



## **DOWNTOWN DENSITY BONUS PROGRAM (DDBP) SUBMITTAL APPLICATION**

### **INSTRUCTIONS**

A property owner (**Owner**) or his/her representative (**Applicant**) acting on behalf of the Owner can initiate an administrative request to the Director of Planning (Director) seeking additional Floor-to-Area (FAR) entitlements as outlined in [25-2-586 Downtown Density Bonus Program](#).

In order for the Director to conduct an administrative review, the requirements listed below must be submitted. Once an application is deemed complete, the Director will inform the Applicant of review commencement.

**The following submittals are required in a complete PDF package of no more than 10 Mb in size with sheets no larger than 11x17 inches:**

1. Completed DDBP Application;
2. Vicinity plan/aerial locating the project in its context, and showing a minimum 9 block area around the project;
3. Location and nature of nearby transit facilities;
4. Drawings (submitted drawings should demonstrate compliance with Subchapter E Design Standards, as applicable):
  - Site plan;
  - Floor plans;
  - Exterior elevations (all sides);
  - Three-dimensional views;
5. As part of the gatekeeper requirements, submit copy of the projects signed Austin Energy Green Building Letter of Intent; and
6. Other items that may be submitted but not required: Narrative / graphics / photos to further describe the project.
7. Coordination memo acknowledgment from the City of Austin's Neighborhood Housing and Community Development Department (NHCD) detailing affordable housing community benefits. Please contact [Ms. Jessi Koch](#) at NHCD for more information.



**DOWNTOWN DENSITY BONUS PROGRAM (DDBP)  
SUBMITTAL APPLICATION**

**1. Project Name:**

**2. Property Owner**

Name:

Address:

Phone:

E-mail:

**3. Applicant/Authorized Agent**

Name:

Address:

Phone:

E-mail:

**4. Anticipated Project Address:**

## 5. Site Information

- a. Lot area:
  
- b. Existing zoning (include any zoning suffixes such as "H," "CO," etc. If the property has a conditional overlay (CO), provide explanation of conditions (attach additional pages as necessary) :
  
  
  
  
  
  
  
  
  
  
- c. Existing entitlements:
  - i) Current floor to area (FAR) limitation:
  
  
  
  
  
  - ii) Current height limitation (in feet):
  
  
  
  
  
  - iii) Affected by Capitol View Corridors (CVCs) Yes/No?

Yes

No

If yes, please list specific CVC and allowable maximum height.

## 6. Existing Deed Restrictions

If any, detail existing deed restrictions on the property that impact height and/or density:

## **7. Proposed Project Information**

- a. Total square footage - Only include the square footage that counts towards FAR; see [LDC 25-1-21\(40\), \(44\), and \(45\)](#):
- b. Gross floor area devoted to the different land use categories included in the project (e.g., retail/restaurant, office, apartment, condominium, hotel):
- c. Number or units (if project includes residential development):
- d. Number of rooms (if hotel or similar use):
- e. Number of floors:
- f. Height:
- g. Maximum FAR requested:

## **8. Gatekeeper Requirements**

Provide an explanation of how this project meets the *Gatekeeper* requirements of the DDBP as described in 25-2-586. Attach additional page(s) as necessary:

**9. Community Benefits**

Detail which community benefits will be used and how they will be applied (affordable housing on site, fee in lieu of, affordable housing + community benefit, etc.). Attach additional page(s) as necessary:

**10. Density Bonus Calculation**

Provide a calculation method of how the additional FAR is sought including site area and amount per square foot. Calculation should include all *Gatekeeper* items plus all community benefits:

**11. Relate Project to the Urban Design Guidelines for Austin**

Provide detailed explanation of how the project substantially complies with the [Urban Design Guidelines for Austin](#) (UDG) with reference to specific guidelines by completing the attached UDG spreadsheet. Attach additional page(s) as necessary.

## 12. Acknowledgements

- a. Applicant has reviewed [25-2-586 Downtown Density Bonus Program](#):

Yes

No

- b. Applicant understands that a standard restrictive covenant template will be drafted by the City of Austin to address Gatekeeper requirements in accordance with 25-2-586:

Yes

No

- c. Applicant understands that submittal of the project's signed Austin Energy Green Building Letter of Intent and accompanying scorecard is mandatory:

Yes

No

- d. Applicant has received and reviewed a copy of the [Urban Design Guidelines for Austin](#):

Yes

No

- e. Applicant has scheduled presentation to the Design Commission Working Group and follow-up Design Commission Meeting by coordinating dates with Design Commission Liaison ([Jorge.rousselin@austintexas.gov](mailto:Jorge.rousselin@austintexas.gov)):

Yes

No

- f. If considering in lieu fee or provision of on-site affordable housing as a public benefit, Applicant has scheduled a coordination meeting with the Neighborhood Housing and Community Development Department to detail program requirements and obtained letter of affordability from NHCD:

Yes

No

  
Signed: Owner or Applicant

Authorized Agent Michele Haussmann

Date submitted 7-21-16



## **DOWNTOWN DENSITY BONUS PROGRAM (DDBP) APPLICANT'S SUBMITTAL CHECKLIST**

### **Submitted:**

Completed DDBP Application;

Vicinity plan/aerial locating the project in its context, and showing a minimum 9 block area around the project;

Location of nearby transit facilities;

#### **Drawings:**

- Site plan;
- Floor plans;
- Exterior elevations (all sides) with height and FAR calculations;
- Three-dimensional views;

Copy of the project's signed Austin Energy Green Building Letter of Intent and scorecard;

Other items that may be submitted but not required: Narrative / graphics / photos to further describe the project; and

Letter of affordability and acknowledgment from NHCD for affordable housing community benefit.





**LAND USE**  
**SOLUTIONS, LLC**

LandUseSolutionsTX.com

**Michele Haussmann**

**PRINCIPAL**

[Michele@LandUseSolutionsTX.com](mailto:Michele@LandUseSolutionsTX.com)

July 29, 2016

Mr. Greg Guernsey, Director  
City of Austin  
Planning and Zoning Department  
505 Barton Springs Road. 5<sup>th</sup> Floor  
Austin, TX 78704

*VIA electronic mail*

Re: Downtown Density Bonus Program Application – 405 Colorado project located at 401-405 Colorado Street in the City of Austin, Travis County, Texas (“Property”)

Dear Mr. Guernsey:

As representatives of the lessee and developer of the above stated Property, Brandywine Realty Trust (“Applicant”), we respectfully submit the enclosed Downtown Density Bonus Program Submittal Application package. The Applicant is requesting participation in the City of Austin (“City”) Density Bonus Program to allow for a proposed commercial mixed use project that includes approximately 230,000 square feet of office space, 3,300 square feet of ground-floor retail/restaurant uses and a parking garage with approximately 530 parking spaces to be used by the office/retail/restaurant tenants and the public (“Project”). The proposed increase in Floor to Area (“FAR”) is from 8:1 to 13:1.

The Property is located in City Council District 9, in the Core/Waterfront District of the Downtown Austin Plan, is zoned Central Business District (“CBD”), is not within a capitol view corridor, and is developed with a surface parking lot (please see the enclosed exhibits).

1001 Congress Avenue, Suite 250  
Austin, Texas 78701  
OFFICE 512.212.4114

10003 NW Military Hwy, Suite 2215  
San Antonio, Texas 78231  
OFFICE 210.812.2222



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As required by the Downtown Density Bonus Program, the Project will meet the Gatekeeper Requirements including substantial compliance with the City's Urban Design Guidelines, participation in the City's Great Streets Program through streetscape improvements and participation in the Austin Green Building Program to achieve a 2-star rating. The Downtown Density Bonus Program discusses a Density Bonus Fee. Since the Project is a Non-Residential Project, the fee for the density bonus is \$0 per square foot of additional density.

The Project will participate in the City's Great Streets Programs to construct sidewalks, street furniture, street trees and other installations to improve the pedestrian experience. The proposed sidewalk and streetscape improvements will serve the public as is discussed in the Downtown Austin Plan:

**PR-3.2: Require all new development to build Great Streets sidewalks or contribute to the Great Streets Development Program fund.**

The City's Great Streets Development Program encourages private developers to construct public sidewalk improvements by the City reimbursing a portion of their cost from the Downtown parking meter revenue fund. The resulting construction has been inconsistent, as participating developments are not necessarily located adjacent to one another or located in areas of high-pedestrian priority. Some developers have opted not to construct Great Streets sidewalks at all. Public sector implementation of Great Streets has had a more significant impact, as in the case of the 2nd Street District, where six blocks of street frontages, or 24 blockfaces, have been improved and where sidewalks occupy up to 50% of the right-of-way, allowing for café zones and continuous tree canopies.

- The City should require new development to construct Great Streets sidewalks, since the value of these improvements provides a direct economic benefit to the property and to the surrounding area. For properties where it is not practical to construct Great Streets, (e.g., because of phasing issues or size of parcel), the City should collect an in-lieu fee, the proceeds of which should be directed to the Great Streets Development Program fund.

The Project will comply with the City's Green Building Program to a 2-star rating, as is discussed in in the Downtown Austin Plan:



## LAND USE SOLUTIONS, LLC

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- The "Sustainability" component of Downtown Density Bonus Program should be modified to move 2-Star Austin Energy Green Building (AEGB) rating from the list of Sustainability options to a "Gatekeeper" requirement. In other words, a 2-Star rating would be required for all projects that seek to participate in the Density Bonus Program. The Gatekeeper Requirements for the Density Bonus Program are:
  - Complete design plans and perspectives
  - Great Streets
  - Substantial compliance with Urban Design Guidelines
  - 2-Star AEGB Rating

The bonus provisions for "Sustainability" should be:

- 20% bonus for a 3-star rating
- 25% bonus for a 4-star rating
- 30% bonuses for 5-star rating

As the Density Bonus code amendments are developed, these recommended ratings and percentages will continue to be evaluated in light of work flowing from the updated Comprehensive Plan, and the City of Austin's evolving sustainability goals, standards and initiatives.

The Downtown Austin Plan recommends a comprehensive way-finding system for all modes of transportation. For parking garages, blue P signage is currently used to show the public where public parking is located. The Project will make use of way-finding signage to provide easy access to the parking. Along with wayfinding, the Project's close proximity to bike-share facilities and CapMetro Bus stations encourage the use of alternative modes of transportation (please see enclosed proximity exhibits).

**TP-1.5: Establish a comprehensive way-finding system for all modes of transportation.**

Downtown lacks a way-finding system that guides visitors and residents to important destinations, attractions and landmarks, or to public services and public parking facilities.

- The City should develop a unified way-finding and signage system, indicating clear paths of travel to key destinations and major public facilities and cultural institutions. The way-finding system should be part of a larger, artfully-conceived branding program for Downtown and should include specific approaches that promote overall Downtown and district identity with maps, graphics and interpretive elements, as appropriate. The system should be designed to serve all modes of transportation and incorporate new communication techniques such as GPS, smart phone "apps", toll tags, etc.



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Finally, in the Core/Waterfront District, where the Project is located, a public parking facility is one of the top three public improvement priorities determined by a public survey. This Project full fills this goal by providing parking spaces that are available to the public.

*Top Three Public Improvement Priorities (per 256 responses from 2009 survey):*

1. Great Streets (72%), particularly Congress Avenue and East 6th Street
2. Existing open space improvements (46%), including the historic squares
3. Public parking facility (33%)

Please contact me if you have any questions. Thank you for your time and assistance with the Project.

Very truly yours,

Michele Haussmann

**Enclosures**

CC: Jerry Rusthoven, City of Austin, *via electronic mail*  
Scott Grantham, City of Austin, *via electronic mail*  
John Horton, *via electronic mail*  
Dell Boykin, Austin Trust Company, *via electronic mail*  
William Redd, Brandywine Realty Trust, *via electronic mail*  
Leon Shadowen, Brandywine Realty Trust, *via electronic mail*  
Mike Harris, Brandywine Realty Trust, *via electronic mail*  
Nick Brown, Stantec, *via electronic mail*





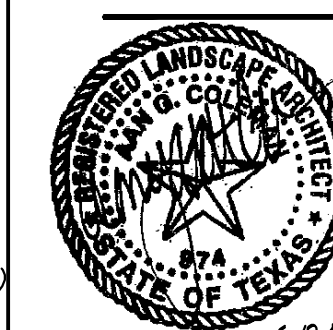
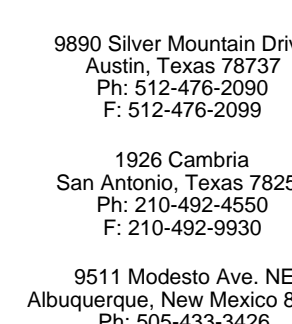




**ARCHITECT**  
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Durham, NC 27701

**LANDSCAPE ARCHITECT**  
Coleman and Associates  
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**MEP ENGINEER**  
Blum Consulting Engineers  
8144 Walnut Hill Lane,  
Suite 200 Dallas, Texas 7523



405 COLORADO  
DUDA PAINE ARCHITECTS  
BRANDYWINE REALTY + TRUST

FOR REVIEW PURPOSES ONLY

405 Colorado

405 Colorado Street

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ISSUE DATE:	28 June, 2016
PROJECT NUMBER:	21510.00

## Hardscape Plan

Design Development

## L1



1. ALL LANDSCAPED AREAS TO BE PROTECTED BY 6 INCH CURETS, WHEEL-STOPS OR OTHER APPROVED BARRIERS AS PER ECOM 2.4.1(A).
2. THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH LDC 25-2-384.
3. EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIALS SHALL BE STORED OR OPERATED WITHIN THE FENCED-IN AREAS. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
4. BUFFERING OF THE STREET YARD WILL BE ACCOMPLISHED THROUGH THE COMBINATION OF TREES, SHRUBS, GRADE CHANGES, AND FENCES.
5. GRADE CHANGES THAT DO NOT APPEAR ON THE SITE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
6. TRENCHING SHALL NOT OCCUR WITHIN THE FENCED DRIP LINE AREAS OF EXISTING TREES.
7. SHRUB MATERIAL NOT TO EXCEED 36" O.C. UNLESS OTHERWISE SPECIFIED. GROUNDCOVERS NOT TO EXCEED 18" O.C. DURING THE TIME OF MARCH 15-OCTOBER IS INSTALLATION OF HYDROPHILIC SHALL BE COMMON BERMUDA OR SAHARA BERMUDA FOR OCTOBER 16 - MARCH 14
8. INSTALLATION OF HYDROPHILIC SHALL BE ANNUAL OR PERMANENT RYE WITH A SPRING APPLICATION OF COMMON BERMUDA OR SAHARA BERMUDA.
9. EDGING SHALL BE PLACED AT ALL GROUNDCOVER BEDS THAT ARE ADJACENT TO LAWNS.
9. ALL LAWN AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE RE-VEGETATED WITH BERMUDA SOD OR RYE UNLESS NATIVE RESTORATION IS SPECIFIED.
10. NOT MORE THAN 50% OF THE TREES AND 50% OF SHRUBS PROPOSED WILL BE OF THE SAME SPECIES.
11. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED. SEE IRRIGATION NOTES IN THESE DRAWINGS FOR REQUIREMENT.
12. IF A DROUGHT DECLARATION DURING ANY STAGE OF DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT (512) 914-2199 OR AT WATERUSECOM@AUSTINTEXAS.GOV.

GENERAL NOTES:

1. PROJECT WILL PROVIDE REQUIRED GREAT STREETS FURNISHINGS.
2. PROJECT WILL COMPLY WITH GREAT STREETS PAVING SPECIFICATIONS AND DESIGN.
3. ALL STREETScape FURNISHINGS WILL BE 4'-0" FROM BACK OF CURB. TREE GRATES AND PAVER GRATES WILL BE SPACED 22' ON CENTER.
4. ALL STREET TREES WILL BE PROVIDED AND MAINTAINED BY THE DEVELOPER. COLORADO 4TH ST RED OAKS - MIN. 5' CALIFERNI 4TH STREET (CEDAR ELMS - MIN. 5' CALIFERNI)
5. THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED
- LANDSCAPE IN ACCORDANCE WITH LDC SECTION 25-2-384.
6. LANDSCAPING AND TREES ADJACENT TO PAVED AREAS WILL BE PROTECTED BY A SIX INCH CURB OR CURB AND GUTTER.
7. PROJECT WILL PROVIDE ELECTRICAL OUTLETS FOR 4TH ST AND COLORADO STREET TREES PER COA STANDARD.
8. 1.8.3. LANDSCAPE BED

CONSTRUCTION NOTES:

- 1 CAST IRON TREE GRATE  
(SALVAGE EXISTING)
- 2 PERMEABLE PAVERS WITH STRUCTURAL SOIL  
BELOW (ONLY BETWEEN TREE WELLS OR PLANTERS;  
REF. DETAIL
- 3 PAVERS WITH CONCRETE BASE, REF. DETAIL
- 4 CONCRETE CURB AT TREE GRATE
- 5 CONCRETE SIDEWALK
- 6 CONCRETE DRIVEWAY, REF. TO CIVIL PLANS,  
SCORING TO MATCH SIDEWALK
- 7 STONE PAVING BY ARCH., DETAIL BY ARCH.
- 8 STEPS, REF. DETAIL BY ARCH.
- 9 GREAT STREETS BENCH, 5' LENGTH  
(SALVAGE EXISTING)
- 10 GREAT STREETS BENCH (NEW)  
REF. DETAIL
- 11 CITY OF AUSTIN BIKE RACK,  
REF. DETAIL
- 12 PAYER TREE GRATE,  
REF. DETAIL
- 13 AUSTIN ENERGY LIGHT POLE, REF. MEP  
FOUNDATION DETAIL. COORD. PLACEMENT WITH  
AUSTIN ENERGY
- 14 TRASH RECEPTACLE
- 15 RECYCLING RECEPTACLE
- 16 CONNECTION JOINT
- 17 EXPANSION JOINT
- 18 LANDSCAPE BED, REF. PLANTING PLAN

LANDSCAPE  
CERTIFICATION

I, AAN GARRETT-COLEMAN, DO HEREBY CERTIFY THAT THE PLANS FOR THE DEVELOPMENT PROJECT LOCATED AT 405 COLORADO STREET SATISFY THE REQUIREMENTS OF LDC 25-2 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE (LANDSCAPE ORDINANCE) AND ALL AMENDMENTS.












*Aan Garrett-Coleman*  
AAN GARRETT-COLEMAN  
COLEMAN & ASSOCIATE

6/24/2018

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE LANDSCAPE ARCHITECT WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE LANDSCAPE ARCHITECT.

SITE PLAN RELEASE Sheet \_\_\_\_\_ of \_\_\_\_\_  
 FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
 CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
 APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
 APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
 APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
 Under Section \_\_\_\_\_ of Chapter \_\_\_\_\_ of the Austin City Code.  
 Signing For Director, Planning and Development Review Department  
 DATE OF RELEASE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
 Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
 Rev. 2 \_\_\_\_\_ Correction 2 \_\_\_\_\_  
 Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA. INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

4TH STREET SITE FURNITURE SCHEDULE						4TH STREET PAVEMENT SCHEDULE			
SYM	DESCRIPTION	MANUF./ITEM NUMBER	QTY SAVED	QTY NEW	COLOR	SYM	DESCRIPTION	PRODUCT	COLOR
	TRASH RECEPTACLE	FAIRWEATHER / TR-12 WITH SIDE OPENINGS - 35 GALLON LINER	1	0	"SILVADILLO" WITH TOP CLEAR COAT		CONCRETE PAVERS TYPE A	ECO-PRIORA PAVERS BY PAVESTONE 4X8	OLD TOWN BLEND
	BENCH	LANDSCAPE FOR-15 / PLAINWELL-5' LENGTH W/CENTER ARM	1	0	SILVER W/IFE SLATS		CONCRETE PAVERS TYPE B	ECO-PRIORA PAVERS BY PAVESTONE 6X12	OLD TOWN BLEND
	BIKE RACK	TYPE I CLASS III - INVERTED "U" SHAPED BIKE RACK	0	8	GALVANIZED		CONCRETE PAVERS (MATCH EXISTING)	CITY STONE PAVERS BY PAVESTONE	FEUTER 4 CHARCOAL
	CITY OF AUSTIN LIGHT POLE	COORD. W/AUSTIN ENERGY AND AUSTIN TRAFFIC DEPT.	-	-	-		CONCRETE SIDEWALK	REFER TO CIVIL DETAIL, SHEET 10	-
	PAVER GRATE WITH LIGHT OPENINGS (2 LIGHTS PER TREE)	IRONSMITH 6" SQ. PAYER GRATE W/ CUSTOM LIGHT CUT OUTS FOR COA	0	1			PAVING BY ARCHITECT	REFER TO ARCHITECT	-
	CAST IRON GRATE WITH LIGHT OPENINGS (2 LIGHTS PER TREE)	IRONSMITH 6" SQ. IRON GRATE W/ CUSTOM LIGHT CUT OUTS FOR COA	0	1					

\* REFER TO ELECTRICAL SITE PLAN FOR LIGHT AND ELECTRICAL OUTLET  
 (SEE ELECTRICAL TREE JWF)





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Austin, Texas 78737

STRUCTURAL ENGINEER  
Brockette/Davis/Drake  
Terrace Building One  
2600 Via Fortune Drive, Ste. 320  
Austin, Texas 78746

MEP ENGINEER  
Blum Consulting Engineers  
8144 Walnut Hill Lane,  
Suite 200 Dallas, Texas 75231



9890 Silver Mountain Drive  
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Ph: 512-476-2090  
F: 512-476-2099

1520 Cambra  
San Antonio, Texas 78258  
Ph: 210-482-4550  
F: 210-482-8930

9511 Modesto Ave. NE  
Albuquerque, New Mexico 87122  
Ph: 505-433-3420



GREAT STREETS  
LAYOUT PLAN

405 COLORADO  
DUDA PAINE ARCHITECTS  
BRANDYWINE REALTY + TRUST

REVISIONS

SCALE: 1"=10'-0"  
DRAWN BY: ANP  
CHECKED BY: WFB  
APP. BY: AGC  
PROJECT NO: 327-16-01A  
DATE: 6/24/2016



SHEET:  
L2

OF

FOR REVIEW PURPOSES ONLY

405 Colorado

405 Colorado Street

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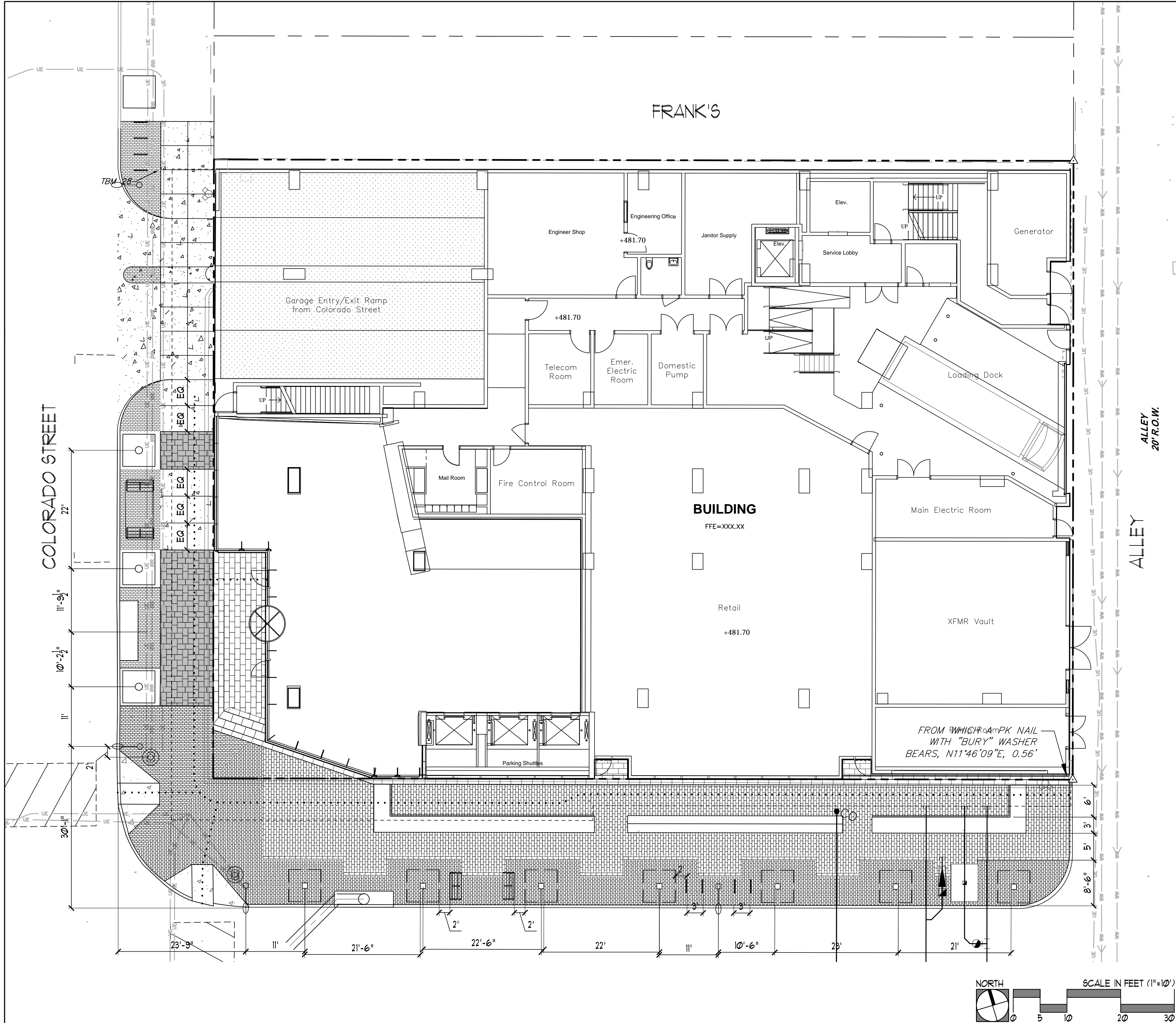
MARK	DATE	DESCRIPTION

ISSUE DATE: 28 June, 2016  
PROJECT NUMBER: 21510.00

Layout Plan

Design Development

L2



SITE PLAN RELEASE Sheet \_\_\_\_ of \_\_\_\_  
FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
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Under Section \_\_\_\_\_ of Chapter \_\_\_\_\_ of the Austin City Code.

Signing For Director, Planning and Development Review Department

DATE OF RELEASE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
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Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_

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Austin, Texas 78737

STRUCTURAL ENGINEER  
Brockette/Davis/Drake  
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Austin, Texas 78746

MEP ENGINEER  
Blum Consulting Engineers  
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Suite 200 Dallas, Texas 75231

FOR REVIEW PURPOSES ONLY

405 Colorado

405 Colorado Street

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MARK	DATE	DESCRIPTION

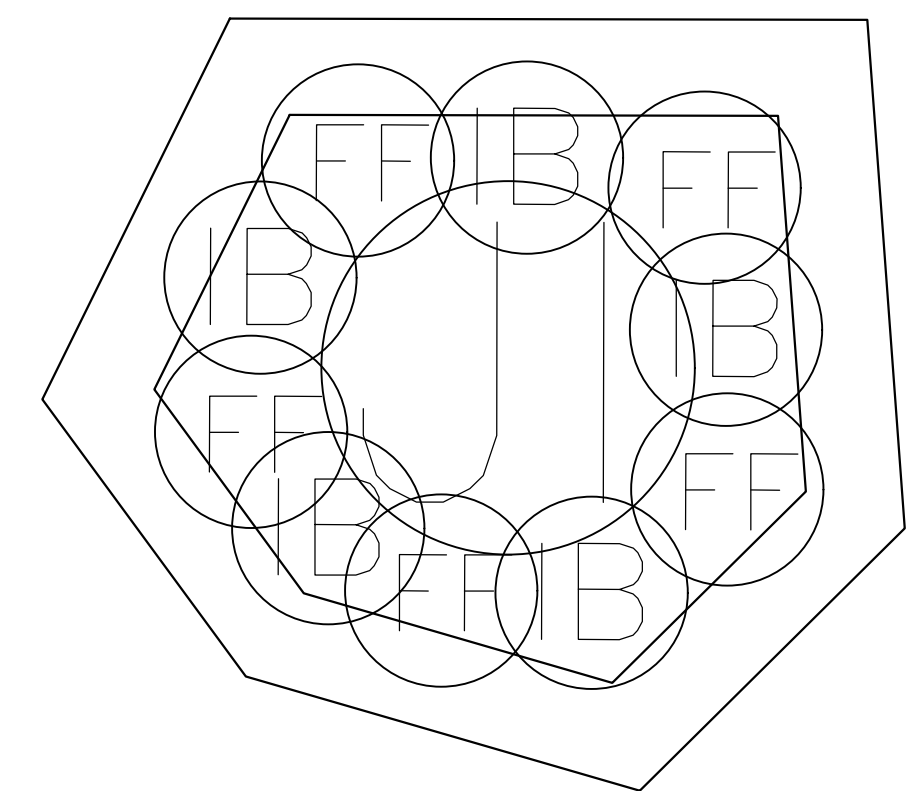
ISSUE DATE: 28 June, 2016  
PROJECT NUMBER: 21510.00

Landscape  
Plan

Design Development

L3

REPLACEMENT TREES FOR SITE			
TOTAL TREES REMOVED (8" CAL. AND GREATER)	10"		
TREES 24" OR GREATER TO BE REMOVED (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 300%)	0"		
TREES 19" - 23.99" TO BE REMOVED (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 100%)	0"		
TREES 8" - 18.99" (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 50%)	10"		
TREES 19" - 23.99" TO BE REMOVED (NOT INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 50%)	0"		
TREES 8" - 18.99" (NOT INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 25%)	0"		
REPLACEMENT INCHES REQUIRED			
TREES 24" OR GREATER TO BE REMOVED (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 300%)	3"		
TREES 19" - 23.99" TO BE REMOVED (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 100%)	0"		
TREES 8" - 18.99" (INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 50%)	0"		
TREES 19" - 23.99" TO BE REMOVED (NOT INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 50%)	0"		
TREES 8" - 18.99" (NOT INCL. IN C. OF AUSTIN APP. F. X. REPLACE AT 25%)	0"		
REPLACEMENT INCHES PROVIDED			
10 SHADE TREES (5" CAL.)	50"		
0 STREET YARD TREES EXCEEDING REQ. MIN.	0"		
STREET YARD			
TOTAL SITE AREA	N/A	REQUIRED	PROVIDED
TOTAL STREET YARD AREA	N/A S.F.	0 S.F.	0 S.F.
STREET YARD LANDSCAPE (10%)	0 S.F.	(0%) 0 S.F.	0 S.F.
TREES (STREET YARD)			
TOTAL EXISTING TREE CREDIT	0	0	0
2" DIAMETER TO 6" DIAMETER	NA	0 X 1 = 0	0
6" DIAMETER OR GREATER		0 X 2 = 0	0
PROPOSED TREES			
PARKING LOT LANDSCAPE AREA			
PARKING SPOTS IN THE STREET YARD	N/A	REQUIRED	PROVIDED
LANDSCAPE AREA REQ. (0 / 12) X 30'	N/A	0	0
PARKING SPOTS IN NON-STREET YARD	N/A	0	0
BUFFERING POINTS			
PERIMETER PARKING IS FOR PRODUCT DISPLAY AND SHOULD NOT BE VISUALLY OBSTRUCTED WITH LANDSCAPE BUFFER			
STORM WATER BASIN	0 POINTS	REQUIRED	PROVIDED
		0 SHRUBS @ 3PTS = 0PTS	0PTS
		0 TREES @ 9PTS = 0PTS	0PTS
		0 TOTAL POINTS	
SHADE CALCULATIONS (SUB CHAPTER E)			
PRINCIPAL STREET: URBAN ROADWAY	N/A		
TOTAL SIDEWALK AREA FROM PUBLIC WALK TO ENTRANCE		0 SF	0 SF
TOTAL SIDEWALK AREA SHADED BY TREES			
PERCENT SHADED			N/A%
IRRIGATION ORDINANCE			
TOTAL REQUIRED LANDSCAPE AREA	N/A	0 S.F.	0 S.F.
50% OF TOTAL REQUIRED LANDSCAPE AREA			
REFER TO CIVIL GRADING PLANS FOR LOCATION			
URBAN FOREST ACCOUNTING			
TOTAL APPENDIX F TREE INCHES SURVEYED		10 INCHES	
TOTAL APPENDIX F TREE INCHES REMOVED		10 INCHES	
TOTAL NON-APPENDIX F TREE INCHES REMOVED		0 INCHES	
TOTAL INVASIVE TREE INCHES REMOVED		0 INCHES	
TOTAL MITIGATION INCHES PLANTED ON SITE		50 INCHES	



1 POT PLANTING DETAIL  
PLAN SCALE: 2" = 1'-0"

SITE PLAN RELEASE		Sheet _____ of _____
FILE NUMBER: _____	EXPIRATION DATE: _____	
CASE MANAGER: _____	APPLICATION DATE: _____	
APPROVED ADMINISTRATIVELY ON: _____		
APPROVED BY PLANNING COMMISSION ON: _____		
APPROVED BY CITY COUNCIL ON: _____		
Under Section _____ of Chapter _____ of the Austin City Code.		
Signing For Director, Planning and Development Review Department		
DATE OF RELEASE: _____	ZONING: _____	
Rev. 1 _____	Correction 1 _____	
Rev. 2 _____	Correction 2 _____	
Rev. 3 _____	Correction 3 _____	
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REVISIONS

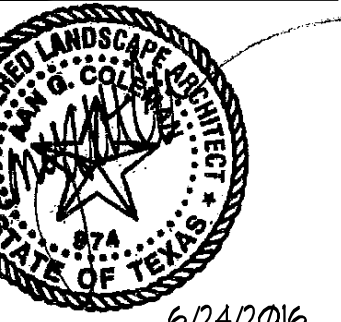
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APP. BY: AGC  
PROJECT NO: 327-16-01A  
DATE: 6/24/2016



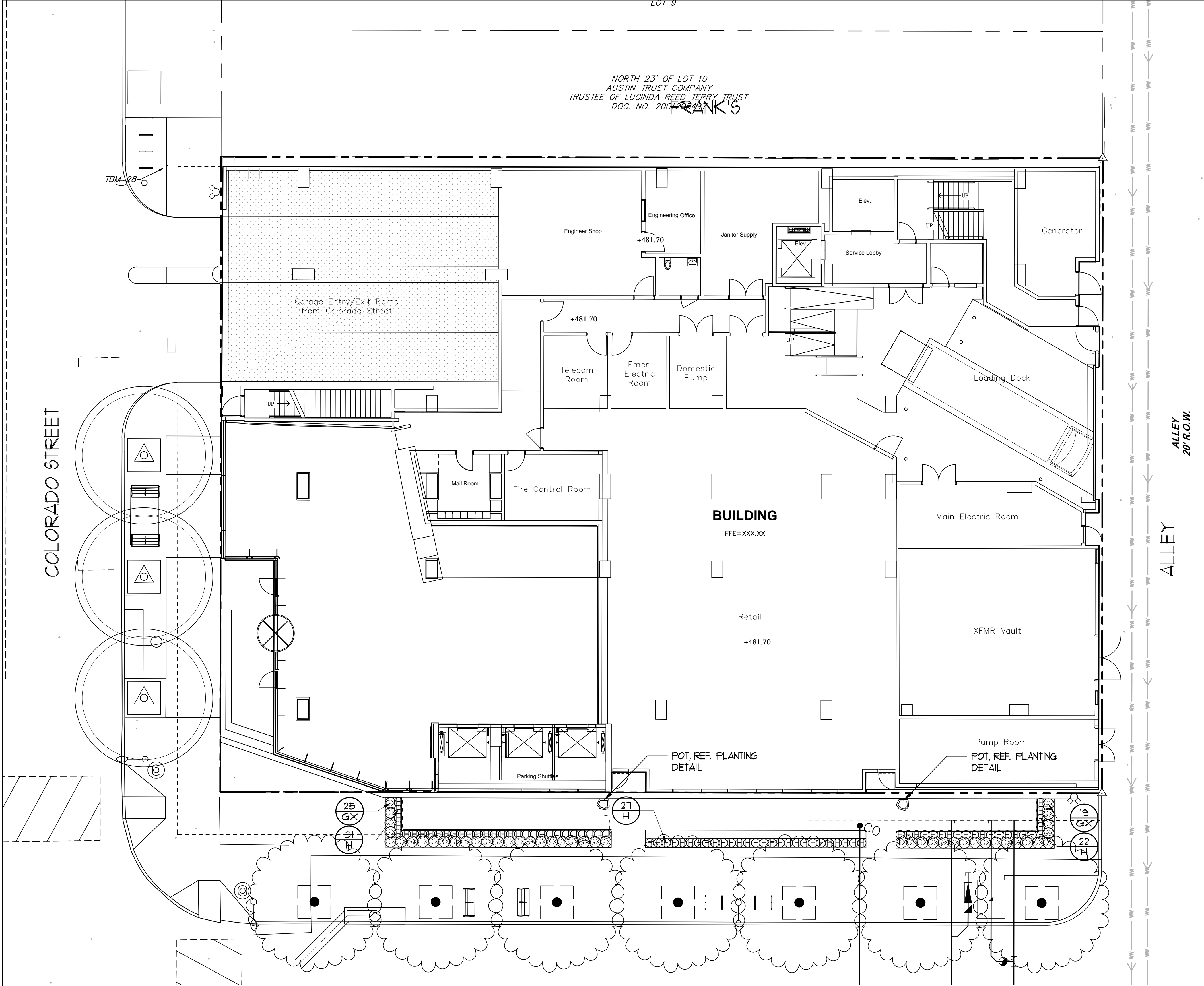
SHEET:  
L3  
OF

GREAT STREETS  
LANDSCAPE PLAN

405 COLORADO  
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TREE & PLANT SCHEDULE

SHADE TREES	QTY.	COMMON NAME / BOTANICAL NAME	CONT.	CALIFER	HEIGHT
1		CEDAR ELM / ULMUS CRASSIFOLIA	200 GAL	5" CAL.	14'-16' HT.
3		SHUMARD OAK / QUERCUS SHUMARDII	200 GAL	5" CAL.	14'-16' HT.
SHRUBS	QTY.	COMMON NAME / BOTANICAL NAME	CONT.	SPACING	AS SHOWN
44		BABY GEM BOXWOOD / BUXUS MICROPHYLLA 'GREGEM'	3 GAL	24" o.c.	
80		HORSBETAIL REED / Equisetum HYEMALE	1 GAL	18" o.c.	
10		FOXTAIL FERN / ASPARAGUS DENSIFLORUS 'MYERS'	4" POT	AS SHOWN	
2		JUNIPER TOPIARY	5 GAL	AS SHOWN	





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MARK	DATE	DESCRIPTION

ISSUE DATE: 28 June, 2016  
PROJECT NUMBER: 21510.00

Irri gation Plan

Design Development

L4

## SITE DEVELOPMENT PERMIT IRRIGATION NOTES:

1. AUTOMATIC IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS. THESE REQUIREMENTS SHALL BE NOTED ON THE SITE DEVELOPMENT PERMIT AND SHALL BE IMPLEMENTED AS PART OF THE LANDSCAPE INSPECTION.
2. A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:
  - 2.1. THERE IS NOT DIRECT OVERSPRAY ONTO NON-IRRIGATED AREAS.
  - 2.2. THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS).
  - 2.3. ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES.
  - 2.4. THE IRRIGATION SYSTEM HAS A MASTER VALVE.
  - 2.5. CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS.
  - 2.6. SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
  - 2.7. THE IRRIGATION SYSTEM HAS A CITY-APPROVED WEATHER-BASED CONTROLLER.
  - 2.8. AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL.
  - 2.9. ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS.
  - 2.10. AN IRRIGATION EMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMITTER) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE.
  - 2.11. NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.
3. THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESSURE.
4. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE:
  - 4.1. A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND
  - 4.2. THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
5. THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITIES DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION 1 WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.

GREAT STREETS  
IRRIGATION PLAN

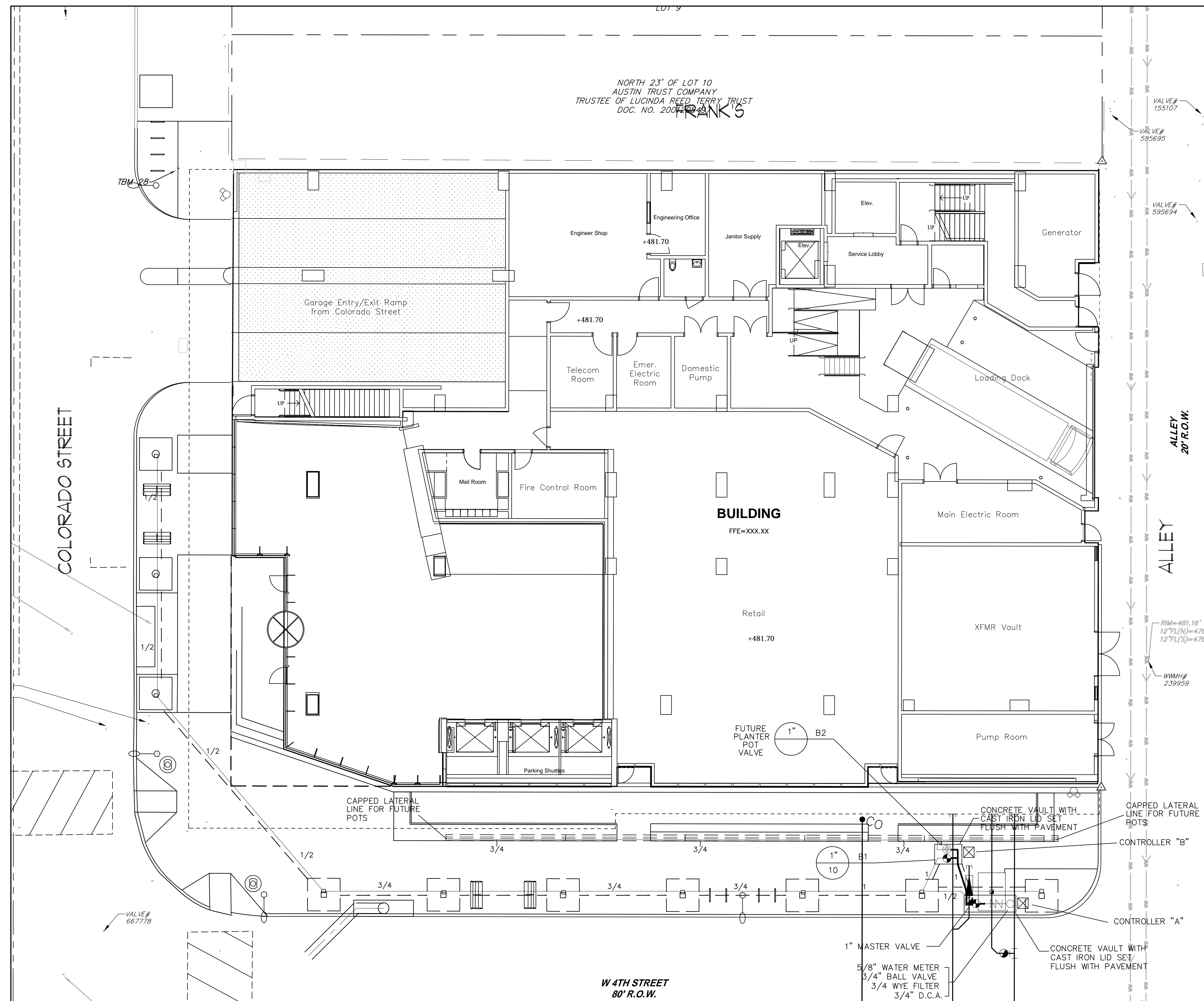
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REVISIONS

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DRAWN BY: ANP  
CHECKED BY: WPB  
APP. BY: AGC  
PROJECT NO: 327-16-01A  
DATE: 6/24/2016

SHEET:  
L4

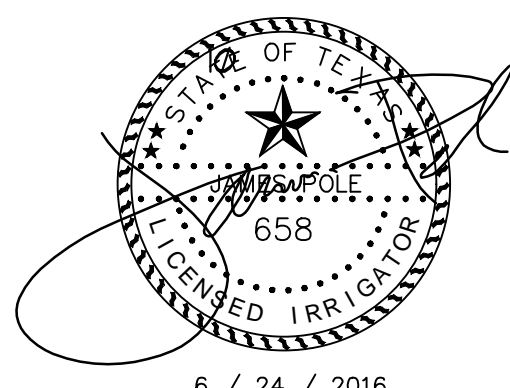
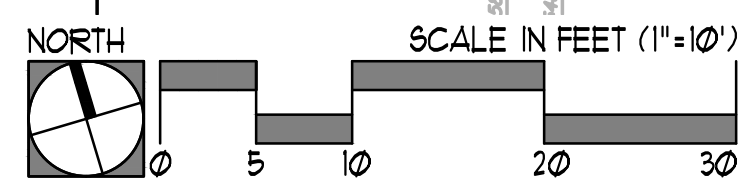
OF



### LEGEND

- HUNTER PCB-50 PRESSURE COMPENSATING BUBBLER NOZZLE SET ADJACENT TO TREE TRUNK, VISIBLE AT PAVEMENT OPENING ( TWO PER TREE )
- HUNTER ICV SERIES ELECTRIC REMOTE CONTROL VALVE WITH S-305DC SOLENOID, INSTALLED IN CONCRETE VALVE BOX WITH CAST IRON LID, SET FLUSH WITH PAVEMENT.
- ⊕ HUNTER PCZ-101 AND ICZ-101 DRIP VALVE ASSEMBLY WITH S-305DC SOLENOID AND WITH 25 PSI PRESSURE REGULATOR AND 120 MESH SCREEN, INSTALLED IN CONCRETE VALVE BOX WITH CAST IRON LID, SET FLUSH WITH PAVEMENT.
- 3/4" WILKINS 350 SERIES D.C.A. INSTALLED PER CITY CODE, WITH SAME SIZE WILKINS 850 SERIES BRONZE BALL VALVE AND WILKINS YB SERIES BRONZE WYE FILTER WITH 20 MESH STAINLESS STEEL SCREEN
- 5/8" IRRIGATION WATER METER AND TAP
- ☒ LEIT-2 SOLAR POWERED CONTROLLER AND MINI-CLK RAIN / FREEZE SENSOR WITH SKIT8821-4 SENSOR ADAPTOR. LOCATE SENSOR AS PER THE LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE ONE LEIT MULTI-PRO REMOTE HANDSET WITH EACH CONTROLLER.
- CLASS 200 PVC MAINLINE PIPE
- CLASS 200 ( EXCEPT 1/2 INCH #315 ) PVC LATERAL PIPE
- 2" CLASS 200 SLEEVE PIPE

USE 12" x 17" RECTANGULAR "POLY-CRETE" VALVE BOXES WITH CAST IRON LIDS FOR WATER METER, D.C.A., AND MASTER VALVE, AND ELECTRIC ZONE VALVES.  
SOLAR DOME SHALL BE MOUNTED ON TOP OF CAST IRON LID.



**James Pole**  
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CASE MANAGER:	APPROVAL DATE:	
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Rev. 1	_____	Correction 1
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Rev. 3	_____	Correction 3

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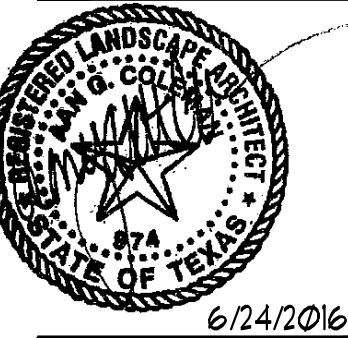
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GREAT STREETS  
LANDSCAPE DETAILS + NOTES

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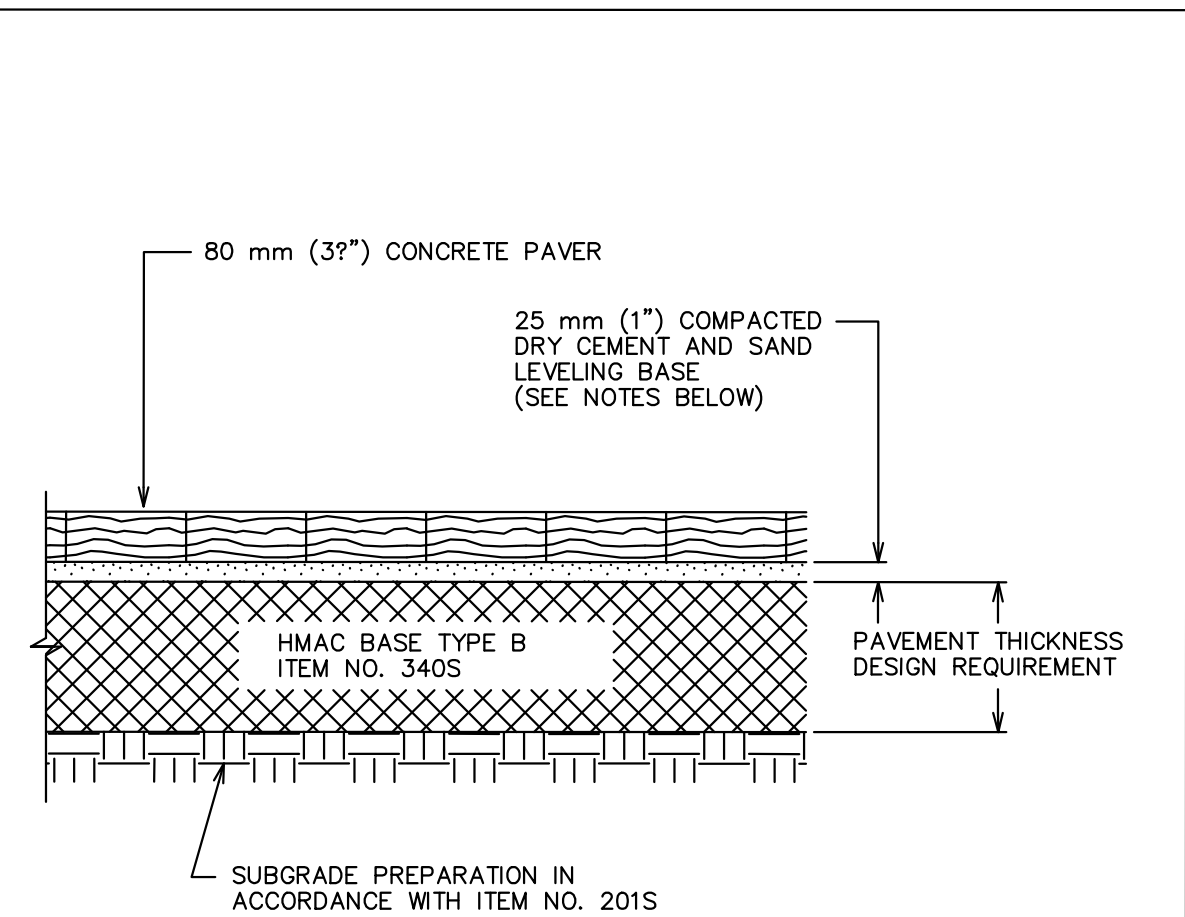
MARK	DATE	DESCRIPTION

ISSUE DATE: 28 June, 2016  
PROJECT NUMBER: 21510.00

Landscape  
Details and  
Notes

Design Development

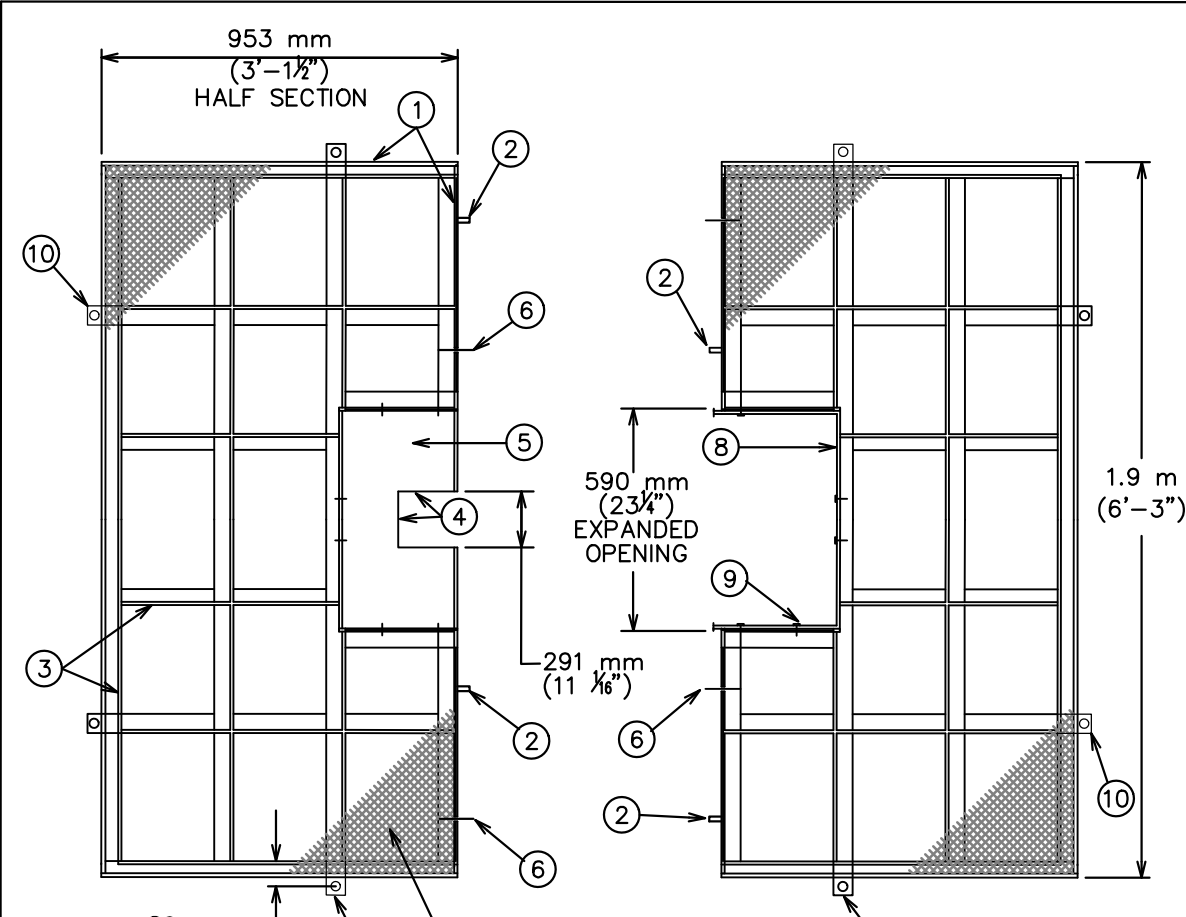
L6



- INSTALLATION OF DRY CEMENT AND SAND LEVELING BASE AND JOINTS MATERIALS
- NOTES:
1. MATERIAL TO BE 1 PART CEMENT AND 3 PARTS SAND.
  2. DRY MIXTURE SHALL BE LIGHTLY WETTED PRIOR TO PLACEMENT OF PAVERS.
  3. AFTER COMPACTION OF PAVERS, JOINTS SHALL BE FILLED WITH DRY CEMENT-SAND MIXTURE AND EXCESS MATERIAL REMOVED FROM PAVING SURFACE.
  4. COMPLETED JOINTS SHALL BE FOGGED LIGHTLY WITH WATER.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	CONCRETE PAVEMENT SECTION	STANDARD NO. 480S-10
RECORD COPY SIGNED BY BILL GARDNER	11/18/04 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

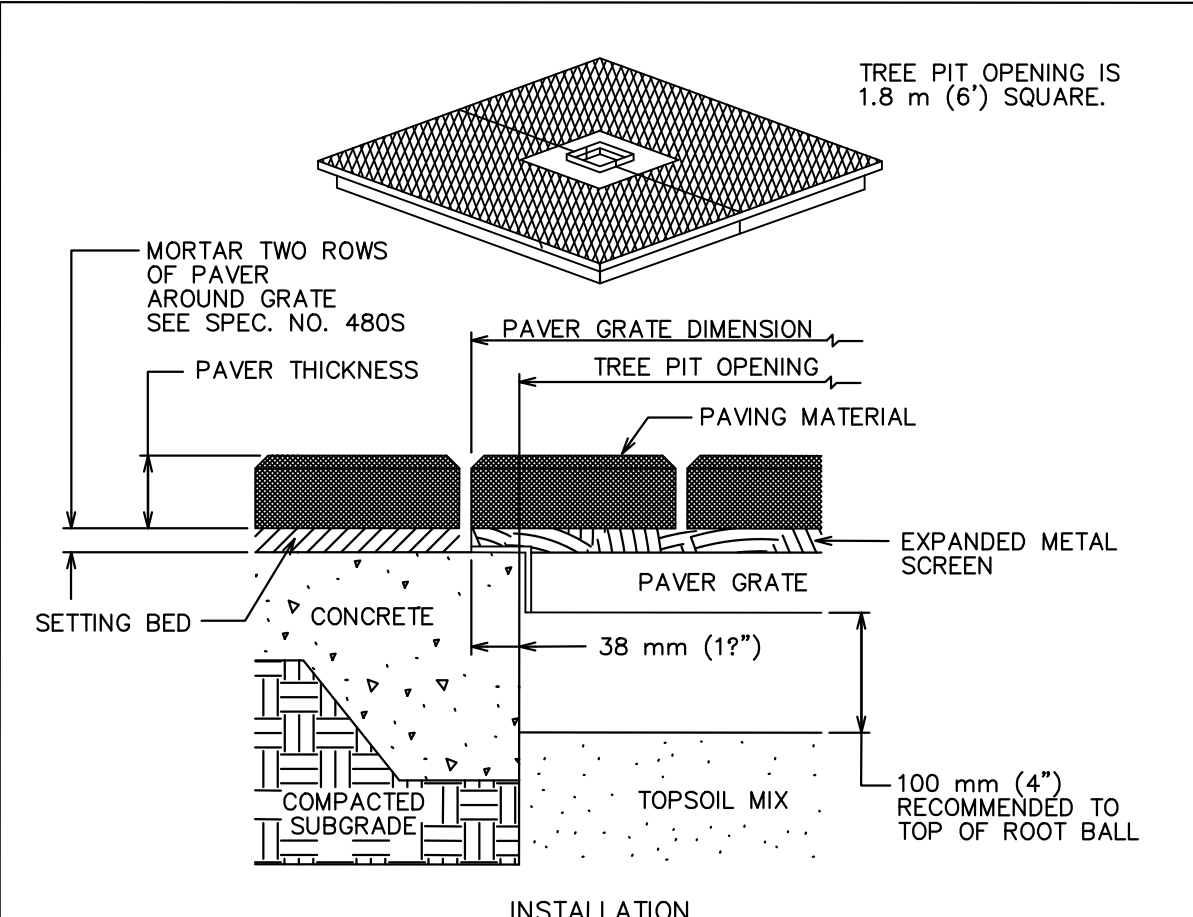
1 COA CONCRETE PAVES - 480S-10  
SECTION SCALE: NO SCALE



- 1.8 m (6') PAVES GRATE FRAME
- NOTES:
1. 13 mm (1/2\") SO. STEEL BAR WELDED NEXT TO ALL EXPOSED EXPANDED METAL EDGES
  2. 13 mm (1/2\") DIA. STEEL PIN (1 PER SECTION)
  3. 64 mm X 50 mm X 5 mm (2 1/2\" X 2\" X 1/2\") STEEL ANGLE
  4. 6 mm X 38 mm (1/4\" X 1 1/2\") STEEL BAR (STOPS)
  5. REMOVABLE 6 mm (1/4\") THICK PLATE TO MAKE 590 mm (23 1/4\") OPENING
  6. 14 mm (1/2\") DIA. HOLE TO RECEIVE 13 mm (1/2\") DIA. TAPERED STEEL PIN
  7. EXPANDED METAL
  8. 10 mm X 114 mm (3/8\" X 4 1/2\") STEEL BAR EXPANDED
  9. 10 mm X 38 mm (3/8\" X 1 1/2\") STAINLESS STEEL CAP SCREW WITH WASHER AND NUT
  10. 64 mm X 50 mm X 5 mm (2 1/2\" X 2\" X 1/2\") STEEL ANGLE TAB, 4 PER GRATE HALF TO ALLOW GRATE TO BE BOLTED TO CONCRETE SURROUND

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	1.8 m (6') PAVES GRATE FRAME	STANDARD NO. 437S-1
RECORD COPY SIGNED BY BILL GARDNER	06/16/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

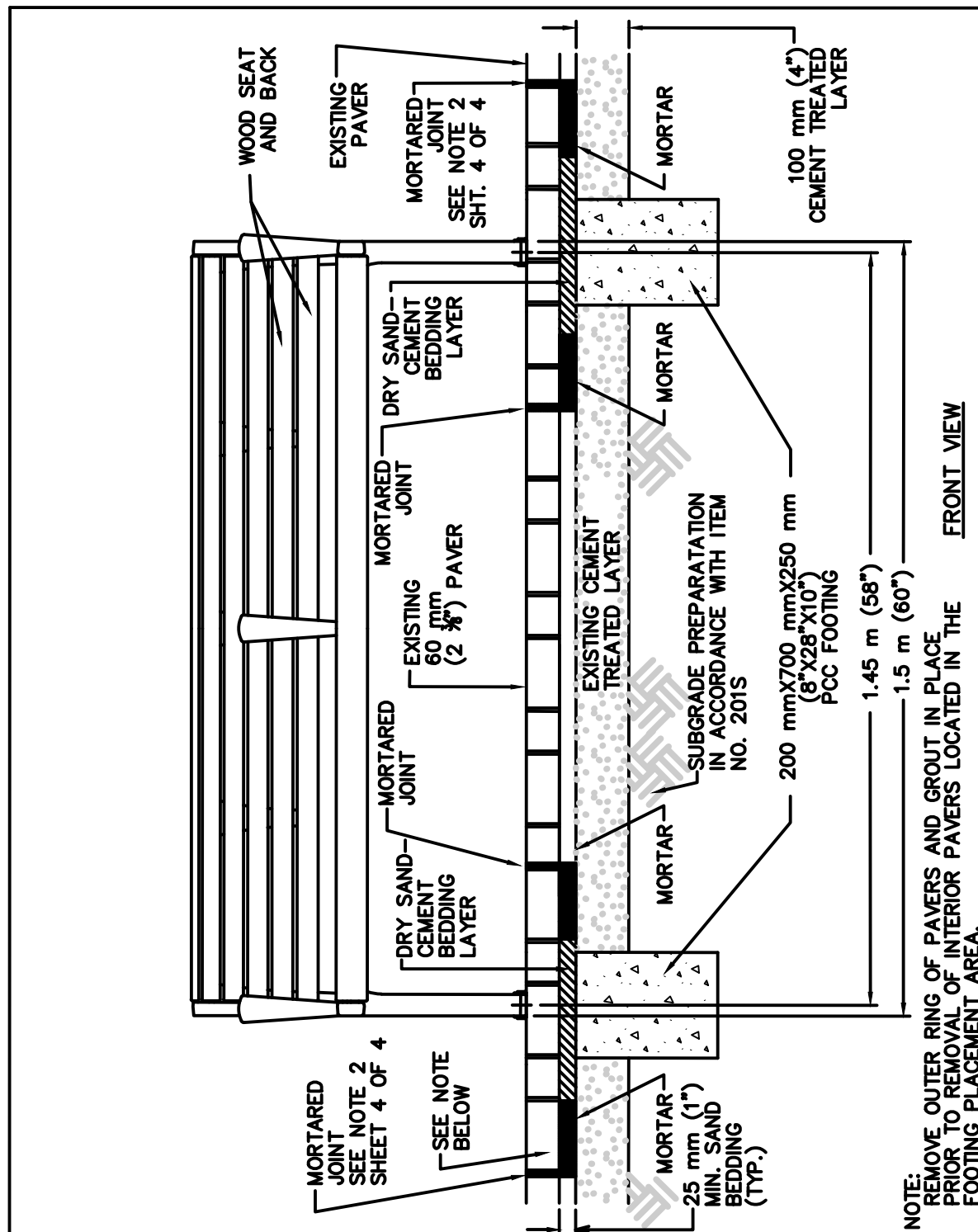
2 COA PAVES GRATE - 437S-1  
PLAN AND SECTION SCALE: NO SCALE



- INSTALLATION
- NOTES:
1. PAVES GRATE FRAME SHALL BE FABRICATED IN TWO IDENTICAL HALVES. EACH HALF SHALL WEIGH NO MORE THAN 31 kg (200 lbs).
  2. CONTINUOUS WELD ALL INTERSECTIONS.
  3. EXPANDED METAL SHALL BE WELDED ON TOP OF FRAME WORK. SPOT WELD AT 150 mm (6\") O.C. ON ALL ANGLES.
  4. REMOVE ALL SHARP EDGES AND BURRS.
  5. THE INSTALLER SHALL FORM AND POUR A CONCRETE SURROUND IN A SQUARE, FLAT PLANE TO PREVENT ROCKING OF THE GRATE. TO ENSURE THE GRATE AND CHOSEN PAVING CONFIGURATION MATERIALS FIT PROPERLY IT IS RECOMMENDED THAT EITHER A FRAME OR TEMPLATE BE USED. IF THE TREE IS TO BE GUED IT IS ALSO RECOMMENDED THAT THE EYE BOLTS BE INSTALLED IN THE POURED CONCRETE BELOW THE BOTTOM SUPPORT OF THE GRATE.
  6. INSTALL CHOSEN PAVING MATERIALS ON THE GRATE. ENSURE MATERIALS FIT SNUG TO PREVENT ANY MOVEMENT. IF PLACING THE GRATE TO ADJOINING SETTING BED FOR A CONTINUOUS RUN OF PAVERS, ENSURE SETTING BED IS FLUSH WITH TOP EDGE OF THE GRATE.
  7. CUT OR TRIM PAVERS AROUND CENTER OPENINGS, SIDES AND TREE GUY WIRES. IF SAND OR OTHER MATERIAL IS TO BE USED IN FILLING THE PAVES JOINTS A POROUS MAT FABRIC MUST FIRST BE PLACED OVER THE ENTIRE GRATE SURFACE BEFORE INSTALLING THE PAVERS. TRIM OFF ANY EXCESS FABRIC AFTER COMPLETING PAVES INSTALLATION. ANY PENETRATIONS OF THE PAVES INSTALLATION SHALL BE IN CONFORMANCE WITH APPROPRIATE STANDARD DETAIL SERIES 480.

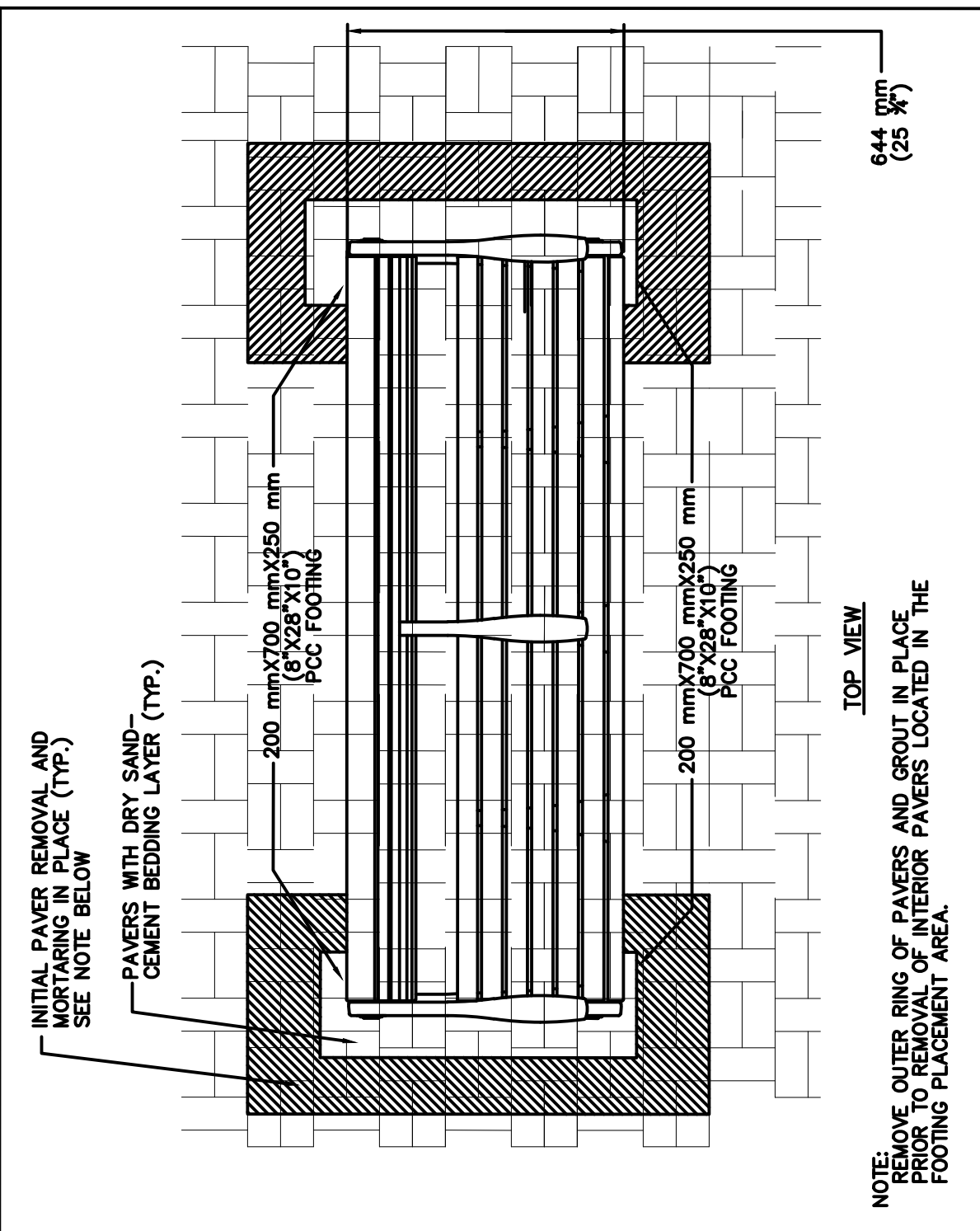
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	1.8 m (6') PAVES GRATE FRAME	STANDARD NO. 437S-1
RECORD COPY SIGNED BY BILL GARDNER	06/16/08 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

SCALE: NO SCALE



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVES SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

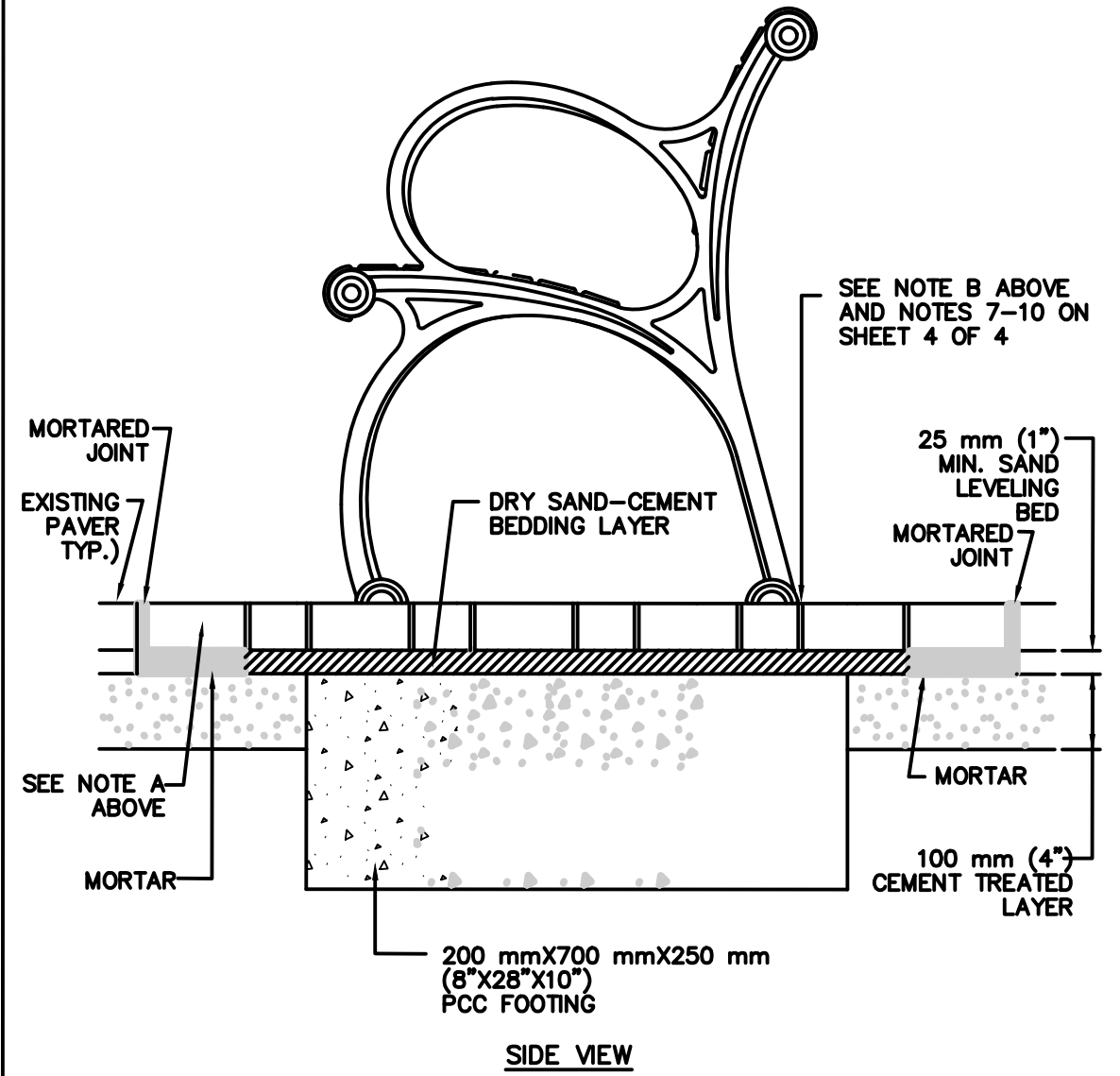
3 COA BENCH IN PAVERS - 432S-9A  
SECTION SCALE: NO SCALE



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVES SIDEWALK	STANDARD NO. 432S-9A
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SCALE: NO SCALE

- NOTES:
1. REMOVE OUTER RING OF PAVERS AND GROUT IN PLACE PRIOR TO REMOVAL OF PAVERS LOCATED IN THE FOOTING PLACEMENT AREA.
  2. SECURE BENCH WITH 9 mm X 150 mm (3/8\" X 6\") ANCHOR BOLT EPOXYED IN PLACE.



- DRY SAND-CEMENT BEDDING PLACEMENT:
1. MATERIAL COMPOSED OF ONE PART CEMENT AND 3 PARTS SAND.
  2. THE DRY MIXTURE SHALL BE LIGHTLY WETTED PRIOR TO PLACEMENT OF PAVERS.
  3. AFTER COMPACTION OF PAVERS, JOINTS SHALL BE FILLED WITH DRY SAND-CEMENT.
  4. THE COMPLETED JOINTS SHALL BE FOGGED LIGHTLY WITH WATER.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVES SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

SCALE: NO SCALE

1. PLACE BENCH ON PAVERS AND MARK LOCATIONS OF BOLTHOLES AND REMOVE BENCH.
  2. IDENTIFY LOCATION OF FOOTINGS.
  3. MARK AND REMOVE EXISTING PAVERS ONE UNIT AWAY FROM FOOTING LOCATIONS. PLACE MORTAR BEDDING LAYER, MORTAR THE JOINT AND REPLACE/COMPACT THE "MARKED" PAVERS IN APPROPRIATE LOCATIONS.
  4. MARK AND REMOVE EXISTING PAVERS FROM LOCATION ABOVE FOOTING LOCATIONS.
  5. EXCAVATE FOR FOOTINGS AND PLACE CLASS "A" PCC CONCRETE.
  6. PLACE DRY SAND-CEMENT BEDDING LAYER, REPLACE THE "MARKED" PAVERS IN APPROPRIATE POSITIONS AND COMPACT THE PAVERS IN PLACE.
  7. PLACE BENCH ON PAVERS AT APPROPRIATE LOCATIONS AND RE-MARK BOLT HOLES.
  8. DRILL BOLT HOLES THROUGH THE PAVERS INTO THE PCC FOOTINGS.
  9. INSTALL ANCHOR BOLTS AND EPOXY THEM IN PLACE.
  10. INSTALL BENCH AND BOLT IN PLACE.
- \* THESE STEPS ARE REQUIRED FOR EXISTING PAVES SIDEWALKS TO MAINTAIN STRUCTURE AND STABILITY OF ADJOINING PAVERS.

- GENERAL NOTE:
1. BENCHES SHALL BE LOCATED WITHIN 7.32 m (24') OF EITHER THE MAIN BUILDING ENTRY OR THE ENTRY TO THE PRIMARY LOCAL USE. BENCHES SHALL BE PLACED EITHER PERPENDICULAR TO THE CURB WITH THE CENTER OF THE BENCH ON LINE WITH TREES AND LIGHT POLES AND FACING TOWARD THE BUILDING ENTRY, OR PARALLEL TO THE BUILDING AND WITHIN 150 mm (6") OF THE BUILDING WALL, FACING OUT TO THE STREET.
  2. SAW CUT PAVES TO MATCH PAVES CONFIGURATION.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	BENCH INSTALLATION IN CONCRETE PAVES SIDEWALK	STANDARD NO. 432S-9A
RECORD COPY SIGNED BY BILL GARDNER	11/21/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

SCALE: NO SCALE

SITE PLAN RELEASE		Sheet ____ of ____
FILE NUMBER: _____	EXPIRATION DATE: _____	
CASE MANAGER: _____	APPLICATION DATE: _____	
APPROVED ADMINISTRATIVELY ON: _____		
APPROVED BY PLANNING COMMISSION ON: _____		
APPROVED BY CITY COUNCIL ON: _____		
Under Section _____ of Chapter _____ of the Austin City Code.		
Signing For Director, Planning and Development Review Department		
DATE OF RELEASE: _____ ZONING: _____		
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	

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REVISIONS

SCALE:	1"=10'-0"
DRAWN BY:	ANP
CHECKED BY:	WFB
APP. BY:	AGC
PROJECT NO.:	327-16-01A
DATE:	6/24/2016



SHEET:  
L6  
OF





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MEP ENGINEER  
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F: 210-482-8000  
9511 Modesto Ave. NE  
Albuquerque, New Mexico 87122  
Ph: 505-433-3420



GREAT STREETS  
LANDSCAPE DETAILS

405 COLORADO  
DUDA PAINE ARCHITECTS  
BRANDYWINE REALTY + TRUST

REVISIONS

SCALE: 1"=10'-0"  
DRAWN BY: ANP  
CHECKED BY: WFB  
APP. BY: AOC  
PROJECT NO. 327-16-01A  
DATE 6/24/2016



SHEET:

L7

OF

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405 Colorado

405 Colorado Street

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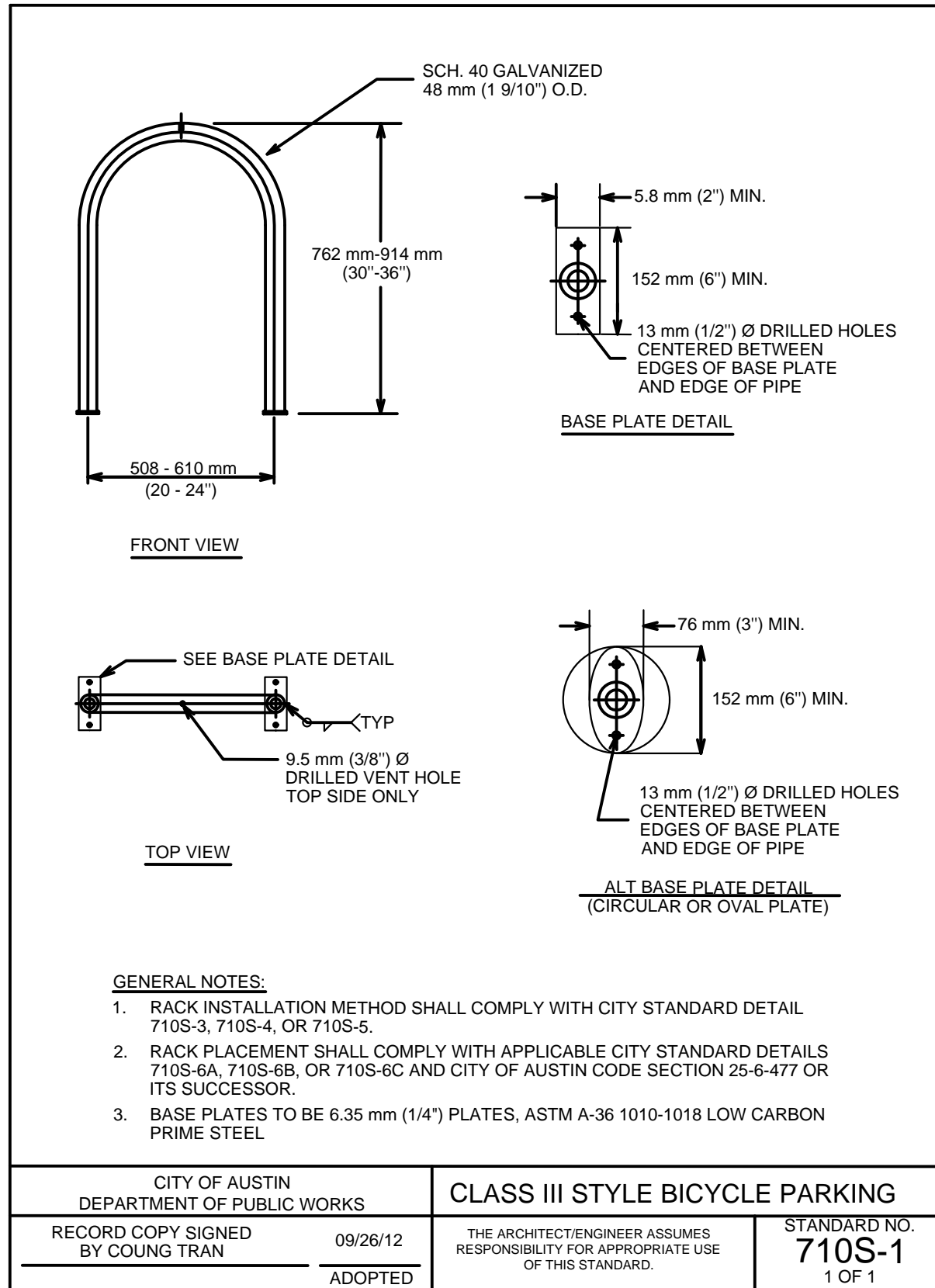
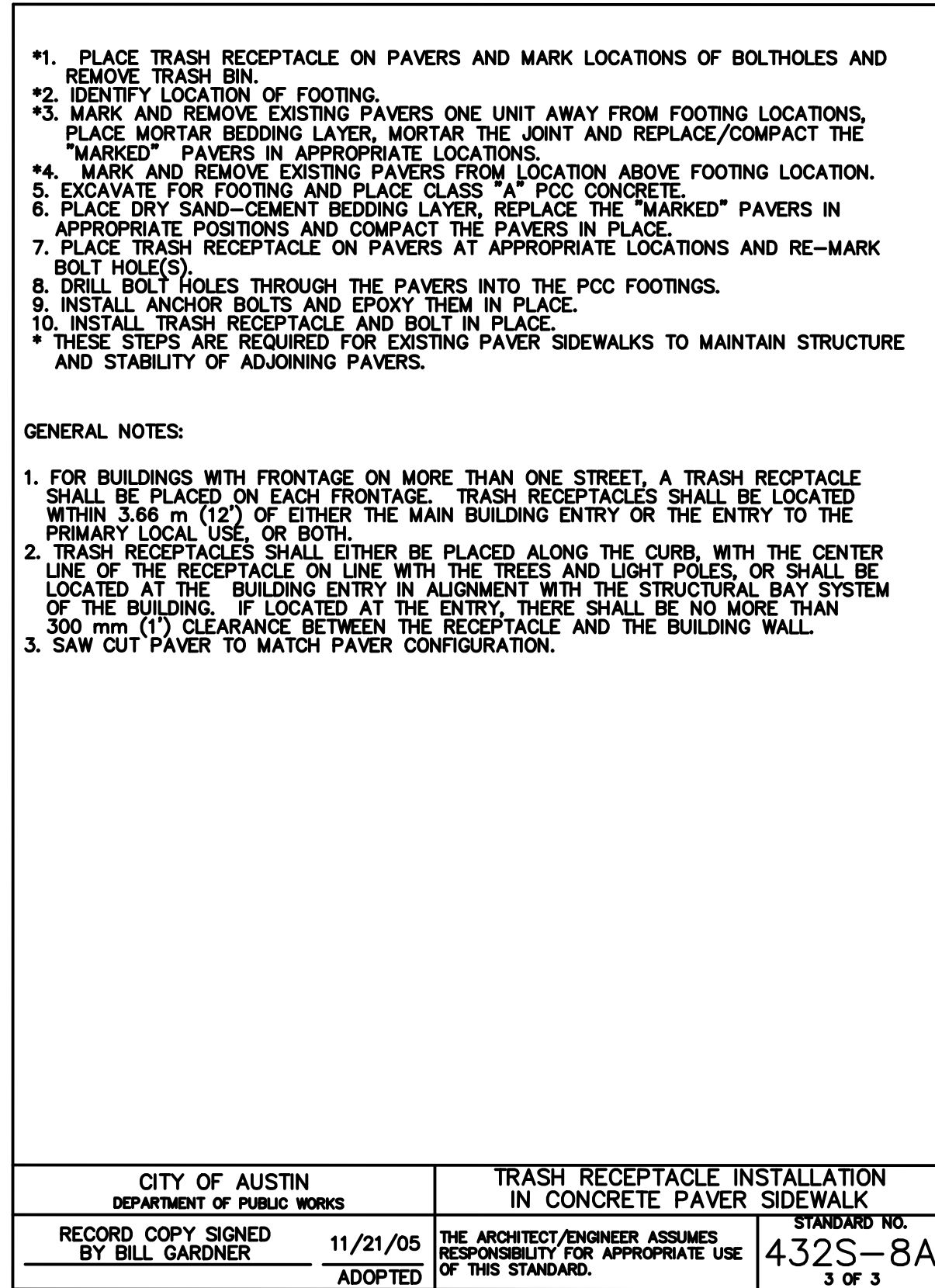
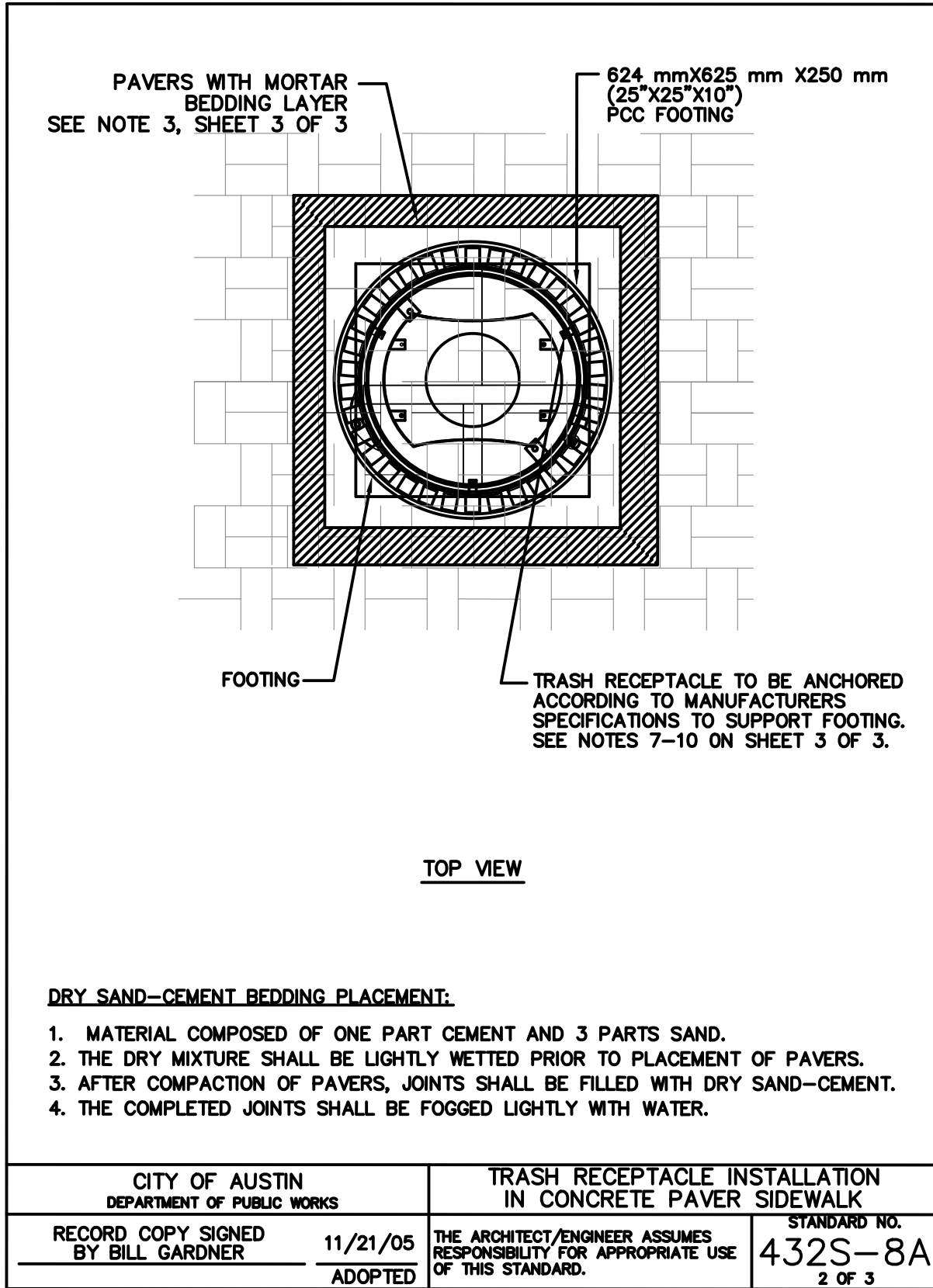
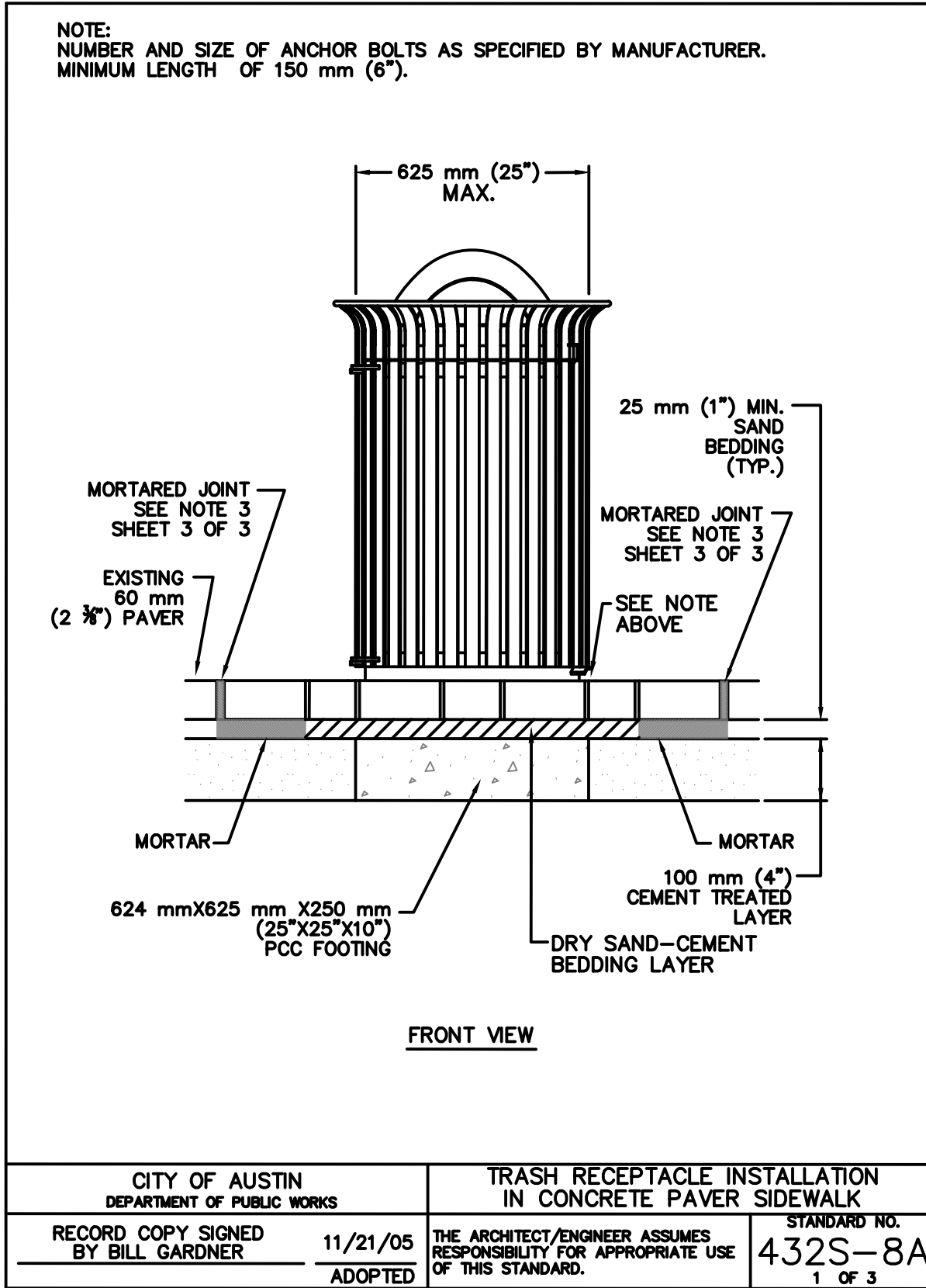
MARK	DATE	DESCRIPTION

ISSUE DATE: 28 June, 2016  
PROJECT NUMBER: 21510.00

Landscape  
Details

Design Development

L7

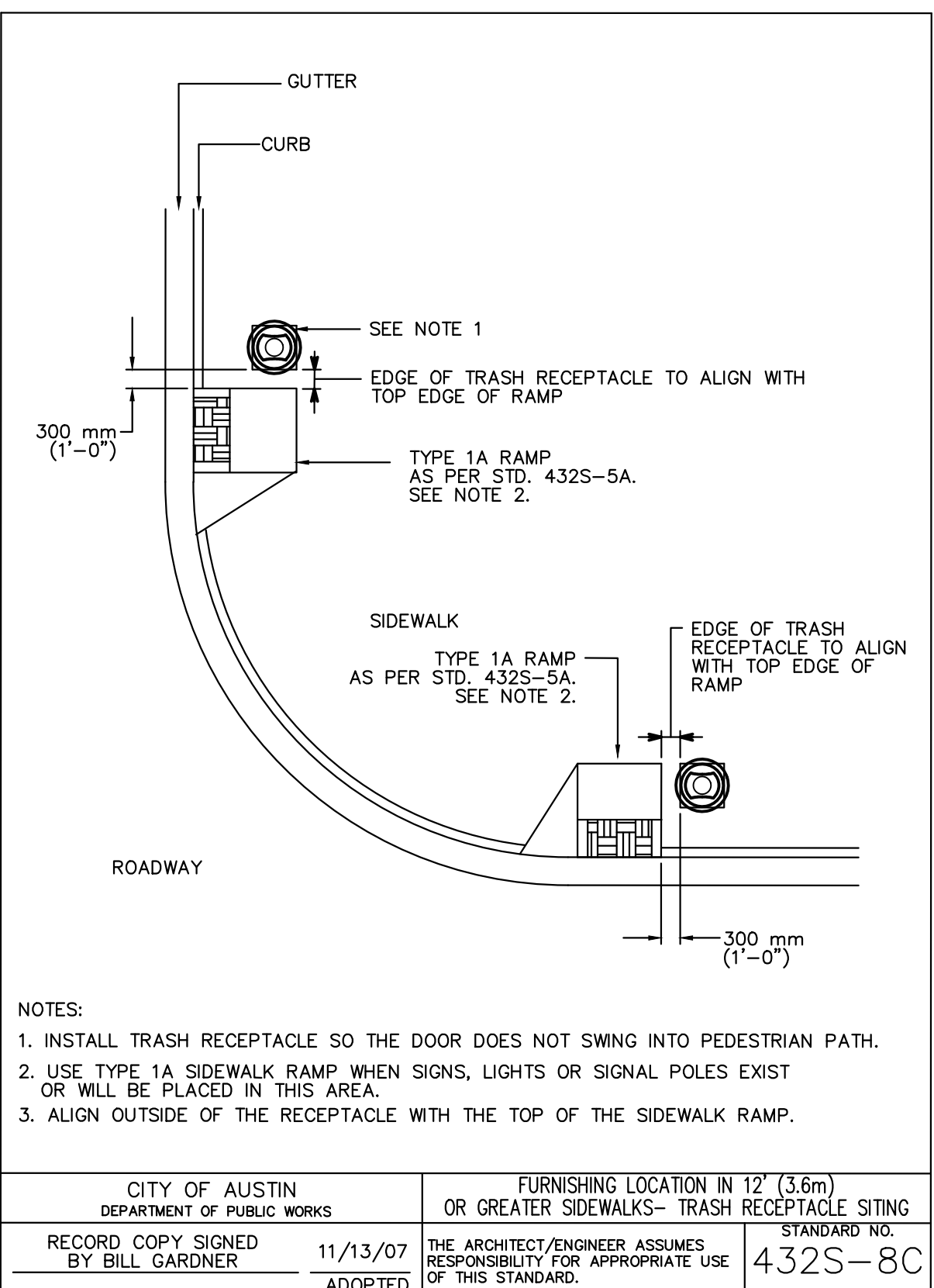
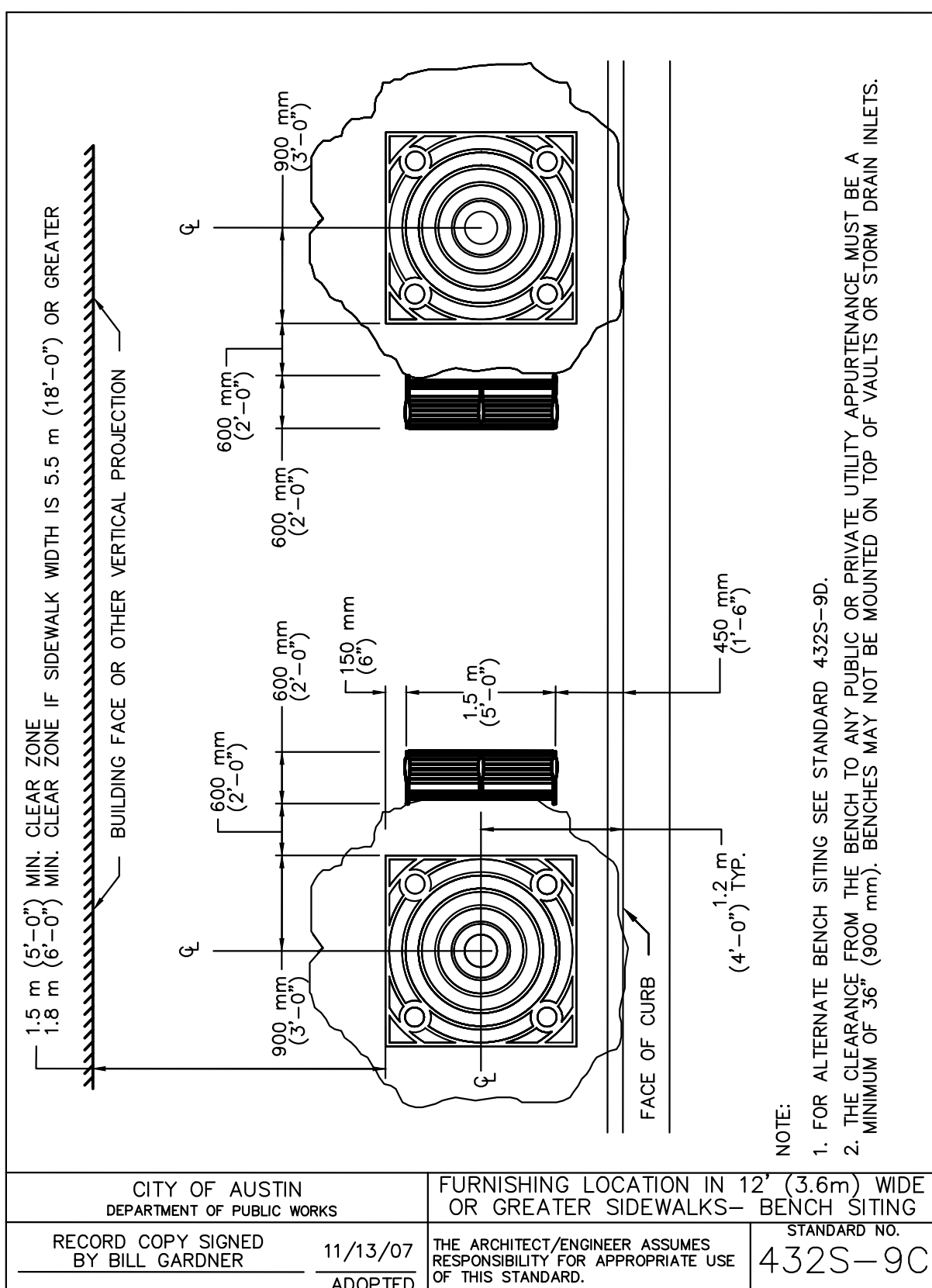
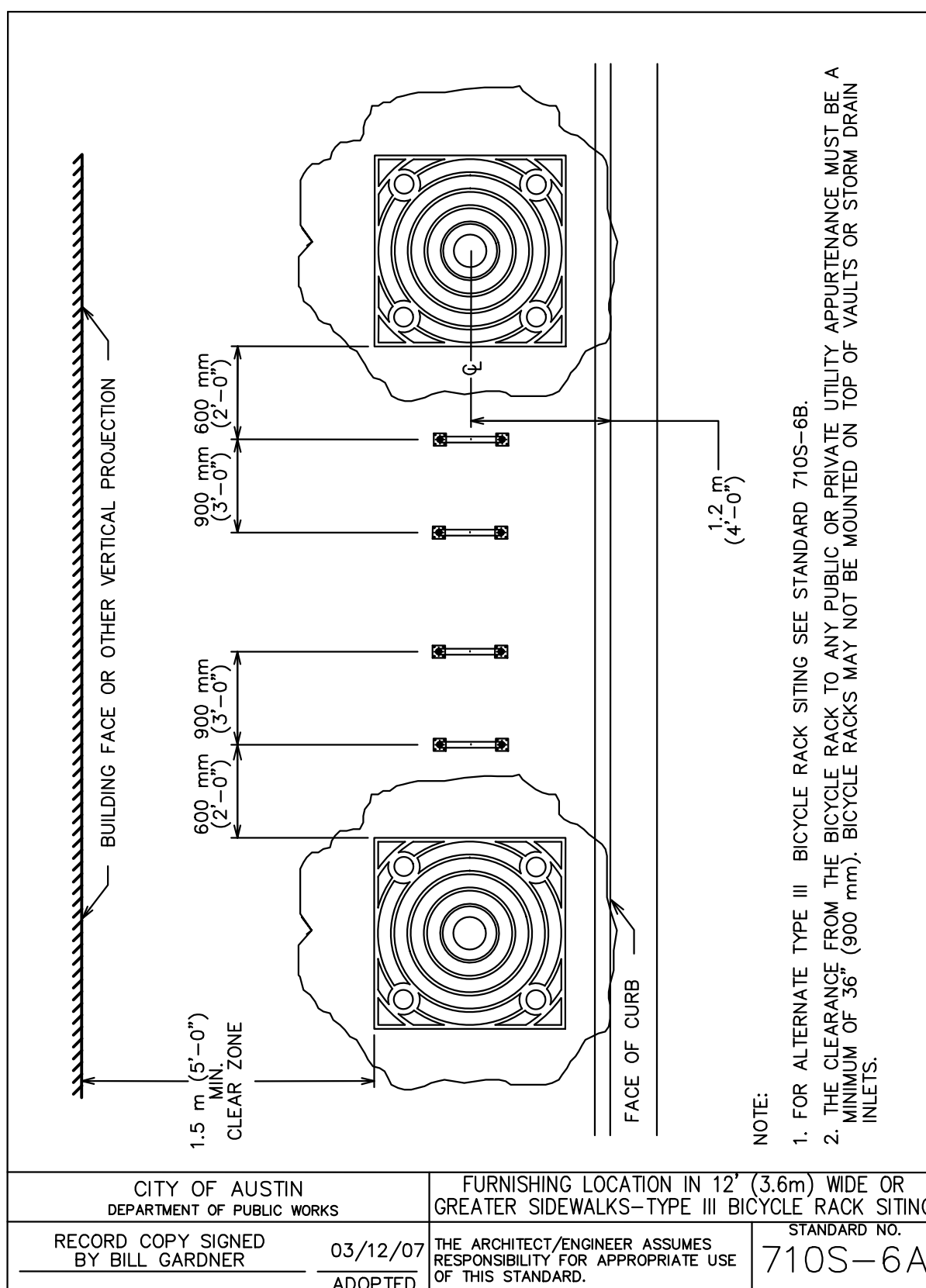


1 COA TRASH RECEPTACLE ON PAVERS - 432S-8A  
PLAN SECTION 4 NOTES

SCALE: NO SCALE

2 COA BICYCLE PARKING  
PLAN SECTION 4 NOTES

SCALE: NO SCALE



SCALE: NO SCALE

4 CONCRETE WALK TO PAVERS  
SECTION

SCALE: 3/4" = 1'-0"

SITE PLAN RELEASE Sheet \_\_\_\_ of \_\_\_\_  
FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
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Rev. 1 \_\_\_\_\_ Correction 1 \_\_\_\_\_  
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Rev. 3 \_\_\_\_\_ Correction 3 \_\_\_\_\_  
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## Irrigation Details and Notes

Design Development

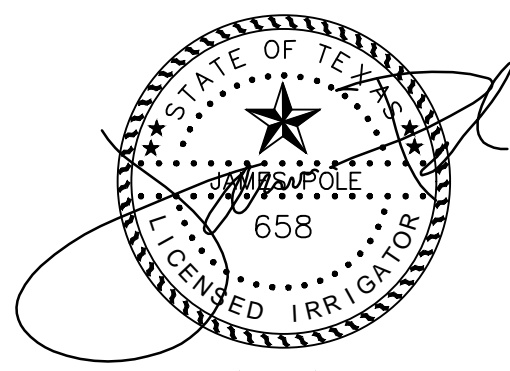
L8

### INSTALLATION NOTES

- COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES, AND WILL SECURE ALL REQUIRED PERMITS. L.I.C. SHALL PAY ANY ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN AND SHALL BE ADDRESSED BEFORE ANY CONSTRUCTION BEGINS.
- NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONE OF EXISTING TREES. HAND-DIG ONLY. WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.
- CONFIRM MINIMUM STATIC WATER PRESSURE OF 60 PSI AT THE HIGHEST ELEVATION OF THE SYSTEM LIMITS, AND MAXIMUM STATIC WATER PRESSURE OF 90 P.S.I. AT THE LOWEST ELEVATION OF THE SYSTEM LIMITS AT LEAST 7 DAYS BEFORE BEGINNING WORK. IF STATIC WATER PRESSURE IS OUTSIDE THE RANGE STATED ABOVE, DO NOT PROCEED UNTIL DIRECTED BY THE LANDSCAPE ARCHITECT.
- LATERAL PIPE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES. MAINLINE PIPE AND WIRES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES. NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN EXISTING TREE ROOT ZONES. WHEN HAND - TRENCHING WITHIN EXISTING TREE ROOT ZONES, NO ROOTS LARGER THAN 1" DIAMETER SHALL BE CUT.
- 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR "IRRIGATION WIRE". WIRE SPLICES SHALL INCLUDE DBY CONNECTORS AS MANUFACTURED BY 3M COMPANY. ALL FIELD SPLICES SHALL BE LOCATED IN A ROUND VALVE BOX OF SUFFICIENT SIZE TO ALLOW INSPECTION.
- VALVE BOXES SHALL BE INSTALLED FLUSH WITH PAVERS, SUPPORTED BY BRICKS IF NEEDED, WITH 3 INCHES OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE. USE 12" x 17" RECTANGULAR "POLY-CRETE" VALVE BOXES FOR ELECTRIC VALVES AND FOR WATER METER, D.C.A., AND MASTER VALVE. D.C.A., WITH UPSTREAM BALL VALVE AND WYE FILTER SHALL BE BOXED AND LOCATED ACCORDING TO LOCAL CODE.
- ALL SPRAY HEADS SHALL BE CONNECTED WITH A 12" MINIMUM LENGTH OF 1/2" FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER.
- CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE PROPOSED LOCATIONS OF ALL ABOVE- GROUND EQUIPMENT INCLUDING BACKFLOW PREVENTORS, CONTROLLERS AND WEATHER SENSORS SHALL BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE THESE ITEMS ARE INSTALLED.
- ALL HEADS SHALL BE INSTALLED A MINIMUM OF 4" FROM PAVEMENT EDGES. ( 6" OR GREATER WHERE REQUIRED BY LOCAL CODE ) FINAL HEAD ADJUSTMENTS BY THE CONTRACTOR SHALL INCLUDE THE ADDITION OF CHECK VALVES WHERE NEEDED TO PREVENT EXCESSIVE LOW HEAD DRAINAGE. THE CONTRACTOR SHALL BUDGET FOR, AND INSTALL CHECK VALVES FOR UP TO 10% OF THE TOTAL NUMBER OF HEADS WHEN NEEDED, WITH NO ADDITIONAL COST TO THE OWNER.
- PROVIDE TO THE OWNER ONE REMOTE CONTROL WIRELESS HANDSET "LEIT RCZET".

#### CITY OF AUSTIN IRRIGATION GUIDELINES:

- ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL VALVES. PRESSURE REGULATION COMPONENTS SHALL BE REQUIRED WHERE STATIC PRESSURE EXCEEDS MANUFACTURERS RECOMMENDED OPERATING RANGE.
- VALVES AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUNDCOVER AREAS. IRRIGATION HEADS IN THE TURF AREAS WILL BE VALVED SEPARATELY FROM SHRUB AND/OR GROUNDCOVER AREAS. IT IS RECOMMENDED THAT SEASONAL COLOR AREAS BE WATERED SEPARATELY FROM TURF AREAS.
- SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- SERVICEABLE CHECK VALVES SHALL BE REQUIRED ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE.
- SPRINKLER HEAD SPACING SHALL BE DESIGNER FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE SPACED PER MANUFACTURERS RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED SO THAT IRRIGATION IS NOT APPLIED TO VEHICULAR TRAFFIC LANES, OTHER PAVEMENT, OR STRUCTURES.
- ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM, INCLUDING THE CAPACITY OF BEING SET TO WATER EVERY FIVE DAYS. ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN WATER SENSOR SHUT-OFF DEVICE.
- IRRIGATION CONSTRUCTION PLANS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE CONTROLLER DOOR. WATER BUDGET SHALL INCLUDE:
  - CHART CONTAINING ZONE NUMBER, PRECIPITATION RATE, AND GPM
  - LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE
  - TO SCHEDULE A FREE CITY OF AUSTIN IRRIGATION AUDIT CALL 499-3542
- CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS THAT IDENTIFY SCHEMATIC LOCATION OF ALL PIPING, HEADS, AND VALVES, ETC. THE DESIGN OF THE SYSTEM SHALL MEET ALL WATER CONSERVATION IRRIGATION SYSTEM REQUIREMENTS AS PER THE ENVIRONMENTAL CRITERIA MANUAL.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM COVER OR 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12"
- ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM OF ONE HALF (1/2%) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE VALVE TO FACILITATE DRAINAGE OF SYSTEMS DURING FREEZING TEMPERATURES.
- CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
- CONTRACTOR SHALL INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES
- ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
- ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODES AND REGULATIONS.
- IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE LANDSCAPING INSTALLATION.
- ALL IRRIGATION PIPE, HEADS, AND OTHER ASSOCIATED APPURTENANCES SHALL BE SET MIN. 24" FROM BACK OF CURB.



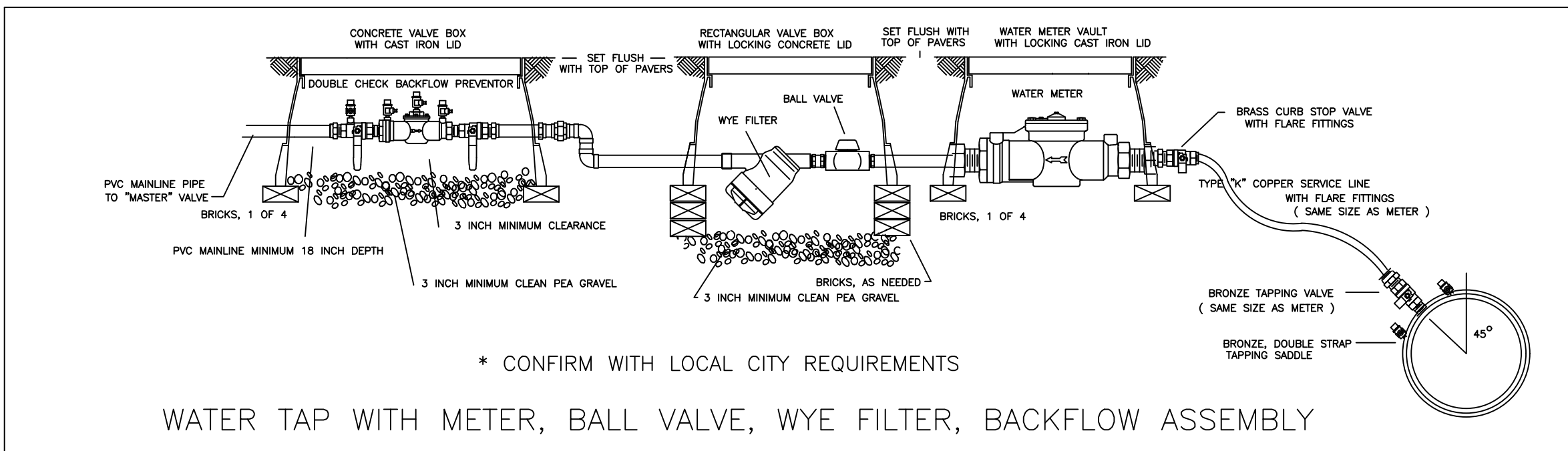
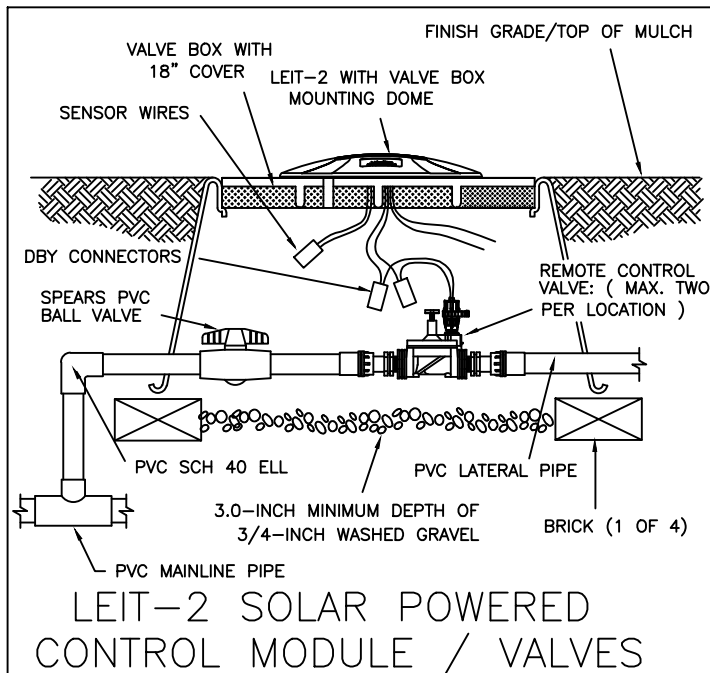
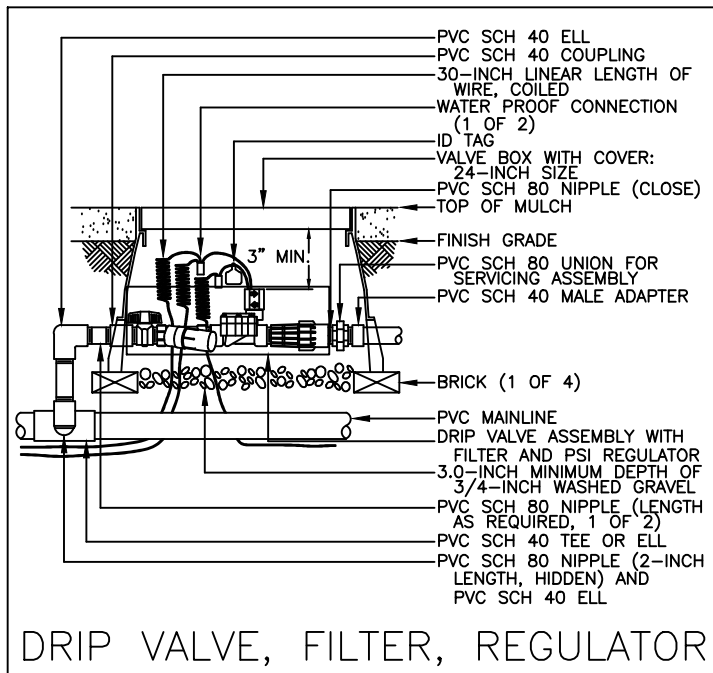
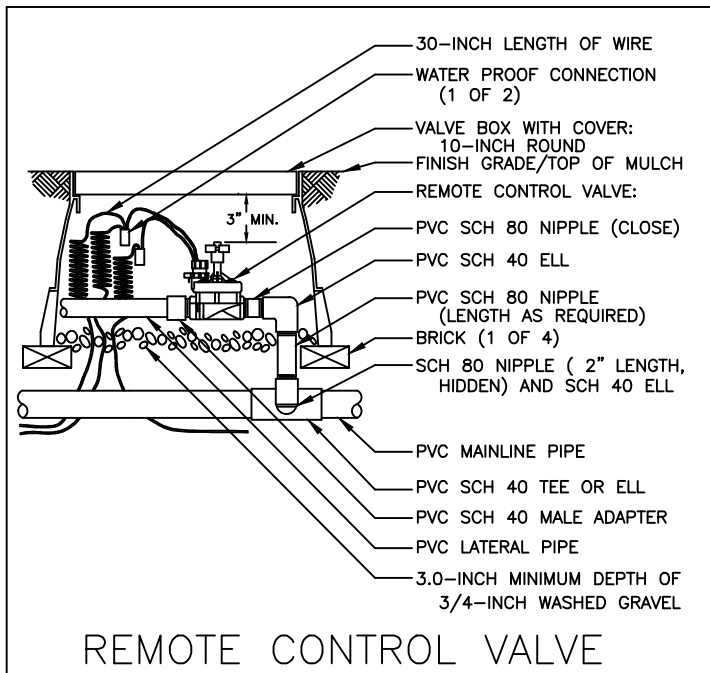
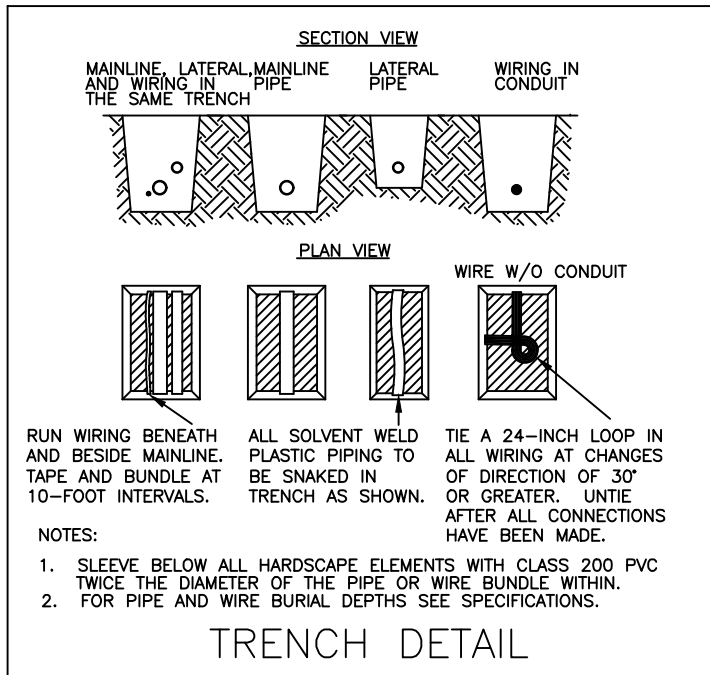
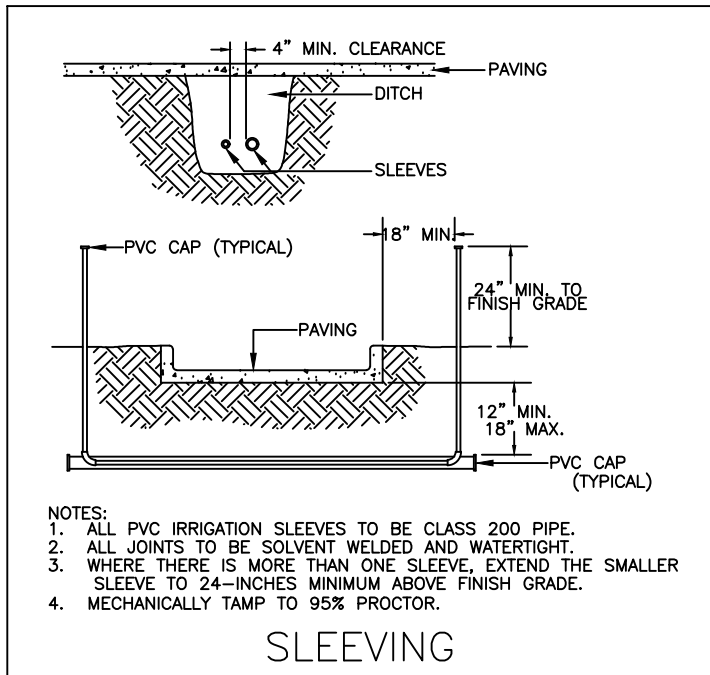
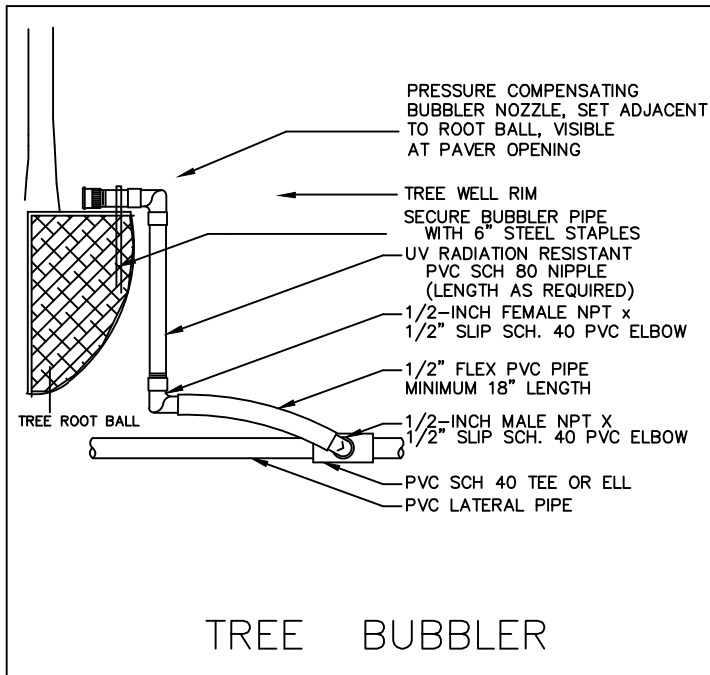
**James Pole**  
IRRIGATION CONSULTANTS  
IRRIGATION DESIGN, CONSULTING, AND  
LANDSCAPE WATER MANAGEMENT  
TEXAS L.I.C. #658 PHONE: 940.243.2364  
100 N. LOCUST ST., SUITE 3 FAX: 940.382.2475  
DENTON, TEXAS 76201 james@jamespoleirrigation.com



IRRIGATION IN TEXAS IS REGULATED BY  
THE TEXAS COMMISSION ON ENVIRONMENTAL  
QUALITY ( TCEQ ) ( MC-178 ) P.O. BOX 13087  
T.C.E.Q.'S WEB SITE IS: WWW.TCEQ.STATE.TX.US

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Rev. 1	_____	Rev. 2	_____	Rev. 3	_____
Rev. 2	_____	Rev. 3	_____	Rev. 4	_____
Rev. 3	_____	Rev. 4	_____	Rev. 5	_____

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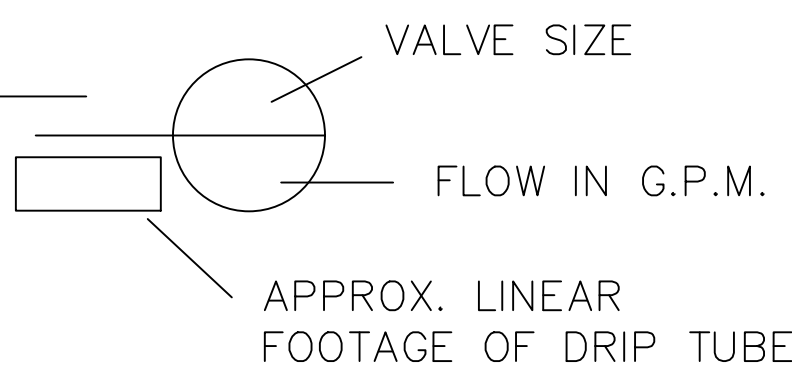


#### LEGEND

- HUNTER PCB-50 PRESSURE COMPENSATING BUBBLER NOZZLE SET ADJACENT TO TREE TRUNK, VISIBLE AT PAVEMENT OPENING. ( TWO PER TREE )
- HUNTER ICV SERIES ELECTRIC REMOTE CONTROL VALVE WITH S-305DC SOLENOID, INSTALLED IN CONCRETE VALVE BOX WITH CAST IRON LID, SET FLUSH WITH PAVEMENT.
- HUNTER PCZ-101 AND ICZ-101 DRIP VALVE ASSEMBLY WITH S-305DC SOLENOID AND WITH 25 PSI PRESSURE REGULATOR AND 120 MESH SCREEN, INSTALLED IN CONCRETE VALVE BOX WITH CAST IRON LID, SET FLUSH WITH PAVEMENT.
- 3/4" WILKINS 350 SERIES D.C.A. INSTALLED PER CITY CODE, WITH SAME SIZE WILKINS 850 SERIES BRONZE BALL VALVE AND WILKINS YB SERIES BRONZE WYE FILTER WITH 20 MESH STAINLESS STEEL SCREEN
- 5/8" IRRIGATION WATER METER AND TAP
- LEIT-2 SOLAR POWERED CONTROLLER AND MINI-CLIK RAIN / FREEZE SENSOR WITH SKIT8821-4 SENSOR ADAPTOR. LOCATE SENSOR AS PER THE LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE ONE LEIT MULTI-PRO REMOTE HANDSET WITH EACH CONTROLLER.
- CLASS 200 PVC MAINLINE PIPE
- CLASS 200 ( EXCEPT 1/2 INCH #315 ) PVC LATERAL PIPE
- 2" CLASS 200 SLEEVE PIPE

USE 12" x 17" RECTANGULAR "POLY-CRETE" VALVE BOXES WITH CAST IRON LIDS FOR WATER METER, D.C.A., AND MASTER VALVE, AND ELECTRIC ZONE VALVES.  
SOLAR DOME SHALL BE MOUNTED ON TOP OF CAST IRON LID.

#### CONTROLLER STATION







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MARK	DATE	DESCRIPTION

ISSUE DATE: 28 June, 2016  
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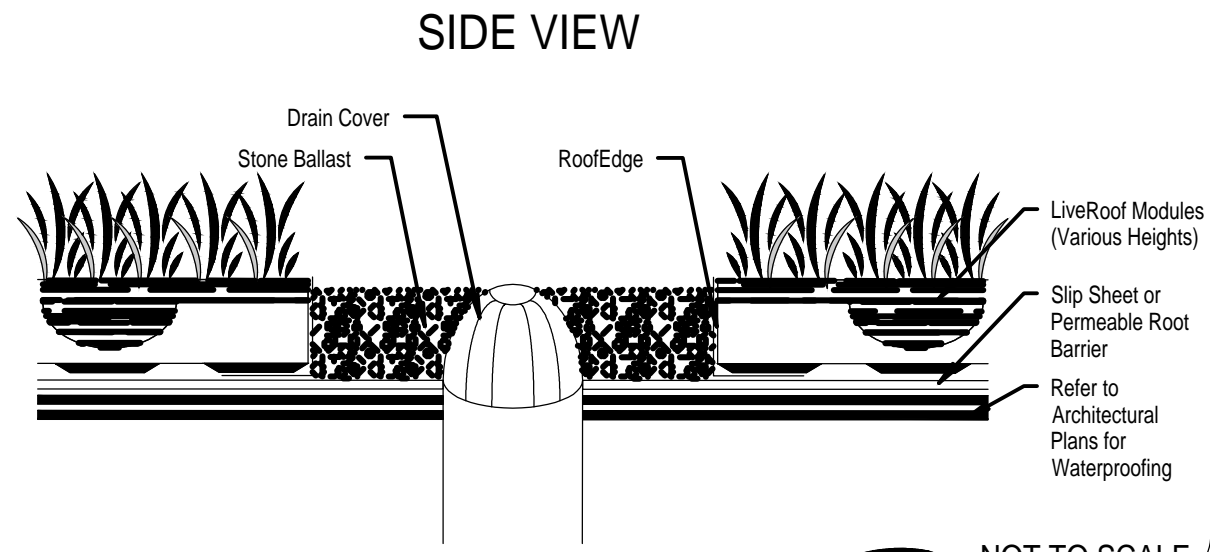
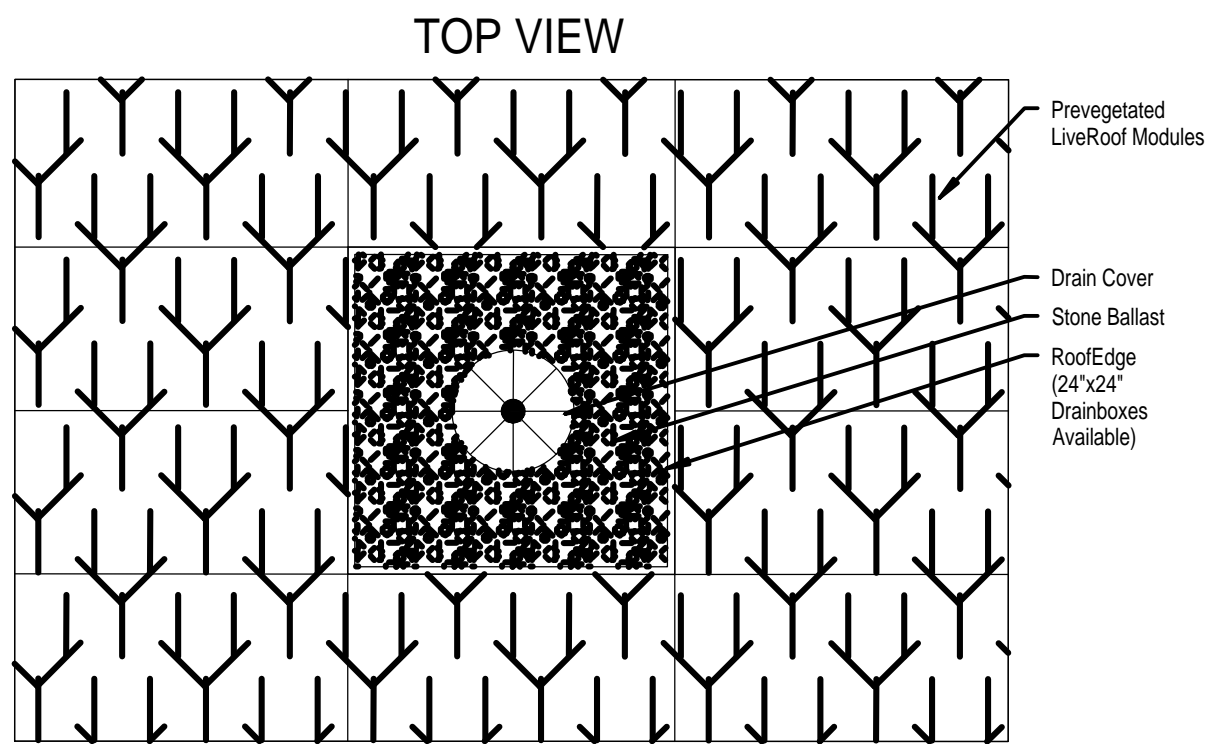
Green Roof  
Landscape  
Details

Design Development

L9

### Drain Application

Using RoofEdge and Stone Ballast



DRAIN COMPONENTS AND FLASHING SHOULD BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTION

NOT TO SCALE

DRAIN 5  
V06.201

LiveRoof, LLC  
P.O. Box 533  
Spring Lake, MI 49456

(800) 875-1392  
www.liveroof.com

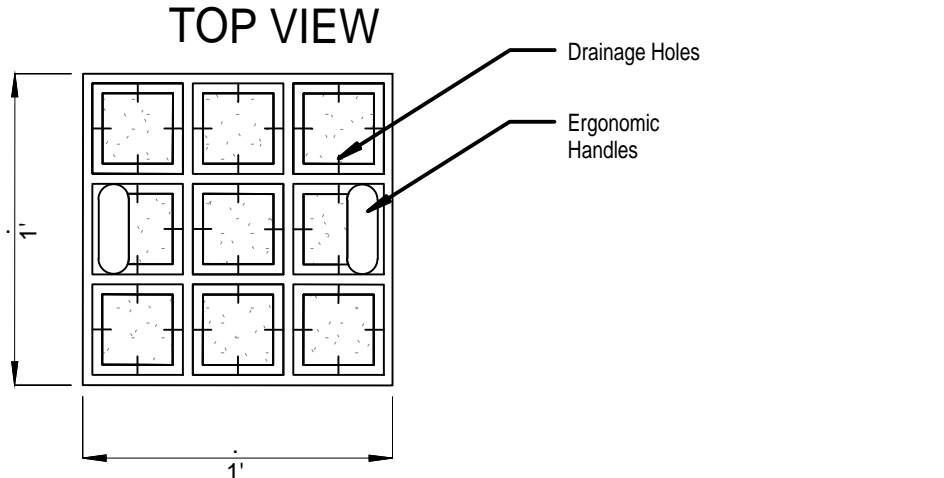
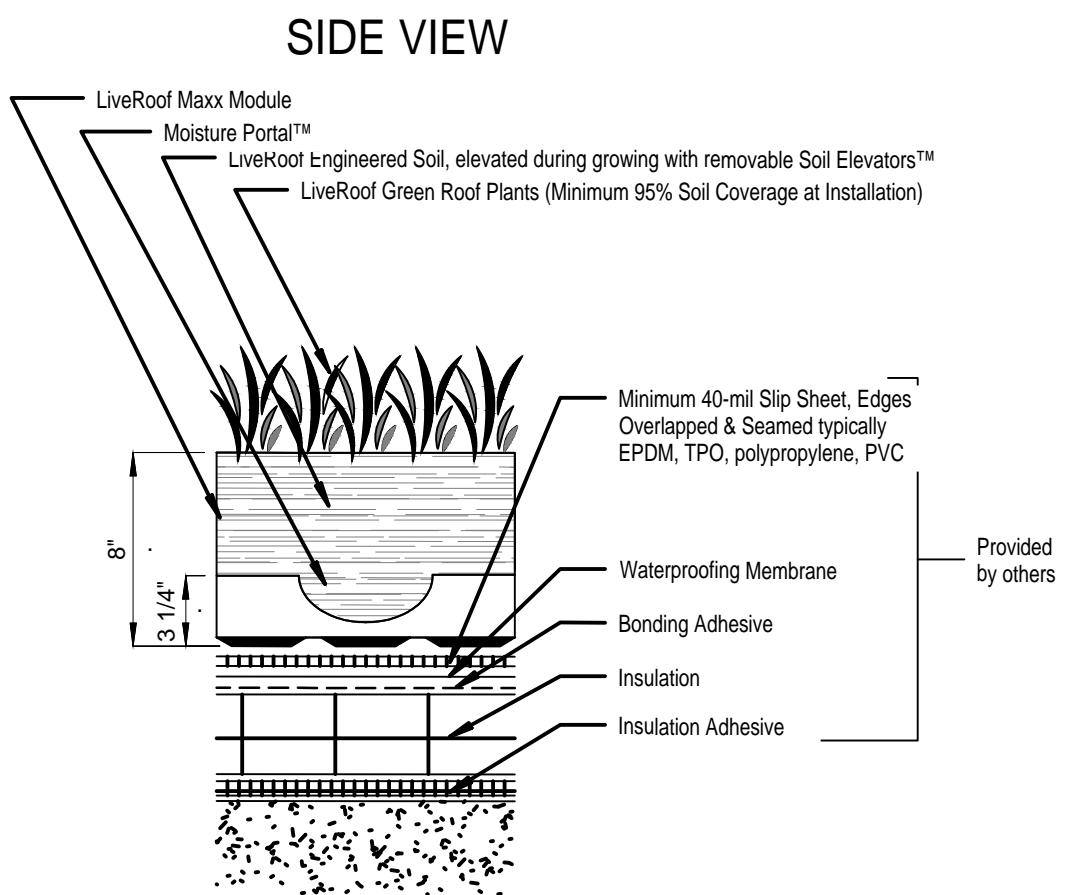
LiveRoof

1 LIVEROOF DRAIN  
PLAN, SECTION & NOTES

SCALE: NO SCALE

### LiveRoof MAXX 8" System

Over Conventional Roofing Assembly



LiveRoof System Saturated Weight: 55-65 lbs / sf

ILLUSTRATIONS ARE TO CONCEPTUALLY ASSIST PROFESSIONALS IN DESIGNING LIVEROOF INSTALLATIONS. LIVEROOF DOES NOT ACCEPT RESPONSIBILITY FOR ENGINEERING BASED ON ILLUSTRATIONS. A QUALIFIED ROOFING SPECIALIST SHOULD BE CONSULTED TO DETERMINE APPROPRIATE WATERPROOFING AND ROOF DECK MATERIALS AND SUITABLE DESIGN.

NOT TO SCALE

MAXX 8A

LiveRoof, LLC  
P.O. Box 533  
Spring Lake, MI 49456

(800) 875-1392  
www.liveroof.com

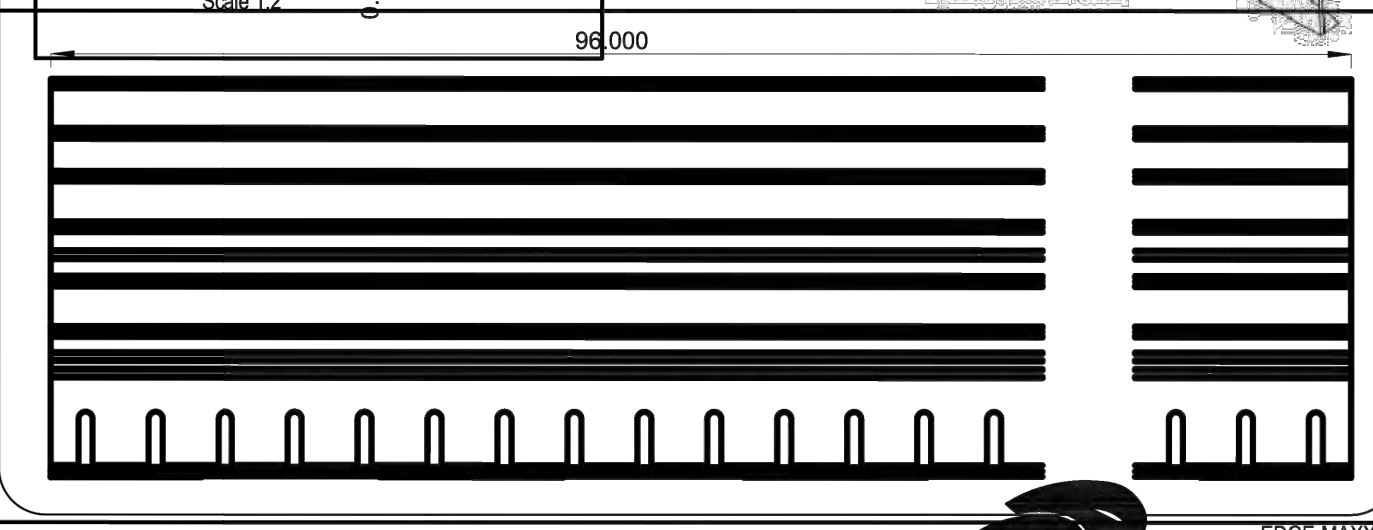
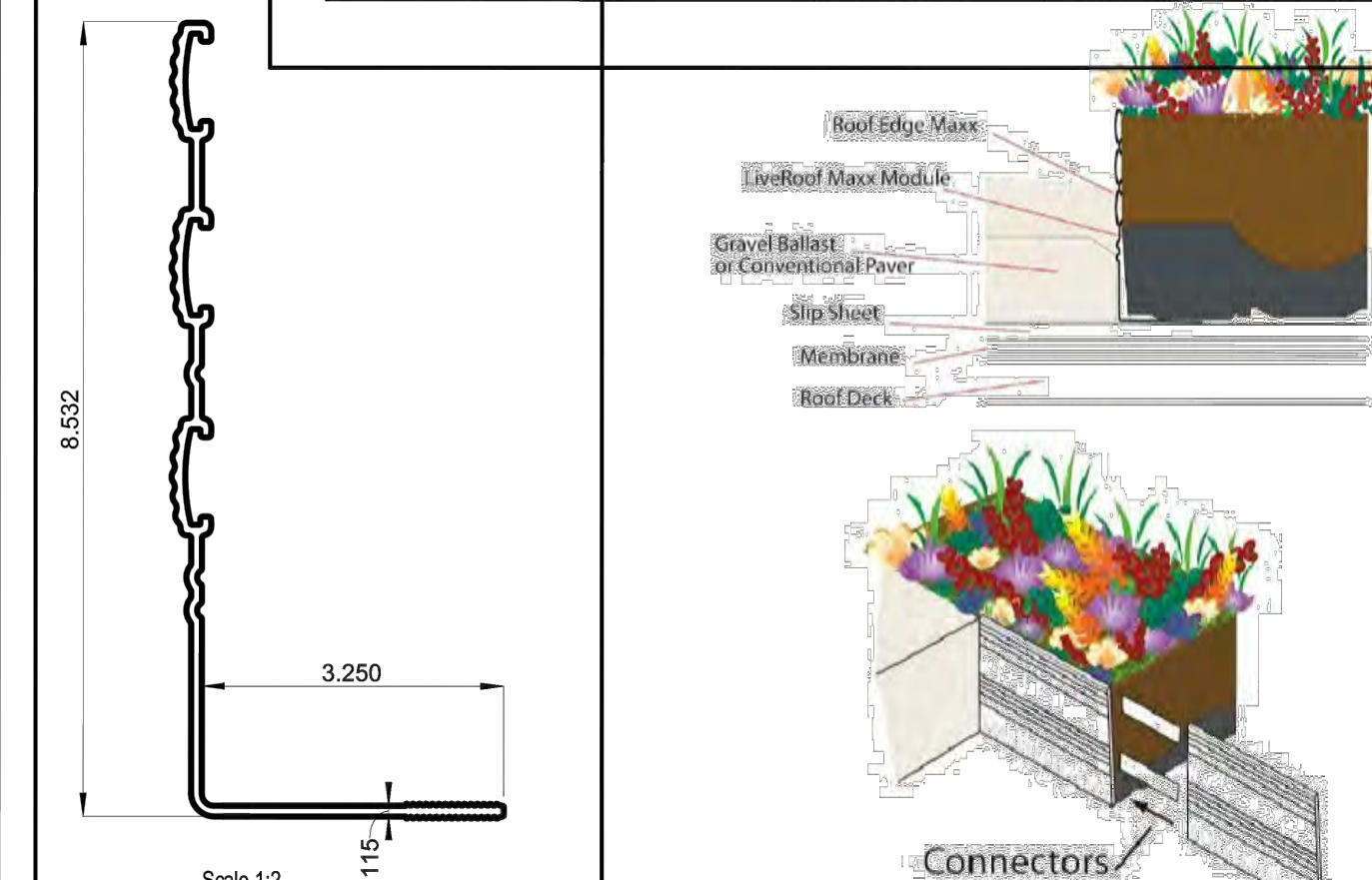
LiveRoof

2 LIVEROOF PLANTING MODULE  
PLAN, SECTION & NOTES

SCALE: NO SCALE

### RoofEdge Maxx Aluminum Edge Restraint

PART NUMBER	LIVEROOF SYSTEM	DIMENSIONS	FINISH
MAXX-MILL-96	MAXX	8.5"x 3.25"x 96"	MILL
MAXX-BRONZE-96	MAXX	8.5"x 3.25"x 96"	BRONZE ANODIZE
MAXX-BLACK-96	MAXX	8.5"x 3.25"x 96"	BLACK ANODIZE



LiveRoof Global, LLC  
P.O. Box 533  
Spring Lake, MI 49456

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# AUSTIN ENERGY GREEN BUILDING

## Letter of Intent

This Letter of Intent demonstrates the intent of the project owner or an authorized representative to complete the necessary requirements to achieve an Austin Energy Green Building (AEGB) minimum two Star Rating for a development / project that requires this rating.

Project Name: 405 Colorado

Project Address: 405 Colorado, Austin, Texas, 78701

This Letter of Intent must be included with the Administrative Site Plan application for all projects requiring an AEGB Rating. Signing this letter demonstrates knowledge of this requirement and the process necessary to achieve an AEGB Rating. For best results, meet with an AEGB representative early in the design process. To achieve an AEGB Rating:

- I. Submit a **Project Application in the AEGB Online Rating System** prior to or within Schematic Design Phase. Sign and upload the Letter of Intent to the Documents tab. Complete "Team" tab.
- II. Submit a completed and signed **AEGB Conditional Approval** with the Building Permit application. AEGB will issue a Conditional Approval upon satisfactory review of the project's construction documents, including plans, specifications, mechanical plans, Manual J calculation (applicable for multifamily and single family projects), and the project's AEGB Rating Worksheet.
- III. Schedule AEGB inspections (separate from City of Austin inspections) of the project with the AEGB representative
  - a) After interior mechanical equipment has been installed and prior to installation of sheetrock.
  - b) At substantial completion of construction.
- IV. Submit a completed and signed **AEGB Final Approval** to receive the Certificate of Occupancy for this project. AEGB will issue a Final Approval upon substantial completion of the project and satisfactory fulfillment of the AEGB Rating.

This Letter of Intent is entered into by the parties, acting through their duly authorized representatives, effective as of the later of two signature dates entered below:

### PARTICIPANT:

Name: LEON SHADOWEN

Signature: Leon Shadowen

Title: VP

Phone Number: 512-872-7183

Date: 8-30-16

### AUSTIN ENERGY GREEN BUILDING:

Name: Jeff Wacker

Signature: Jeff Wacker

Title: AEGB Representative

Phone Number: 512.482.5448

Date: 7/18/16



**GREAT STREETS PROJECT REVIEW**  
**Planning & Zoning Department/Urban Design Division**

**To:** Anne Milne  
Senior Planner

**From:** Humberto Rey  
COA Great Streets  
Program Manager

**Re:** 405 Colorado

**Date:** August 29, 2016

**Approval:** Yes

A project compliance with the COA Great Streets standards is one of 3 gatekeeper requirements identified by Council in order for a project to receive additional density through the COA Density Bonus Program.

The project located at 405 Colorado has been reviewed and comments have been addressed by the applicant. At this time, said development is deemed compliant with Great Streets.

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