

Ebony Acres – A Petition for Historic Districting

Pinaki Ghosh, Jan. 2017

Chairman EMLK Combined Planning Area Contact Team
Contact Person for Ebony Acres Neighborhood
Ex-commissioner City of Austin (TARA)

Acknowledgement – without their help we could not build our case

All the neighbors of Ebony Acres and East side who stood with us

All the people in east side who contributed to the Oral History.

Kate Singleton with Preservation Austin

Mark Stanford with Stanford Consulting

Capital Geotechnical Services

Jim Wittliff at Landanswers. LLC

Matt Hallon with city of Austin Watershed Protection Department

Jeff Jack Ex Planning Commission Member

Ms. Trinity White Current Planning Commission Member

Christopher Hutchings – Aid to council Member Mrs. Ora Houston

David King – Chairman ANC

Kylie McGivern – KXAN news

There are many other who – we thank you all

Document /Pictures /Videos

- Documents provided in the past
- Information about “Withdrawal of Demolition Request”
- Map of Ebony Acres
- Map of Proposed Historic District
- Criteria for Historic Zoning
- Mapping to Criteria's
- Status of Nomination Application

Documents Provided in the past to City

- Case for Historic District with individual property details
 - Covers Architecture, Archaeology, Community Value , Landscape Features
- Ebony Acres Neighborhood _Landscape Features_HC_rev1
 - Covers the unique challenges of the neighborhood
- Historical Associations of 3 properties
 - History of 3 properties provided and other 8 have been added later
- Mark Stanford Opinion - Forensic Analysis
 - Provides details of the structure condition
- Signed Petition against demolition and Historic zoning
 - Neighborhood support document

We have been informed by city that the builders want to withdraw the demolition request.

Sadowsky, Steve <Steve.Sadowsky@austintexas.gov>

to me, Andrew, Danny, Christopher ▾

Pinaki:

The applicants have withdrawn their application for the demolition of these houses. Do you still want to proceed?

Steve Sadowsky
Historic Preservation Officer
City of Austin, Texas
974-6454



Rice, Andrew

12/20/16 ☆ ↩ ▾

to me, Steve, Danny, Christopher ▾

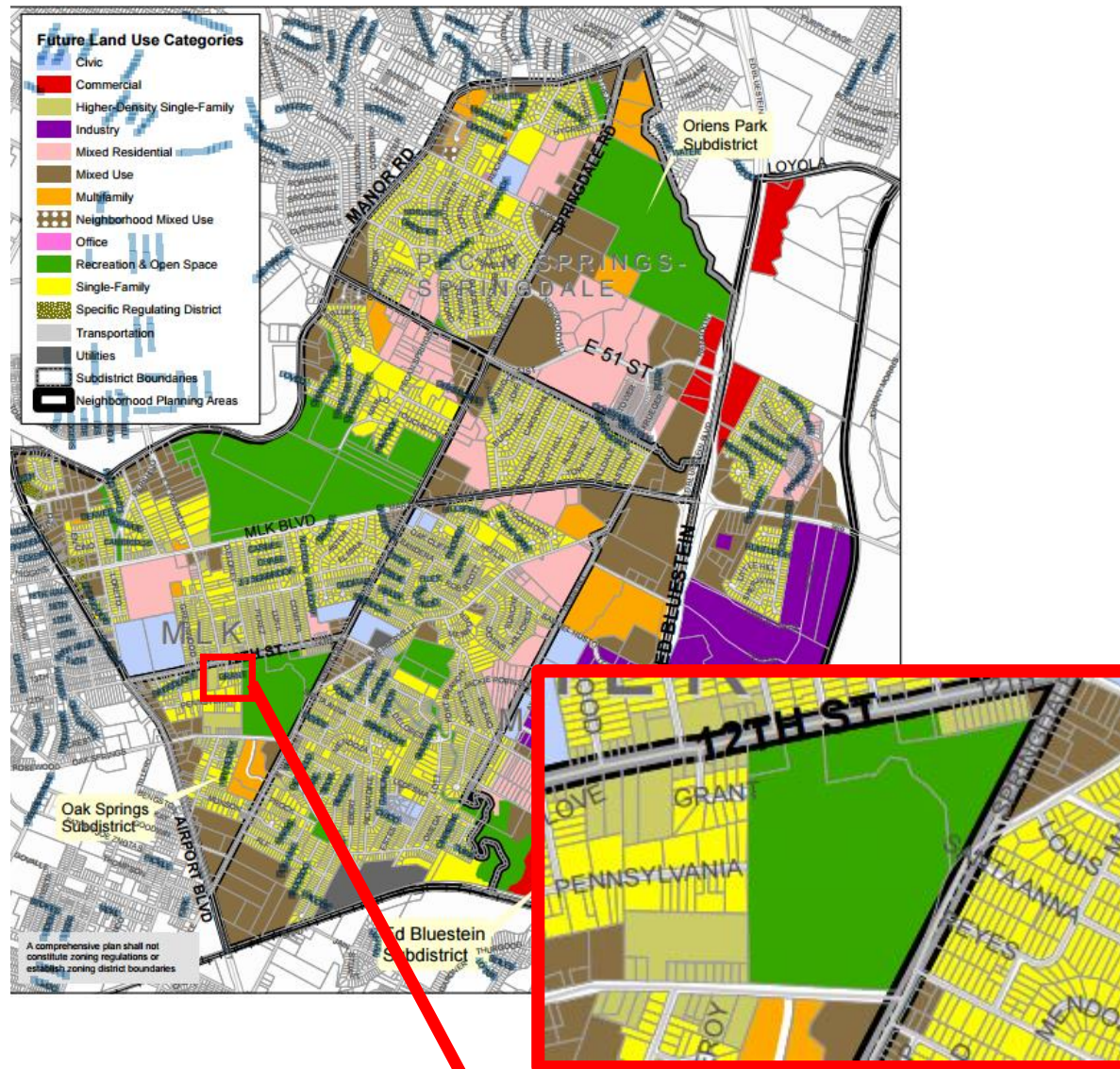
Mr. Ghosh,

It is my understanding that these cases have already been withdrawn. I will confirm with Steve as soon as he returns to the office tomorrow 12/21/2016. Please let me know if I can be of any other assistance.

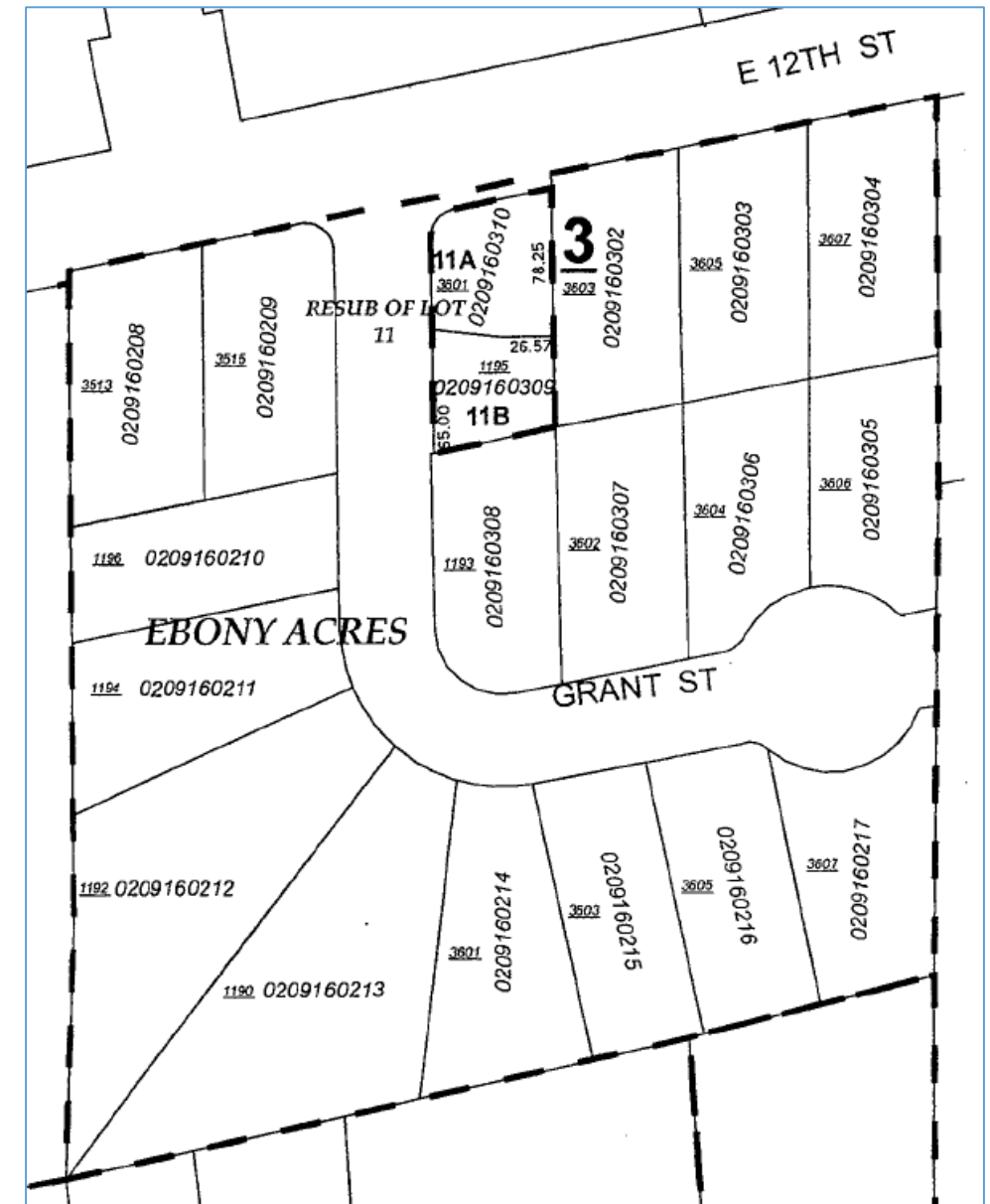
Thank you,

Andrew Rice
Historic Preservation Planner 1
City of Austin Planning & Zoning Department
512-974-1686 | andrew.rice@austintexas.gov

From the 2009 FLUM for EMLK Combined Neighborhood

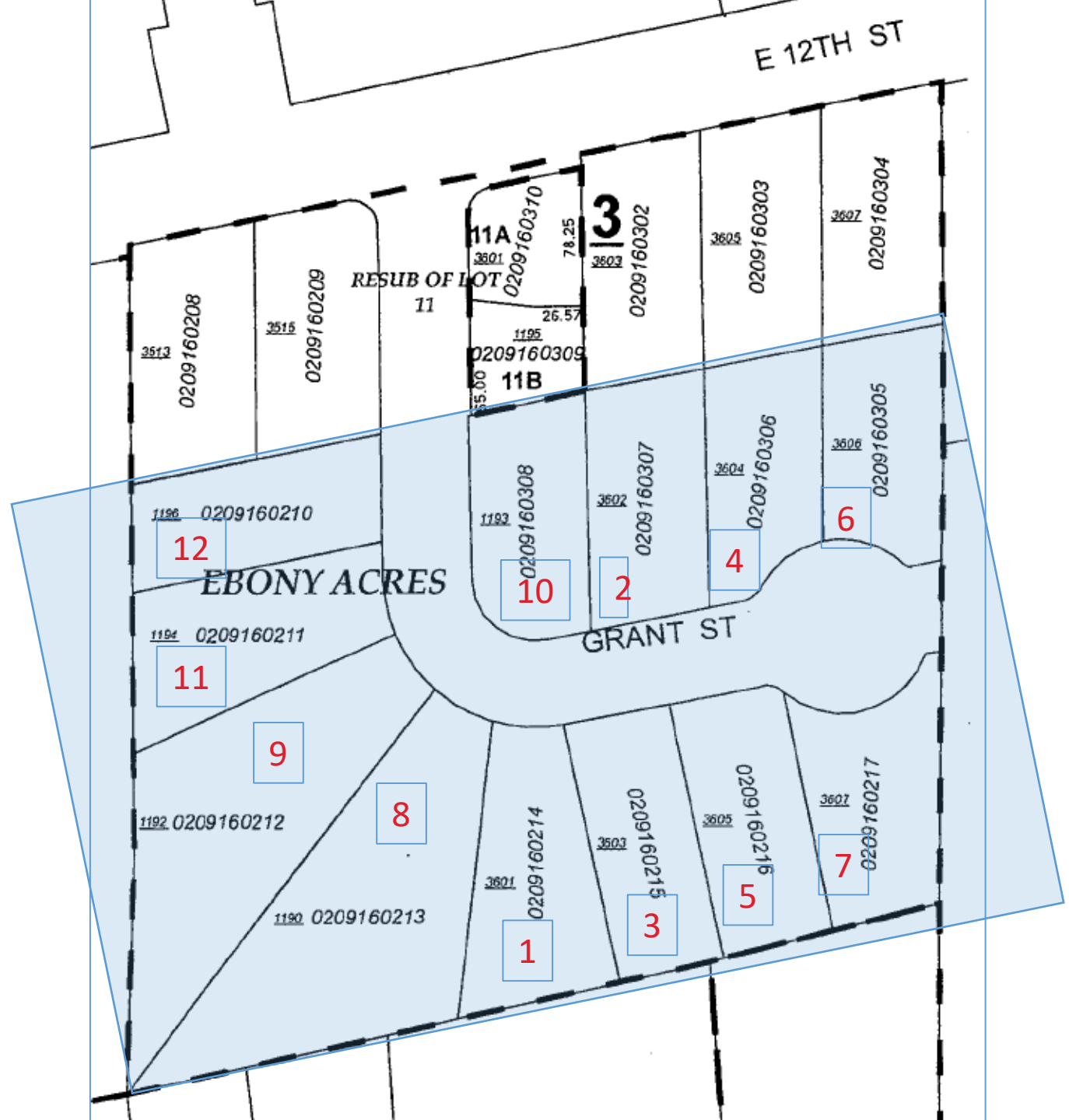


Ebony Acres (zoned single family SF)



Ebony Acres Subdivision (with 20 houses)

- We are requesting LHD status for the shaded area with 12 houses.



Eligibility Criteria & Mapping for Historic Zoning (1/2)

Eligibility Evaluation Criteria for Historic Districts

Local Historic Districts in Austin are community-initiated only. –

- At least 51% of the principal buildings within district boundaries must be contributing. –
- At least 51% of the owners of the land area inside district boundaries, or at least 51% of the total number of property owners, must agree to initiate historic zoning

Local Historic Districts in Austin are community-initiated only. –

- 90% of the principal buildings within district boundaries are contributing. (11 out of 12)
- At least 89% of the owners of the land area inside district boundaries agreed to initiate historic zoning. (Signed Documents Provided)

Eligibility Criteria & Mapping for Historic Zoning (2/2)

Eligibility Evaluation Criteria for Individual Properties

Local Designation*

- Must be 50 years old, retain integrity, and have a previous designation OR demonstrate significance in two of the following :

1. Architecture
2. Association w/significant people/groups /events
3. Archaeology
4. Community Value
5. Landscape Features

Local Designation

1. 90% of the houses in consideration are more than 50 years old (11 out of 12) and these houses original structure and facade
2. The history of each house and their association to various people have been provided separately
3. An actual soil report has been provided before.
4. It's a city recognized neighborhood with an unique neighborhood fabric "unity in diversity"
5. It is a unique landscape with an elevation difference of 70 ft. in a span of 300 ft., 2 creek beds and a green belt

* We have provided details of 11 contributing houses in our landscape. This is very similar to the Holy Cross Historic Neighborhood.

Status of COA LHD* Nomination Application

- | | |
|--------------------------------------|--|
| 1. Maps | 1. Available and provided |
| 2. Inventory of Properties | 2. Available and provided |
| 3. Survey Sheets and
Photographs | 3. Survey Partially Available ,
curb-side photographs
provided |
| 4. District Preservation Plan | 4. Work in progress |
| 5. Demonstration of Owner
Support | 5. Available and provided |

* Local Historic District

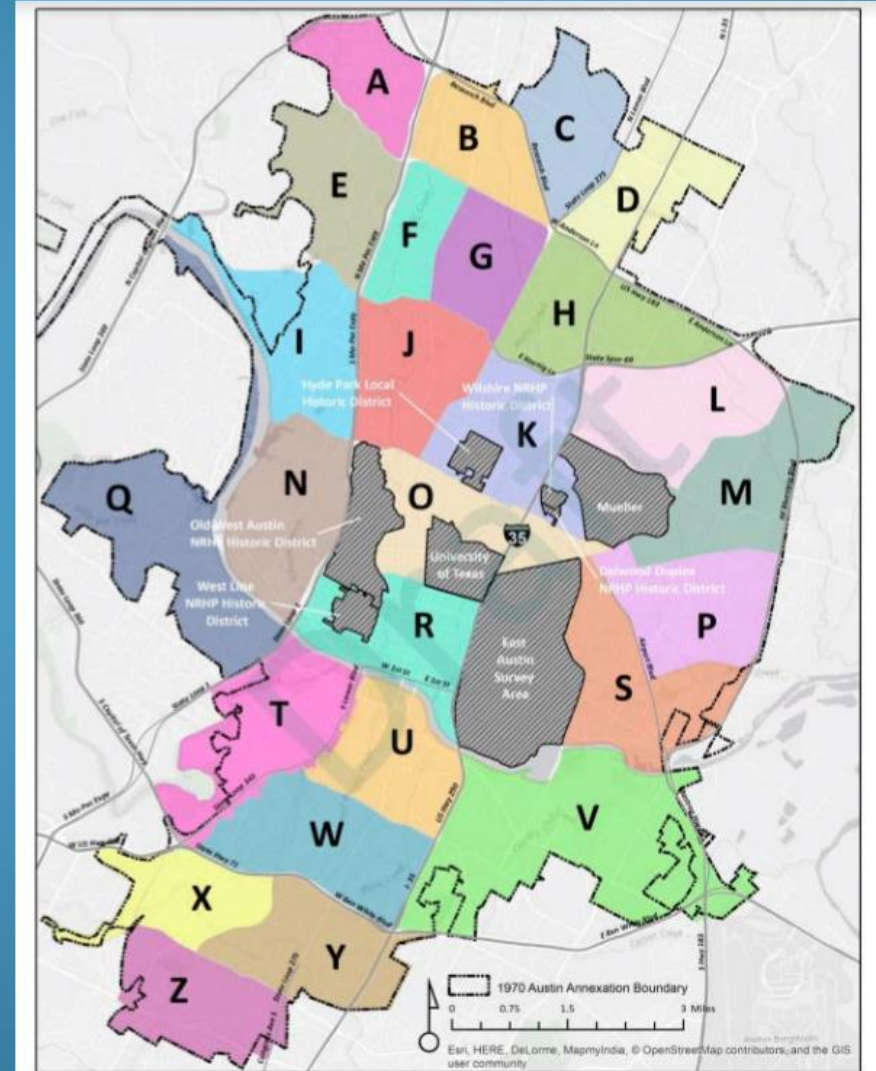
We are in area 'S' of
"HHM" report with a
score of **9.5745**

Currently there is no
historic district east of
Airport – this is an ideal
test case.

- HHM, Inc. has identified and prioritized recommended future survey areas based on resource concentration and demo rate.

Area ID	Pre-1925	1926-1940	1941-1955	1956-1970	1971-2005	2006-2016	No Date	Total Points
U	1.9808862	5.5140458	1.8882131	0.3793802	0	2.5340284	0	12.296554
O	2.9564741	4.4839858	2.6252395	0.3586094	0	1.1305776	0	11.554886
K	1.3553501	3.4927345	4.3540291	0.3804491	0	1.322325	0	10.904888
J	0.2185224	2.2788762	4.971384	0.4617586	0	1.7663892	0	9.6969303
N	0.3439952	2.2148461	3.2649366	0.5703078	0	3.2845504	0	9.6786361
S	0.5411845	2.0558203	3.2641253	0.6279782	0	3.0854323	0	9.5745405
R	5.2411576	1.8113612	0.6538049	0.4233655	0	1.2004287	0	9.3301179
G	0.031881	0.0903294	5.2816153	1.0268332	0	2.4827311	0	8.91339
T	0.1400467	1.6205402	2.3507836	1.3404468	0	1.6572191	0	7.1090363
P	0.1155213	1.5343602	1.4899289	1.6646919	0	1.6898697	0	6.494372
W	0.1869436	0.5994065	1.3827893	1.8709199	0	2.1083086	0	6.148368
F	0	0	2.491175	2.9525971	0	0.6354009	0	6.079173
L	0.0319217	0.1234305	1.8323047	3.1527985	0	0.4841456	0	5.624601
H	0.0631801	0.7792208	2.2183222	1.8234468	0	0.6388206	0	5.5229905
I	0.0210379	0	2.8120617	1.1395512	0	1.5462833	0	5.5189341
M	0.0122499	0.1143324	0.3307472	2.0559412	0	2.7868518	0	5.3001225
X	0.0110335	0.0294226	1.4600956	2.7491725	0	0.5020228	0	4.751747
V	0.0778008	0.4875519	1.034751	1.156639	0	1.5521266	0	4.3088693
Q	0.0265487	0.0353982	0.3982301	0.9159292	0	2.7411504	0	4.1172566
B	0	0.0252525	0.2483165	3.4532828	0	0.1325758	0	3.8594276
Y	0.0549451	0.2930403	0.5238095	1.7161172	0	1.0769231	0	3.6648352
D	0.0782269	0.208605	0.686658	1.7427206	0	0.1825293	0	2.8987397
E	0	0	0.0066401	1.7878486	0	0.4531873	0	2.247676
C	0	0.006502	0.006502	1.5978544	0	0.0682705	0	1.6791287
A	0	0	0	1.170357	0	0.4902847	0	1.6606417
Z	0.0301129	0.0250941	0.1279799	1.076537	0	0.0966123	0	1.3563363

Sources : Hardy-Heck-Moore, Inc. (2016). *City of Austin Historic Resources Survey* (Vol.V, Appendix F, pp.1) and Hardy-Heck-Moore, Inc. (2016). *City of Austin Historic Resources Survey* (Vol. V, Appendix G, pp.4)



Future Austin Survey Area Overview Map showing boundaries of areas evaluated for potential future survey. Source: Map by HHM using Esri base map, 2016.

Request from Ebony Acres

- Please disallow the demolition of the 3 houses in Ebony Acres which are 3601 and 3607 Grant Street and 1190 EM Franklin Avenue.
- Please allow the shaded area, as shown in a previous slide, to be designated as Historic District