

EXISTING PARKING-LOT FACING FACADE



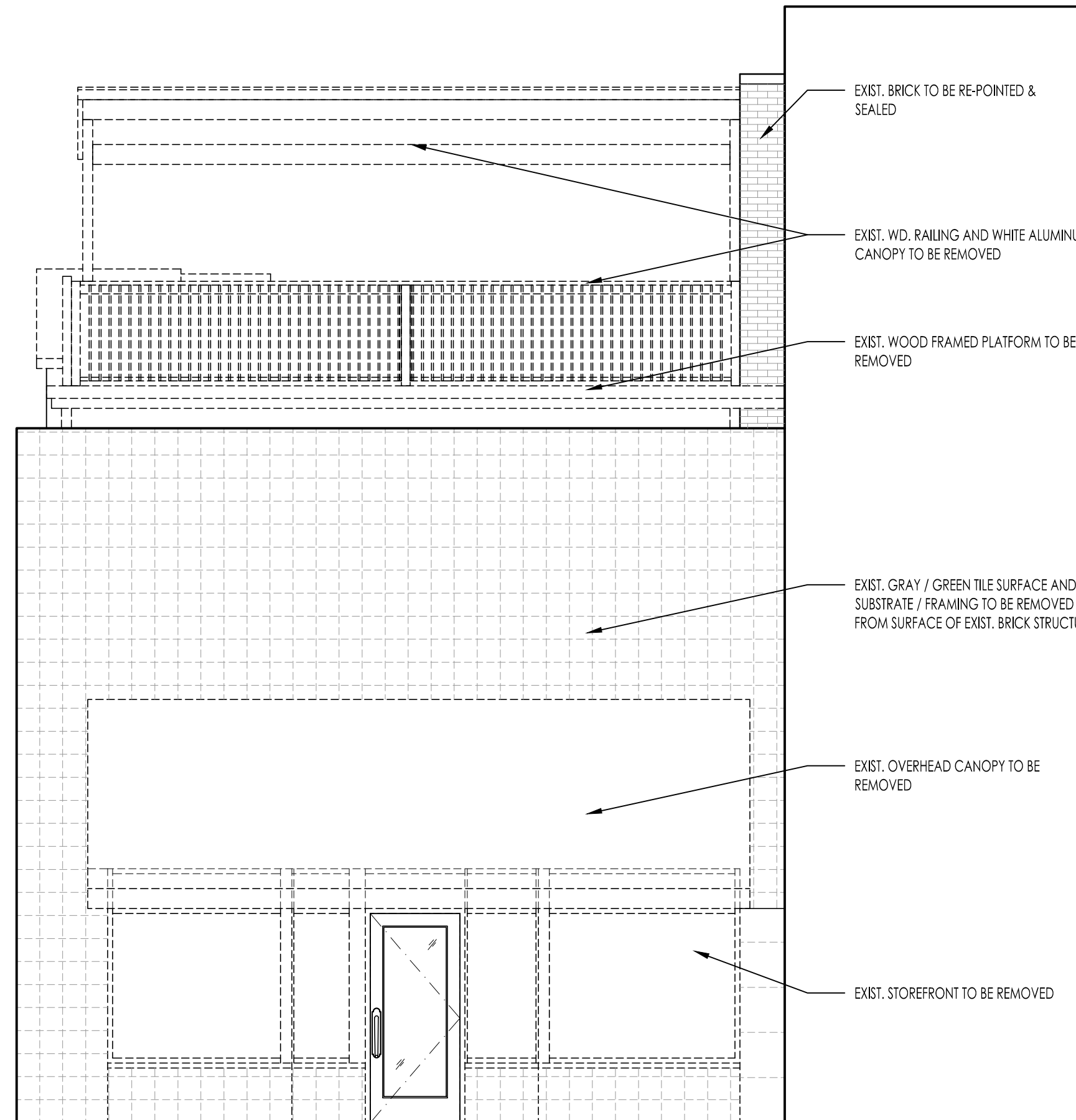
EXISTING ENTRY FACADE



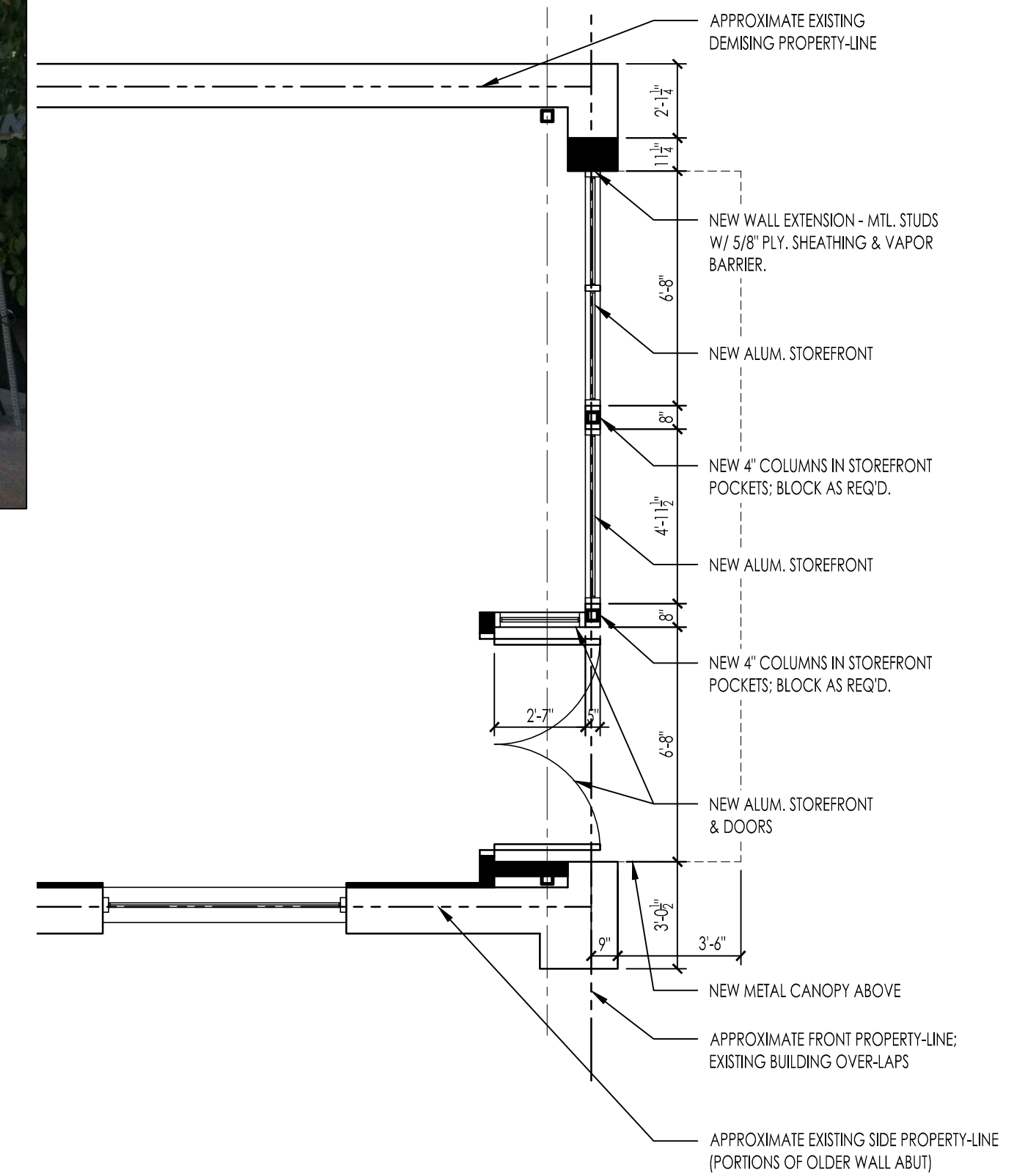
EXISTING ENTRY FACADE



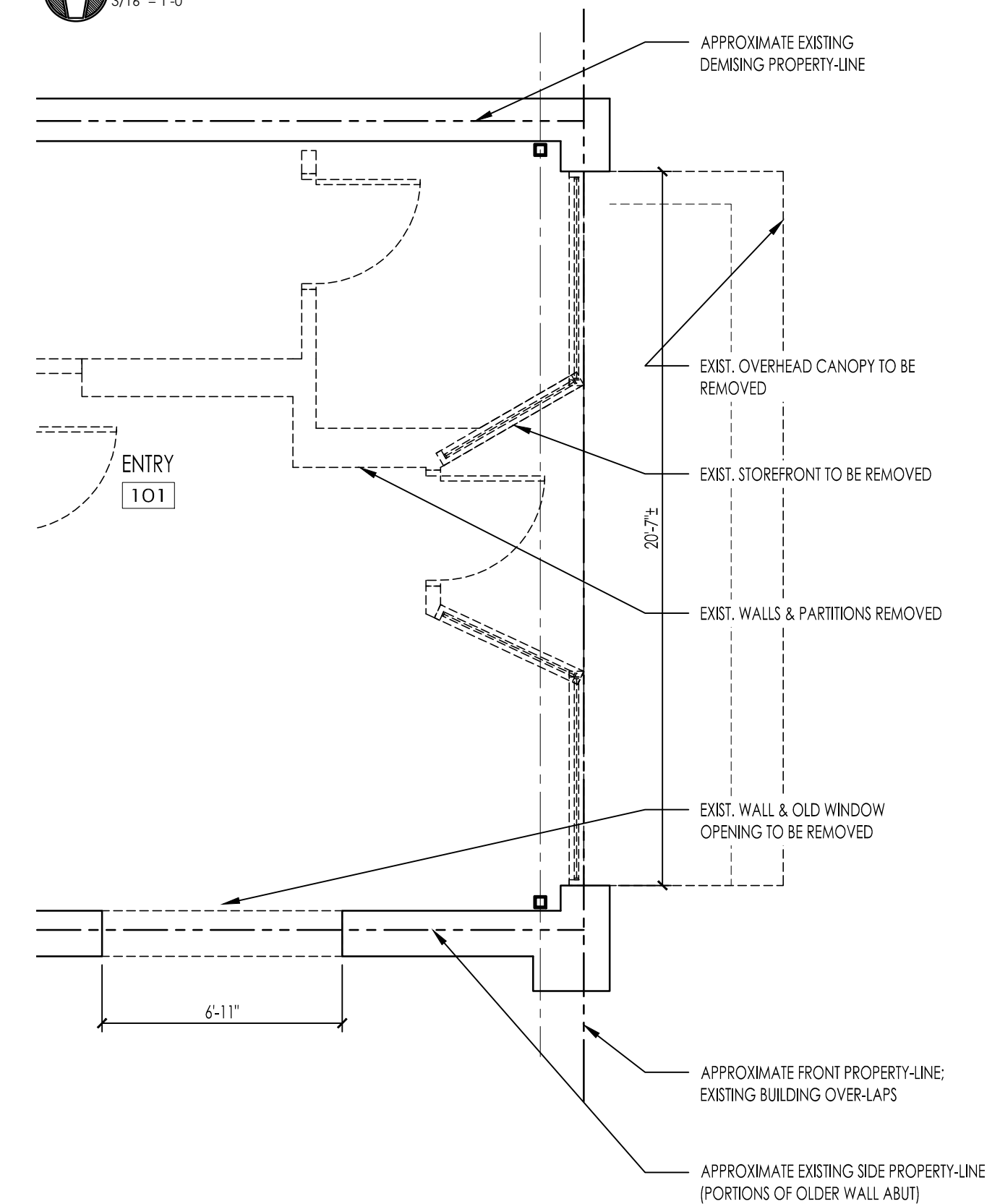
2 CONSTRUCTION ELEVATION
AE1.0 3/16" = 1'-0"



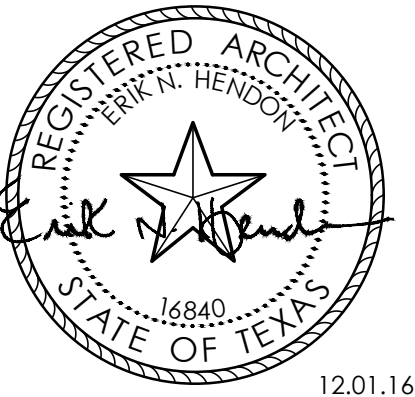
1 DEMOLITION ELEVATION
AE1.0 3/16" = 1'-0"



CONSTRUCTION FLOOR PLAN
3/16" = 1'-0"



DEMOLITION FLOOR PLAN
3/16" = 1'-0"



12.01.16



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A Building Renovation For:

Newk's
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408 Congress Ave.
Austin, Texas 78701

RELEASES / DESCRIPTION / DATES	
EXTERIOR SHELL SET	10.20.16
EXTERIOR SHELL UPDATE	11.16.16
EXTERIOR SHELL UPDATE	12.01.16

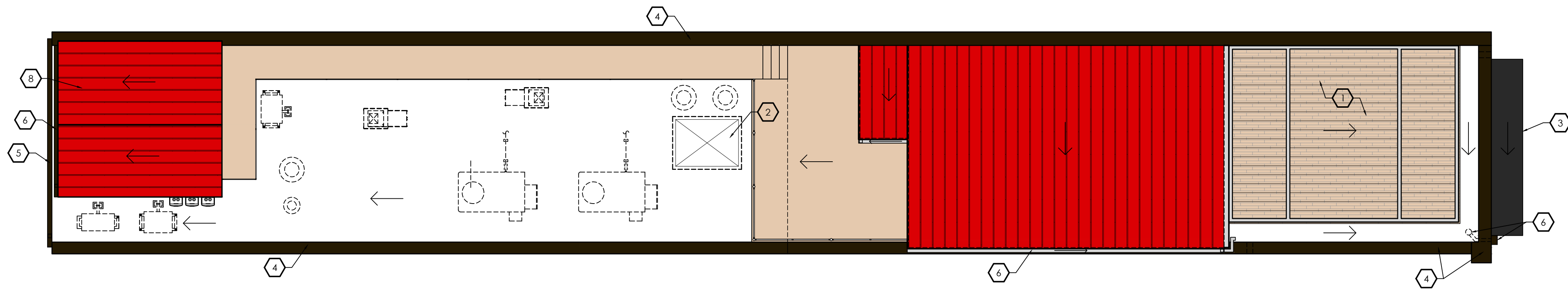
NOT FOR CONSTRUCTION	■
RELEASED FOR CONSTRUCTION	□

DATE	12.02.16
DRAWN	MRW
CHECKED	ENH
APPROVED	H+HA

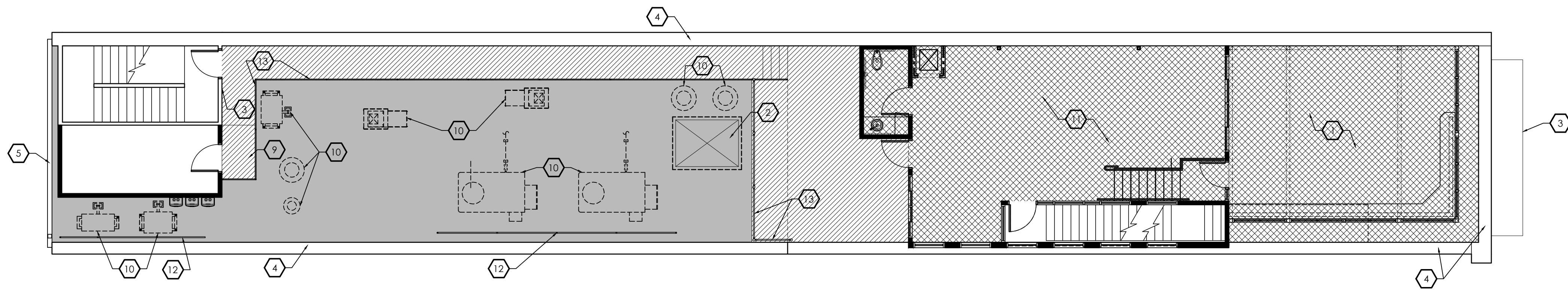
PROJECT NUMBER	16074.02
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SHEET TITLE
EXTERIOR ELEVATIONS, SECTIONS
& PARTIAL PLANS

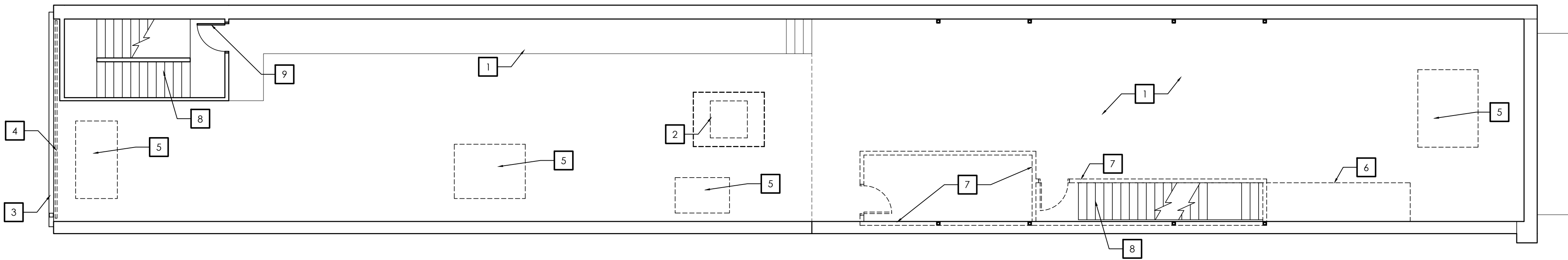
DRAWING NO.
AE1.0



CONSTRUCTION ROOF PLAN (@ UPPER ROOF - RENDERED)
1/8" = 1'-0"



CONSTRUCTION ROOF PLAN (@ OCCUPIED SPACES)
1/8" = 1'-0"



DEMOLITION ROOF PLAN
1/8" = 1'-0"

ROOF GENERAL NOTES:

- ALL ROOFING TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUF. STD DETAILS AND RECOMMENDATIONS.
- ALL COPING, SHEET METAL FLASHING, TRIM (S) TO BE PRE-FINISHED & INSTALLED PER SMACNA STANDARD.
- ALL ROOF PENETRATIONS TO BE INSTALLED IN STRICT ACCORDANCE TO MANUF. STANDARD INSTALLATION DETAILS AND INSTRUCTIONS.


DEMOLITION KEYNOTES:

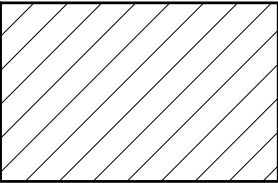
- EXISTING ROOFING, TILE AND GROUT TO BE REMOVED DOWN TO WOOD OR CONCRETE DECK. DECK TO BE PATCHED AND REPAIRED AS REQUIRED FOR NEW ROOF. SEE NEW ROOF AREAS AT LEGEND BELOW.
- REMOVE EXIST. SKYLIGHT & REPAIR CURB AS REQ'D.
- EXISTING GUTTER & DOWNSPOUT TO BE REMOVED.
- EXISTING 'BILLBOARD' SCREEN TO BE REMOVED.
- EXISTING RTU(S) AND CURB(S) TO BE REMOVED; HOLE TO BE INFILLED / PATCHED AND REPAIRED AS REQ'D.
- EXISTING STAIR SHAFT BELOW.
- EXISTING 'BAR' AND STAIR ENCLOSURE - WALL, DOORS, WINDOWS, TO BE REMOVED COMPLETELY.
- EXISTING STAIRS TO REMAIN; CLEAN, REPAIR AND REPAINT AS REQ'D. - PAINTED PORTIONS TO BE GLOSS BLACK IN COLOR (PF8).
- EXISTING HOLLOW METAL DOOR TO BE REMOVED AND REPLACED. PAINT GLOSS BLACK (PF8) AND PROVIDE PANIC DEVICE FOR EXIT FROM ROOF.

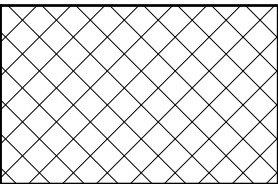
KEYNOTES:

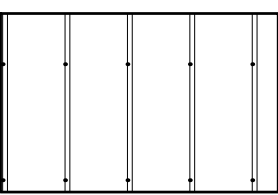
- NEW MTL. STUD PLATFORM W/ STL. DECKING & CONCRETE TOPPING @ LOCATION FOR FRONT PATIO AREA. NEW EXTENDED DECK AREA & STORAGE ROOM. AT PATIO COVER PLATFORM & 'GUTTER' AREAS @ FRONT IN WHITE TPO MEMBRANE. PATIO TO BE COVERED IN SCHULTER OUTDOOR PATIO SYSTEM W/ TILE FINISH.
- NEW POLYCARBONATE SKYLIGHT SYSTEM OVER EXISTING CURB. REMOVE EXIST. SKYLIGHT; APPLY NEW ROOFING TURNED-UP-AND-OVER EXIST. CURB; FRAMING AND AND BLOCKING TO BE REPLACED AS REQ'D. AND NEW SKYLIGHT TO BE CUSTOM ORDERED TO FIT EXISTING CURB OPENING AND MOUNTED AS MANUF. DIRECTED. BASIS OF DESIGN AMERICAN SKYLIGHTS - RIDGE LITE W/ TWIN-WALL 6MM CLEAR POLYCARBONATE GLAZING & BRONZE ANODIZED STRUCTURE.
- METAL CANOPY BELOW - SEE ELEVATIONS.
- NEW PRE-FINISHED CLIP-ON COPING SYSTEM. COPING TO MATCH ANODIZED 'DARK-BRONZE' COLOR OF ALUM. STOREFRONT.
- NEW 6' X 6' BOX-GUTTER W/ NEW 5'X5' SQUARE DOWNSPOUT TO BE INSTALLED.
- NEW 5' X 5' BOX-GUTTER W/ NEW 4'X4' SQUARE DOWNSPOUT TO BE INSTALLED - FINISH TO BE CLEAR ANODIZED ALUMINUM.
- NEW 4" INTERNAL ROOF-DRIAN TO BE INSTALLED W/ NEW THROUGH-WALL SCUPPER-HEAD AND NEW 5X5 ALUM. DOWNSPOUT - COLOR TO BE DARK-BRONZE.
- ROOFING OVER STAIRWAY ENCLOSURE TO BE REPLACED WITH NEW STANDING SEAM METAL ROOFING
- WALKWAY EXTENDED AS SHOWN. PROVIDE NEW METAL STUD STRUCTURE W/ METAL DECKING AND CONCRETE TOPPING ON-TO.
- NEW ROOF EQUIPMENT AND CURB LOCATIONS; COORD. W/ MECH.
- NEW INDOOR ROOF DINING AREA.
- NEW ROOF-TOP FALL PROTECTION @ ROOF-TOP EQUIPMENT - PROVIDE AND INSTALL ON-TO OF NEW ROOFING SYSTEM.
- REMOVE AND REPLACE EXISTING AND INSTALL NEW GUARD RAIL AND HAND RAILS (WHERE REQUIRED) AT THE ROOF DECKING AREA.

LEGEND:

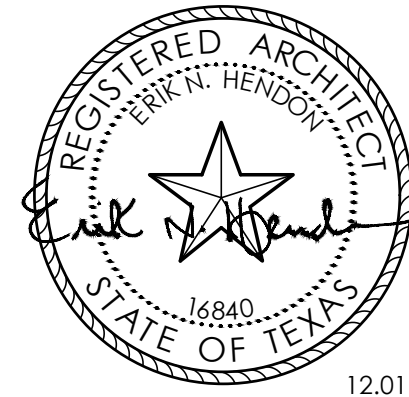
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NEW LOW-SLOPE, FULLY ADHERED TPO MEMBRANE - WHITE, 60MIL OVER R-20 CONTINUOUS POLYISO INSULATION - BASIS OF DESIGN CARLISLE - TPO MEMBRANE.
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LIQUID APPLIED WATERPROOFING W/ INTEGRATED 'WALKING SURFACE' TEXTURE OVER EXIST. & NEW CONC. DECK. BASIS OF DESIGN - TREMCO - VULKEM 350-R - BEIGE. PROVIDE WITH PRIMERS / SEALANT AND FILLERS AT EDGES. ANY CRACKING TO BE SEALED.
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LIQUID APPLIED WATERPROOFING W/ SMOOTH SURFACE OVER EXIST. & NEW CONC. DECK. BASIS OF DESIGN - TREMCO - TREMPROOF 250GC. PROVIDE WITH PRIMERS / SEALANT AND FILLERS AT EDGES. CRACKING TO BE SEALED / FILLED & CRACK SUPPRESSION MEMBRANE TO BE PROVIDED.
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NEW STANDING SEAM METAL ROOFING OVER NEW VAPOR BARRIER. AT NEW ROOM LOCATIONS (DINING & STORAGE) PROVIDE R-20 (MIN.) VENTILATED DECKING WITH VENTING EAVES - BASIS OF DESIGN: CARLISLE STANDING SEAM METAL: CM 150SL: COLOR: SR38 'BRILLIANCE RED'. W/ STRUCTAVENT VENTING EDGE SYSTEM - COLOR: CLEAR ANODIZED.



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DATE	12.02.16
DRAWN	MRW
CHECKED	ENH
APPROVED	H+HA

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SHEET TITLE
ROOF PLAN & DETAILS

DRAWING NO.
AE2.0