ABBREVIATIONS GRAPHIC SYMBOLS PAR P.C. DOOR NUMBER Anchor Bolt Finished Floor Elevation (A01) Acre Access Finished Floor Line Point of Curvature refer door schedule Fire Hose and Cabinet Property Line, Plat American Concrete Institute PLAM Face Of Plastic Laminate Acoustical Ceiling Tile Face to Face Plywood PM PNL PNT PSF Premolded Finish (ed) WINDOW SYMBOL Above Finish Floor ALT ALUM Flange Paint (ed) window type A Aluminum Foundation Pounds Per Square Inch APPROX Approximate Face Of Point / Pressure Treated **OFFICE** Architect (ural) Face of Brick Pave (d)(ing) Face of Concrete Polyvinyl Chloride Face of Finish 100 ROOM NAME & NUMBER Back to Back Face of Masonry Back of Curb Quarry Tile Face of Stud Board Framed (ed) (ina) Building Foot/Feet Return Air Footing RAD Radius SUPPLEMENTAL DRAWING Rubber Base RCP Reinforced Concrete Pipe see project manual Benchmark GALV Galvanized Roof Drain Grab Bar Reinforcement Bar Galvanized Iron Refrigerator / Reference Gypsum Wall Board REINF Reinforce (d)(ing) Gypsum (Wall / Soffit Board) REQD Built-Up Roof INTERIOR ELEVATION SYMBOL Retaining Hollow Core / Handicap Revision / Revised see floor plans Roofing Hardware CAB CAL CB C/C CD Right Hand Caliper Catch Basin Hollow Metal HORIZ Horizontal Reinforced Masonn High Point / 'H' Pile Beam Center to Center Rough Opening PARTITION TYPE Height Height Right of Way Cubic Foot Roof Top Unit refer partition legend Heating, Ventilation & Air Conditioning Channel Reversed (side) Cast Iron Cast Iron Pipe SCW Solid Core Wood Inside Diameter SHEET NOTE SYMBOL Construction or Control Joint SCH SD Invert Elevation Schedule Center Line Inside Face of Stud see sheet keynotes Storm Drain Isolation Joint Section Shelf / Shelving Clear (ance) Specification (s) Corrugated Metal Pipe Janitor's Closet **BUILDING SECTION SYMBOL** CMP CMU CO COL CONC CONN CONST CONT Concrete Masonry Unit Joist Girder Sanitary Sewer Stainless Steel see floor plans & building sections Split Tee Concrete Thousand Connection Standard Construction 1000# Storage Structural SECTION CUT SYMBOL Continuous or Continue Key Joint Contract or Contractor Sheet Vinyl see floor plans, wall sections & details Carpet (ed) Course(s) Laminate (d) Tread Top Of Countersink Linear Foot Length Laboratory Ceramic Tile Center Terra Cotta / Top of Curb TELE T&G THK TOS MATCH LINE & SYMBOL Cubic Yard Left Hand Tongue and Groove see floor plans Dryer Double Live Load Long Leg Horizonta Top of Slab DEM DEMO DET DH DIA DIAG Demolish or Demolition Long Leg Vertical Tubular Steel Top of Footing Light Gage Light Top of Joist Double Hung EXTERIOR ELEVATION SYMBOL Top of Wall Diagonal Masonry Typical see floor plan & elevation sheets MATL Material Terazzo Ductile Iron Pipe Maximum Misc. Channel Masonry Control Joint Unless Noted Otherwise Downspout Mechanical VAR Varnish Mezzanine Manufacture (er) Vinyl Base Vinyl Composition Tile Each Minimum Vertical Each Face Miscellaneous DETAIL AREA SYMBOL Exterior Insulation & Finish System V-Joint (ed) see detail 01 sheet A7.1 Expansion Joint Masonry Opening Vinyl Wall Covering MT(D)(G) Mount (ed) (ing) ELEC EMER ENGR EOP EOS EPNT Washer / Width / Wide Flange Emergency Engineer Water Closet Edge of Pavement Not In Contract Wall Hung Number Nominal **Epoxy Paint** NOM Window REVISION TO DRAWING SYMBOL Each Way Not to Scale see sheet revisions Electric Water Cooler On Center (s) Wall to Wall Outside Diameter Welded Wire Fabri Owner Furnished Contractor Installed Welded Wire Mesh Owner Furnished Owner Installed Furnished By Others Overhead Floor Drain Opposite Hand Fire Extinguisher Fire Extinguisher and Cabinet Opposite Hand CONSTRUCTION NOTES MATERIAL SYMBOLS 1. DO NOT SPLIT PAGES FROM THIS CONTRACT. ALL TRADES ARE TO RECEIVE COMPLETE DRAWING SETS FOR

BUILDING CODE SUMMARY PROJECT NAME: 408 Congress Ave. Austin, Texas 78701 ADDRESS: Resturant PROPOSED USE: OWNER/CONTACT: Austin Eatery #2, LLC - Todd Jackson - 205-637-5417 - todd.jackson@ckjeateries.com 2012 International Building Code w/ Local Amendments 15 International Energy Conservation Code w/ Local Amendments 12 Uniform Plumbing Code w/ Local Amendments 14 National Electrical Code (NFPA) w/ Local Amendments 012 International Fire Code w/ Local Amendments 2012 Texas Accessibility Standards 2012 Uniform Mechanical Code w/ Local Amendments 2012 Existing Building Code w/ Local Amendments DESIGNER OF RECORD: DESIGNER NAME LICENSE TELEPHONE ADDRESS Erik N. Hendon ---- 205.322.1751 2126 Morris Ave. Birmingham, AL 35203 ARCHITECTURAL **BUILDING DATA:** EDUCATIONAL MERCANTILE HAZARDOUS FACTORY-INDUSTRIAL ASSEMBLY - A2 BUSINESS INSTITUTIONAL (RESTRAINED) RESIDENTIAL STORAGE INSTITUTIONAL (UNRESTRAINED) MIXED OCCUPANCY (YES/NO - SEPARATION): NO CONSTRUCTION TYPE: IA IB IIA IIB IIIA IIIB IVA III IVB MIXED CONST. (YES/NO): NO SPRINKLED (YES/NO): FIRE DISTRICT (YES/NO): NO NUMBER OF STORIES ONE - (1) BUILDING HEIGHT: MEZZANINE (YES/NO): HIGH RISE (YES/NO): FIRE RESISTANCE RATINGS DESIGN # FOR ASSEMBLIES REQ'D HOURLY % WALL OPENING EXTERIOR BEARING WALLS: N/A NORTH N/A EXIST. N/A N/L EAST N/A N/A EXIST. N/A SOUTH EXTERIOR NON-BEARING WALLS: NORTH N/A N/A N/A N/L WEST SOUTH N/A PARTY/FIREWALLS: DESIGN # FOR ASSEMBLIES INTERIOR WALLS REQ'D HOURLY PENETRATION REQ'D. HR. ASSEMBLY CONDITION BEARING N/A N/A N/A NON-BEARING

N/A

TENANT SEPARATION

CLG/FLR ASSEMBLY:

CLG/ROOF ASSEMBLY:

MIXED OCCUPANCY SEPARATION:

TENANT SEPARATION:

VERTICAL SHAFTS

CHASES - P.E.M.:

BEAMS:

COLUMNS:

A Building Renovation For:



408 Congress Ave. Austin, Texas 78701

DRAWING INDEX

TITLE		ISSUE DATE	REVISION DATE
TE1.1	Title, Abbreviations, Building Code Summary, Symbols, Vicinity Map & Drawing Index	12.01.16	
AE1.0	Exterior Elevations & Partial Plans	12.01.16	
AE2.0	Roof Plan & Details	12.01.16	





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congress 7, Texas 7 408 A-



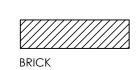
RELEASES / DESCRIPTION / DATES				
EXTERIOR SHELL SET	10.20.16			
EXTERIOR SHELL UPDATE	11.16.16			
EXTERIOR SHELL UPDATE	12.01.16			

NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION	
RELEASED FOR CONSTRUCTION	
DATE	12.02.16
DRAWN	MRW
CHECKED	ENH
APPROVED	H+HA

16074.02

EXTERIOR SHELL - TITLE, INDEX, CODE STUDY

DRAWING NO.



EARTH /

EARTH /

UNDISTRUBED

COMPACTED FILL

CONCRETE

STONE (IN SECTION) POROUS FILL

(STONE OR GRAVEL)

CONCRETE MASONRY INSULATION: LOOSE UNIT (IN SECTION) BATT OR FIRE SAFING

WOOD: ROUGH, CONTINUOUS

WOOD: PLYWOOD

WOOD: LAMINATED

INSULATION:

WOOD: SHIMS & BLOCKING, INTERMITTENT

WOOD: FINISH

GYPSUM BOARD

METAL

SECTION, LARGE SCALE) ALUMINUM (IN SECTION,

ACOUSTICAL TILE (IN

LARGE SCALE)

PRECAST

CONCRETE

// //

(IN ELEVATION)

(LARGE SCALE)

CERAMIC TILE

(IN ELEVATION)

PLASTIC LAMINATE (LARGE

CERAMIC TILE (IN SECTION,

SCALE, IN SECTION)

XXXXXX

LARGE SCALE)

COORDINATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES IN THIS DRAWING SET **REGARDLESS OF LOCATION.** CONTRACTOR IS REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK IN THE TRADE ON SHEETS TRADITIONALLY NOTED AS WORK OF OTHER TRADES. EX: REQUIREMENTS FOR PROVIDING POWER TO MECHANICAL OR OTHER EQUIPMENT SHOWN ELSEWHERE IN CONTRACT

DOCUMENTS AND OMITTED ON ELECTRICAL DRAWINGS. 2. DO NOT SCALE DRAWINGS. IF DIMS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING

CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONST.. 3. THE CONTRACTOR SHALL VERIFY ON SITE ALL DIMENSIONS, EQUIPMENT LOCATIONS AND EXIST. CONDITIONS. NOTIFY THE ARCHITECT PROMPTLY, IN WRITING, IN THE EVENT OF ANY DISCREPANCIES.

4. THE CONTRACTOR SHALL PROVIDE CHASES FOR MECHANICAL, PLUMBING, AND ELECTRICAL AS REQUIRED. SEE RESPECTIVE DRAWING SECTIONS.

5. FOR ALL RATED & SMOKE PARTITIONS: 5.1. THE CONTRACTOR SHALL MAINTAIN EXIST. & NEW RATINGS WHERE THERE IS RECESSED WALL MOUNTED

5.2. THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET , SWITCH BOX, ETC. SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE OF THE RECESSED OUTLETS, BOXES, ETC. SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. LIMITATION SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN THE PARTITION RATING BEHIND THE BOXES OR FIXTURES. RECESSED BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.

5.3. PATCH AND SEAL PENETRATIONS IN RATED AND SMOKE WALL IN A MANNER WHICH WOULD MAINTAIN THAT WALL'S RATING. 17. PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE

EXCEPTION OF PIPING IN ROOMS WITH EXPOSED CEILINGS. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRACES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS. 18. DIMENSIONS SHOWN ARE TO FACE OF FINISH, TO THE CENTERLINE OF COLUMNS / OR FACE OF COLUMN FINISH, UNLESS OTHERWISE NOTED. NOTATION ON PLANS TO PROVIDE A "CLEAR" MINIMUM DIMENSION SHALL

INCORPORATE THE FINAL FINISH THICKNESS. 19. PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS. 20. CONTRACTOR SHALL VERIFY ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL PLUMBING OR ELECTRICAL ITEMS IS REQUIRED. ACCESS PANELS SHALL BE

OF THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR. 21. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, WINDOW FRAMES AND CASEWORK WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.

22. SEAL AROUND ALL EXPOSED ROOF PIPING, ETC. TO COORD. WITH EXIST. ROOFING SYSTEM. 23. REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS AND OTHER ITEMS ON THE ROOF SURFACE.

24. CONTRACTOR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION. 25. PROVIDE 2'X6" P.T. WOOD BLOCKING IN THE WALLS FOR DOOR BUMPERS, STOPS, SHELVING, WALL MOUNTED HARDWARE HANDRAILS, CASEWORK, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS INCLUDING SPECIFIED EQUIPMENT NOTED AS N.I.C.

26. PAINT SURFACES OF HOLLOW METAL DOORS AND FRAMES IN A COLOR AS INDICATED ON THE SCHEDULES, OR IF NOT INDICATED, AS DIRECTED BY THE ARCHITECT.

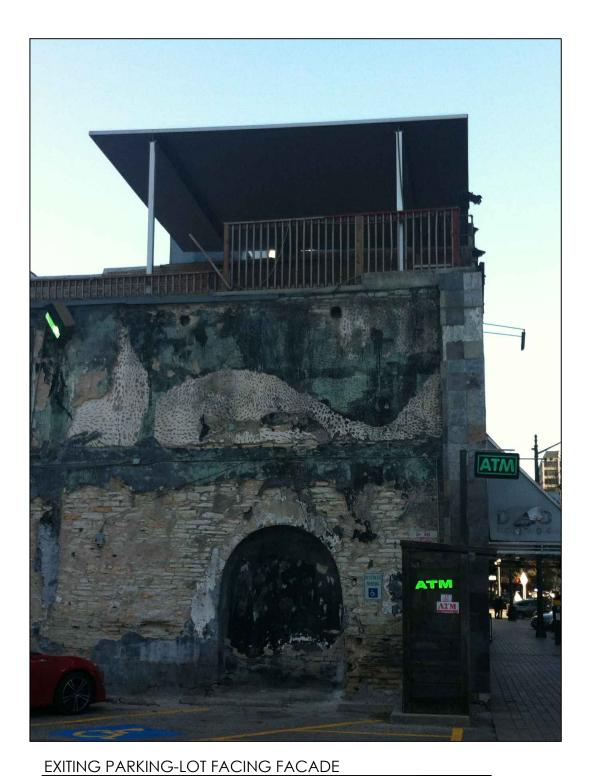
27. NO SUBSTITUTIONS ARE ALLOWED WITHOUT APPROVAL FROM NEWK'S DESIGNER & ARCHITECT.

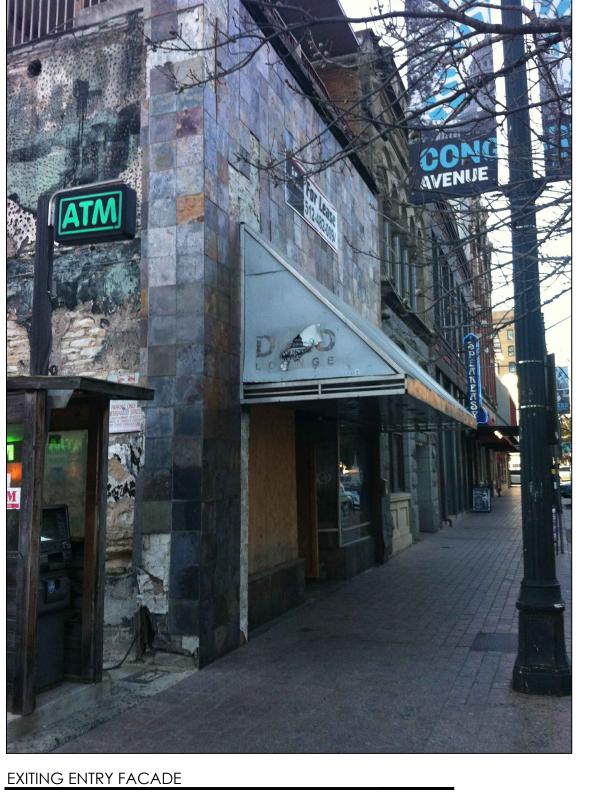
28. FIRE SPRINKLERS (IF REQUIRED): 28.1. THE CONTRACTOR IS TO PROVIDE ALL FIRE SPRINKLER DRAWINGS UNDER SEPARATE COVER FOR SUBMITTAL TO THE BUILDING DEPARTMENT / LOCAL JURISDICTION. 28.2. THE CONTRACTOR IS TO COORDINATE ALL SPRINKLER WORK INCLUDING INSTALLATION OF SINGLE USE /

INDIVIDUAL USE ALARM SYSTEM AND MONITORING FOR SPRINKLER SYSTEM (AS REQUIRED BY LOCAL JURISDICTION) AND IS TO NOTIFY / COORD. W/ ARCHITECT FOR ELECTRICAL REQUIREMENTS. 28.3. IF REQUIRED: THE CONTRACTOR TO PROVIDE AN ANNUAL SPRINKLER SYSTEM TEST CERTIFICATE AT THE TIME OF FINAL INSPECTION TO THE LOCAL FIRE MARSHALL.

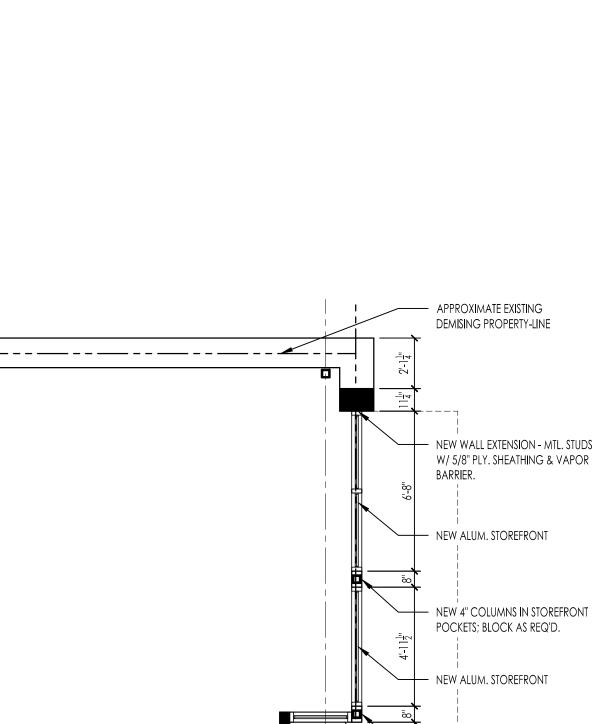
VICINITY MAP













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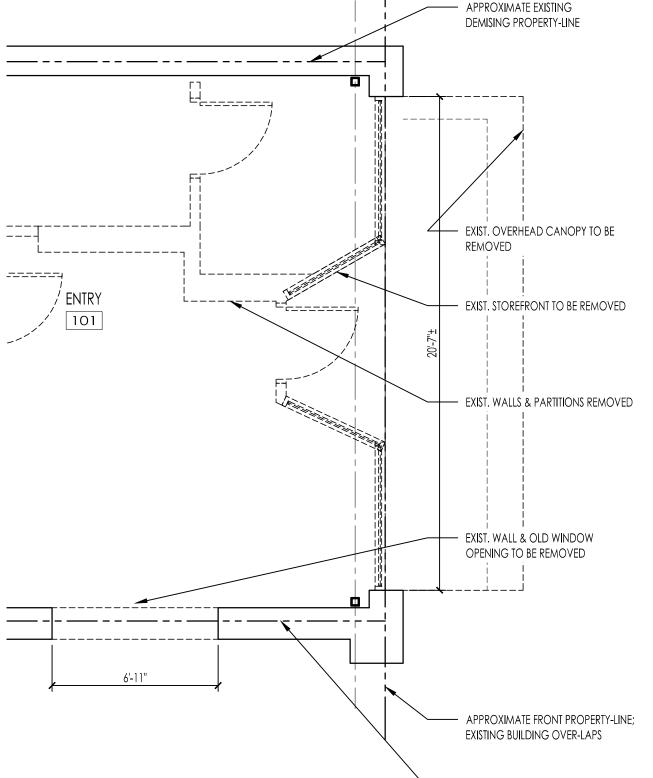
Phone 205.322.1751 Fax 205.322.1778 email info@**h**plus**ha**.com

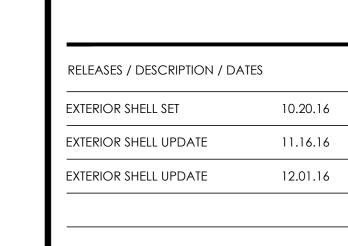
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- NEW 4" COLUMNS IN STOREFRONT POCKETS; BLOCK AS REQ'D. - NEW ALUM. STOREFRONT & DOORS ---- NEW METAL CANOPY ABOVE ----- APPROXIMATE FRONT PROPERTY-LINE; EXISTING BUILDING OVER-LAPS - APPROXIMATE EXISTING SIDE PROPERTY-LINE (PORTIONS OF OLDER WALL ABUT)

CONSTRUCTION FLOOR PLAN

DEMOLITION FLOOR PLAN
3/16" = 1'-0"



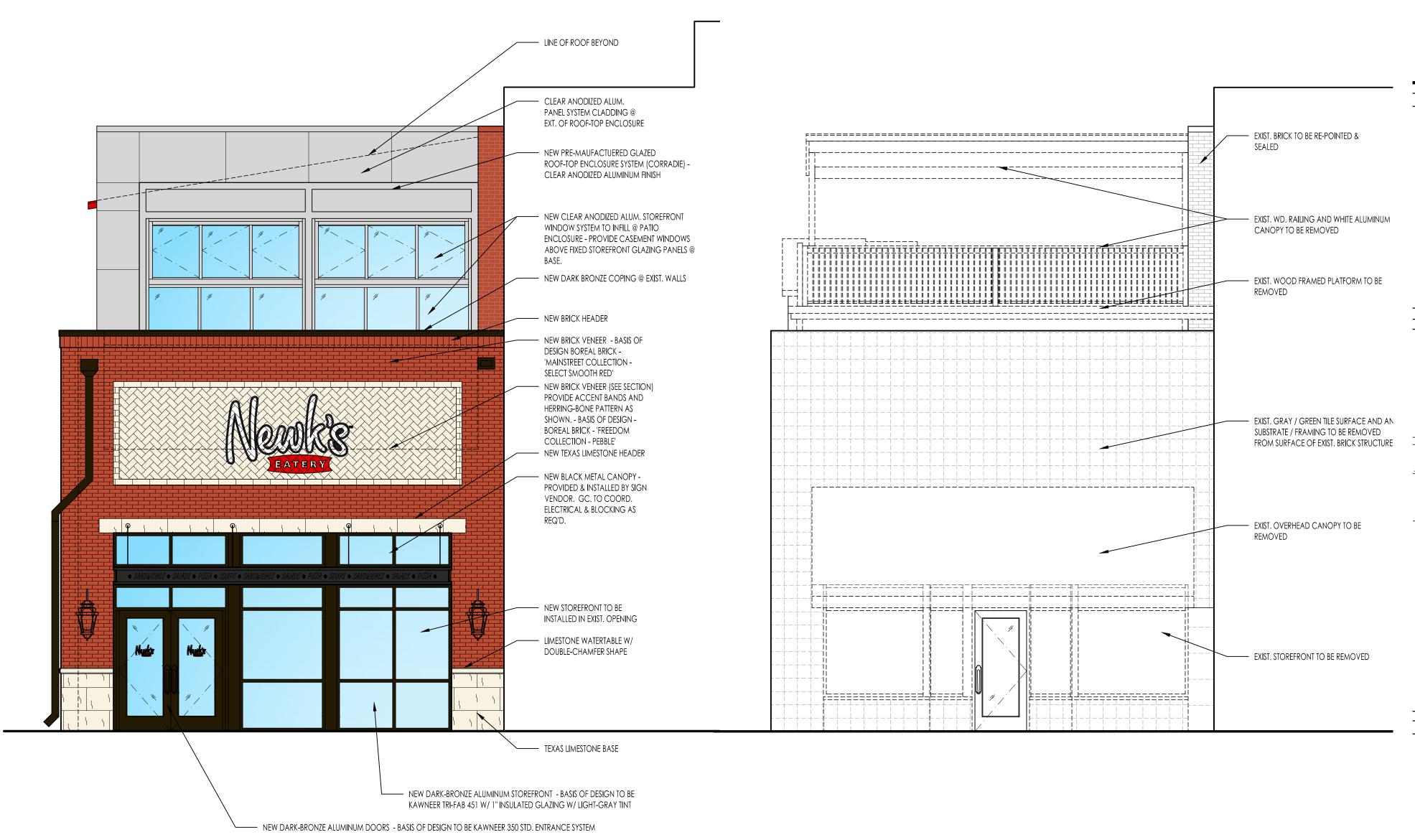


NOT FOR CONSTRUCTION	•
RELEASED FOR CONSTRUCTION	
DATE	12.02.16
DRAWN	MRW
CHECKED	ENH
APPROVED	H+HA
PROJECT NUMBER	16074.02

EXTERIOR ELEVATIONS, SECTIONS & PARTIAL PLANS

DRAWING NO.

—— APPROXIMATE EXISTING SIDE PROPERTY-LINE (PORTIONS OF OLDER WALL ABUT)



DEMOLITION ELEVATION

2 CONSTRUCTION ELEVATION

CONSTRUCTION ROOF PLAN (@ UPPER ROOF - RENDERED) 1/8" = 1'-0" CONSTRUCTION ROOF PLAN (@ OCCUPIED SPACES)

DEMOLITION ROOF PLAN

ROOF GENERAL NOTES:

- ALL ROOFING TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUF. STD DETAILS AND RECOMMENDATIONS.
- 2. ALL COPING, SHEET METAL FLASHING, TRIM (S) TO BE PRE-FINISHED & INSTALLED PER SMACNA STANDARD.
- 3. ALL ROOF PENETRATIONS TO BE INSTALLED IN STRICT ACCORDANCE TO MANUF. STANDARD INSTALLATION DETAILS AND INSTRUCTIONS.

☐ DEMOLITION KEYNOTES:

- 1. EXISTING ROOFING, TILE AND GROUT TO BE REMOVED DOWN TO WOOD OR CONCRETE DECK. DECK TO BE PATCHED AND REPAIRED AS REQUIRED FOR NEW ROOF. SEE NEW ROOF AREAS AT LEGEND BELOW.
- 2. REMOVE EXIST. SKYLIGHT & REPAIR CURB AS REQ'D.
- 3. EXISTING GUTTER & DOWNSPOUT TO BE REMOVED.
- 4. EXISTING 'BILLBOARD' SCREEN TO BE REMOVED.
- 5. EXISTING RTU(S) AND CURB(S) TO BE REMOVED; HOLE TO BE INFILLED / PATCHED AND REPAIRED AS REQ'D.
- 6. EXISTING STAIR SHAFT BELOW.
- 7. EXISTING 'BAR' AND STAIR ENCLOSURE WALL, DOORS, WINDOWS, TO BE REMOVED COMPLETELY.
- 8. EXISTING STAIRS TO REMAIN; CLEAN, REPAIR AND REPAINT AS REQ'D. PAINTED PORTIONS TO BE GLOSS BLACK IN COLOR (PF8).
- 9. EXISTING HOLLOW METAL DOOR TO BE REMOVED AND REPLACED. PAINT GLOSS BLACK (PF8) AND PROVIDE PANIC DEVICE FOR EXIT FROM ROOF.

KEYNOTES:

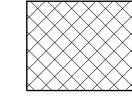
- 1. NEW MTL. STUD PLATFORM W/ STL. DECKING & CONCRETE TOPPING @ LOCATION FOR FRONT PATIO AREA, NEW EXTENDED DECK AREA & STORAGE ROOM. AT PATIO COVER PLATFORM & 'GUTTER' AREAS @ FRONT IN WHITE TPO MEMBRANE. PATIO TO BE COVERED IN SCHULTER OUTDOOR PATIO SYSTEM W/ TILE FINISH.
- 2. NEW POLYCARBONATE SKYLIGHT SYSTEM OVER EXISTING CURB. REMOVE EXIST. SKYLIGHT; APPLY NEW ROOFING TURNED-UP-AND-OVER EXIST. CURB; FRAMING AND AND BLOCKING TO BE REPLACED AS REQ'D. AND NEW SKYLIGHT TO BE CUSTOM ORDERED TO FIT EXISTING CURB OPENING AND MOUNTED AS MANUF. DIRECTED. BASIS OF DESIGN AMERICAN SKYLIGHTS RIDGE LITE W/ TWIN-WALL 6MM CLEAR POLYCARBONATE GLAZING & BRONZE ANODIZED STRUCTURE.
- 3. METAL CANOPY BELOW SEE ELEVATIONS.
- 4. NEW PRE-FINISHED CLIP-ON COPING SYSTEM. COPING TO MATCH ANODIZED 'DARK-BRONZE' COLOR OF ALUM. STOREFRONT.
- 5. NEW 6" X 6" BOX-GUTTER W/ NEW 5"X5" SQUARE DOWNSPOUT TO BE INSTALLED.
- 6. NEW 5" X 5" BOX-GUTTER W/ NEW 4"X4" SQUARE DOWNSPOUT TO BE INSTALLED FINISH TO BE CLEAR ANODIZED ALUMINUM.
- 7. NEW 4" INTERNAL ROOF-DRIAN TO BE INSTALLED W/ NEW THROUGH-WALL SCUPPER-HEAD AND NEW 5X5 ALUM. DOWNSPOUT COLOR TO BE DARK-BRONZE.
- 8. ROOFING OVER STAIRWAY ENCLOSURE TO BE REPLACED WITH NEW STANDING SEAM METAL ROOFING
- 9. WALKWAY EXTENDED AS SHOWN. PROVIDE NEW METAL STUD STRUCTURE W/ METAL DECKING AND CONCRETE TOPPING ON-TOP.
- 10. NEW ROOF EQUIPMENT AND CURB LOCATIONS; COORD. W/ MECH.
- 11. NEW INDOOR ROOF DINING AREA.
- 12. NEW ROOF-TOP FALL PROTECTION @ ROOF-TOP EQUIPMENT PROVIDE AND INSTALL ON-TOP OF NEW ROOFING SYSTEM.
- 13. REMOVE AND REPLACE EXISTING AND INSTALL NEW GUARD RAIL AND HAND RAILS (WHERE REQUIRED) AT THE ROOF DECKING AREA.

LEGEND:

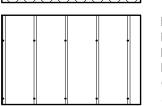
NEW OVE CAR

NEW LOW-SLOPE, FULLY ADHERED TPO MEMBRANE - WHITE, 60MIL OVER R-20 CONTINUOUS POLYISO INSULATION - BASIS OF DESIGN CARLISLE - TPO MEMBRANE.

LIQUID APPLIED WATERPROOFING W/INTEGRATED 'WALKING SURFACE' TEXTURE OVER EXIST. & NEW CONC. DECK. BASIS OF DESIGN - TREMCO - VULKEM 350-R - BEIGE. PROVIDE WITH PRIMERS / SEALANT AND FILLERS AT EDGES. ANY CRACKING TO BE SEALED.



LIQUID APPLIED WATERPROOFING W/SMOOTH SURFACE OVER EXIST. & NEW CONC. DECK. BASIS OF DESIGN - TREMCO - TREMPROOF 250GC. PROVIDE WITH PRIMERS / SEALANT AND FILLERS AT EDGES. CRACKING TO BE SEALED / FILLED & CRACK SUPPRESSION MEMBRANE TO BE PROVIDED.



NEW STANDING SEAM METAL ROOFING OVER NEW VAPOR
BARRIER. AT NEW ROOM LOCATIONS (DINING & STORAGE)
PROVIDE R-20 (MIN.) VENTILATED DECKING WITH VENTING EAVES BASIS OF DESIGN: CARLISLE STANDING SEAM METAL: CM 150SL;
COLOR: SR38 'BRILLIANCE RED'. W/ STRUCTAVENT VENTING EDGE
SYSTEM - COLOR: CLEAR ANODIZED.





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RELEASES / DESCRIPTION / DATES

EXTERIOR SHELL SET 10.20.16

EXTERIOR SHELL UPDATE 11.16.16

EXTERIOR SHELL UPDATE 12.01.16

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

DATE

DRAWN

CHECKED

APPROVED

12.02.16

H+HA

PROJECT NUMBER

SHEET TITLE
ROOF PLAN & DETAILS

DRAWING NO.

AE2.C

16074.02