



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

To complete this form: Open with Internet Explorer,
then Click Here to Save and continue.

Property Information

Project Address: <u>810 West Live Oak St. Austin</u>	Tax Parcel ID: _____
Legal Description: <u>Lot 4 Block 7 Boulden Moon South extension</u>	
Zoning District: <u>Single family residential</u>	Lot Area (sq ft): <u>5853 sq ft</u>
Neighborhood Plan Area (if applicable): <u>Boulden Creek</u>	Historic District (if applicable): <u>N/A</u>

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	(If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N	Does this site have a septic system? Y <input checked="" type="radio"/> N
(If yes, approval through Aviation is required)	(If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N
(If yes, EHZ review is required)	(Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="radio"/> N	(If yes, application for a tree permit with the City Arborist is required)
Note: Include tree location(s) on plot plan.	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <input checked="" type="radio"/> N	
Does this site currently have: water availability? Y <input checked="" type="radio"/> N	(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)
wastewater availability? Y <input checked="" type="radio"/> N	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N	
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N	(If yes, submit approved auxiliary and potable plumbing plans.)
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="radio"/> N	(If yes, contact the Development Assistance Center for a Site Plan Exemption)
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N
(LDC 25-2 Subchapter C Article 3)	(LDC 25-2-180, 25-2-647)
Does this site front a paved street? Y <input checked="" type="radio"/> N	Is this site adjacent to a paved alley? Y <input checked="" type="radio"/> N
(If no, contact Development Assistance Center for Site Plan requirements.)	(Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N	
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Existing Use: vacant <input checked="" type="checkbox"/> single-family residential	duplex residential	two-family residential	other: _____
Proposed Use: vacant <input checked="" type="checkbox"/> single-family residential	duplex residential	two-family residential	other: _____
Project Type: new construction	addition	<input checked="" type="checkbox"/> addition/remodel	other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <input checked="" type="radio"/> N			
(Note: Removal of all or part of a structure requires a demolition permit application.)			
# of existing bedrooms: <u>2</u>	# of bedrooms upon completion: <u>4</u>	# of baths existing: <u>2</u>	# of baths upon completion: <u>3</u>
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>Renovate + regrade existing house. Construct a partial 2nd floor living space. Construction a 1st floor addition to the rear of the house</u>			
Trades Permits Required (Circle as applicable): <u>electric</u> <u>plumbing</u> <u>mechanical (HVAC)</u> <u>concrete (R.O.W.)</u>			

Job Valuation		
Total Job Valuation: \$ <u>151,016.00</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>151,016.00</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: \$ <u>151,016.00</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>151,016.00</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Bldg: \$ <u>121,020</u> Elec: \$ <u>15,522</u> Plmbg: \$ <u>5,683</u> Mech: \$ <u>8,791</u>
	Amount for Accessory Structure: \$ <u>0</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	<u>1,452</u>		<u>370</u>		<u>1,822</u>	
b) 2 nd Floor conditioned area			<u>1,092</u>		<u>1,092</u>	
c) 3 rd Floor conditioned area						
d) Basement						
e) Covered parking (garage or carport)						
f) Covered patio, deck, porch, and/or balcony area(s)	<u>46</u>		<u>86</u>		<u>132</u>	
g) Other covered or roofed area						
h) Uncovered wood decks						
Total Building Area (total a through h)	<u>1,498</u>		<u>1,632</u>		<u>3,130</u>	
i) Pool						
j) Spa						
Building Coverage Information						
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)						
Total Building Coverage (sq ft): <u>1,868</u> % of lot size: <u>32</u>						
Impervious Cover Information						
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)						
Total Impervious Cover (sq ft): <u>2,616</u> % of lot size: <u>45</u>						
Setbacks						
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="radio"/> Y <input type="radio"/> N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="radio"/> Y <input type="radio"/> N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input type="radio"/> Y <input checked="" type="radio"/> N						
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)						
Building Height: <u>29</u> ^{10 3/8} ft Number of Floors: <u>2</u>			Parking (LDC 25-6 Appendix A & 25-6-478)			
			# of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
Right-of-Way Information						
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input type="radio"/> Y <input checked="" type="radio"/> N						
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input type="radio"/> Y <input checked="" type="radio"/> N						
Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required) <input type="radio"/> Y <input checked="" type="radio"/> N						

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,452.00	370.00			1,822.00
2 nd Floor		466.00			466.00
3 rd Floor					0.00
Area w/ ceilings > 15'		32.30	Must follow article 3.3.5		32.30
Ground Floor Porch* (check article utilized)	46.00		<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	46.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic		626.00	Must follow article 3.3.3C, see note below	626.00	0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	1,498.00	1,494.30			2,320.30

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,320.30

(Total Gross Floor Area ÷ Lot Area) x 100 = 40 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.









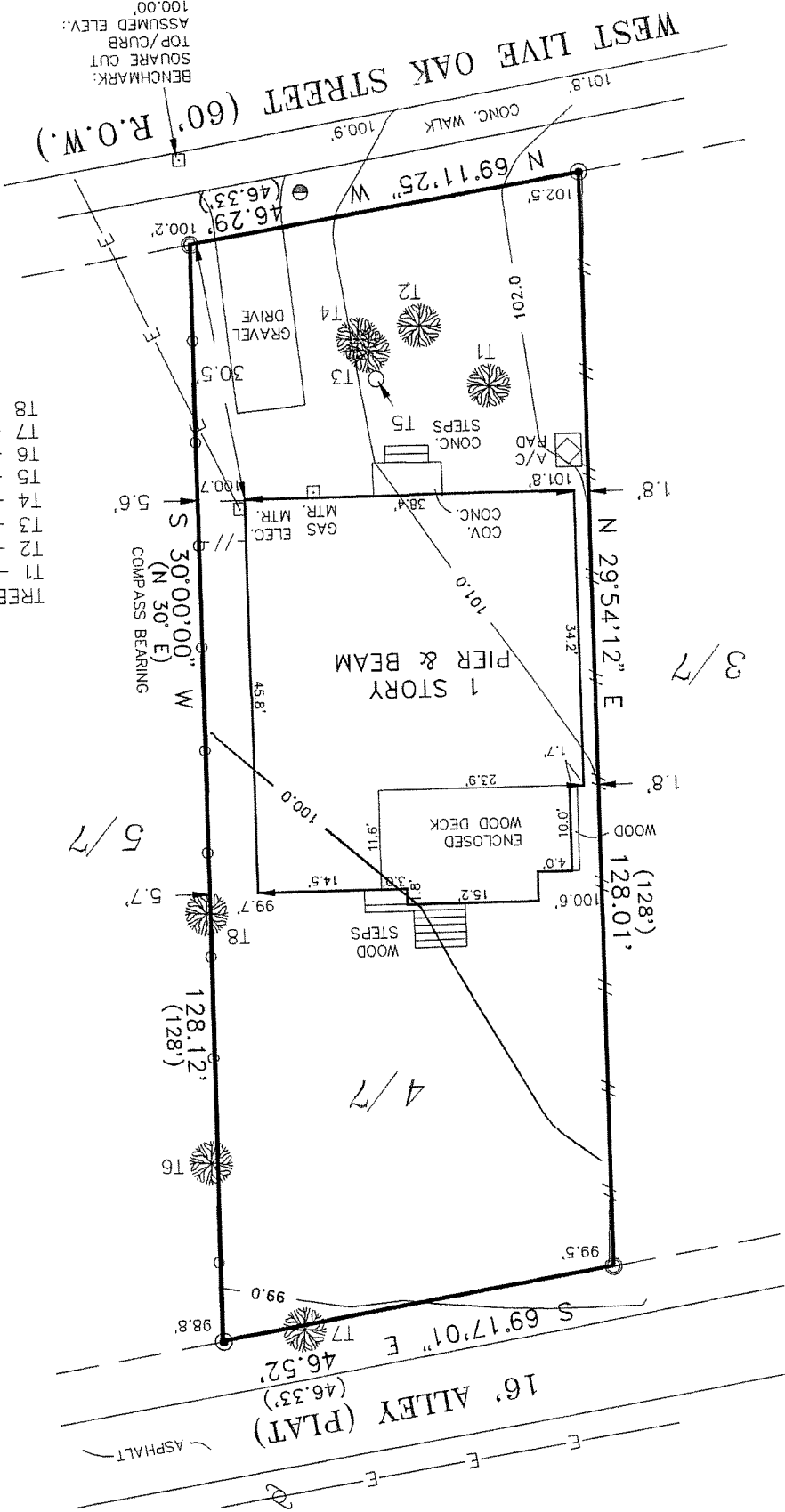






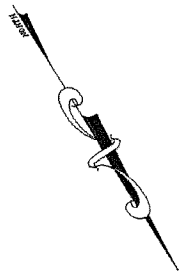
810 WEST LIVE OAK STREET

SURVEY OF LOT 4, BLOCK 7, SOUTH EXTENSION OF BOULIDIN ADDITION,
A SUBDIVISION RECORDED IN VOL. 1, PG. 94, PLAT RECORDS, TRAVIS
COUNTY, TEXAS.



NOTE:
NO TITLE COMMENT
FURNISHED. EASEMENTS
AND SETBACKS SHOWN
PER PLAT.

1" = 20'



- TREES:
- T1 - 29" LIVE OAK
 - T2 - 15" LIVE OAK
 - T3 - 14" LIVE OAK
 - T4 - 14" LIVE OAK
 - T5 - 22" LIVE OAK (TREE TRUNK ONLY)
 - T6 - 9" ELM
 - T7 - 14" ELM
 - T8 - 12" HACKBERRY

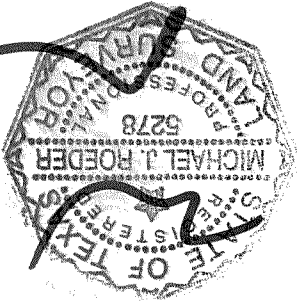
- LEGEND
- 1/2" IRON PIN FOUND
 - WATER METER
 - CHAIN LINK FENCE
 - OVERHEAD ELECTRIC LINE(S)
 - () RECORD INFORMATION

BENCHMARK:
SQUARE CUT
TOP/CURB
ASSUMED ELEV.:
100.00'

ROEDER
SURVEYING

3705 VINELAND DRIVE
AUSTIN, TEXAS 78722
(512) 478-7673
FIRM #10094400

The property shown hereon is located in
Zone "X": areas outside the 500 year
floodplain as shown on Community Panel
Number 480624 0585 H of the FLOOD
INSURANCE RATE MAP prepared for the
City of Austin by the Federal Insurance
Administration Department, H.U.D.
Effective Date: 9-26-08



DATE: 7-28-16

16-121

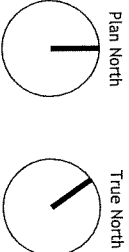
Seal:

11/4/2016

AANDAHL
CONSTRUCTION CO.

LIVE OAK RESIDENCE
REMODEL + ADDITION
801 WEST LIVE OAK ST.
AUSTIN, TEXAS 78737

Issue

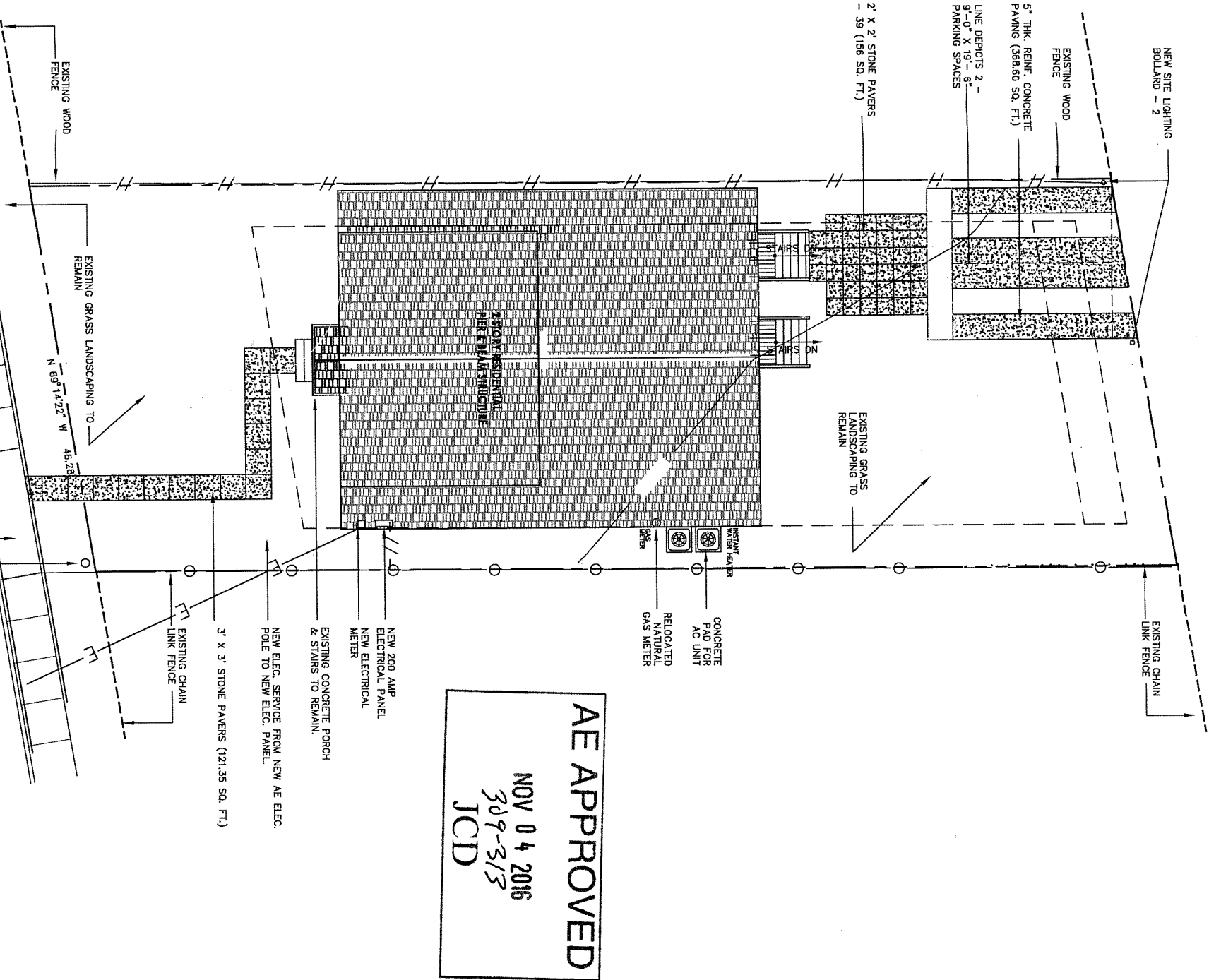


Project Number, 00-000

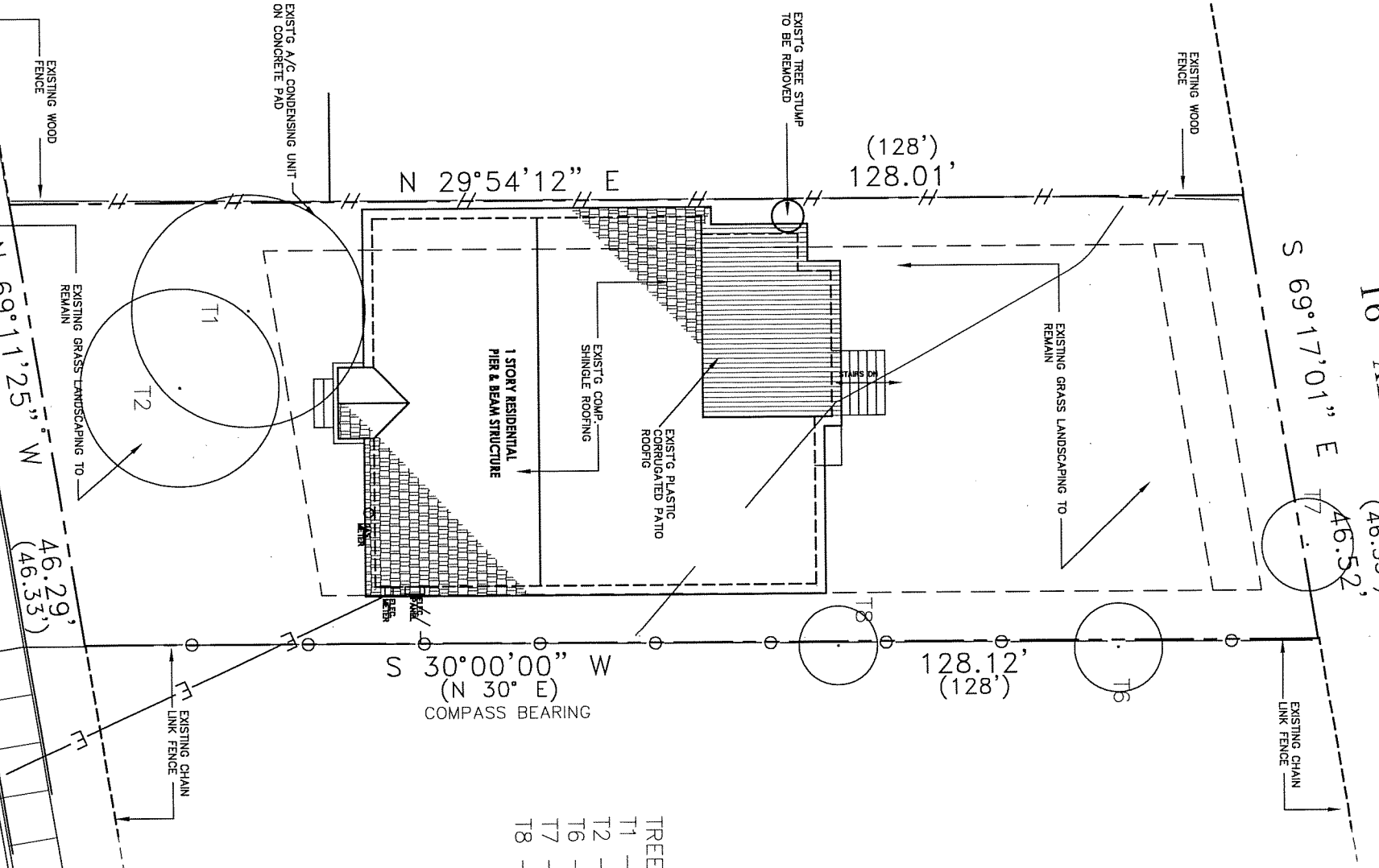
Drawn By,
Checked By,

SITE PLAN

A100



AE APPROVED
NOV 04 2016
309-313
JCD



- TREES:
- T1 - 29" LIVE OAK
 - T2 - 15" LIVE OAK
 - T6 - 9", 8" ELM
 - T7 - 14" ELM
 - T8 - 12" HACKBERRY

EXISTING SITE PLAN

Scale: 1/16" = 1'-0"

PROPOSED SITE PLAN

Scale: 1/16" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
2. ALL WORK RELATING TO THE CONSTRUCTION SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.
3. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND STATE REQUIREMENTS FOR ELECTRICAL, MECHANICAL, ELECTRICAL AND PLUMBING (MEP) WORK. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND STATE REQUIREMENTS FOR ELECTRICAL, MECHANICAL, ELECTRICAL AND PLUMBING (MEP) WORK.
4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE GIVEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION WHETHER SHOWN ON CONTRACT DOCUMENTS OR NOT SHALL NOT BE ACCEPTED OR PAID.
5. ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE OF THE BEST QUALITY AND SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIAL OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME.
6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE AND MAINTENANCE. THE INSTALLATION OF ALL EQUIPMENT SHALL BE NECESSARY TO CORRECTLY INSTALL, OPERATE, MAINTAIN, REPAIR, REPLACE, AND REMOVE THE EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. ALL DAMAGE TO EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR.
7. ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. ALL DAMAGE TO EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS, AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS, AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS, AND GOOD CONSTRUCTION PRACTICES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
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ADDITIONAL NOTES

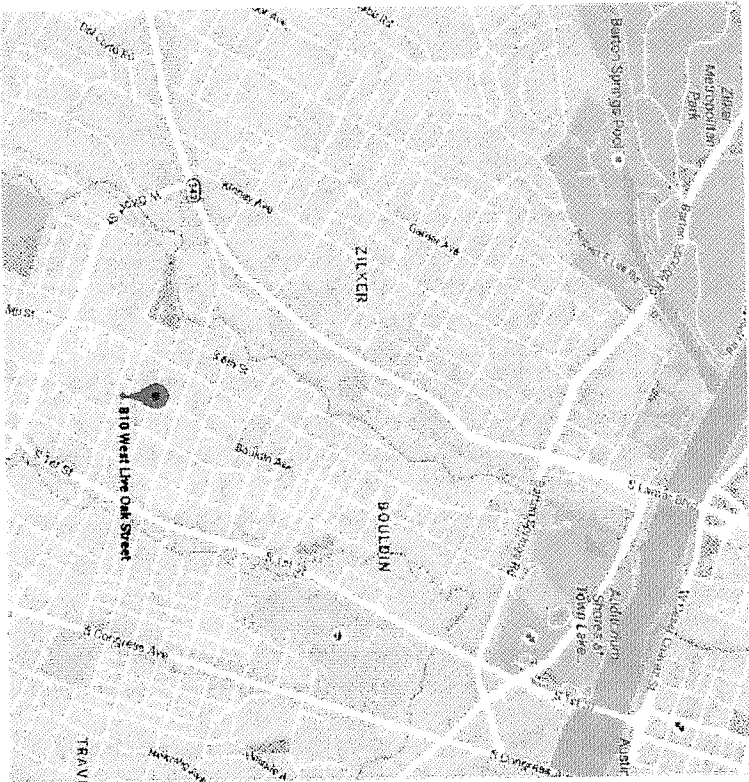
1. OWNER/CONTRACTOR TO ENSURE COMPLIANCE OF EXISTING CONDITIONS WITH HAS SECTIONAL 1601.1. ALTERATIONS TO AN AREA CONTAINING A PRIMARY FUNCTION, BEHIND THE EXISTING BUILDING CONDITIONS COMPLY WITH 1 OR BE BROUGHT INTO COMPLIANCE WITH THE EXISTING BUILDING CONDITIONS. THE ACCESSIBLE ROUTE FROM THE ENTRANCE OF THE ALTERED AREA SHALL COMPLY WITH ALL SECTION 4.3. ACCESSIBLE ROUTE REQUIREMENTS.
2. ALL CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH THE APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND LAWS. WORKS MUST COMPLY WITH THE US DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS. DIMENSIONS ARE TO FACE OF GROUND BOARD AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
3. WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL BE THE REFERENCE OVER SCALD DIMENSIONS AND SCALE DRAWINGS. DIMENSIONS ARE TO FACE OF GROUND BOARD AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
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5. EACH CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS AND PAY FOR THE GENERAL BUILDING PERMIT AS NECESSARY. THE CONTRACTOR SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DISCREPANCIES. THE CONTRACTOR SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DISCREPANCIES.
6. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. COMMENCEMENT OF THE WORK IMPLIES ACCEPTANCE OF CONDITIONS. THE CONTRACTOR SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DISCREPANCIES.
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PROJECT TEAM

CONTRACTOR:
Aandahl Construction Co.
2600 Lake Austin Boulevard #6102
Austin, Texas 78703

ARCHITECT:
Workshop No. 5
Bhavani Singal
PO Box 300126
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STRUCTURAL ENGINEER:
A-1 Engineering, LLC
Moises A. Cruz
401 Congress Avenue, Suite 1540
Austin, Texas 78701
512.298.3360



1 VICINITY MAP
Scale: NTS

SHEET INDEX

SHEET NO.	SHEET NAME	DATE	REV
ARCHITECTURAL			
A000	COVER SHEET		
A001	SPECIFICATIONS		
A002	CODE INFORMATION		
A003	AREA CALCULATIONS		
A100	SITE PLAN		
A200	FIRST FLOOR PLAN		
A201	SECOND FLOOR PLAN		
A300	EXTERIOR ELEVATIONS		
A301	EXTERIOR ELEVATIONS		
A302	EXTERIOR ELEVATIONS		
A400	INTERIOR ELEVATIONS		
A700	ROOF PLAN		
A800	DOOR AND WINDOW SCHEDULES		
A801	ELECTRICAL PLAN		
STRUCTURAL			
S000	STRUCTURAL COVER SHEET		
S100	GENERAL NOTES AND SCHEDULES		
S101	STRUCTURAL PLANS		
S102	STRUCTURAL PLANS		
S103	STRUCTURAL PLANS		
S104	STRUCTURAL PLANS		
S105	STRUCTURAL DETAILS		
S6.1	STRUCTURAL DETAILS		

LEGAL DISCRIPTION

LOT 1 BLK 7 BOLDEN ADDN SOUTH EXTENSION

PROJECT SCOPE

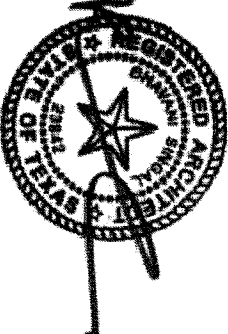
EXISTING 1,452 SF CONDITIONED SPACE AND 301 SF OF UNCONDITIONED SPACE WILL BE REMODELED AND ADDED TO WITH A TWO STORY ADDITION, ADDING 1,155 SF WITH 628 SF OF EXISTING UNFINISHED ATTIC SPACE.

PROJECT INFORMATION

PROJECT NAME	LIVE OAK RESIDENCE
PROJECT NUMBER	
PROJECT LOCATION	810 WEST LIVE OAK STREET, AUSTIN, TEXAS 78704
BUILDING COMPONENTS	2 STORY RESIDENTIAL REMODEL + ADDITION
PREPARED BY	BHAVANI SINGAL

APPLICABLE CODES AND ORDINANCES

LOCAL BUILDING CODE EDITION	2012 INTERNATIONAL BUILDING CODE AS AMENDED BY THE CITY OF AUSTIN ORDINANCE SUBCHAPTER F - RESIDENTIAL DESIGN AND CONSTRUCTION STANDARDS
BUILDING DEPARTMENT	CITY OF AUSTIN
ADDRESS	555 BARTON SPRINGS ROAD, AUSTIN, TEXAS 78701
PHONE	
CONTACT	
ZONING ORDINANCES	CITY OF AUSTIN, LAND DEVELOPMENT CODE, TITLE 25
BUILDING CODE	2012 INTERNATIONAL RESIDENTIAL CODE
ACCESSIBILITY CODE	VISIBILITY ONLY FOR NEW CONSTRUCTION PROJECTS
OTHER CODES	25-12 TECHNICAL CODE



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11/18/2016

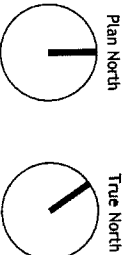
1" = 1'-0" - 22x34
1/8" = 1'-0" - 11x17

AANDAHIL
CONSTRUCTION CO.

LIVE OAK RESIDENCE
REMODEL + ADDITION

810 WEST LIVE OAK ST.
AUSTIN, TEXAS 78704

Issue



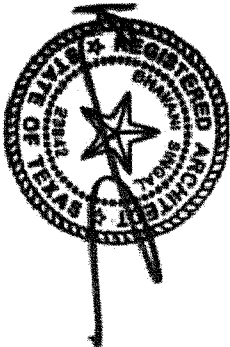
Project Number, 00-000

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Checked By,

COVER SHEET
A000

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11/18/2016

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3/8" = 1'-0" - 11x17

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LIVE OAK RESIDENCE
REMODEL + ADDITION

810 WEST LIVE OAK ST.
AUSTIN, TEXAS 78704

Issue

Plan North True North

Project Number, 00-000

Drawn By,

Checked By,

SPECIFICATIONS

A001

SPECIFICATIONS

SITE

- CUT/FILL TO ELEVATIONS SHOWN. DIRECT ALL SURFACE WATER AWAY FROM HOUSE.
- PROVIDE TREATMENT OF HOUSE AND GARAGE SLAB APPLIED BY A LICENSED APPLICATION PER LABEL DIRECTIONS.

CARPENTRY

- PROVIDE ALL ROUGH HARDWARE REQUIRED FOR PROPER CARPENTRY INSTALLATION – NAILS, SCREWS, BOLTS, HANGERS, ETC. REQUIRED TO PROPERLY SECURE WORK.
- NAILS IN UNPAINTED PINE, REDWOOD, CEDAR, GALVANIZED.
- FOR ALL JOISTS AND RATTERS, DO NOT NOTCH MORE THAN 1/4" DEPTH OF MEMBER.
- BLOCK ALL STUDS 9'-0" TALL OR GREATER.
- ROOF DECKING, 5/8" PLYWOOD, REF. STRUCTURAL ENGINEER.
- EXTERIOR WALL SHEATHING, 1/2" PLYWOOD, REF. STRUCTURAL ENGINEER.
- SIDING, HARDBOARD LAP SIDING, SMOOTH FINISH, 8'-1/2" MODUL.
- SOFFITS, SMOOTH HARDBOARD PANEL WITH 1X2 AT JOINTS.
- PASCO, DRIP, WINDOW AND DOOR TRIM AND MISC. EXTERIOR TRIM TO BE 4" HARDBOARD LAP SIDING.
- 2ND LEVEL FLOOR TO BE FLOOR TRUSS JOISTS, HANGERS AND ANY LOCATIONS AS DIRECTED BY OWNER.
- PROVIDE BLOCKING FOR CEILING TRUSS JOISTS, HANGERS AND ANY LOCATIONS AS DIRECTED BY OWNER.
- SOLE PLATES, EXTERIOR WALLS AND SUPPORTS AT CONCRETE FOUNDATIONS: #1 GALVANIZED SOUTHERN YELLOW PINE.
- WOOD UNPAINTED STRUCTURAL UNIT: REFER STRUCTURAL DRAWINGS.

METALS AND STEEL WORK

- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A-36. STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARDS OF THE AISC. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE D1.1.

MILITONOR

- SUBMIT SHOP DRAWINGS ON ALL CUSTOM WOOD WORK. SUBMIT SAMPLES OF EACH WOOD SPECIES WHICH IS TO RECEIVE STAINED FINISH.
- CONCRETE TO BE AN CUSTOM GRADE QUALITY IN MARBLE WITH STAINED FINISH, SHAPER PANEL OR CABINET FRONTS, DRAWER FRONTS, REFER TO DRAWINGS.
- PROVIDE ALL-METAL FULLY CONCEALED HINGES FOR DOORS. PROVIDE FULL EXTENSIONS, EPOXY-COATED DRAWER GUIDES.
- COUNTERTOPS AS SELECTED BY OWNER.
- MISCELLANEOUS SHELING AT CLOSETS AND PANTRY TO BE OF 3/4" WESTERN WHITE PINE OR 3/4" MDF BOARD WITH 1X STILE AND TRIM TO RECEIVE PAINTED FINISH.

TRIM CARPENTRY

- STAIR STRINGERS AND TREADS: 2X12 #1 SYP.
- INTERIOR TRIM TO BE PAINT-GRADE LUMBER, WESTERN WHITE PINE, VENEY WITH OWNER.
- DOOR AND WINDOW TRIM TO BE 1X4 HEAD WITH 1X TRIM AROUND EDGE, 1X4 SILL, WITH 1X4 STOOD, TRIM, VENEY WITH OWNER.
- BASE BOARD TO BE 1X4 WITH 1/2" CHAMFERED EDGE, VENEY WITH OWNER.

THERMAL AND MOISTURE PROTECTION

- ROOF INSULATION: R-25 BATT INSULATION WITH A/C WITHIN THERMAL ENVELOPE.
- WEATHER-SEAL AROUND WINDOWS, EXTERIOR DOORS AND ALL PENETRATIONS IN EXTERIOR WALLS WITH 2 STEP POLYCEL EXPANDING POLYURETHANE FOAM. PROVIDE STYROFOAM SILL SEAL CONTINUOUSLY UNDER SILL PLATES AT ALL EXTERIOR WALLS.
- 15 LB. BUILDING FELT OVER ALL PLYWOOD SHEATHING.
- IMPERIATION CALKING: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAME: OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, AND BETWEEN WALL PANEL, AROUND ELECTRICAL OUTLETS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH APPLICATION OF MASTIC AT ALL FREE EDGES OF FLASHINGS.
- SHEET METAL FLASHING: 26 GAUGE, PAINT GRP, GALVANIZED. PROVIDE A GENEROUS APPLICATION OF MASTIC AT ALL FREE EDGES OF FLASHINGS.
- PUMPING VENTS, PREFORMED LEAD FLASHING, 12" MODUL AT ALL WINDOW SILLS, CONTINUE UP JAMBS AT LEAST 6 INCHES.
- COMPOSITION SHINGLE ROOF: COLOR SELECTED BY OWNER.
- PROVIDE STANDARD GUTTERS AND DOWNSPOUTS, COLOR TO MATCH METAL ROOF.
- PROVIDE TYPICAL HOUSE WRAP AT ALL EXTERIOR WALL, WRAP AROUND ALL HEADS, JAMBS, AND SILLS.

FINISHES

- PAINTING: PROVIDE SAMPLES ON DRYWALL MATERIAL FOR APPROVAL OF COLOR. COLORS SELECTED BY OWNER.
- ONE GALLON OF EACH COLOR SHALL BE LEFT AT JOB SITE FOR FINAL TOUCH-UP.
- TILE: ALL JOINTS MUST ALIGN. COLOR AND FINISH AS SELECTED BY OWNER. INSTALL WITH BUILDING COVERED BASE, CORNER ANGLES AND ALL APPLICABLE TRIM PIECES. TUB/SHOWER RECESS: 1/4" SET TILE ON ALL VERTICAL AND HORIZONTAL SURFACES. COLOR AS SELECTED BY OWNER.
- GYPSUM BOARD TO BE 1/2" THICK AT WALLS AND 5/8" THICK AT CEILINGS WITH JOINTS TAPED AND FLOATED WITH 2 COATS OF JOINT COMPOUND. PROVIDE SMOOTH FINISH ACHIEVED BY FLOATING ENTIRE SURFACE. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD BEHIND ALL CERAMIC TILE INSTALLATIONS.

DOORS & WINDOWS

- EXTERIOR DOORS TO HAVE TEMPERED GLASS, DOUBLE PANE, PAINT GRADE. INTERIOR DOORS TO BE FIR OR WESTERN WHITE PINE 1 PANEL DOORS.
- WINDOWS TO BE METAL FRAME, DOUBLE PANE, PAINT GRADE. COLOR AS SELECTED BY OWNER. ALL WINDOW GLAZING TO BE LOW E.
- ARCHITECT TO REVIEW WINDOW ORDER.

APPLIANCES

- OWNER SELECTED APPLIANCES TO BE INSTALLED BY CONTRACTOR.

PLUMBING

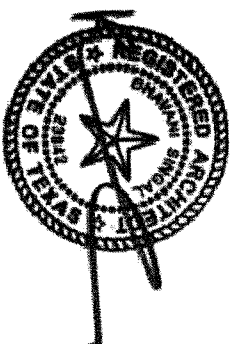
- COMPLETE HOT AND COLD DOMESTIC PIPING, SANITARY DRAINAGE PIPING, FIXTURES, EQUIPMENT AND DRAINS, IN COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL, STATE, AND NATIONAL ORDINANCES.
- HOT AND COLD DOMESTIC WATER PIPING, BELOW SLAB, TYPE 1 SOFT DRAIN, AVOIDING JOINTS ABOVE BUILDING SLAB, TYPE 1 HARD DRAIN COPPER.
- JOINTS ASSURED WITH CAST BRASS OR WROUGHT COPPER FITTINGS AND 90-90 SOLDER. PROVIDE AIR CHAMBERS AT FIVELINES.
- INSULATE HOT WATER LINES.
- SILICOES SHALL HAVE BLACK SPOONGAGE PROTECTION.
- SEWERS SHALL HAVE 4" DIA. UNITS (SINK, WASTE, AND VENT) SHALL BE SCHEDULE 40 PVC PIPE FITTINGS. HORIZONTAL WASTE AND SOIL SHALL BE GIVEN A GRADE OF 1/4" PER FOOT WHERE POSSIBLE. TWO OR MORE VENTS SHALL BE CONNECTED TOGETHER AND EXTENDED AS ONE VENT THROUGH ROOF. VENT FLASHING SHALL BE 2 LB. LEAD WITH BASE EXTENDING 10" IN EACH DIRECTION AND TURNED DOWN INSIDE STACK 1" MINIMUM.
- PROVIDE ONE INSTANTANEOUS WATER HEATER FOR EACH UNIT.
- ALL PLUMBING FIXTURES AS SELECTED BY OWNER.

MECHANICAL

- COOLING SYSTEM TO MAINTAIN 76 DEGREES TEMPERATURE CONTINUOUSLY WITH OUTDOOR TEMPERATURE AT 96 DEGREES. HEATING SYSTEM TO MAINTAIN 72 DEGREES TEMPERATURE CONTINUOUSLY WITH OUTDOOR TEMPERATURE AT 30 DEGREES. ENERGY SOURCE, LIQUID PETROLEUM GAS SYSTEM; MINIMUM SEER 14.
- TWO UNIT SYSTEM, COORDINATE WITH ARCHITECT FOR PROPOSED ZONING.
- DUCTWORK TO BE FLEXDUCT. CONTRACTOR SHALL SIZE ALL DUCTS AND REGISTERS AND GUARANTEE PROPER AIR DISTRIBUTION AND TEMPERATURE CONTROL. RETURN AIR LOCATION TO BE APPROVED BY ARCHITECT AS REQUIRED. ALL ADDITIONAL CHASES NOT INDICATED ON DRAWINGS.
- ROUND REFRIGERANT CONDENSATE.
- FOUNDATIONS AND ISOLATIONS CONDENSING UNITS, 4" CONCRETE SLAB BY MECHANICAL CONTRACTOR. CONDENSING UNITS TO BE PLACED NO CLOSER THAN 1'-6" FROM EACH OTHER OR ANY WALL OR OBSTRUCTION. FURTHERMORE, NO UNIT SHALL BE PLACED UNDER AN OVERHANG THAT IS LESS THAN 8 FEET ABOVE THE TOP OF THE UNIT. NO OVERHANG SHALL ALLOW RAIN TO DRAIN FROM ROOF ONTO UNIT.
- REFRIGERANT PIPING, TYPE L COPPER. CONDENSATE DRAIN, PVC SCHEDULE 40.

ELECTRICAL

- CONDUCTOR: COMPLETE SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRIC CODE. SERVICE CHARACTERISTICS: 120/240 VOLT SINGLE PHASE. TO EACH UNIT. CONNECT EQUIPMENT FURNISHED BY OTHERS, SUCH AS HVAC UNITS, CONDENSING UNITS, THERMOSTATS, WATER HEATER, ETC.
- CHECK ALL WIRING FOR CONTINUITY AND GROUND. GROUND FAULT CIRCUIT INTERRUPTER AT ALL BATHROOMS, GARAGES, AND EXTERIOR AS REQUIRED BY CODE. PANELBOARDS, LOAD CENTER, LABEL ALL CIRCUITS. SAFETY AND DISCONNECT SWITCHES, NEMA TYPE 1 OR 3R, TO SUIT ENVIRONMENT.
- CONDUIT: FOR ALL CONDUCTORS REGARDLESS OF SIZE IN CONCRETE, MASONRY, AND OTHER DANGEROUS LOCATIONS AS PER CODE. WHEN ENTER VERTICAL, FINISHED FLOOR, UNLESS OTHERWISE NOTED, DEVICES PLATES, VENT LOCATIONS WITH OWNER. FLOOR RECEPTACLES, BRASS FACE PLATES.
- SAFETY AND DISCONNECT SWITCHES: NEMA TYPE 1 OR 3R, TO SUIT ENVIRONMENT.
- PREFIRE FOR PHONE, ALARM, AND TELEVISION CABLE.
- PROVIDE DOORBELL SYSTEM AT FRONT ENTRANCE, COORDINATE WITH OWNER.



Seal:

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11/18/2016

1" = 1'-0" - 22x34
1/8" = 1'-0" - 11x17

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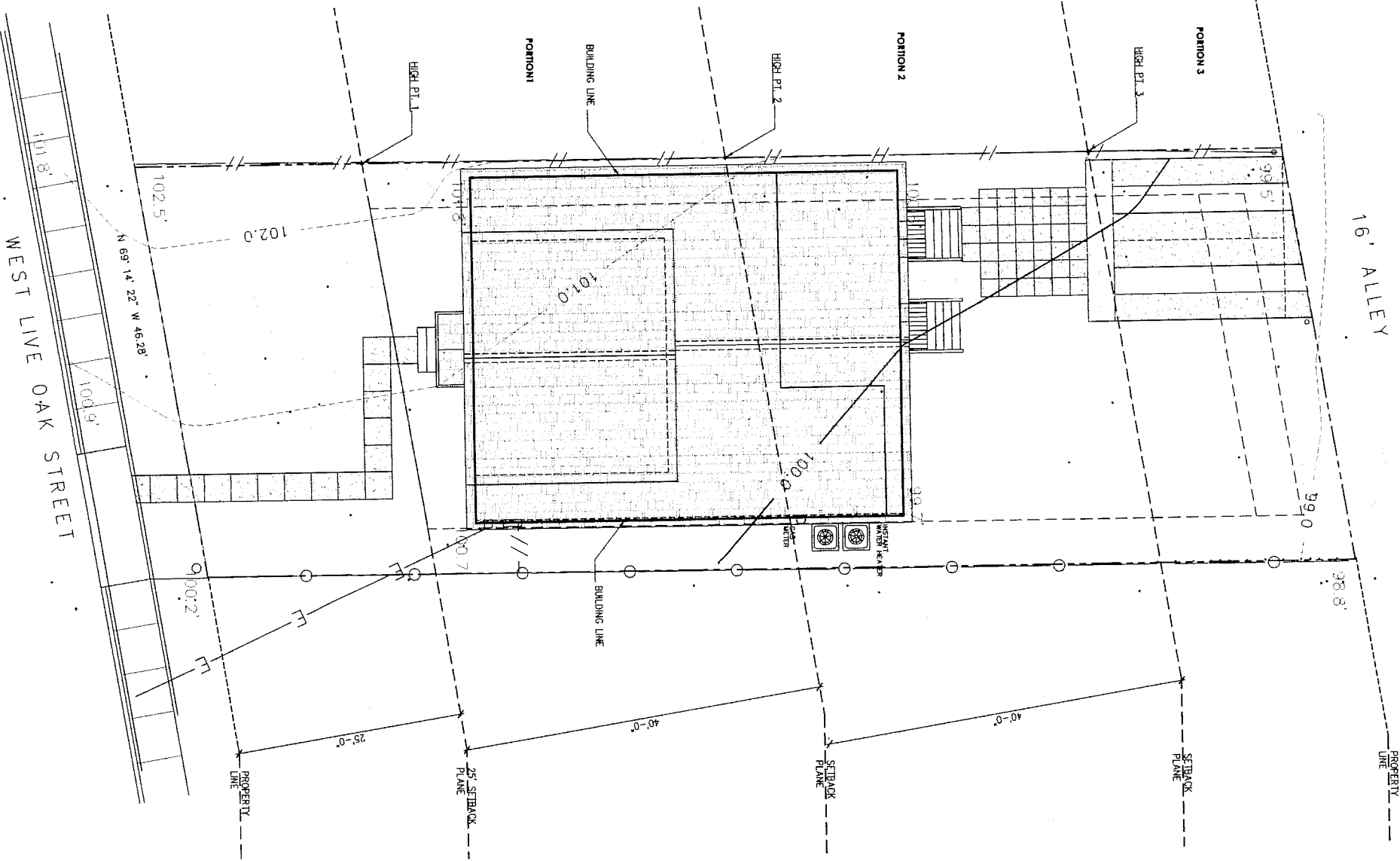
LIVE OAK RESIDENCE
REMODEL + ADDITION
810 WEST LIVE OAK ST.
AUSTIN, TEXAS 78704

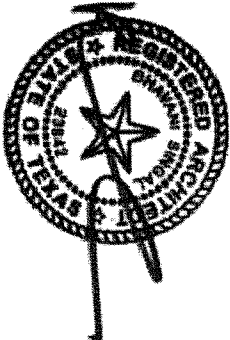
Issue

Plan North True North
Project Number, 00-000
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CODE INFORMATION

A002





Seal:

PERMIT SET
11/18/2016

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 $\frac{1"}{8"} = 1'-0" - 11x17$

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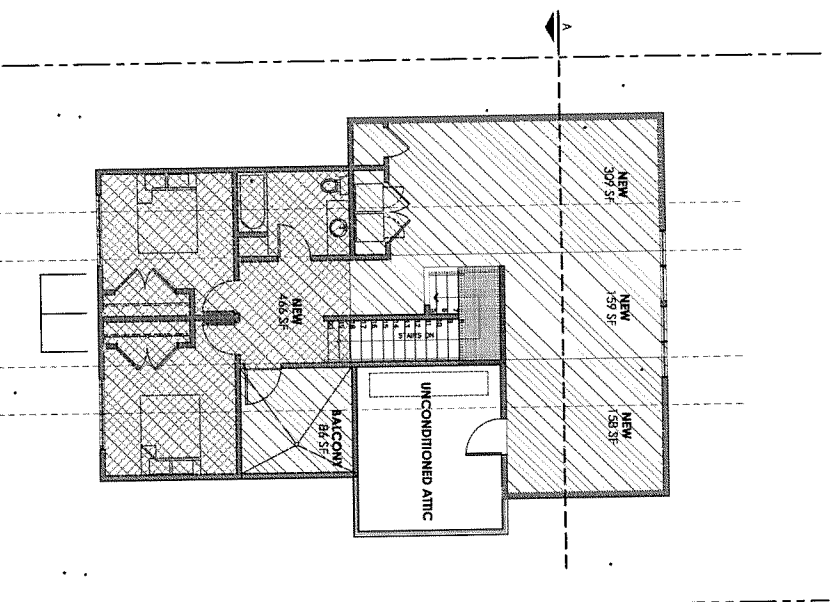
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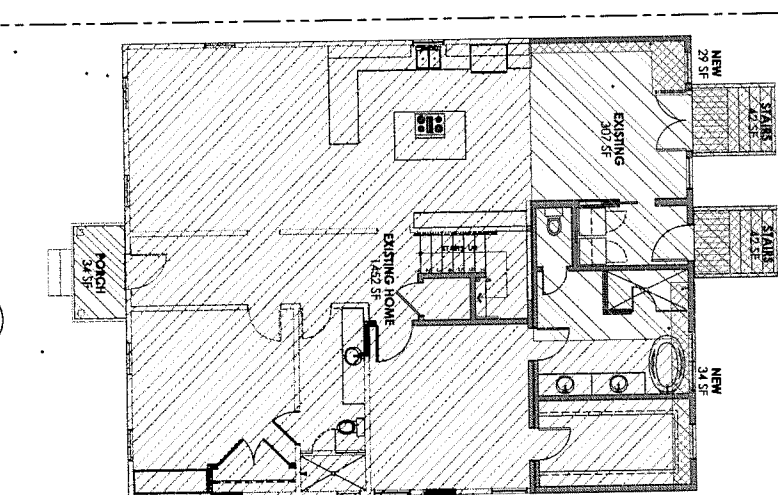
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True North
Project Number, 00-000
Drawn By,
Checked By,

AREA
CALCULATIONS

A003



1 SECOND FLOOR
Scale: 1/8" = 1'-0"

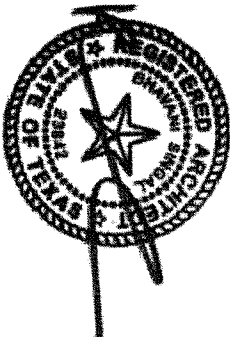


2 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

AREA CALCULATIONS

SPACES	EXISTING	NEW	TOTAL	EXEMPT	TOTAL
1ST FLOOR CONDITIONED AREA	1,452 SF	370 SF	1,822 SF	626 SF	1,196 SF
2ND FLOOR CONDITIONED AREA		1,092 SF	1,092 SF	466 SF	626 SF
COVERED PARKING	46 SF	86 SF	132 SF	0 SF	132 SF
COVERED PORCH					
COVERED BALCONY					
AREA WITH CEILING > 15'					
TOTAL BUILDING AREA	1,498 SF	1,548 SF	3,046 SF		3,046 SF
TOTAL BUILDING COVERAGE	1,498 SF	370 SF	1,868 SF		1,868 SF
DRIVEWAY		369 SF	369 SF		369 SF
SIDEWALKS		84 SF	84 SF		84 SF
UNCOVERED DECK		295 SF	295 SF		295 SF
FLATWORK					
TOTAL IMPERVIOUS COVERAGE	1,498 SF	1,118 SF	2,616 SF		2,616 SF
LOT SIZE	5,853 SF				5,853 SF
EXISTING BUILDING COVERAGE %	25.59%				25.59%
TOTAL BUILDING COVERAGE %	31.92%				31.92%
ALLOWED BUILDING COVERAGE %	40.00%				40.00%
EXISTING IMPERVIOUS COVERAGE %	25.59%				25.59%
TOTAL IMPERVIOUS COVERAGE %	44.70%				44.70%
ALLOWED IMPERVIOUS COVERAGE %	45.00%				45.00%
TOTAL GROSS FLOOR AREA	40%				2,320.30 SF

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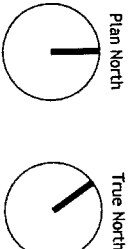
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$\frac{1}{8}" = 1'-0"$ - 22x34
 $\frac{1}{16}" = 1'-0"$ - 11x17

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CONSTRUCTION CO.

LIVE OAK RESIDENCE
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810 WEST LIVE OAK ST.
AUSTIN, TEXAS 78704

Issue



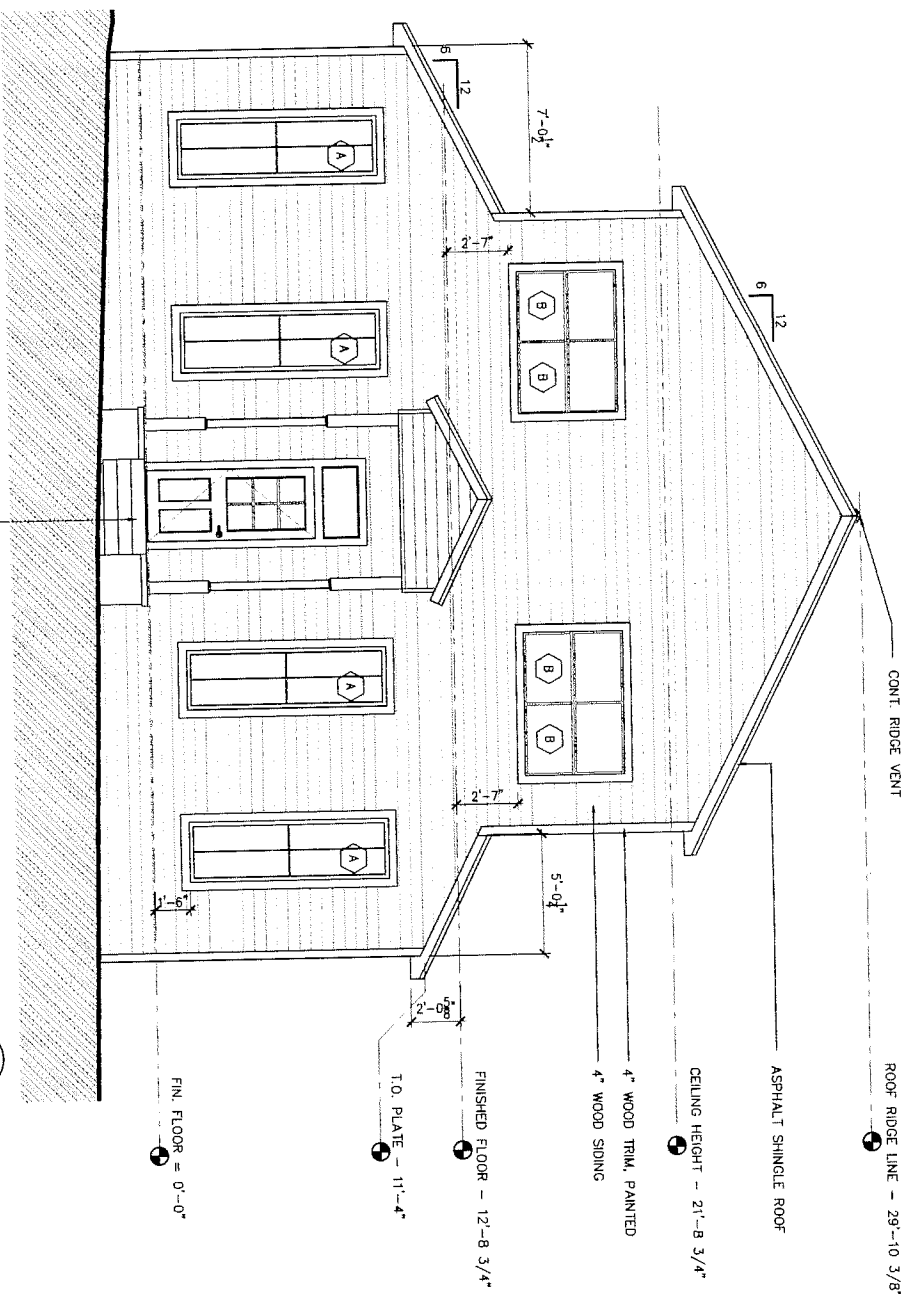
Project Number, 00-000

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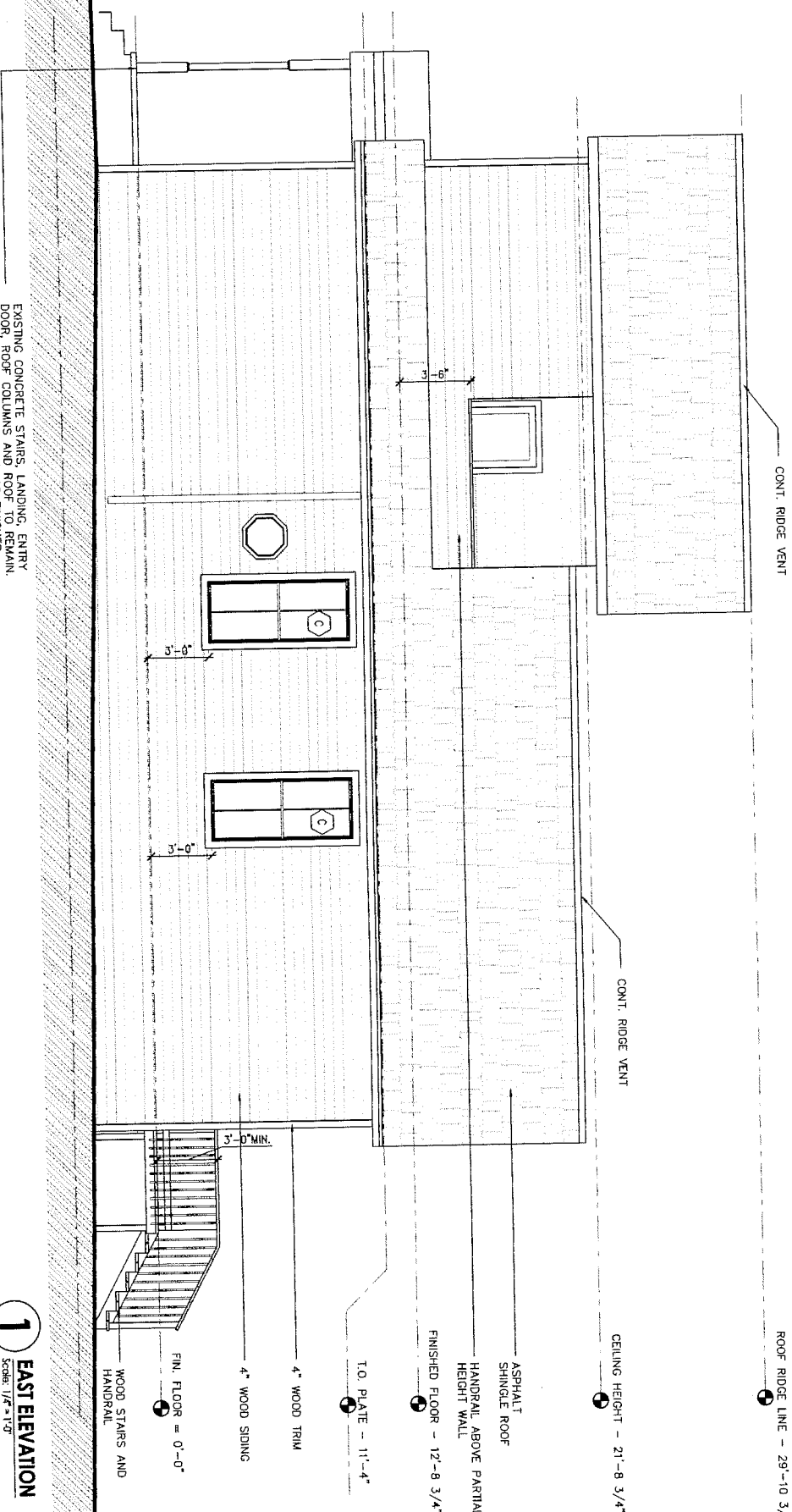
EXTERIOR
ELEVATIONS
A300

- GENERAL ELEVATION NOTES**
- HANDRAILS PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS
 - FLUME OR STAIRS SHALL NOT BE LESS THAN 3" AND NO MORE THAN 4" RISES
 - CONTINUITY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM DIRECTLY ABOVE THE TOP RISER TO DIRECTLY ABOVE THE LOWEST RISER AND SHALL BE RETURNED PORCHES, BALCONIES, PORCHES OR BASED FLOOR FINISHES SHALL BE MORE THAN 3" ABOVE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 3" HORIZONTALLY TO THE EDGE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT WITH A MAXIMUM 4" OPENING.
 -



2 SOUTH ELEVATION
Scale: 1/4"=1'-0"

EXISTING CONCRETE STAIRS, LANDING, ENTRY DOOR, ROOF COLUMNS AND ROOF TO REMAIN. PAINT TO MATCH NEW EXTERIOR FINISHES.

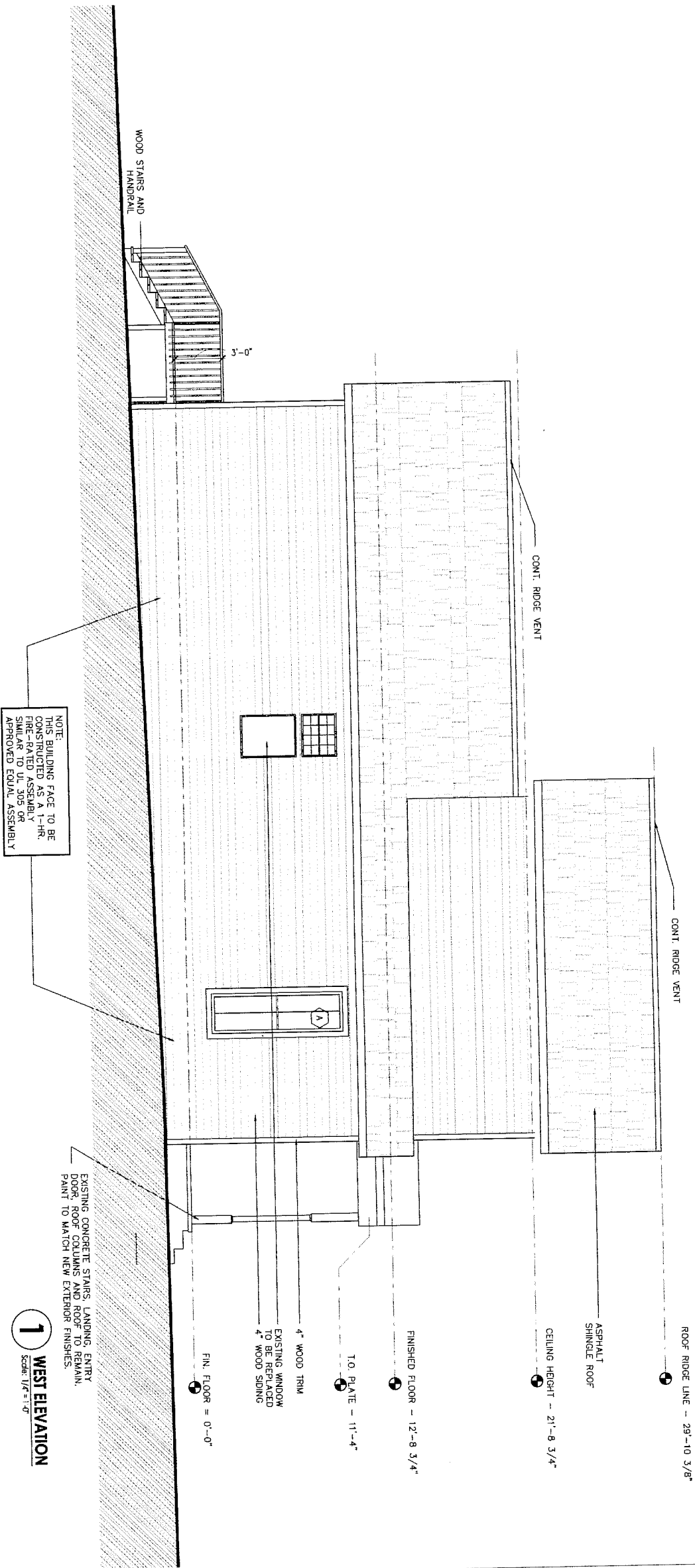
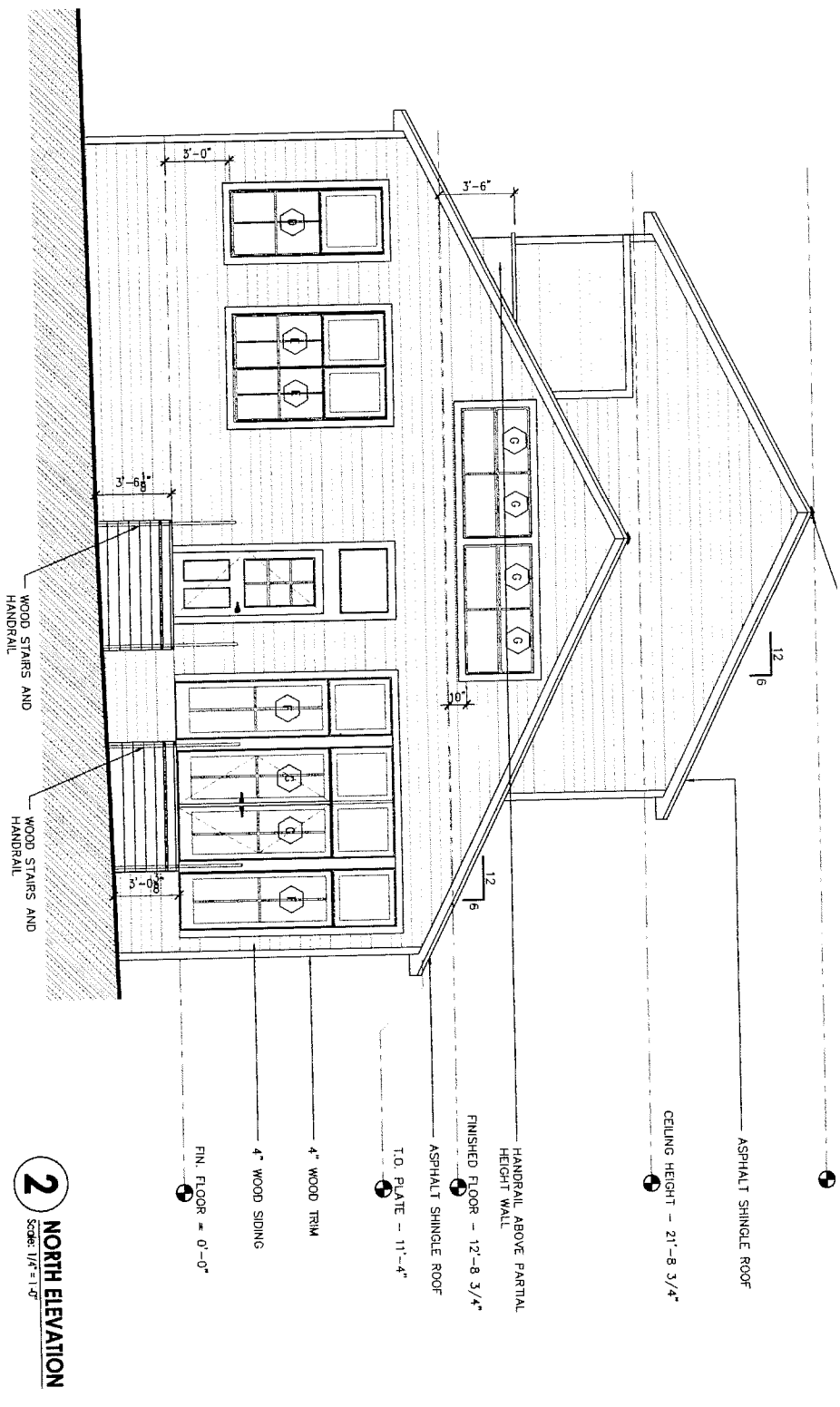


1 EAST ELEVATION
Scale: 1/4"=1'-0"

EXISTING CONCRETE STAIRS, LANDING, ENTRY DOOR, ROOF COLUMNS AND ROOF TO REMAIN. PAINT TO MATCH NEW EXTERIOR FINISHES.

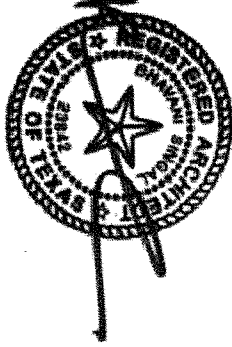
GENERAL ELEVATION NOTES

- HANDRAILS PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR CORNERS.
- RAILINGS MEASURED VERTICALLY FROM THE SLOPED PLANE OF STAIRS OR RAMP SHALL NOT BE LESS THAN 36" AND NOT MORE THAN 38 INCHES.
- CONTINUITY: SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. FROM DIRECTLY ABOVE THE TOP RISE TO DIRECTLY ABOVE THE LOWEST RISE. NO STAIRS OR RAMPED SURFACES SHALL BE USED FOR BALCONIES, RAMPERS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 30" HORIZONTALLY TO THE EDGE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT WITH A MINIMUM 4" OPENING.
-



WUKOJNUT
{No.5}
architecture design
BHAYANI SINGAL

Seal:



PERMIT SET
11/18/2016

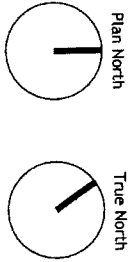
1" = 1'-0" - 22x34
4" = 1'-0" - 11x17

AANDAH
CONSTRUCTION CO.

LIVE OAK RESIDENCE
REMODEL + ADDITION

810 WEST LIVE OAK ST.
AUSTIN, TEXAS 78704

Issue



Project Number, 00-000
Drawn By,
Checked By,

EXTERIOR
ELEVATIONS
A301