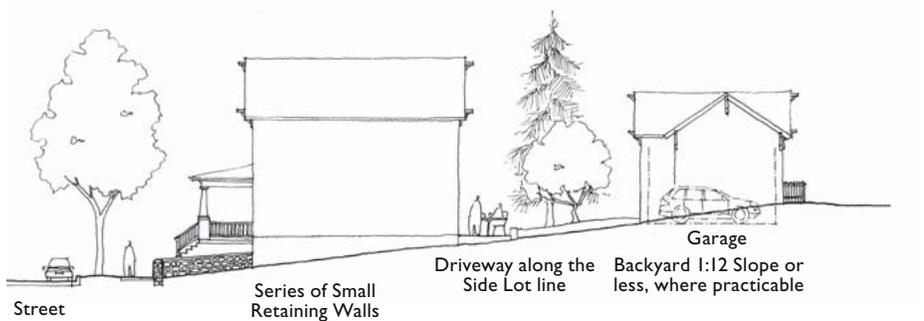
- C. **Building Height.** Sites with uneven topography present unique issues in relation to building height.
1. The Form-Based Code addresses building height in the following locations:
 - a. **Maximum and/or Minimum Building Height.** Building heights are regulated by the transect zone. See Section 1703-2 (Specific to Transect Zones).
 - b. **Overall Building Height.** The maximum height of a building follows the existing topography of a site. This ensures that buildings comply with the building height across an entire site. See Subsection 1703-5.60 (Building Height).
 - c. **Exposed Basements.** The maximum amount a basement may be exposed before it counts as a building story is set forth in Subsection 1703-5.60.E.2.
- D. **Location of Parking.** Steep topography can present issues with locating parking on a lot. Table 1703-8.30.A (Allowable Variations) provides findings and allowed administrative variations for issues arising from steep topography preventing parking spaces from being provided in accordance with the standards in Section 1703-2 (Specific to Transect Zones).
- E. **Grading or Regrading of Sites.** When a site's topography is modified, the site shall be graded in such a way to avoid the following features:
1. Retaining walls or blank walls taller than four feet in height within required front street or side street setbacks or build-to lines;
 2. Retaining walls on rear or side lot lines; and
 3. New site grading that permits construction of buildings that do not reflect the pre-construction topography of the site.
- The drawings on the following three pages illustrate methods of inappropriate and appropriate site grading methods.
- F. **Massing.** Buildings on steep slopes should reflect the pre-construction topography of the site.
1. Buildings with footprints 36 feet wide or less shall have a simple water table or change in contrasting material between the basement and the ground floor.
 2. Buildings with footprints wider than 36 feet, and those 3 stories or taller shall have a minimum of one story tall defined base. The base shall be defined through the use one of the following methods:
 - a. Contrasting change in material;
 - b. Use of a continuous shopfront frontage; and/or
 - c. A continuous horizontal band between the base and upper floors.
- G. **Administrative Relief.** Subsection 1703-8.30 (Varying The Form; Administrative Variations) provides a process to obtain variations to standards found in this Chapter due to topographic constraints.

Parking Access on Uphill and Downhill Sites. The following examples illustrate appropriate methods of providing access to parking areas on uphill and downhill sites.

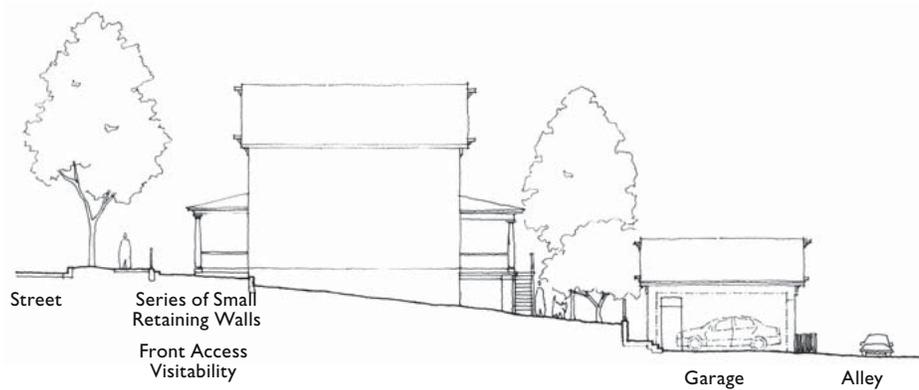
Example of appropriate grading of an uphill site that has alley access for parking.



Example of appropriate grading of an uphill site that has access to parking from the front of the lot.



Example of appropriate grading of a downhill site that has alley access for parking.



Example of appropriate grading of a downhill site that has access to parking from the front of the lot.

