



DESIGN COMMISSION
MONDAY, MARCH 27, 2017 AT 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701

Commission Members

_____ Evan Taniguchi, Chair (Mayor)	_____ Martha Gonzalez (District 2)
_____ Bart Whatley, Vice-Chair (District 9)	_____ Melissa Henao-Robledo (District 5)
_____ Katie Halloran (District 7)	_____ Conor Kenny (District 4)
_____ David Carroll (District 1)	_____ Ben Luckens (District 10)
_____ Aan Coleman (District 8)	_____ Beau Frail (District 6)
_____ Samuel Franco (District 3)	

City of Austin Planning & Zoning Staff:

_____ Katie Mulholland, Executive Liaison
_____ Nichole Koerth, Staff Liaison

AGENDA

Please note: Posted times are for time-keeping purposes only. The Commission may take any item(s) out of order and no express guarantee is given that any item(s) will be taken in order or at the time posted.

	Approx. time
CALL TO ORDER AND ROLL CALL	6:00 PM
1. CITIZEN COMMUNICATION: GENERAL a. The first five speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda.	6:00 PM
2. MEETING MINUTES a. Discussion and possible action on the February 27, 2017 meeting minutes;	6:15 PM
3. NEW BUSINESS (Discussion and Possible Action): a. Discussion and possible action on the Waterloo Tower Park design development submittal, located at 1201 Red River, seeking review for substantial compliance with the Urban Design Guidelines for Austin in accordance with the Gatekeeper requirements of LDC 25-2-586 for the Downtown Density Bonus Program (Eric Van Hyfte , Architect, BOKA Powell) b. Discussion and possible action on the Colony District Park General Improvements project, located at 7400 Loyola Ln., seeking support for the project under Resolution No. 20071129-046 (Fred Fuller , Project Manager, COA Parks and Recreation Dept.) c. Discussion and possible action on the Convention Center expansion plan (Mark Tester , Director, COA Convention Center Dept.)	6:30 PM

4. OLD BUSINESS (Discussion and Possible Action): <ul style="list-style-type: none"> a. Discussion and possible action to nominate a representative to South Central Waterfront Advisory Board, which was created by Ordinance No. 20170216-034 (Alan Holt, COA Planning and Zoning Dept.) b. Introduction and briefing by acting City Architect (Raymundo Minjarez, acting City Architect, COA Public Works Dept.) c. Discussion and possible action on the new draft code from CodeNEXT (D. Carroll) 	7:45 PM
5. COMMITTEE AND LIAISON REPORTS (Discussion and Possible Action): <ul style="list-style-type: none"> a. Standing Committees Reports; b. Working Group Reports; c. Liaison Reports; d. Appointment of Committee/Working Group members by Chair. 	8:30 PM
6. STAFF BRIEFINGS: <ul style="list-style-type: none"> a. None 	8:45 PM
7. FUTURE AGENDA ITEMS: <ul style="list-style-type: none"> a. Election of Officers (April 24) 	8:45 PM
8. ANNOUNCEMENTS: <ul style="list-style-type: none"> a. Chair Announcements; b. Items from Commission Members; c. Items from City Staff; 	8:50 PM
ADJOURNMENT	9:00 PM

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Design Commission: Committees, Working Groups, and Liaisons

Committees

1. Executive Committee: Chair E. Taniguchi, B. Whatley, Secretary (TBD)

Working Groups

1. Planning and Urban Design Working Group: E. Taniguchi, B. Whatley, A. Coleman, TDB
2. Architecture and Development Working Group: B. Whatley, M. Gonzalez, D. Carroll
3. Landscape and Infrastructure Working Group: S. Franco, M. Henao-Robledo, A. Coleman, B. Luckens
4. Public Engagement Working Group: B. Luckens, S. Franco, M. Henao-Robledo, C. Kenny

Liaisons

1. Downtown Commission Liaison / Downtown Austin Plan: S. Franco

Staff to Design Commission

City of Austin, Planning and Zoning Department, Urban Design Division
One Texas Center, 505 Barton Springs Rd., 5th floor, Austin, TX 78704

Executive Liaison: Katie.Mulholland@austintexas.gov , (512) 974-3362

Staff Liaison: Nichole.Koerth@austintexas.gov , (512) 974-2752

Downtown Density Bonus Liaison: Anne.Milne@austintexas.gov , (512) 974-2868

Resources

1. Urban Design Guidelines for Austin:
http://www.austintexas.gov/sites/default/files/files/Boards_and_Commissions/Design_Commission_urban_design_guidelines_for_austin.pdf
2. Design Commission backup :
http://www.austintexas.gov/cityclerk/boards_commissions/meetings/22_1.htm
3. Downtown Density Bonus program
https://www.municode.com/library/tx/austin/codes/land_development_code?nodeId=TIT25_LADE_CH25-2ZO_SUBCHAPTER_CUSDERE_ART3ADRECEDEDI_SPAGERE_S25-2-586DODEBOP



DESIGN COMMISSION
MONDAY, FEBRUARY 27, 2017 6:00 PM
AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101
301 W. SECOND STREET, AUSTIN, TEXAS 78701

Meeting Minutes

Call to order by: **E. Taniguchi at 6:05 PM.**

Roll Call: **New Commissioners K. Halloran (District 7) and B. Frail (District 6) present. S. Franco arrived at 6:07 PM. B. Whatley and A. Coleman not present.**

1. CITIZEN COMMUNICATION: None.
2. MEETING MINUTES (Discussion and Possible Action):

- a. Discussion and possible action on the January 23, 2016 meeting minutes.

The motion to approve the minutes as drafted made by C. Kenny; seconded by D. Carroll; approved on a unanimous vote of [8-0]. B. Whatley, A. Coleman, and S. Franco not present.

S. Franco arrived at 6:07 PM.

3. NEW BUSINESS (Discussion and Possible Action):

- a. Discussion and possible action on the ABIA Parking Garage & Administration Building located at 3600 Presidential Boulevard, seeking support for the project ([Burton Jones](#), COA Public Works Department)

Burton Jones (PWD), Cris Ruebush (PGAL) and Lyn Estabrook (ABIA) presented. The Commission determined it needed more information on the project, including a formal landscape plan, how the pedestrian spine would be protected from the elements (rain, sun), the airport's long term plan for transit (in terms of space allocation and design), and the LEED checklist for the Administrative Building before they could make a recommendation of support for the project.

The motion to have the Chair's designee (C. Kenny) draft a letter and that the Chair and Staff Liaison deliver the letter to ABIA requesting additional information before the Commission makes a recommendation of support made by C. Kenny; seconded by D. Carroll; approved on a unanimous vote of [9-0]. B. Whatley and A. Coleman not present.

- b. Discussion and possible action on the Code Advisory Group's (CAG) request to

provide input on the [new draft code](#) from CodeNEXT ([Chair Taniguchi](#))

The Commission discussed the CAG's request and that Commissioners Carroll and Gonzalez would attend and provide input at Saturday's CAG meeting. **No action taken.**

- c. Discussion and possible action on creating a CodeNEXT Working Group to review and provide recommendations on the [new draft code](#) with a focus on how it aligns with the [Imagine Austin Comprehensive Plan](#) and the [Urban Design Guidelines of Austin](#) ([D. Carroll](#))

The motion to create a CodeNEXT Working Group was made by B. Luckens; seconded by S. Franco; approved on a unanimous vote of [9-0]. B. Whatley and A. Coleman not present.

4. OLD BUSINESS (Discussion and Possible Action):

- a. Discussion and possible action on the [Infrastructure Design Guidelines](#) as directed by City Council [Resolution No. 20120816-060](#) ([Chair Taniguchi](#))

Annick Beaudet and Liane Miller (COA Transportation Department) introduced and answered questions about their pilot Street Design Guide which will provide guidance to technical criteria manuals and help create a standard for the city's roadway infrastructure. **No action taken.**

- b. Review of other Cities' Infrastructure Guidelines: Portland ([Chair Taniguchi](#)), Minneapolis (M. Henao-Robledo), NACTO (C. Kenny), [Denver](#) (M. Gonzalez), Seattle (C. Kenny), [Chicago](#), [New York](#)

The Commission agreed to use New York City's Infrastructure Guidelines as a starting point for their interim guidelines. Executive Liaison will email New York's Guidelines so Commissioners can review and come with comments next month. The Chair may assign Working Groups to dig into specific chapters. **No action taken.**

5. COMMITTEE AND WORKING GROUP REPORTS (Discussion and Possible Action)

- a. Standing Committees Reports: **None**
- b. Working Group Reports: **None**
- c. Liaison Reports: **None**
- d. Appointment of Committee/Working Group members by Chair:

Chair Taniguchi appointed D. Carroll and M. Gonzalez as members to the CodeNEXT Working Group.

6. STAFF BRIEFINGS:

Executive Liaison Katie Mulholland (COA PAZ) introduced the Airport Memo, which indicates that ABIA projects will come to the Design Commission for recommendations.

She also mentioned that two Commissioners needed to be re/appointed and that March's meeting should have the full, new membership.

7. FUTURE AGENDA ITEMS:

- Introduction of the new Interim City Architect.
- Election of Officers, including Secretary.
- Appointment of Working Groups members, including to the Planning and Infrastructure Working Group.
- Presentation on Convention Center's expansion plan (C. Kenny)
- Appointment of a representative to the new South Central Waterfront Advisory Board.

8. ANNOUNCEMENTS

a. Chair Announcements:

The Design Commission will have a representative on the newly-formed South Central Waterfront Advisory Board.

b. Items from Commission Members: **None**

c. Items from City Staff: **None**

ADJOURNMENT by consensus at: 8:10 PM.



**DOWNTOWN DENSITY BONUS PROGRAM (DDBP)
SUBMITTAL APPLICATION**

1. Project Name:

Waterloo Park Tower

2. Property Owner

Name:

Alan Woods Nalle, Sr.

Address:

54 Sundown Parkway, Austin TX 78746

Phone:

512-327-3969

E-mail:

anallesr@icloud.com

3. Applicant/Authorized Agent

Name:

Jim Wittliff/Land Answers, Inc.

Address:

3606 Winfield Cove, Austin TX 78704

Phone:

512-416-6611

E-mail:

landanswers@sbcglobal.net

4. Anticipated Project Address:

1201 Red River

5.Site Information

- a. Lot area *(also include on site plan)*:

19,689

- b. Existing zoning (include any zoning suffixes such as "H," "CO," etc. If the property has a conditional overlay (CO), provide explanation of conditions (attach additional pages as necessary):

CBD

- c. Existing entitlements:

- I. Current floor to area (FAR) limitation:

8:1

- II. Current height limitation (in feet) :

450

- III. Affected by Capitol View Corridors (CVCs) Yes/No?

☐ Yes

☐ No

If yes, please provide specify height allowed under CVC:

6.Existing Deed Restrictions

Detail existing deed restrictions on the property (if any):

None

7. Building Information

- a. Total square footage - Only include the square footage that counts towards FAR; see [LDC 25-1-21\(40\), \(44\), and \(45\)](#):

282,318 square feet

- b. Gross floor area devoted to the different land use categories included in the project (e.g., retail/restaurant, office, apartment, condominium, hotel):

282,318 square feet

- c. Number or units (if residential development):

28

- d. Number of rooms (if hotel or similar use):

256

- e. Number of floors:

33

- f. Height:

371

- g. FAR requested:

15:1

8. Gatekeeper Requirements

Provide an explanation of how this project meets the *Gatekeeper* requirements of the DDBP as described in [Ordinance No. 20140227-054](#). Attach additional page(s) as necessary:

Our site plan includes a schematic level site plan, building elevations, and calculation tables, and shows the relationship of this project to its surroundings. We are meeting the Great Streets requirements including streetscape improvements and we are working with AEGB program to achieve a two star rating.

9. Community Benefits

Detail which community benefits will be used and how they will be applied (affordable housing on site, fee in lieu of, affordable housing + community benefit, etc.). Attach additional page(s) as necessary:

The property owner has voluntarily agreed to donate 901 square feet of additional right-of-way to aid the City in the realignment of Red River Street. This ROW dedication will require this project to add an additional floor to recoup the lost hotel rooms at a cost to the developer of over \$500,000.

10. Density Bonus Calculation

Provide a calculation method of how the additional FAR is sought including site area and amount per square foot. Calculation should include all *Gatekeeper* items plus all community benefits:

Current zoning allows 8:1 FAR. Participation in Great Streets and AEGB program will allow us to increase our FAR to 15:1. We are seeking an FAR of 15:1. *THIS IS AN ADDITION OF 133,140 SQUARE FEET.*

11. Relate Project to the Urban Design Guidelines for Austin

Provide detailed explanation of how the project substantially complies with the Urban Design Guidelines for Austin with reference to specific guidelines. Attach additional page(s) as necessary.

See the attached UD Guidelines checklist.

12. Acknowledgements

- a. Applicant understands that a standard restrictive covenant template will be drafted by the City of Austin to address Gatekeeper requirements in accordance with 25-2-586(C)(1):

☒ Yes

☐ No

- b. Applicant understands that will be required to submit a copy of the project's signed Austin Energy Green Building Letter of Intent:

☒ Yes

☐ No

- c. Applicant has received and reviewed a copy of the [Downtown Density Bonus Ordinance](#):

☒ Yes

☐ No

- d. Applicant has received and reviewed a copy of the [Urban Design Guidelines for Austin](#):

☒ Yes

☐ No

- e. Applicant has scheduled presentation to the Design Commission Working Group and follow-up Design Commission Meeting by coordinating dates with program staff? (Anne.Milne@austintexas.gov)

☐ Yes

☒ No

- f. If considering in lieu fee or provision of on-site affordable housing as a public benefit, Applicant has scheduled a coordination meeting with the Neighborhood Housing and Community Development Department to detail program requirements and obtained a letter of affordability from NHCD:

☐ Yes

☒ No


Signed: Owner or Applicant

Authorized Agent

Jim Wittliff/Land Answers, Inc.

Date Submitted

1/25/17



DOWNTOWN DENSITY BONUS PROGRAM (DDBP) APPLICATION SUBMITTAL CHECKLIST

Submitted:



Completed DDBP Application;



Vicinity plan/aerial locating the project in its context, and showing a minimum 9 block area around the project;



Location of nearby transit facilities;



Drawings:

- Site plan;
- Floor plans;
- Exterior elevations (all sides);
- Three-dimensional views;



Copy of the projects signed Austin Energy Green Building Letter of Intent;



Other items that may be submitted but not required: Narrative / graphics / photos to further describe the project.



Letter of affordability and acknowledgment from NHCD for affordable housing community benefit.

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

Area Wide Guidelines

	Guideline	Achieved? (Yes/No)	Applicant's Comments
1	AW-1: Create dense development	Yes	15:1 FAR is proposed
2	AW-2. Create mixed-use development	Yes	Site will contain a Hotel, restaurant and cocktail lounge
3	AW-3. Limit development which closes downtown streets	No	Red River will be closed NB for realignment
4	AW-4. Buffer neighborhood edges	N/A	N/A
5	AW-5. Incorporate civic art in both public and private development	No	
6	AW-6. Protect important public views	Yes	Capital View Corridors are protected and enhanced
7	AW-7. Avoid historical misrepresentations	Yes	
8	AW-8. Respect adjacent historic buildings	Yes	Symphony Square will not be impacted
9	AW-9. Acknowledge that rooftops are seen from other buildings and the street	Yes	
10	AW-10. Avoid the development of theme environments	Yes	
11	AW-11. Recycle existing building stock	No	

Public Streetscape Guidelines

12	PS-1. Protect the pedestrian where the building meets the street	Yes	
13	PS-2. Minimize curb cuts	Yes	
14	PS-3. Create a potential for two-way streets	N/A	
15	PS-4. Reinforce pedestrian activity	Yes	
16	PS-5. Enhance key transit stops	No	
17	PS-6. Enhance the streetscape	Yes	Great Streets lighting, trees, and street furniture
18	PS-7. Avoid conflicts between pedestrians and utility equipment	Yes	All utilities will be underground
19	PS- 8. Install street trees	Yes	

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

20	PS- 9. Provide pedestrian-scaled lighting	Yes	
21	PS- 10. Provide protection from cars/promote curbside parking	Yes	porte-cochere provided for registering hotel guests
22	PS-11. Screen mechanical and utility equipment	Yes	
23	PS-12. Provide generous street-level windows	Yes	
24	PS-13. Install pedestrian-friendly materials at street level	Yes	

Building Guidelines

	B- 1. Build to the street	Yes	
	B- 2. Provide multi-tenant, pedestrian-oriented development at the street level	Yes	
	B-3. Accentuate primary entrances	Yes	
	B- 4. Encourage the inclusion of local character	Yes	
	B- 5. Control on-site parking	Yes	parking garage will be valet-only
	B- 6. Create quality construction	Yes	
	B- 7. Create buildings with human scale	Yes	

Plaza and Open Space Guidelines

	PZ-1. Treat the four squares with special consideration	N/A	
	PZ- 2. Contribute to an open space network	No	
	PZ- 3. Emphasize connections to parks and greenways	Yes	Waterloo Park is across the street
	PZ- 4. Incorporate open space into residential development (pool, deck, dog area)	Yes	Outdoor view plazas are provided
	PZ- 5. Develop green roofs	No	

[Project Name] DDBP Request
Review of Substantial Compliance with UD Guidelines

	PZ- 6. Provide plazas in high use areas	Yes	
	PZ- 7. Determine plaza function, size, and activity	Yes	
	PZ- 8. Respond to microclimate in plaza design	Yes	
	PZ- 9. Consider views, circulation, boundaries, and subspaces in plaza design	Yes	views focus on State Capitol and Waterloo Park
	PZ- 10. Provide an appropriate amount of plaza seating	Yes	
	PZ- 11. Provide visual and spatial complexity in public spaces	Yes	
	PZ- 12. Use plants to enliven urban spaces	Yes	
	PZ- 13. Provide interactive civic art and fountains in plazas	No	
	PZ- 14. Provide food service for plaza participants	Yes	
	PZ- 15. Increase safety in plazas through wayfinding, lighting, & visibility	Yes	
	PZ- 16. Consider plaza operations and maintenance	Yes	

Conclusions

	Total number of Urban Design Guidelines	37	
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SCHEMATIC DESIGN

12th and Red River Hotel

1201 Red River, Austin TX 78701

04/15/2016

PROJECT NUMBER : 16022.100



architecture | interiors | planning | graphics
327 Congress Ave., St. 600 | Austin, Texas 78701
Tel 512.687.0699 | Fax 512.687.1097
www.bokapowell.com

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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Hotel
- Hotel BOH
- Landscape
- Vehicular Circulation
- Vertical Penetration



01 LEVEL 1 - FLOOR PLAN

SCALE: 1/8" = 1'-0"



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Arch: Chris W. Barnes Reg. No.: 10147
Arch: John E. Orfield Reg. No.: 11164
Arch: R. Andrew Bennett Reg. No.: 18129

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4124 Buena Vista
Dallas, TX 75204
Contact: Craig Bull, 972.978.6911

structural engineer
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8750 North Central Expressway, Ste. 700
Dallas, TX 75231
Contact: John Aniol, 972.764.6240

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Dallas, TX 75231
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landscape
DWG
912B Congress Avenue
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interiors
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project
12th and Red River Hotel
1201 Red River, Austin TX 78701

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original issue
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revisions

title
LEVEL 1 FLOOR PLAN

project number 16022.100
date 04.15.2016
sheet

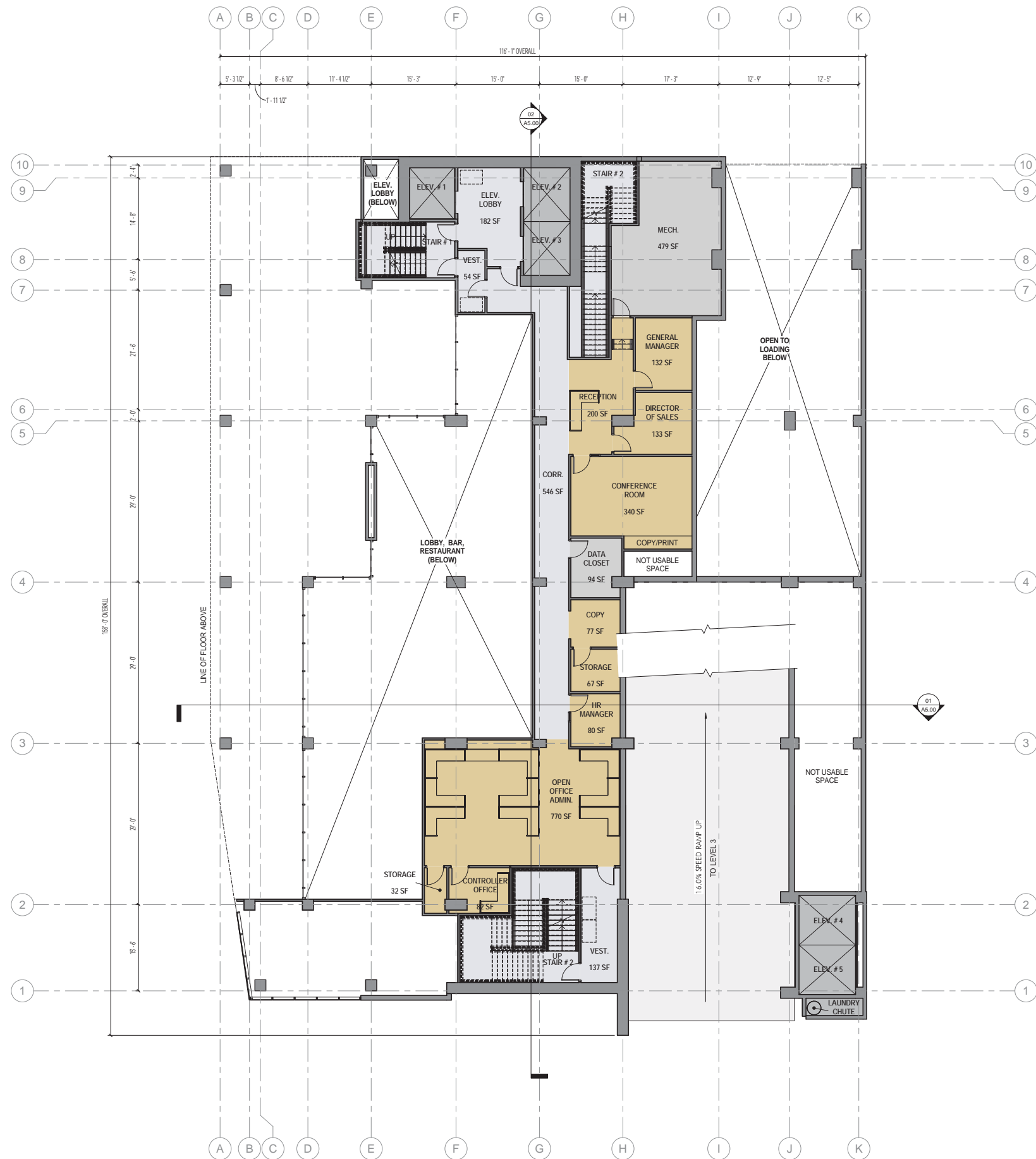
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Color Scheme Legend

- Building Services
- Circulation
- Hotel BOH
- Vertical Penetration



01 LEVEL 2 - MEZZANINE
SCALE: 1/8" = 1'-0"



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LEVEL 2 MEZZANINE

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sheet

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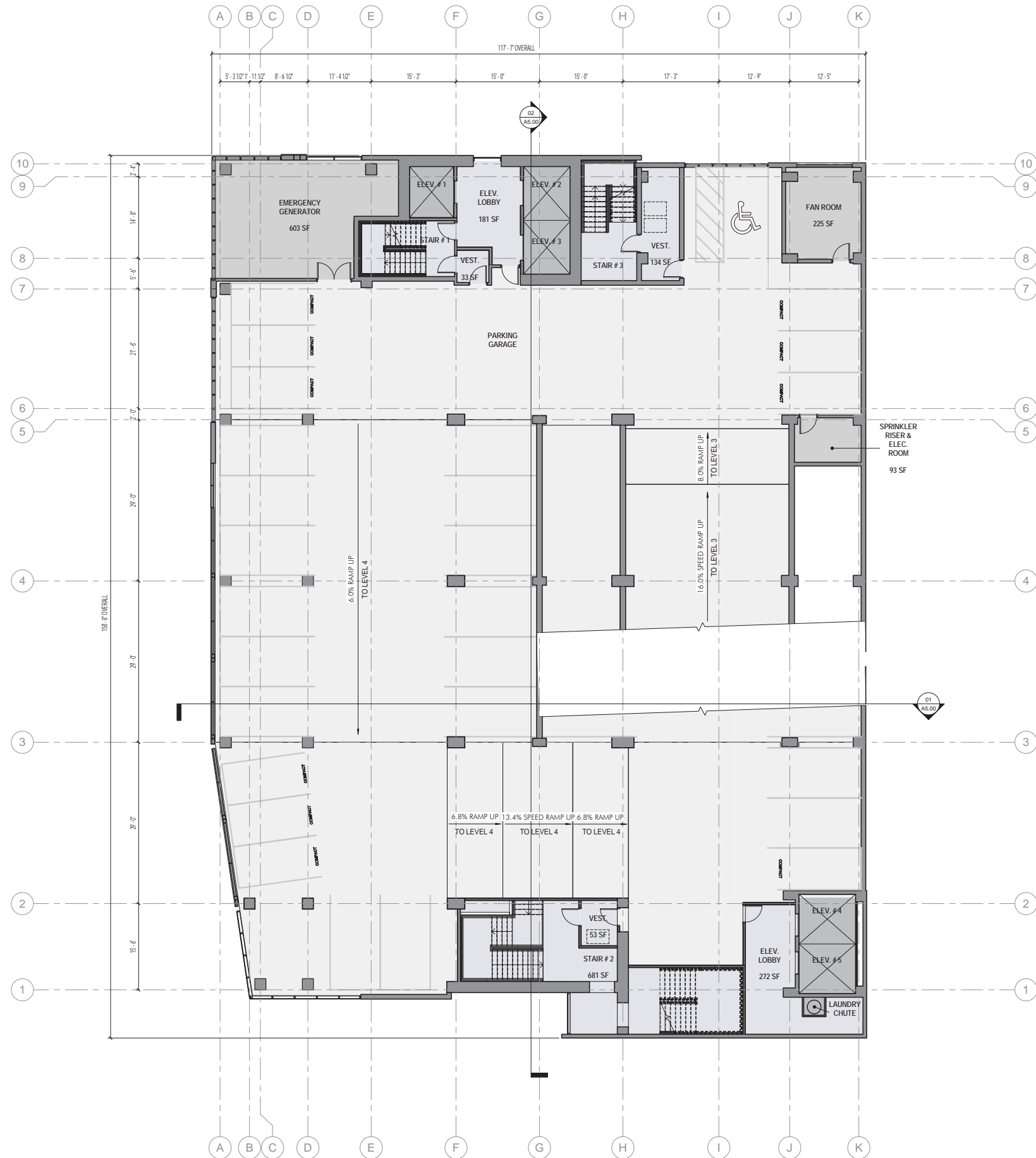
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Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



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title
LEVEL 3 PARKING

project number 16022.100
date 04.15.2016
sheet

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01 LEVEL 3 - PARKING
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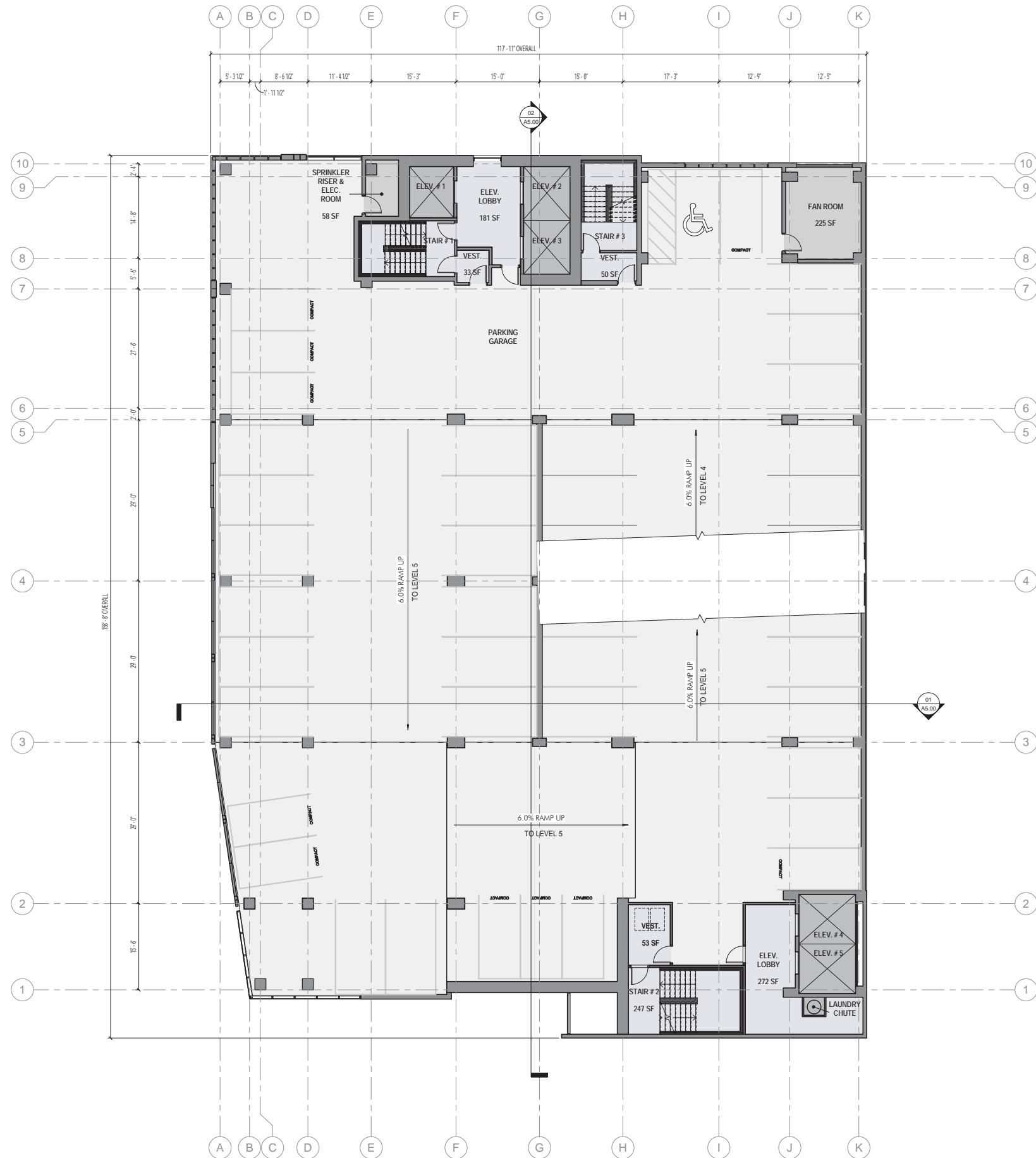
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plotted: 4/18/2016 12:06:43 PM

Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



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title
PARKING PLAN - TYPICAL

project number 16022.100
date 04.15.2016
sheet

A2.04



01 PARKING PLAN - TYPICAL

SCALE: 1/8" = 1'-0"

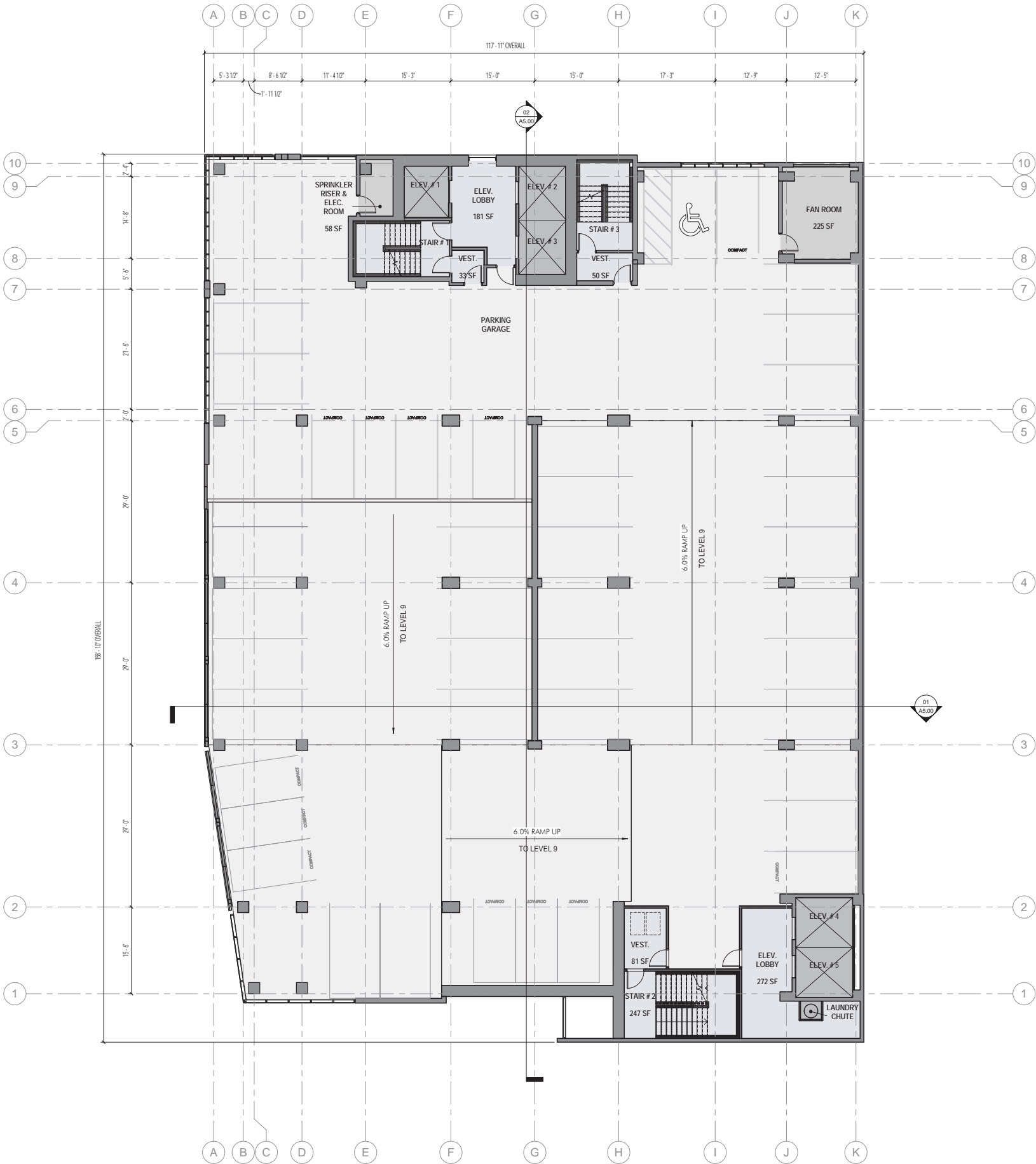
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Color Scheme Legend

- Building Services
- Circulation
- Vehicular Circulation
- Vertical Penetration

Parking Schedule	
Type	Count
Compact	74
Handicap	7
Standard	208
Grand total: 289	



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LEVEL 9 PARKING

project number 16022.100
date 04.15.2016
sheet

A2.09



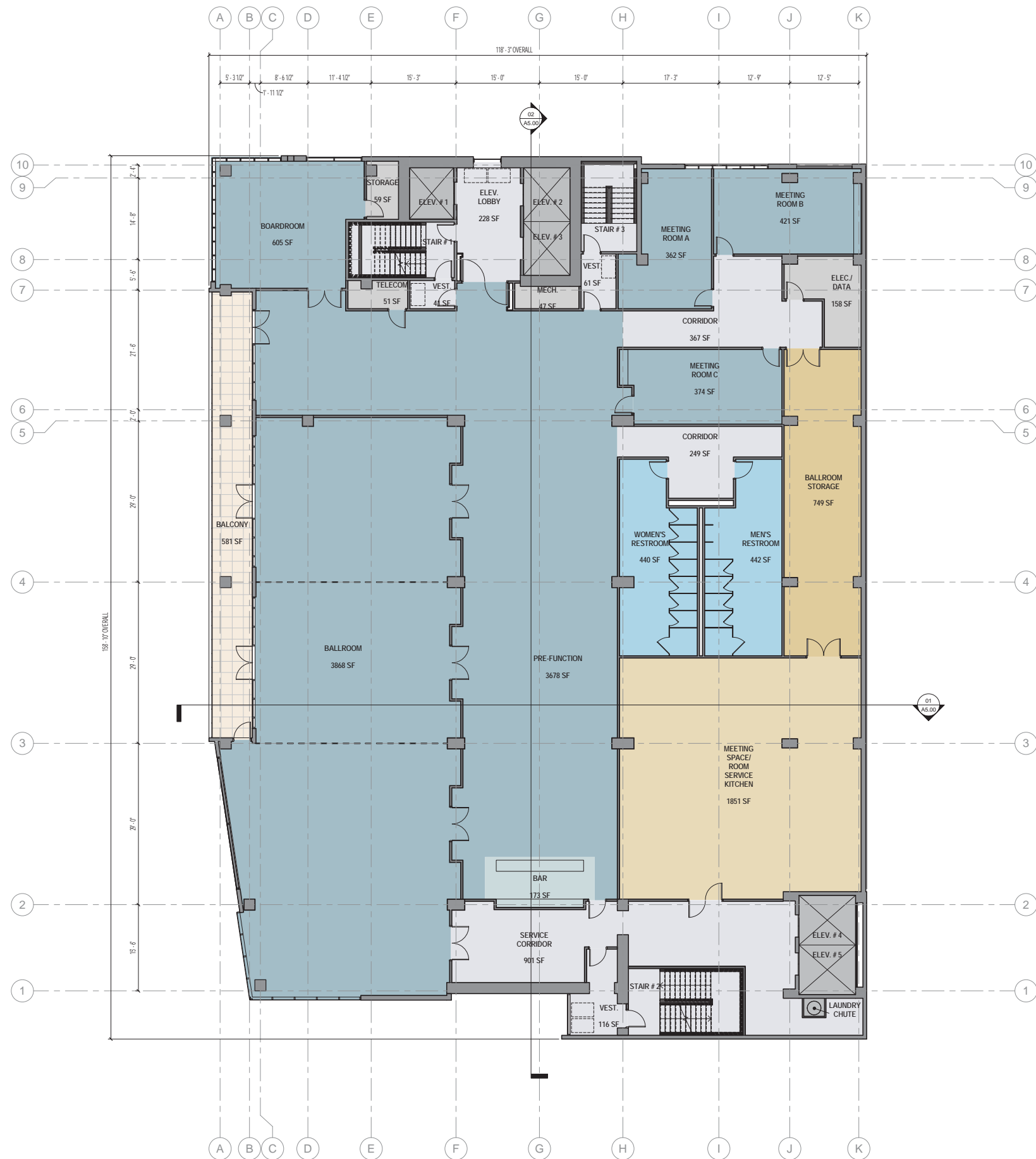
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Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Hotel
- Hotel BOH
- Meeting Space
- Vertical Penetration



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title
LEVEL 10 BALLROOM

project number 16022.100
date 04.15.2016
sheet

A2.10



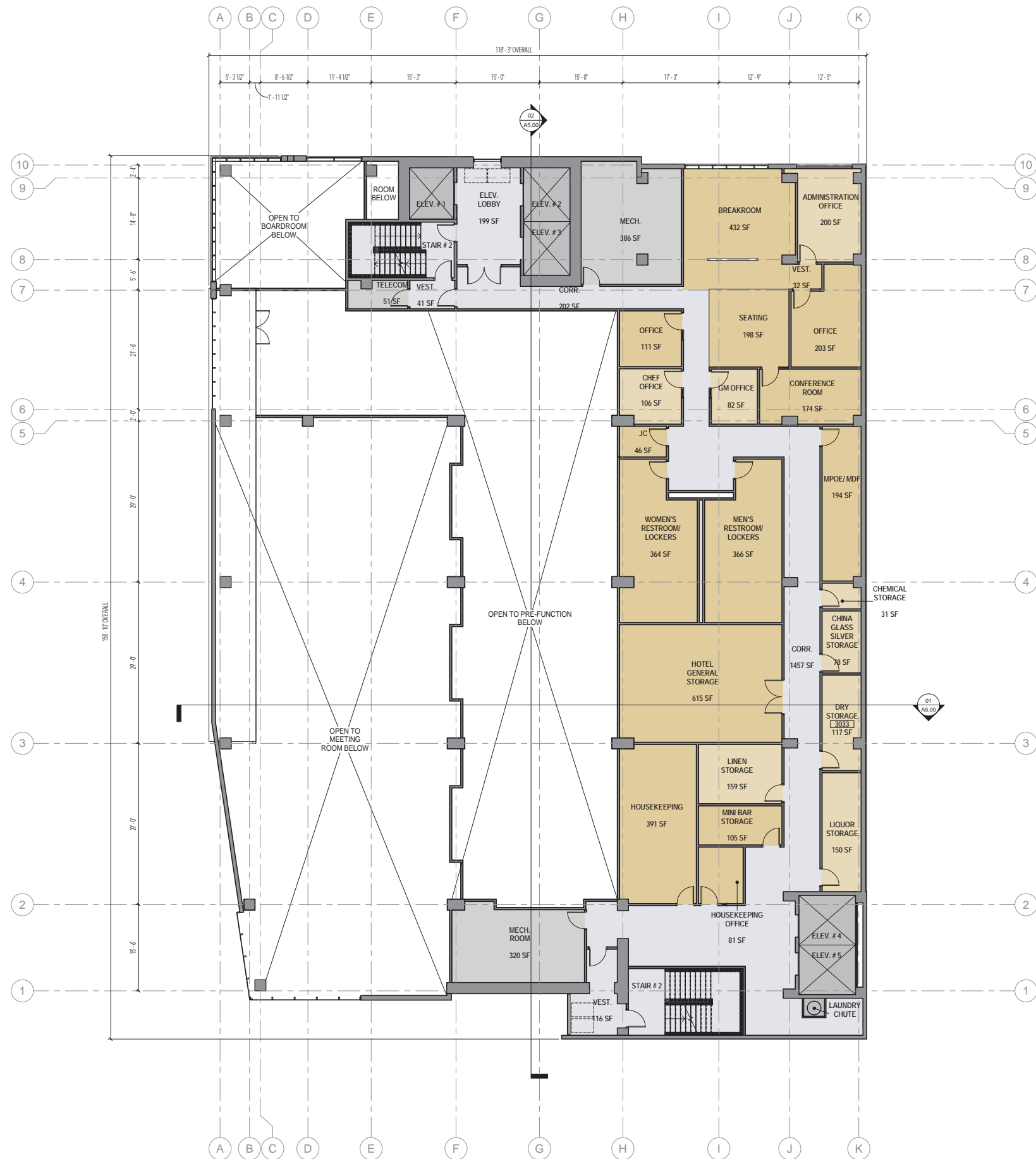
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Color Scheme Legend

- Building Services
- Circulation
- Food and Beverage BOH
- Hotel BOH
- Vertical Penetration



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LEVEL 11 BALLROOM
MEZZANINE

project number 16022.100
date 04.15.2016
sheet

A2.11



01 LEVEL 11 - BALLROOM MEZZANINE
SCALE: 1/8" = 1'-0"

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plotted: 4/18/2016 12:07:04 PM

Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Food and Beverage
- Food and Beverage BOH
- Guest Rooms
- Hotel
- Hotel BOH
- Landscape
- Pool / Water Feature
- Vertical Penetration



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LEVEL 12 AMENITY DECK

project number 16022.100
date 04.15.2016
sheet

A2.12



01 LEVEL 12 - AMENITY DECK
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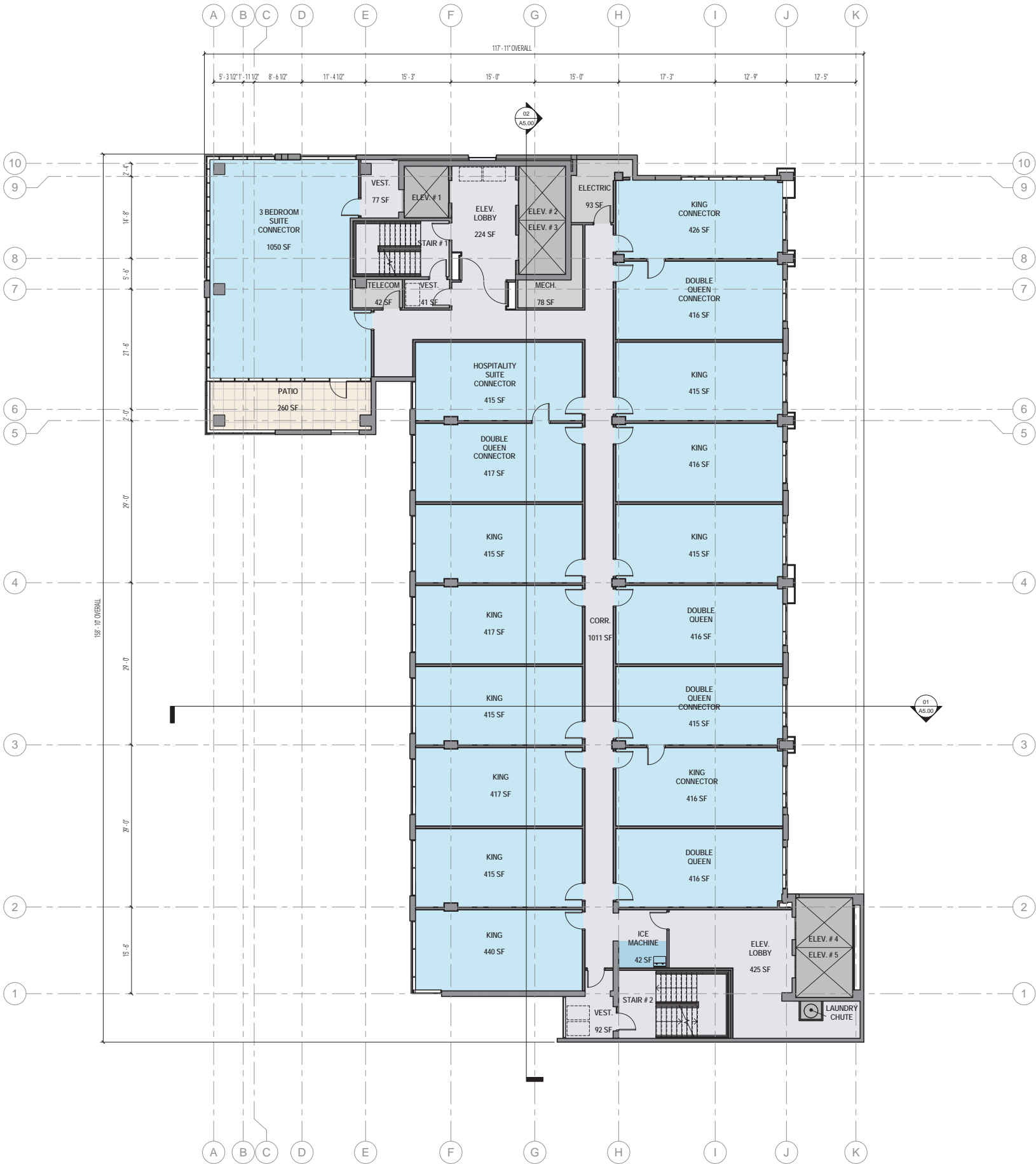


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plotted: 4/18/2016 12:07:15 PM

Color Scheme Legend

- Balcony, Patio, Pool Deck
- Building Services
- Circulation
- Guest Rooms
- Hotel
- Vertical Penetration



01 HOTEL PLAN WITH BALCONY - TYPICAL
SCALE: 1/8" = 1'-0"



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HOTEL PLAN WITH BALCONY
- TYPICAL

project number 16022.100
date 04.15.2016
sheet

A2.14

A2.15

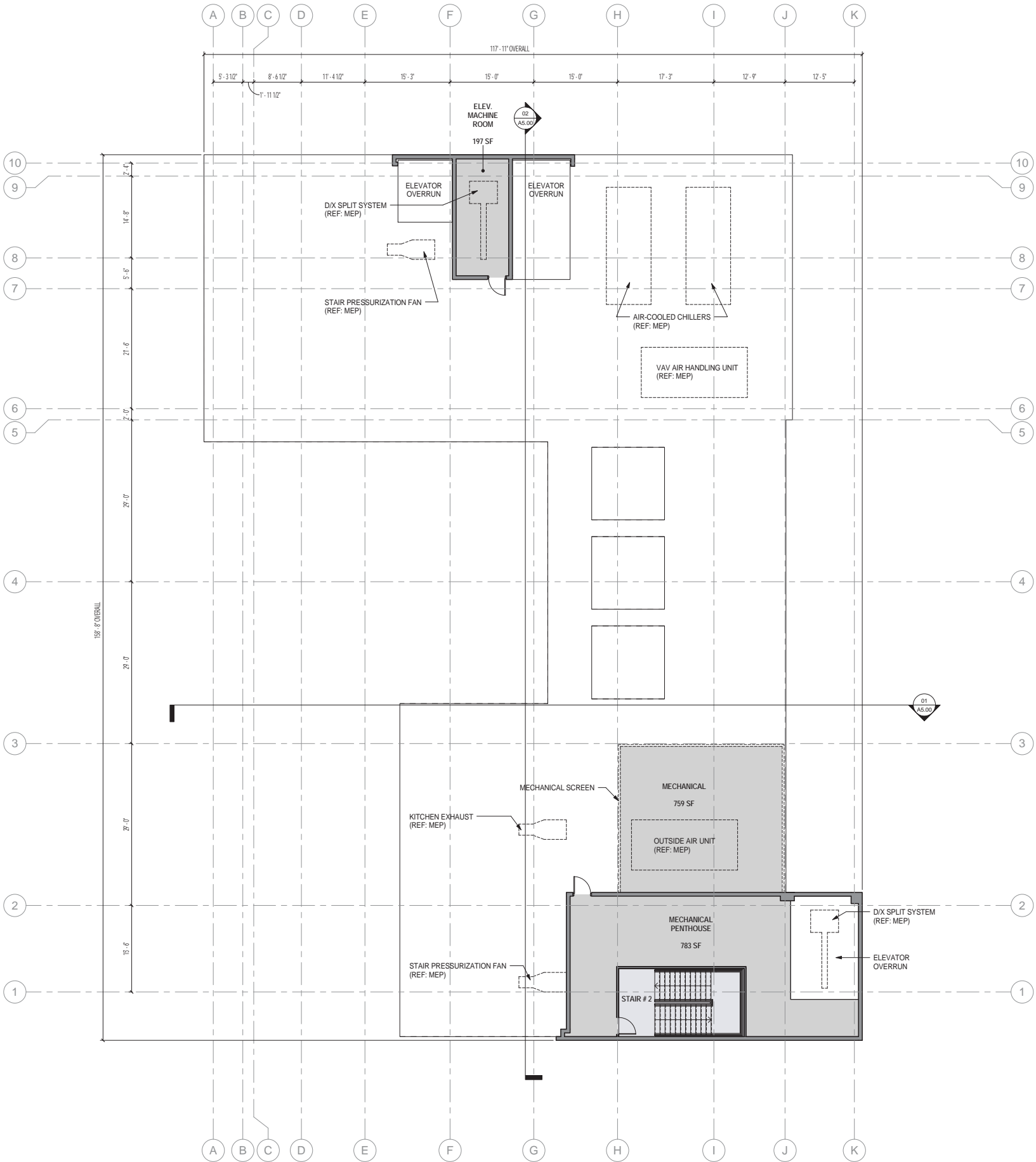
01 LEVEL 27 - ROOF DECK
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Color Scheme Legend

- Building Services
- Circulation



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ROOF PLAN - OVERALL

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A2.16

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Level 1 Room Schedule			
DINING PATIO	Balcony, Patio, Pool Deck	1,260 SF	
DOCK	Building Services	575 SF	
MAIN ELECTRICAL	Building Services	262 SF	
PUMP ROOM	Building Services	218 SF	
RECYCLING	Building Services	437 SF	
TRANSFORMER VAULT	Building Services	617 SF	
CORRIDOR	Circulation	594 SF	
STAIR # 1	Circulation	137 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 3	Circulation	156 SF	
STAIR # 4	Circulation	86 SF	
VEST.	Circulation	122 SF	
BAR	Food and Beverage	1,006 SF	
CORR.	Food and Beverage	247 SF	
LOBBY	Food and Beverage	1,034 SF	
MEN'S RESTROOM	Food and Beverage	212 SF	
RESTAURANT	Food and Beverage	1,388 SF	
WOMENS RESTROOM	Food and Beverage	212 SF	
BAR STORAGE	Food and Beverage BOH	114 SF	
KITCHEN	Food and Beverage BOH	891 SF	
KITCHEN STORAGE	Food and Beverage BOH	177 SF	
ELEV. LOBBY	Hotel	239 SF	
ELEV. LOBBY	Hotel	63 SF	
RECEPTION & CONCIERGE	Hotel	529 SF	
BAGGAGE STORAGE	Hotel BOH	174 SF	
ENGINEERING OFFICE	Hotel BOH	128 SF	
ENGINEERING WORKSHOP	Hotel BOH	188 SF	
FIRE COMMAND	Hotel BOH	204 SF	
FRONT OFFICE	Hotel BOH	181 SF	
HOUSEKEEPING STORAGE	Hotel BOH	200 SF	
LAUNDRY BIN STORAGE	Hotel BOH	111 SF	
SECURITY	Hotel BOH	80 SF	
SOILED LINEN	Hotel BOH	171 SF	
LOADING DOCK	Vehicular Circulation	1,387 SF	
ELEV. # 1	Vertical Penetration	74 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
Level 1 Total NSF		14,066 SF	

Level 2 Room Schedule			
DATA CLOSET	Building Services	94 SF	
MECH.	Building Services	479 SF	
CORR.	Circulation	546 SF	
ELEV. LOBBY	Circulation	182 SF	
STAIR # 1	Circulation	173 SF	
STAIR # 2	Circulation	359 SF	
STAIR # 2	Circulation	138 SF	
VEST.	Circulation	54 SF	
VEST.	Circulation	137 SF	
CONFERENCE ROOM	Hotel BOH	340 SF	
CONTROLLER OFFICE	Hotel BOH	82 SF	
COPY	Hotel BOH	77 SF	
DIRECTOR OF SALES	Hotel BOH	133 SF	
GENERAL MANAGER	Hotel BOH	132 SF	
HR MANAGER	Hotel BOH	80 SF	
OPEN OFFICE ADMIN.	Hotel BOH	770 SF	
RECEPTION	Hotel BOH	200 SF	
STORAGE	Hotel BOH	67 SF	
STORAGE	Hotel BOH	32 SF	
ELEV. # 1	Vertical Penetration	74 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	32 SF	
Level 2 Mezzanine Total NSF		4,522 SF	

Level 10 Room Schedule			
BALCONY	Balcony, Patio, Pool Deck	581 SF	
ELEC./ DATA	Building Services	158 SF	
MECH.	Building Services	47 SF	
STORAGE	Building Services	59 SF	
TELECOM	Building Services	51 SF	
CORRIDOR	Circulation	367 SF	
CORRIDOR	Circulation	249 SF	
ELEV. LOBBY	Circulation	228 SF	
SERVICE CORRIDOR	Circulation	901 SF	
STAIR # 1	Circulation	190 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 3	Circulation	163 SF	
VEST.	Circulation	116 SF	
VEST.	Food and Beverage BOH	41 SF	
VEST.	Circulation	61 SF	
BAR	Food and Beverage	173 SF	
MEETING SPACE/ ROOM SERVICE	Food and Beverage BOH	1,851 SF	
KITCHEN			
MEN'S RESTROOM	Hotel	442 SF	
WOMENS RESTROOM	Hotel	440 SF	
BALLROOM STORAGE	Hotel BOH	749 SF	
BALLROOM	Meeting Space	3,868 SF	
BOARDROOM	Meeting Space	605 SF	
MEETING ROOM A	Meeting Space	362 SF	
MEETING ROOM B	Meeting Space	421 SF	
MEETING ROOM C	Meeting Space	374 SF	
PRE-FUNCTION	Meeting Space	3,678 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 10 Ballroom Total NSF		16,846 SF	

Level 11 Room Schedule			
MECH.	Building Services	386 SF	
MECH. ROOM	Building Services	320 SF	
TELECOM	Building Services	51 SF	
CORR.	Circulation	1,457 SF	
CORR.	Circulation	202 SF	
ELEV. LOBBY	Circulation	199 SF	
STAIR # 2	Circulation	247 SF	
STAIR # 2	Circulation	190 SF	
VEST.	Circulation	116 SF	
VEST.	Circulation	41 SF	
ADMINISTRATION OFFICE	Food and Beverage BOH	200 SF	
CHEF OFFICE	Food and Beverage BOH	106 SF	
CHEMICAL STORAGE	Food and Beverage BOH	31 SF	
CHINA GLASS SILVER STORAGE	Food and Beverage BOH	78 SF	
DRY STORAGE	Food and Beverage BOH	117 SF	
GM OFFICE	Food and Beverage BOH	82 SF	
LINEN STORAGE	Food and Beverage BOH	159 SF	
LIQUOR STORAGE	Food and Beverage BOH	150 SF	
BREAKROOM	Hotel BOH	432 SF	
CONFERENCE ROOM	Hotel BOH	174 SF	
HOTEL GENERAL STORAGE	Hotel BOH	615 SF	
HOUSEKEEPING	Hotel BOH	391 SF	
HOUSEKEEPING OFFICE	Hotel BOH	81 SF	
JC	Hotel BOH	46 SF	
MEN'S RESTROOM/ LOCKERS	Hotel BOH	366 SF	
MINI BAR STORAGE	Hotel BOH	105 SF	
MPOE/ MDF	Hotel BOH	194 SF	
OFFICE	Vertical Penetration	203 SF	
OFFICE	Hotel BOH	111 SF	
SEATING	Hotel BOH	198 SF	
VEST.	Hotel BOH	32 SF	
WOMEN'S RESTROOM/ LOCKERS	Hotel BOH	364 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 11 Ballroom Total NSF		7,873 SF	

Level 12 Room Schedule			
FITNESS PATIO	Balcony, Patio, Pool Deck	572 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	343 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	360 SF	
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	367 SF	
OUTDOOR POOL DECK	Balcony, Patio, Pool Deck	3,235 SF	
PATIO	Balcony, Patio, Pool Deck	257 SF	
ELECTRIC	Building Services	89 SF	
MECH.	Building Services	69 SF	
STAIR # 2	Building Services	253 SF	
TELECOM	Building Services	47 SF	
CORR.	Circulation	746 SF	
CORR.	Circulation	174 SF	
ELEV. LOBBY	Circulation	408 SF	
ELEV. LOBBY	Circulation	224 SF	
LOBBY	Circulation	672 SF	
STAIR # 1	Circulation	190 SF	
VEST.	Circulation	142 SF	
VEST.	Circulation	41 SF	
VEST.	Circulation	64 SF	
POOL F & B	Food and Beverage	889 SF	
REST.	Food and Beverage	57 SF	
REST.	Food and Beverage	57 SF	
PREP	Food and Beverage BOH	103 SF	
CUSTOM SUITE	Guest Rooms	1,064 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF	
HOSPITALITY SUITE CONNECTOR	Guest Rooms	955 SF	
FITNESS	Hotel	1,265 SF	
ICE MACHINE	Hotel	48 SF	
REST.	Hotel	63 SF	
REST.	Hotel	63 SF	
UNISEX REST.	Hotel	54 SF	
HOSPITALITY STORAGE	Hotel BOH	307 SF	
POOL STORAGE	Hotel BOH	158 SF	
POOL	Pool / Water Feature	944 SF	
ELEV. # 1	Vertical Penetration	73 SF	
ELEV. # 2	Vertical Penetration	81 SF	
ELEV. # 3	Vertical Penetration	81 SF	
ELEV. # 4	Vertical Penetration	91 SF	
ELEV. # 5	Vertical Penetration	91 SF	
LAUNDRY CHUTE	Vertical Penetration	12 SF	
Level 12 Hotel Total NSF		16,603 SF	



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date 04.15.2016

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ROOM SCHEDULE

project number 16022.100

date 04.15.2016

sheet

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ROOM SCHEDULE

project number 16022.100

date 04.15.2016

sheet

title

ROOM SCHEDULE

project number 16022.100

date 04.15.2016

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project number 16022.100

date 04.15.2016

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ROOM SCHEDULE

project number 16022.100

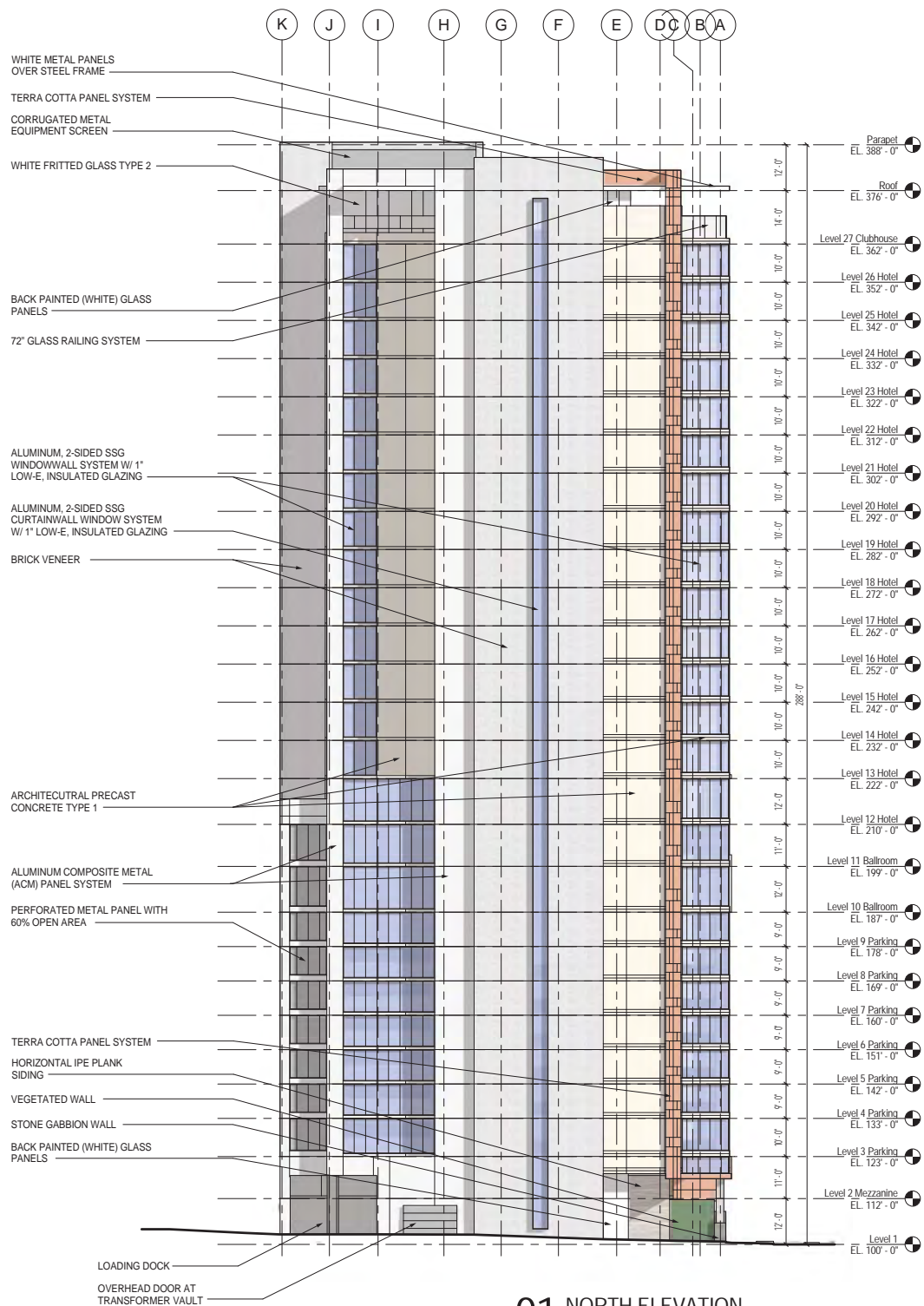
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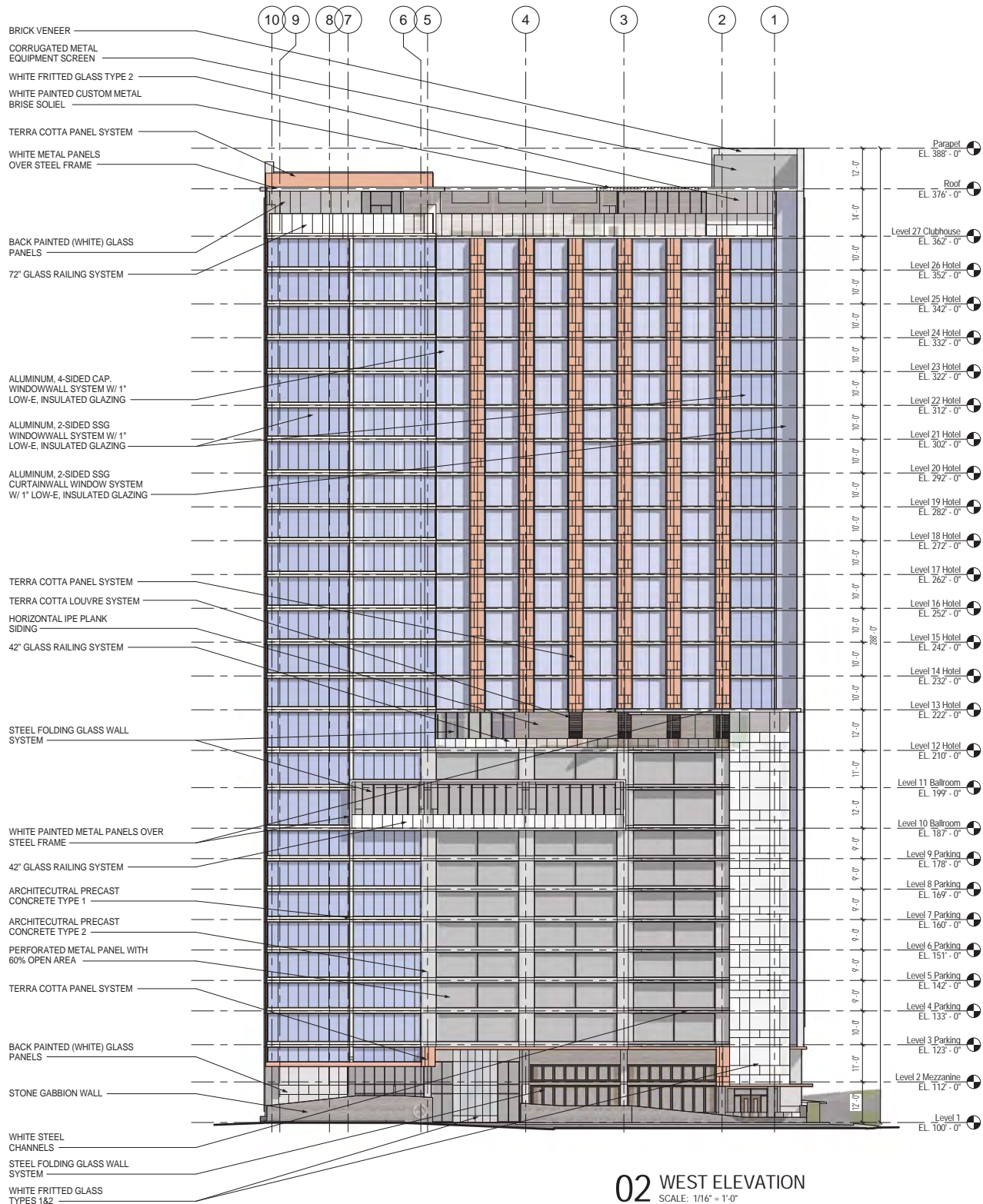
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01 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



02 WEST ELEVATION
SCALE: 1/16" = 1'-0"



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Tel 512.687.0699 | Fax 512.687.1097
www.bokapowell.com

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Arch: Chris W. Barnes Reg. No.: 10147
Arch: John E. Orfield Reg. No.: 11164
Arch: R. Andrew Bennett Reg. No.: 18129

client
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4124 Buena Vista
Dallas, TX 75204
Contact: Craig Bull, 972.978.6911

civil engineer

structural engineer
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Dallas, TX 75231
Contact: John Aniol, 972.764.6240

m.e.p. engineer
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Dallas, TX 75231
Contact: Jake Musick, 214.373.8222

landscape
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912B Congress Avenue
Austin, TX 78701
Contact: Daniel Woodroffe, 512.917.6040

interiors
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8070 Park Lane, Ste. 250
Dallas, TX 75231
Contact: Dona Bianchi, 214.979.9050

project
12th and Red River Hotel
1201 Red River, Austin TX 78701

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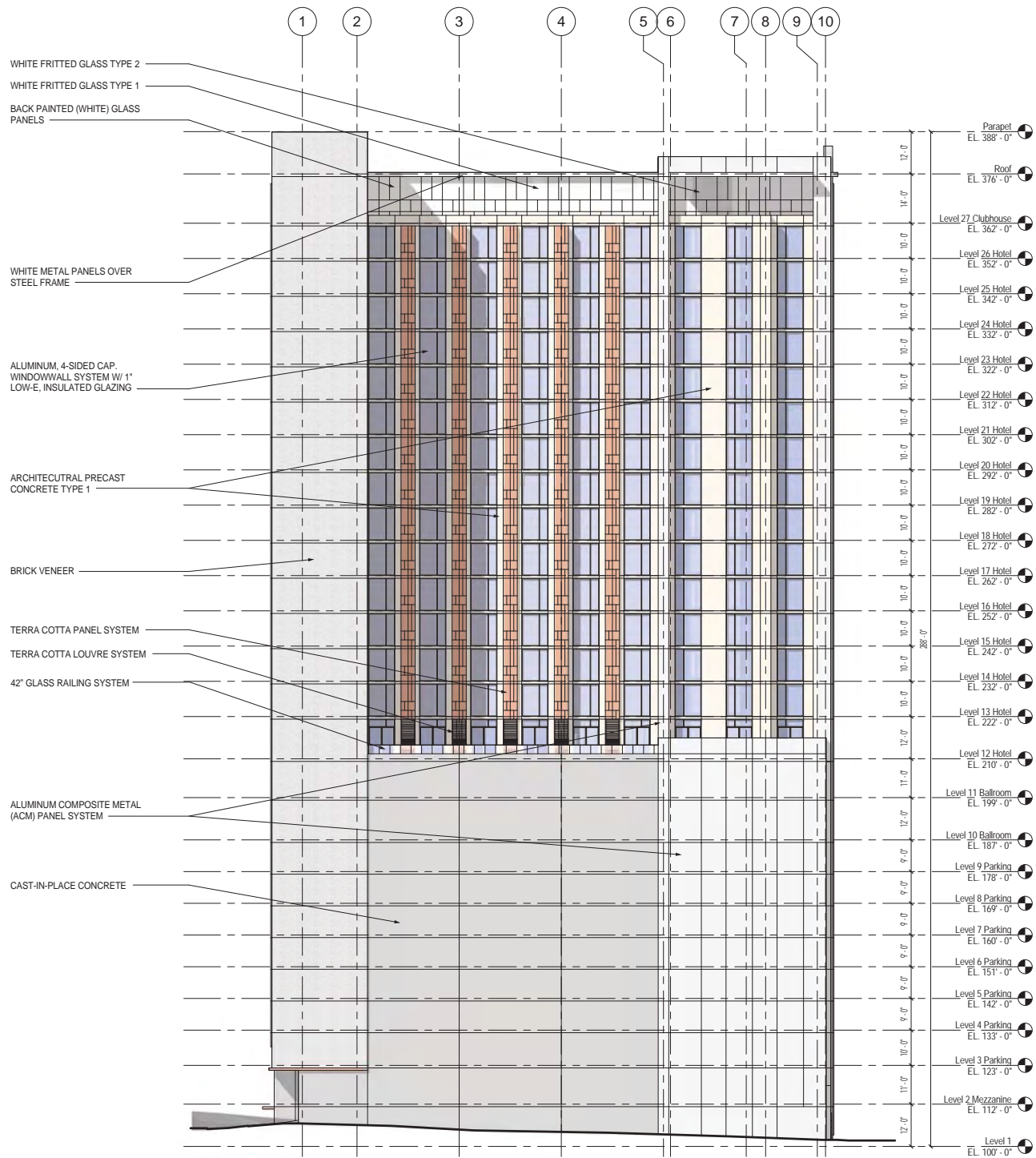
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project number 16022.100
date 04.15.2016
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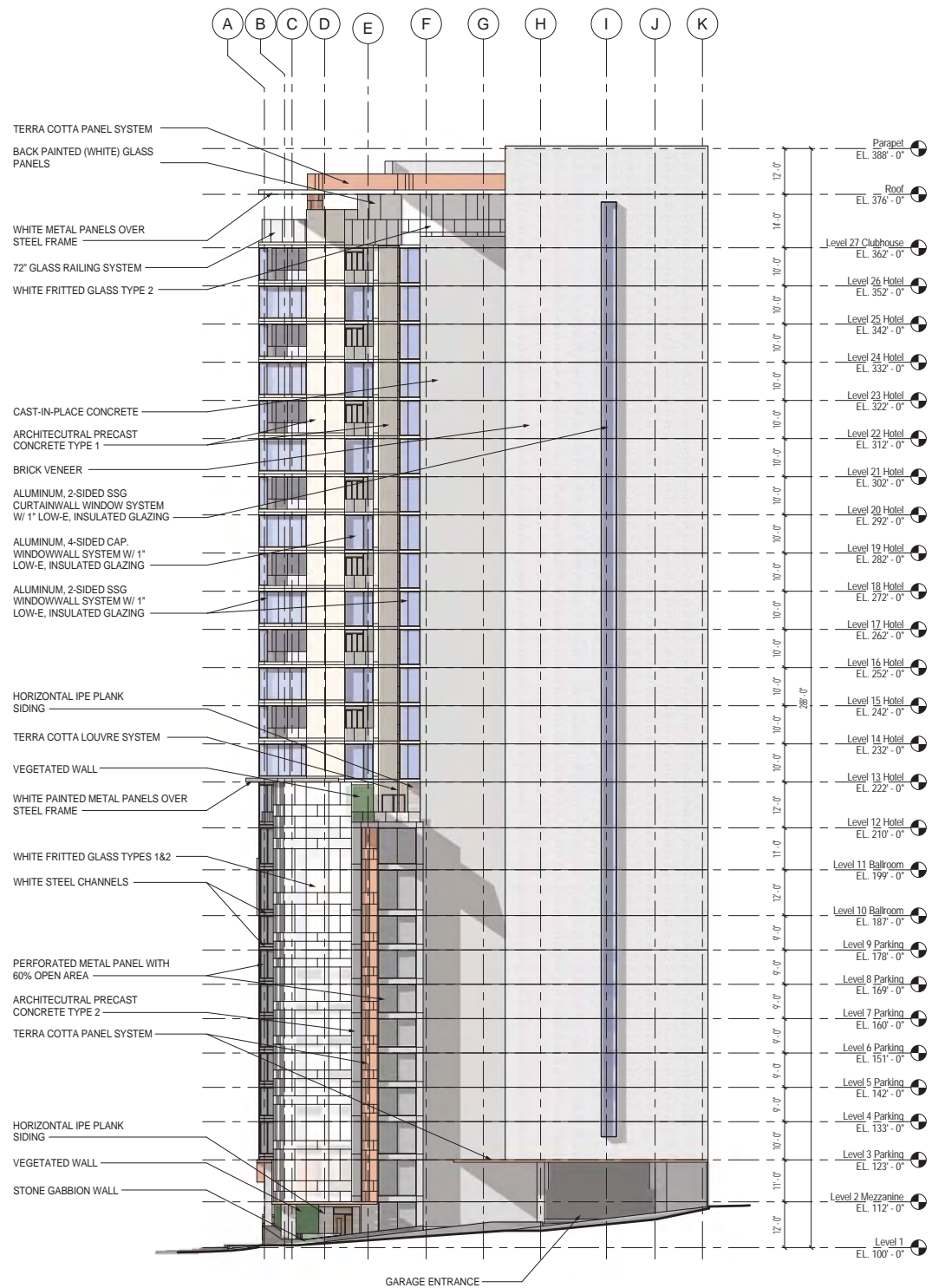
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02 EAST ELEVATION
SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



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date

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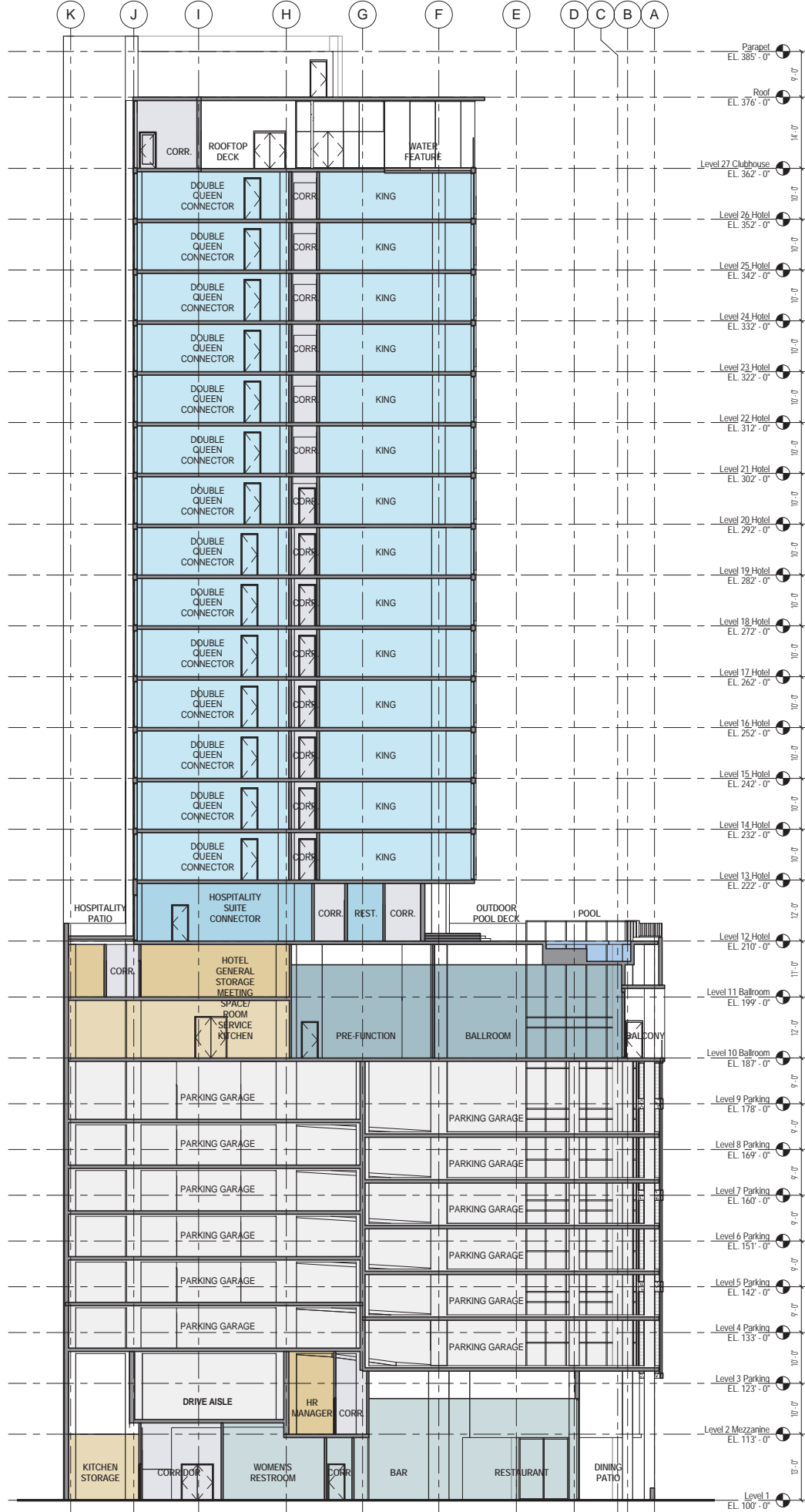
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BUILDING SECTIONS THROUGH
02 CIRCULATION
SCALE: 3/32" = 1'-0"



01 BUILDING SECTION - SOUTH
SCALE: 3/32" = 1'-0"



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AERIAL VIEW



NORTHEAST VIEW



SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHWEST VIEW



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ROOF DECK VIEW



AMENITY DECK VIEW



MAIN ENTRY VIEW



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GLASS HOUSE VIEW



AMENITY POOL VIEW



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plotted: 4/19/2016 8:53:00 AM



AUSTIN ENERGY GREEN BUILDING

Letter of Intent

This Letter of Intent demonstrates the intent of the project owner or an authorized representative to complete the necessary requirements to achieve an Austin Energy Green Building (AEGB) minimum **TWO** Star Rating for a development / project that requires this rating.

Project Name **Waterloo**

Project Address: **1201 Red River, Austin, Texas, 78701**

This Letter of Intent must be included with the Administrative Site Plan application for all projects requiring an AEGB Rating. Signing this Letter demonstrates knowledge of this requirement and the process necessary to achieve an AEGB Rating. For best results, meet with an AEGB representative early in the design process. To achieve an AEGB Rating:

- I. Submit a Participation Request or Completed "Project Team" and "Project Information" Tabs within the AEGB Rating Packet to an AEGB representative prior to or within Schematic Design Phase.
- II. Submit a completed and signed **AEGB Conditional Approval** with the Building Permit application. AEGB will issue a Conditional Approval upon satisfactory review of the project's construction documents, including plans, specifications, mechanical plans, Manual J calculation (applicable for multi-family and single family projects), and the AEGB Rating Packet.
- III. Schedule AEGB inspections (separate from City of Austin inspections) of the project with the AEGB representative
 - a) After interior mechanical equipment has been installed and prior to installation of insulation.
 - b) At substantial completion of construction.
- IV. Submit a completed and signed **AEGB Final Approval** to receive the Certificate of Occupancy for this project. AEGB will issue a Final Approval upon substantial completion of the project and satisfactory fulfillment of the AEGB Rating, as described in Section 7 of the Building Criteria Manual.

This Letter of Intent is entered into by the parties, acting through their duly authorized representatives, effective as of the later of two signature dates entered below:

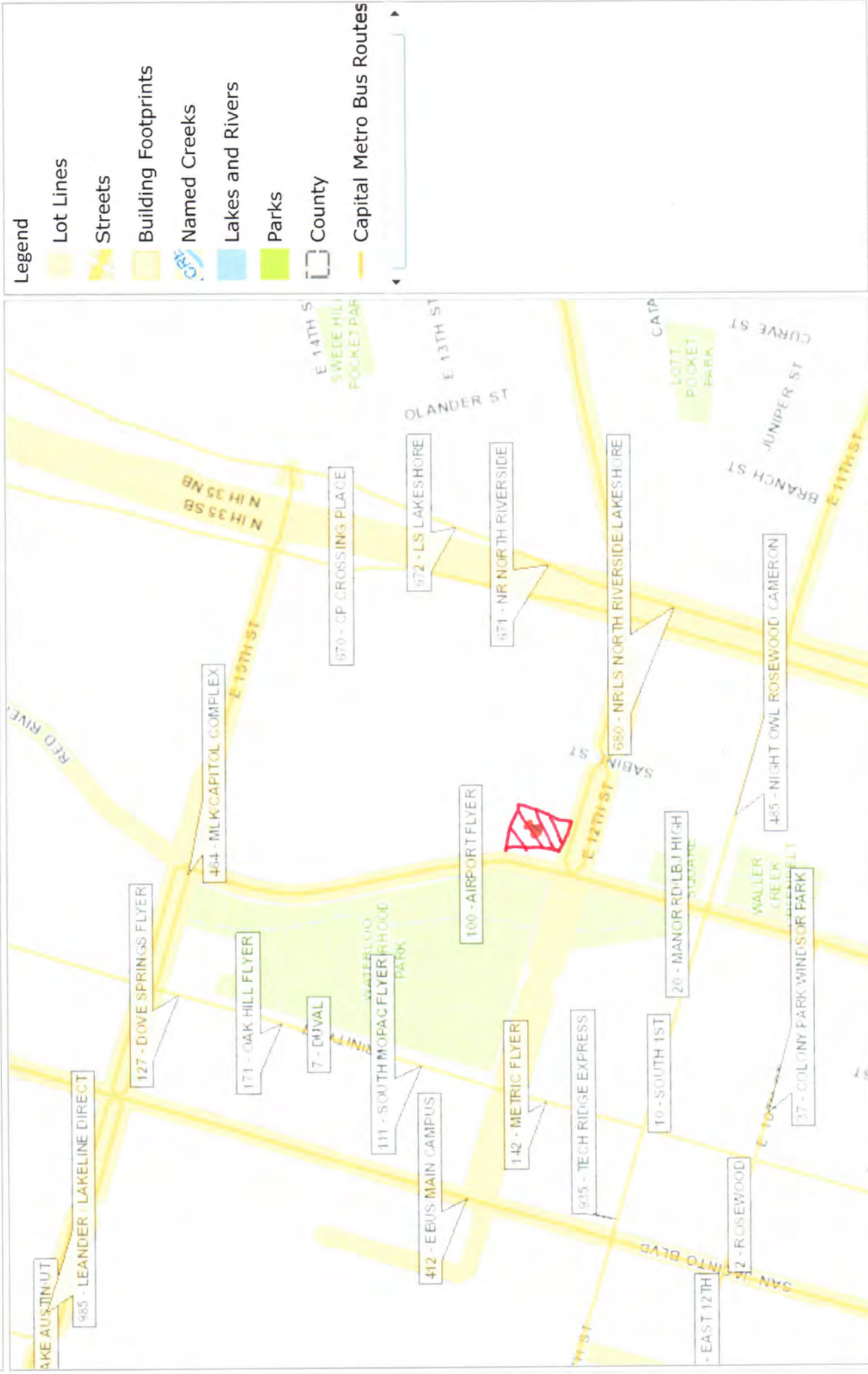
PARTICIPANT:

Name: Jim Wittliff
Signature: [Signature]
Title: President, Land Answers, Inc.
Phone Number: 512-416-6611
Date: 2/27/15

AUSTIN ENERGY GREEN BUILDING:

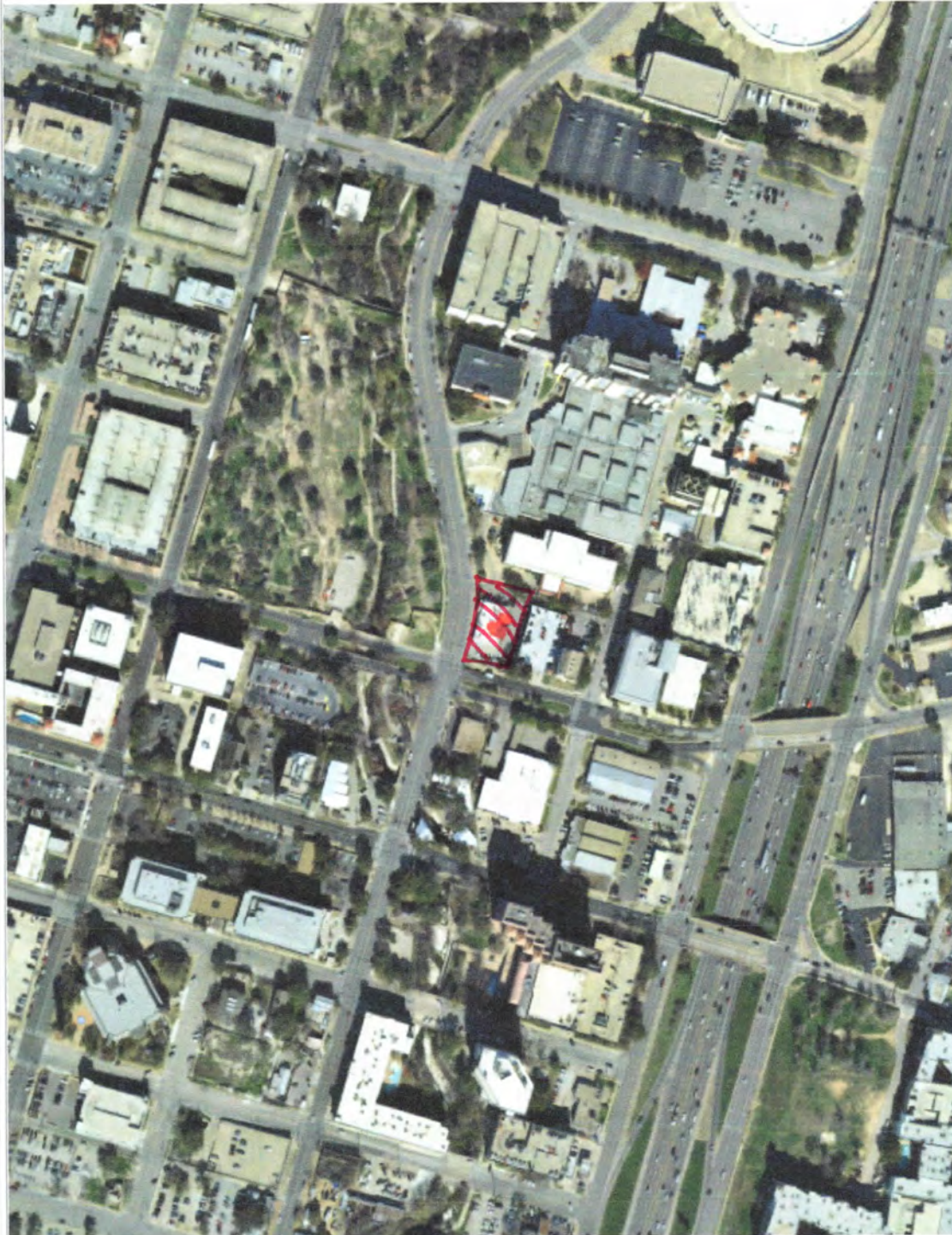
Name: Liana Kallivoka
Signature: [Signature]
Title: Project Manager
Phone Number: (512) 482-5406
Date: 3.2.2015

CITY OF AUSTIN DEVELOPMENT WEB MAP



THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

CITY OF AUSTIN DEVELOPMENT WEB MAP



Legend

- Lot Lines
- Streets
- Building Footprints
- Named Creeks
- Lakes and Rivers
- Parks
- County

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

LEGAL DESCRIPTION:

0.4520 ACRES or (19689 SQ. FT.) OUT OF THE SAMUEL
GOCHER SURVEY, ABSTRACT NO. 316 IN TRAVIS COUNTY,
TEXAS BEING ALL OF LOT 1, THE WEST 43 FEET OF LOT
2 AND THE ABANDONED PORTION RECORDED IN VOLUME
5388, PAGE 1230 OF THE DEED RECORDS OF TRAVIS
COUNTY, TEXAS ALL CONVEYED IN DEED TO ALAN WOOD
NALLE IN DOCUMENT NUMBER 2005012146 OF THE
OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

OWNER:

ALLAN WOODS NALLE
54 SUNDOWN PKWY.
AUSTIN, TEXAS 78746
(512) 327-3565

ENGINEER:

REYNALDO CEDILLOS, P.E.
CEDILLOS & COMPANY
P.O. BOX 50362
AUSTIN, TEXAS 78763
(512) 306-1322

NOTES:

1. BEARING BASIS FOR THIS SURVEY IS TEXAS STATE PLANE COORDINATES (NAD83), CENTRAL TEXAS ZONE (4203).
2. THIS PROJECT IS LOCATED WITHIN THE WALLER CREEK WATERSHED, WHICH IS CLASSIFIED BY THE CITY OF AUSTIN AS URBAN. THE SITE IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
3. A PORTION OF THIS SITE IS WITHIN A DESIGNATED FLOOD ZONE "AE" AS SHOWN ON THE FEDERAL INSURANCE RATE MAP NO. 4845340465H DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS.
4. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE SCALED PER AUSTIN UTILITY MAPS.
5. THIS TRACT IS ZONED "CBD" (CENTRAL BUSINESS DISTRICT) BY THE CITY OF AUSTIN. ZONING REQUIREMENTS ARE AS FOLLOWS:

MINIMUM LOT SIZE	N/A		
MINIMUM LOT WIDTH	N/A	MINIMUM SETBACKS	N/A
MAXIMUM BUILDING COVERAGE		100%	
MAXIMUM IMPERVIOUS COVER		100%	
MAXIMUM FLOOR AREA RATIO		8:1	
INTERIOR SIDE YARD	N/A		
REAR YARD	N/A		

6. THESE PLANS ARE COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25-8, OF THE CITY OF AUSTIN DEVELOPMENT CODE.
7. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE DESIGN ENGINEER.
8. A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
9. ALL RETAINING WALLS GREATER THAN FOUR-FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALLS, SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND REQUIRE A SEPARATE BUILDING PERMIT PER THE INTERNATIONAL BUILDING CODE.
10. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.
11. AN ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY (CONTACT KATINA BOHRER 512-974-3558).
12. A FEE-IN-LIEU OF PARKLAND DEDICATION HAS BEEN PAID FOR 256 HOTEL ROOMS PER ORDINANCE 20160128--086.

WATERLOO PARK TOWER
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

1 COVER SHEET
2 EXISTING CONDITIONS
3 GENERAL CONSTRUCTION NOTES
4 DEMOLITION PLAN
5 OVERALL SITE PLAN
6 EXISTING AND PROPOSED DRAINAGE CONDITIONS
7 GRADING PLAN
8 UTILITY PLAN
9 EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION PLAN
10 DETAILS
11 DETAILS
12 LANDSCAPE 1 OF 1 - GREAT STREETS LANDSCAPE PLAN
13 ARCHITECTURAL 1 OF 6 - SITE PLAN - GROUND LEVEL
14 ARCHITECTURAL 2 OF 6 - FLOOR PLAN - GARAGE LEVEL 1
15 ARCHITECTURAL 3 OF 6 - FLOOR PLAN - GARAGE LEVELS 2-6
16 ARCHITECTURAL 4 OF 6 - FLOOR PLAN - GARAGE LEVEL 7
17 ARCHITECTURAL 5 OF 6 - ELEVATIONS WEST & SOUTH
18 ARCHITECTURAL 6 OF 6 - ELEVATIONS EAST & NORTH

SIX WEEKS TRAFFIC CONTROL NOTE:

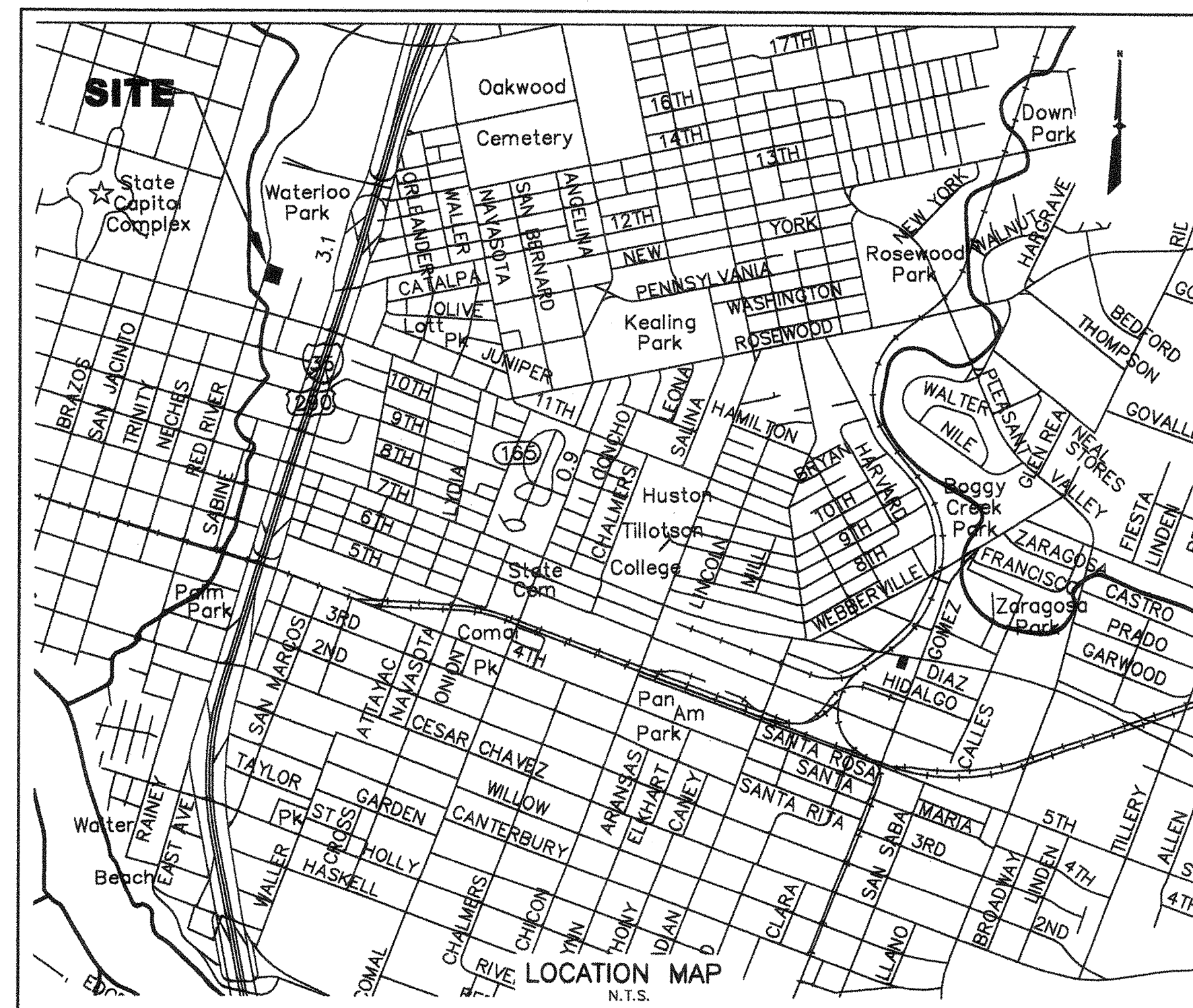
THE OWNER/ REPRESENTATIVE HAS ELECTED TO DEFER THE TEMPORARY TRAFFIC CONTROL PLAN REVIEW UNTIL AFTER THE COMPLETION OF THE DEVELOPMENTAL REVIEW PROCESS AND FULLY UNDERSTANDS THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER/ REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW OF THE TEMPORARY TRAFFIC CONTROL PLAN BY THE CITY'S FEE ORIGINATOR, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.

THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN
DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:

-PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.

-NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS
RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE
ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC
IMPACT.

-PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.



COA GRID: J-22

MAPSCO PAGE: 585X

LAND STATUS DETERMINATION
CASE #C8i-2012-0150

SUBMITTAL DATE: FEBRUARY 29, 2016

Cedillos & Company
Civil/Environmental Consulting Engineers

TEXAS FIRM REGISTRATION NO. F-9159
P.O. BOX 50362 - Austin, Texas - 78763
(512) 306-1322 (Phone)

PRE-CONSTRUCTION MEETING NOTE:

CONTRACTOR SHALL NOTIFY THE CITY OF AUSTIN - SITE AND SUBDIVISION DIVISION TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION INSPECTION FEES AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE ROW OR PUBLIC EASEMENTS. PLEASE GO TO <http://austintexas.gov/page/commercial-site-and-subdivision-inspections> FOR A LIST OF SUBMITTAL REQUIREMENTS, FEE CALCULATIONS AND TO ARRANGE PAYMENT OF INSPECTION FEES.

[illegible]

NOTE:
A PRE-CONSTRUCTION MEETING WITH
THE CITY OF AUSTIN ENVIRONMENTAL
INSPECTOR CANNOT TAKE PLACE
UNTIL THE WALLER CREEK TUNNEL IS
OPERATIONAL AND PROVIDING THE
PRESCRIBED FLOODPLAIN REDUCTION
BENEFITS (CONTACT KATINA BOHRER
512-974-3558)

BUILDING AREA (GROSS):	282,318
BUILDING TYPE:	1A (HIGH RISE - 33 LEVELS)
FIRE FLOW DEMAND PER IFC:	
FIRE FLOW W/SPRINKLER:	1,500 GPM
AVAILABLE FIRE FLOW:	7,193 GPM
STATIC PRESSURE:	85 PSI
PRESSURE ZONE:	CENTRAL
BUILDING TO HAVE SPRINKLER SYSTEM	

SITE PLAN APPROVAL

Sheet 1 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON: _____
under Section 112 of Chapter 25-5 of the Austin City Code.
EXPIRATION DATE (25-5-81,LDC): _____
CASE MANAGER: DONNA GALATI
ZONING: CBD - CENTRAL BUILDING DISTRICT
PROJECT EXPIRATION DATE: _____ DWPZ _____ DDZ _____
(080)4970905

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

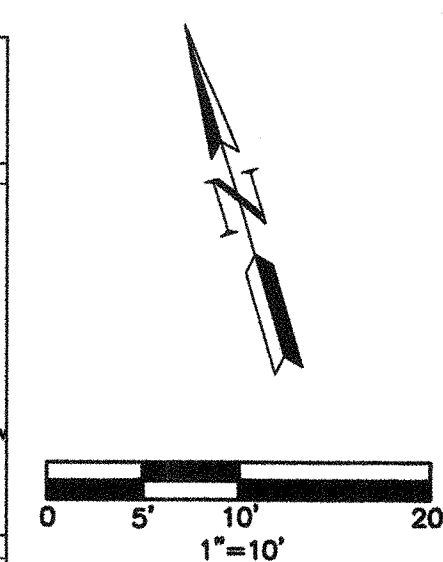
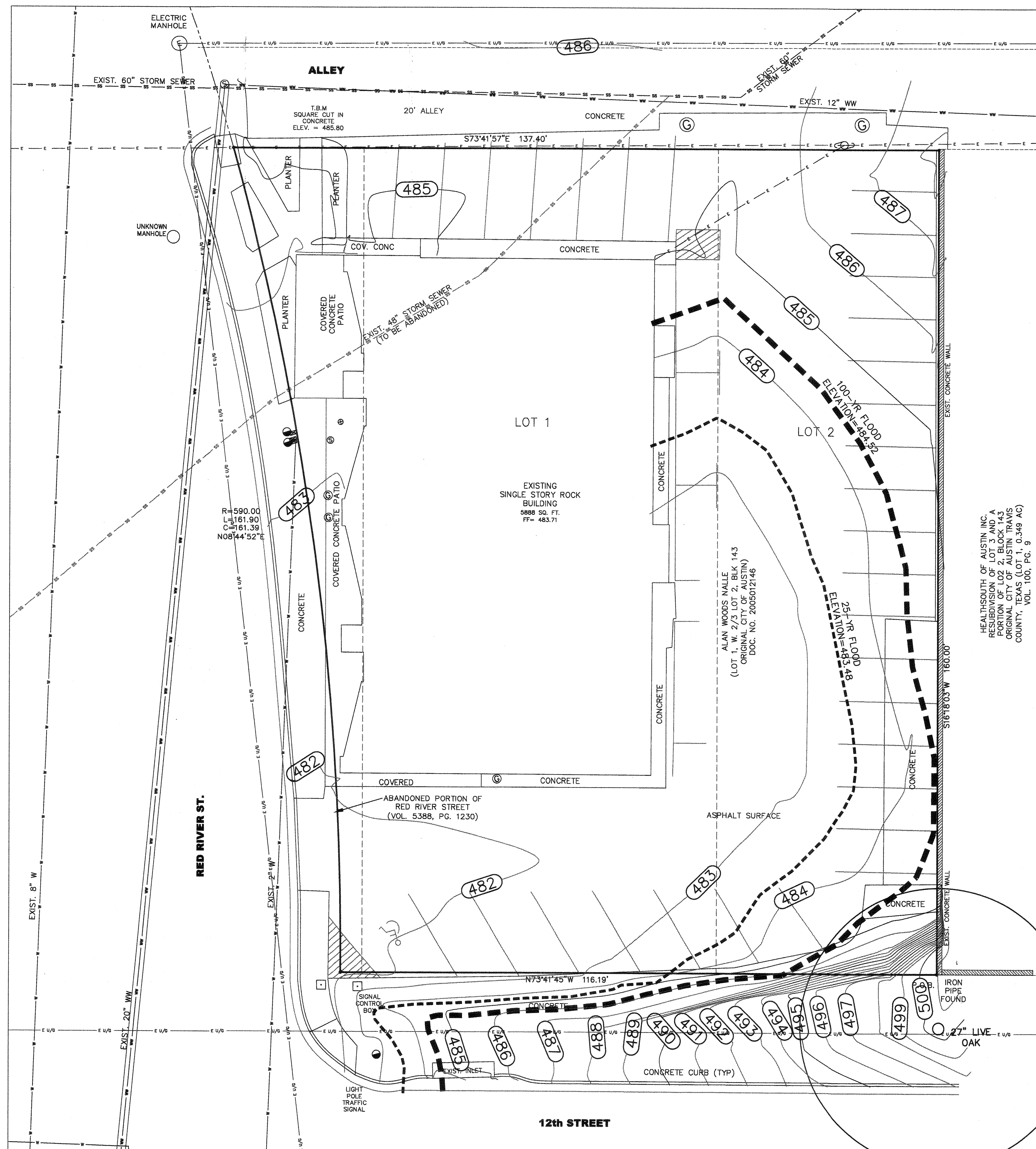
Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____














Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

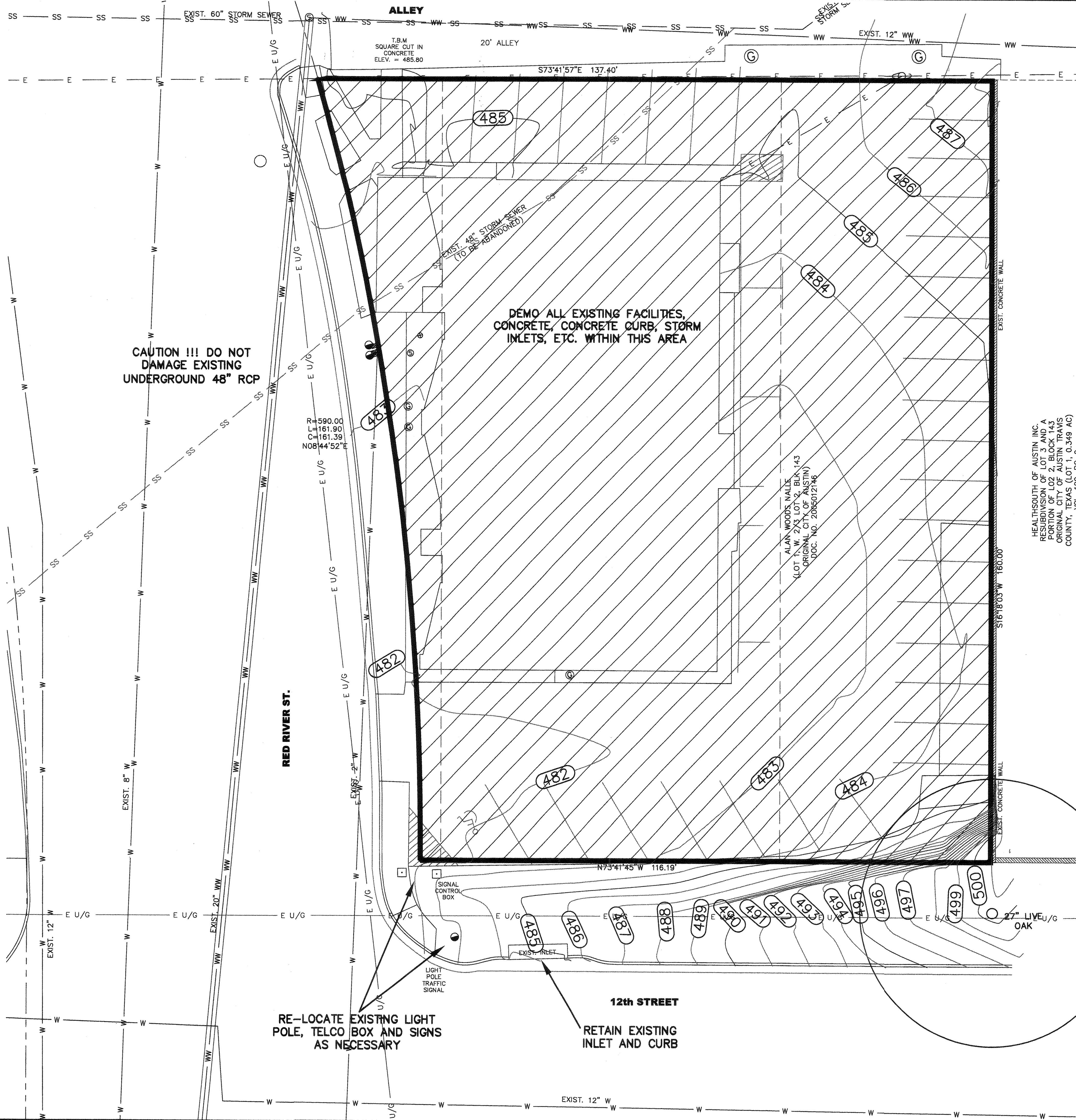
SP-2016-01060



SITE LEGEND

	BOUNDARY LINE
	EXISTENCE BOUNDARY
	EXISTING CONTOURS
	EXIST. STORM SEWER MANHOLE
	EXIST. WATERMETER MANHOLE
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. WOODEN FENCE
	PROP. HANDSPRINKER SPACE
	DIAPHRAGM EXISTENT
	PUBLIC UTILITY EXISTENT
	PROPOSED FENCE
	ACCESSIBILITY ROUTE

SITE DEVELOPMENT PLANS WATERLOO PARK TOWER HOTEL 1201 RED RIVER STREET AUSTIN, TEXAS 78701		EXISTING CONDITIONS	
DATE: _____			
PROJECT: WATERLOO TOWER			
DRAWING'S NAME: _____			
DESIGN: _____	CHECKED: _____		
RC	RC		
DRAWN: _____	APPROVED: _____		
STAFF	RC		
SHEET: 2 OF 18			



SITE LEGEND

	BOUNDARY LINE
	EXISTING BOUNDARY
	EXIST. STORM SEWER MANHOLE
	EXIST. WATERWATER MANHOLE
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. WOODS FENCE
	PROP. HANDICAP SPACE
	CONCRETE EXISTENCE
	PUBLIC UTILITY EXISTENCE
	PROPOSED FENCE
	ACCESSIBILITY ROUTE

- NOTES:
1. BOUNDARY AND EXISTING FACILITIES INFORMATION TAKEN FROM SURVEY OF SITE CREATED BY CRICHTON AND ASSOC. SURVEYING AND PROVIDED BY THE OWNER.
 2. REMOVAL OF EXISTING NATURAL GAS METERS AND CORRESPONDING REMEDIATION TO BE ACCOMPLISHED PRIOR TO REMAINING SITE DEMOLITION.
 3. ALL MATERIALS REMOVED FROM SITE TO BE DISPOSED OF IN A MANNER APPROVED BY THE ENVIRONMENTAL INSPECTOR.
 4. DAMAGE TO STRUCTURES AND ITEMS TO REMAIN SHALL BE CONSTRUCTED AND/OR REPLACED AT CONTRACTOR'S EXPENSE.
 5. CONTRACTOR SHALL NOTE THAT THERE ARE EXISTING UTILITIES ON THE SITE THAT MAY OR MAY NOT BE ACTIVE. COORDINATION WITH ALL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO THE START OF WORK.
 6. FOR SIDEWALK CLOSURES AND AS NEEDED USE COA DETAIL 804S-1, 4 OF 9. FOR DRIVEWAY AND SIDEWALK ALONG E. 12th STREET USE COA DETAIL 804S-1, 1 OF 9.
 7. A PRE-CONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.

PROPOSED AREA TO BE DEMOLISHED PRIOR TO CONSTRUCTION

PROPOSED AREA TO BE RETAINED

CONTRACTOR WARNING

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED ENTIRELY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WATERWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL Sheet **4** of **18**

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON: _____

under Section **112** of Chapter **25-5** of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: **DONNA GALATI**

ZONING: **CBD - CENTRAL BUILDING DISTRICT**

PROJECT EXPIRATION DATE: _____ DDZ _____

(ORD.#970905-A): _____

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE: _____ BY: _____

REVISION

Cedillos & Company
Civil/Environmental Consulting Engineers
TEXAS FIRM REGISTRATION NO. F-9159
P.O. BOX 60389 - Austin, Texas 78763
(512) 366-1322 (Primary)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

DEMOLITION PLAN

DATE: _____

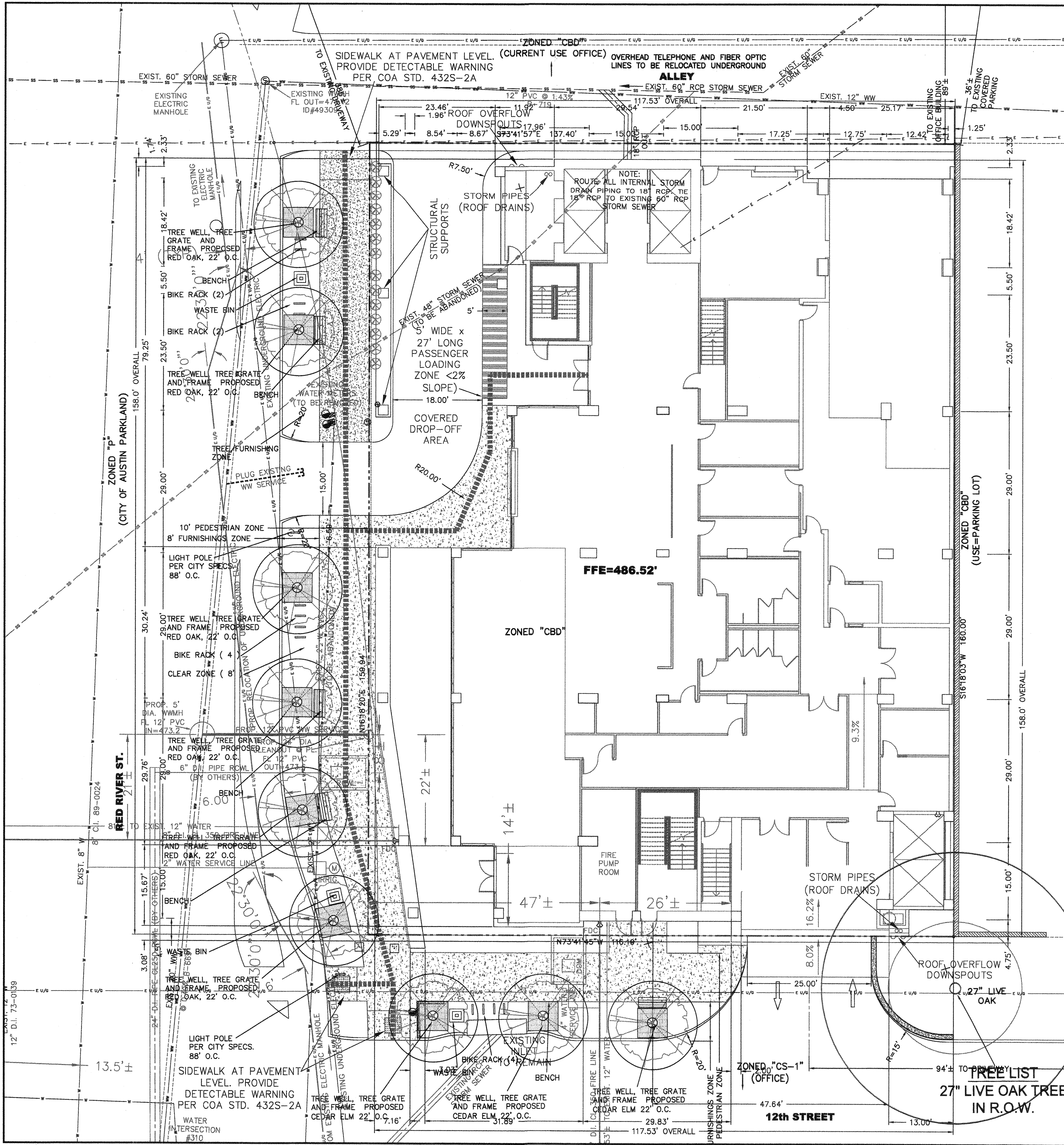
PROJECT: **WATERLOO TOWER**

DRAWING'S NAME: _____

DESIGN: **RC** CHECKED: **RC**

DRAWN: **STAFF** APPROVED: **RC**

SHEET: **4** OF **18**



SITE NOTES:

- (RESERVED)
- (RESERVED)
- COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUB-CHAPTER E, IS REQUIRED, AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.
- A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A R.O.W. EXCAVATION PERMIT IS REQUIRED.
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS A RAMP. ACCESSIBLE PARKING MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50.
- EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE GROUND SO THAT THEY CANNOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE.
- EACH COMPACT PARKING SPACE/ISLE WILL BE SIGNED "SMALL CAR ONLY".
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
- FIRE LANES SHALL BE PAINTED RED AND LABELED "FIRE LANE" "NO PARKING ZONE".
- YARDS, FENCES, VEGETATIVE SCREENING OR BERMS SHALL BE PROVIDED TO SCREEN ADJACENT SF-3 OR MORE RESTRICTIVE RESIDENTIAL DISTRICTS FROM VIEWS OF OFF-STREET PARKING AREAS, MECHANICAL EQUIPMENT, STORAGE AREAS FOR REFUSE COLLECTION (SECTION 23-2-1066).
- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
- (OMITTED)
- EACH COMPACT PARKING SPACE/ISLE SHALL BE SIGNED "SMALL CAR ONLY."
- COMPLIANCE WITH GREEN BUILDING STANDARDS OF ONE STAR IS REQUIRED FOR ALL BUILDINGS CONSTRUCTED ON THIS SITE.
- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL NOR BUILDING PERMIT APPROVAL.
- ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE (CHAPTER 25-10).
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
- SURFACE MATERIAL FOR ALL PARKING AND CIRCULATION SURFACES WILL BE CONCRETE.

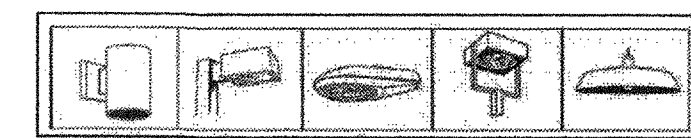


FIGURE 42/SECTION 2.5

TOTAL BUILDING HEIGHT IS 33 STORIES @ 371.2 FEET.
MAXIMUM ELEVATION IS 854.7 FEET ABOVE SEA LEVEL.

BUILDING SUMMARY

Floor Level	Assumed Floor Elevation	Floor to Floor	Parking Count	Hotel Rooms Area	Hotel Rooms	Condo Units	Common Area	Restaurant / Bar	Ballroom / Meeting	Circulation Area	Vertical Circulation	Parking Area	Gross Building Area
T.O. Parapet	854.69	0											
Roof	848.69	6					1,387			2,500	1,154	0	1,684
Level 33 Roof Deck Mezz.	842.69	17											3,654
Level 32 Roof Deck	832.69	14.5					456			3,745	2,894	479	7,095
Level 31 Condos	811.19	19.67		8,830	0	4	891				2,054	479	11,775
Level 30 Condos	791.52	14.0		9,115	0	8	891				2,054	479	12,063
Level 29 Condos	777.52	14.0		8,830	0	8	891				2,054	479	11,775
Level 28 Condos	765.52	12.0		9,115	0	8	891				2,054	479	12,063
Level 27 Hotel	753.52	15.0		8,830	17	0	891				2,054	479	11,775
Level 26 Hotel	738.52	10.0		9,115	17	0	891				2,054	479	12,063
Level 25 Hotel	728.52	10.0		8,830	17	0	891				2,054	479	11,775
Level 24 Hotel	718.52	10.0		9,115	17	0	891				2,054	479	12,063
Level 23 Hotel	708.52	10.0		8,830	17	0	891				2,054	479	11,775
Level 22 Hotel	698.52	10.0		9,115	19	0	891				2,054	479	12,063
Level 21 Hotel	688.52	10.0		8,830	18	0	891				2,054	479	11,775
Level 20 Hotel	678.52	10.0		9,115	19	0	891				2,054	479	12,063
Level 19 Hotel	668.52	10.0		8,830	18	0	891				2,054	479	11,775
Level 18 Hotel	658.52	10.0		9,115	19	0	891				2,054	479	12,063
Level 17 Hotel	648.52	10.0		8,830	18	0	891				2,054	479	11,775
Level 16 Hotel	638.52	10.0		9,115	19	0	891				2,054	479	12,063
Level 15 Hotel	628.52	10.0		8,830	18	0	891				2,054	479	11,775
Level 14 Hotel	618.52	10.0		9,115	19	0	891				2,054	479	12,063
Level 13 Amenity Deck	608.52	13.0		4,107	4	0	4,319				2,564	479	10,990
Level 12 Ballroom Mezzanine	598.52	11.0		0	0	0	5,641				2,856	479	8,497
Level 11 Ballroom	585.52	13.0		0	0	0	7,711			5,119	3,270	479	17,100
Level 10 Parking	573.52	9.0	11									479	13,456
Level 9 Parking	564.52	9.0	42									479	17,635
Level 8 Parking	555.52	9.0	42									479	17,635
Level 7 Parking	546.52	9.0	42									479	17,635
Level 6 Parking	537.52	9.0	42									479	17,635
Level 5 Parking	528.52	9.0	42									479	17,635
Level 4 Parking	519.52	9.0	42									479	17,635
Level 3 Parking	509.52	10.0	37									479	17,319
Level 2 Mezzanine	499.52	10.0					3,462			2,453	479		5,915
Level 1 Floor Plan	486.52	13.0					5,514	5,233		1,636	479		12,862
TOTALS			371.2	300	165,639	256	28	43,141	11,479	6,119	52,645	15,328	136,585
													282,320
													15.00

EXISTING IMPERVIOUS COVER	
BUILDING	6,737 SQ. FT.
PAVING	11,021 SQ. FT.
SIDEWALK	1,065 SQ. FT.
TOTAL	18,823 SQ. FT.
LOT AREA	= 18,823 SQ. FT.
EXISTING IMPERVIOUS COVER	= 100%

PROPOSED IMPERVIOUS COVER	
BUILDING	18,823 SQ. FT.
TOTAL	18,823 SQ. FT.
LOT AREA	= 18,823 SQ. FT.
PROPOSED IMPERVIOUS COVER	= 100%

SITE PLAN APPROVAL Sheet 5 of 18

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON: _____

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: **DONNA GALATI**

ZONING: **CBD - CENTRAL BUILDING DISTRICT**

PROJECT EXPIRATION DATE: **DWP2** **DDZ**

(ORD.#970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

SITE LEGEND

- BOUNDARY LINE
- EXISTING BOUNDARY
- EXISTING CONTOUR
- EXIST. STORM SEWER UNW/ABLE
- EXIST. WASTEWATER UNW/ABLE
- EXIST. WATER MAIN
- EXIST. FIRE HYDRANT
- EXIST. WOODY FENCE
- PROP. HATCHWORK SPACE
- DRAINAGE EASEMENT
- PAVE
- PROPOSED FENCE
- ACCESSORY DRIVE

CONTRACTOR WARNING

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FLOOD PLAIN NOTE

FLOOD PLAIN WILL BE REMOVED FROM SITE UPON CONSTRUCTION OF WALLER CREEK TUNNEL.

DATE: _____ BY: _____ DESCRIPTION: _____

REVISION: _____

Cedillos & Company
Civil/Environmental Consulting Engineers
TEXAS P.E. REGISTRATION NO. P-1318
P.O. BOX 60052 - Austin, Texas - 78763
(512) 308-1352 (FAX)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

OVERALL SITE PLAN

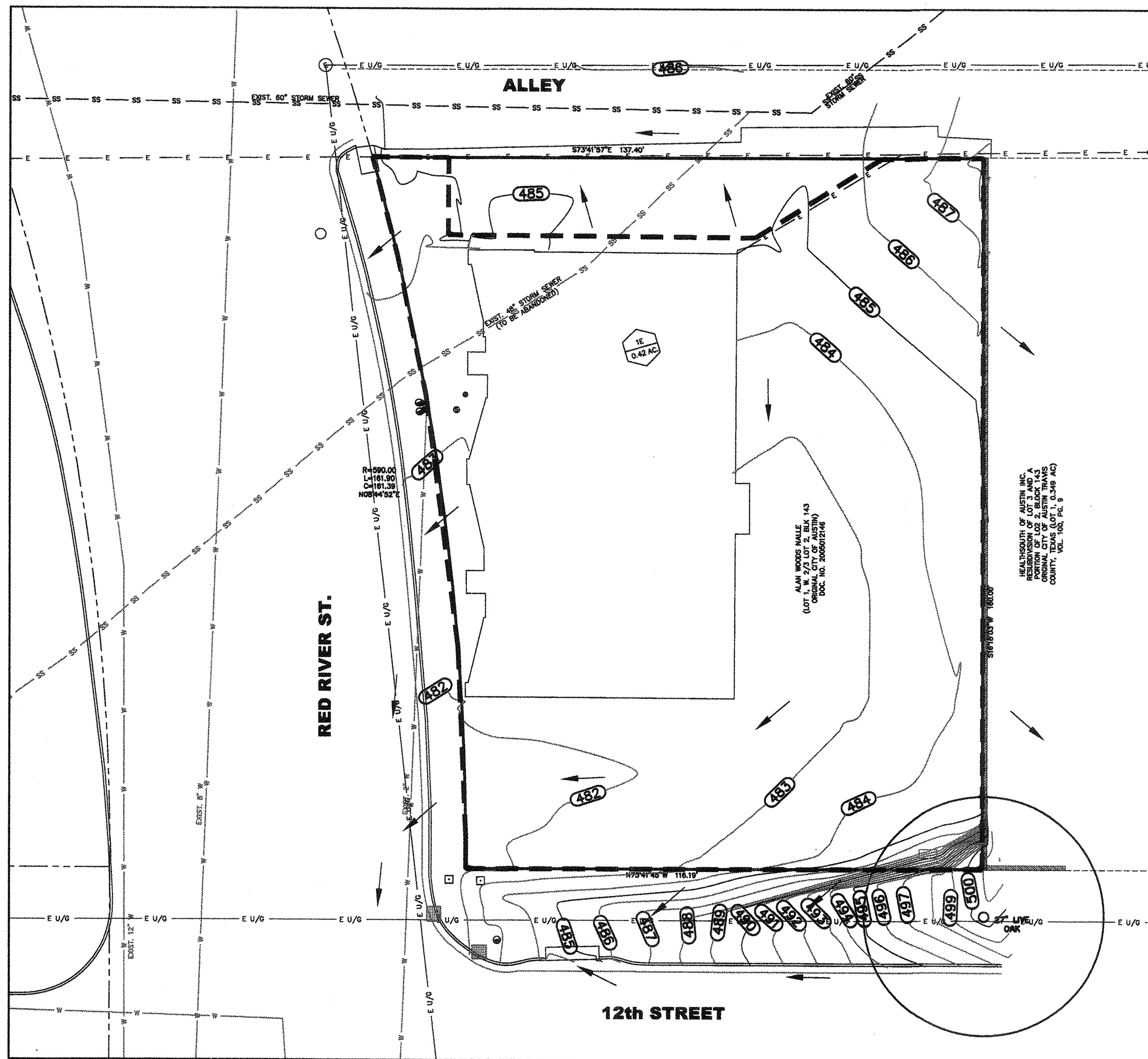
DATE: _____ PROJECT: **WATERLOO TOWER**

DRAWING'S NAME: _____

DESIGN: _____ CHECKED: _____

DRAWN: _____ APPROVED: _____

SHEET: **5** OF **18**



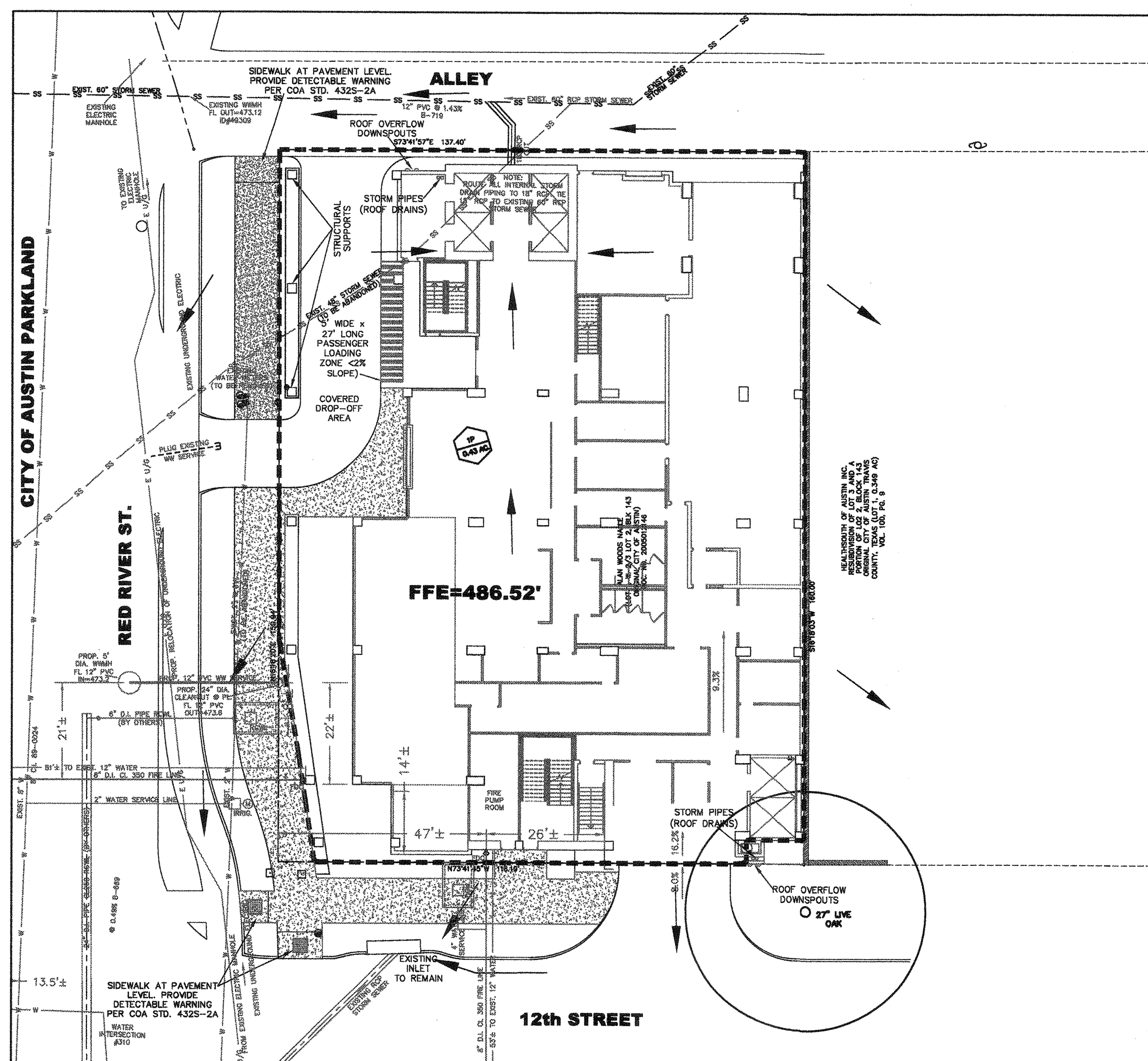
EXISTING DRAINAGE CONDITIONS
SCALE 1"=20'

EXISTING CONDITIONS

	C	I (in/hr)	A (acres)	Q (cfs)
2-YEAR	0.743	7.04	0.42	2.2
25-YEAR	0.873	10.54	0.42	3.9
100-YEAR	0.963	12.68	0.42	5.1

PROPOSED CONDITIONS

	C	I (in/hr)	A (acres)	Q (cfs)
2-YEAR	0.667	6.55	0.43	1.9
25-YEAR	0.860	9.92	0.43	3.7
100-YEAR	0.950	11.97	0.43	4.9



PROPOSED DRAINAGE CONDITIONS
SCALE 1"=20'

SITE LEGEND

---	BOUNDARY LINE
---	EXISTING BOUNDARY
---	EXISTING CONTOUR
---	EXIST. STORM SEWER MANHOLE
---	EXIST. WASTEWATER MANHOLE
---	EXIST. WATER VALVE
---	EXIST. FIRE HYDRANT
---	EXIST. WOODEN FENCE
---	PROP. WOODEN FENCE
---	EXISTING DRAINAGE
---	PUBLIC UTILITY EXISTENT
---	PROPOSED F. FENCE
---	ACCESSIBILITY ROUTE

DRAINAGE LEGEND

---	DRAINAGE DIRECTION
---	EXIST. CHANNEL/PIPE
---	CONTOURS
---	INDEX CONTOURS
---	PROP. CONTOUR
---	PROPOSED DRAINAGE BOUNDARY
---	EXISTING DRAINAGE BOUNDARY
---	DRAINAGE AREA - EXISTING
---	DRAINAGE AREA - PROPOSED
---	PROPOSED FLOW
---	EXISTING FLOW

CONTRACTOR WARNING
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SITE PLAN APPROVAL Sheet 6 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON: _____
under Section 112 of Chapter 25-5 of the Austin City Code.
EXPIRATION DATE (25-5-81.LDC): _____
CASE MANAGER: DONNA GALATI
ZONING: CBD - CENTRAL BUILDING DISTRICT
PROJECT EXPIRATION DATE: DWPZ DOZ
(ORD.#970905-A):

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

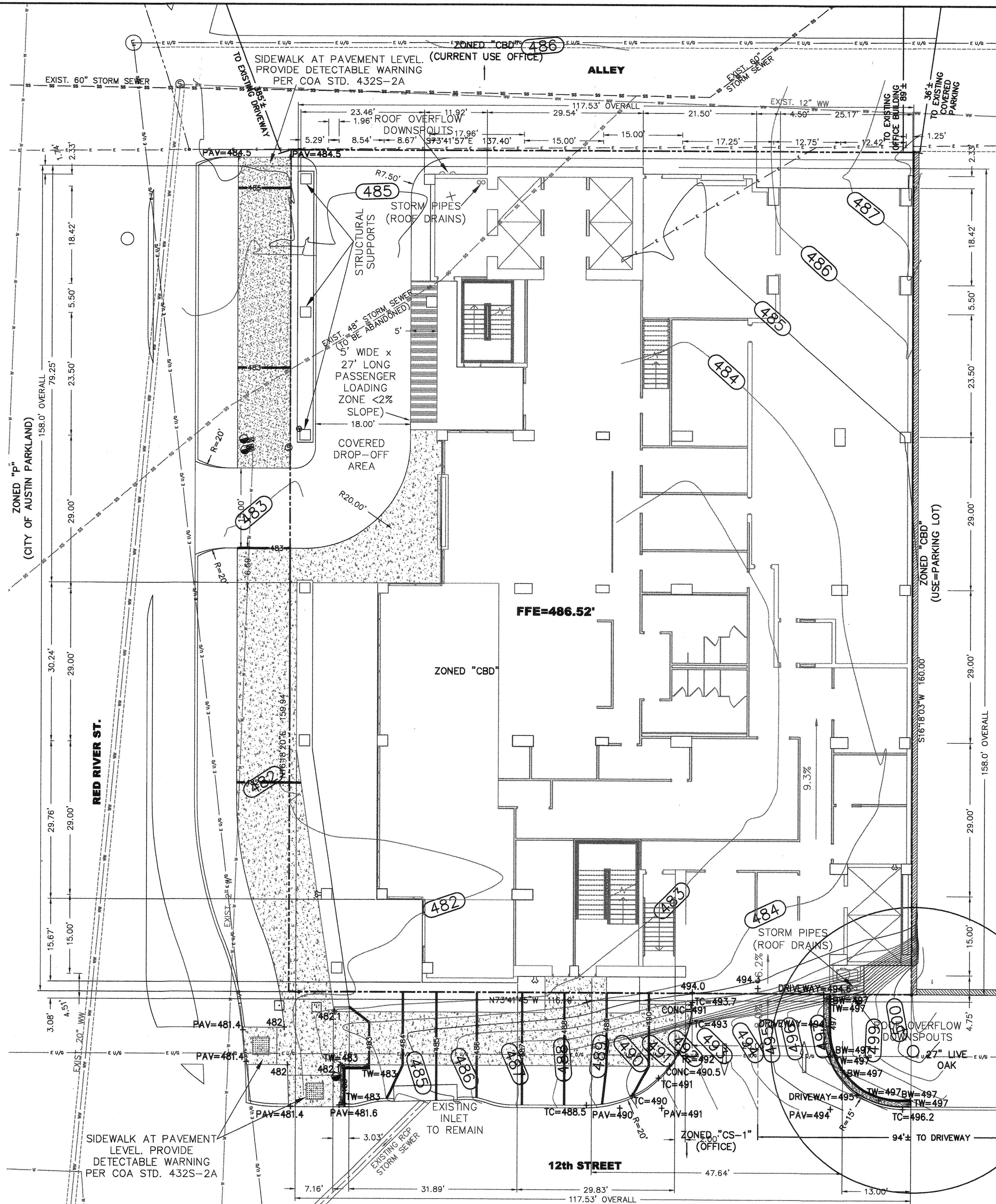
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE:	
BY:	
DESCRIPTION:	
REVISION:	
Cedillos & Company Civil/Environmental Consulting Engineers 10000 FM 1960, SUITE 100, AUSTIN, TEXAS 78701 (512) 306-1322 (Phone)	
SITE DEVELOPMENT PLANS WATERLOO PARK TOWER HOTEL 1201 RED RIVER STREET AUSTIN, TEXAS 78701 EXISTING AND PROPOSED DRAINAGE CONDITIONS	
DATE:	
PROJECT:	WATERLOO TOWER
DRAWING'S NAME:	
DESIGN:	RC
CHECKED:	RC
DRAWN:	STAFF
APPROVED:	RC
SHEET:	6 OF 18

NOTE:
FINAL GRADING ALONG RED
RIVER ST. DEPENDS ON THE
FINAL STREET WIDENING AND
RE-ALIGNMENT PLANS BY THE
CITY OF AUSTIN.



SITE LEGEND

---	BOUNDARY LINE
---	EXISTING BOUNDARY
---	EXIST. STORM SEWER
---	EXIST. WASTEWATER
---	EXIST. WATER VALVE
---	EXIST. FIRE HYDRANT
---	EXIST. WOODEN FENCE
---	PROCP. WOODEN FENCE
---	DRIVEWAY EASEMENT
---	PUBLIC UTILITY EASEMENT
---	PROPOSED FENCE
---	ACCESSIBILITY ROUTE

XXX

EXISTING CONTOUR

XXX

PROPOSED CONTOUR

+ ELEV

PROPOSED SPOT ELEVATION

CONTRACTOR WARNING
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SITE PLAN APPROVAL Sheet **7** of **18**

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON:
under Section **112** of Chapter **25-5** of the Austin City Code.
EXPIRATION DATE (25-5-81.LDC):
CASE MANAGER: **DONNA GALATI**
ZONING: **CBD - CENTRAL BUILDING DISTRICT**
PROJECT EXPIRATION DATE: _____ DWPZ _____ DDZ _____
(ORD.#970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

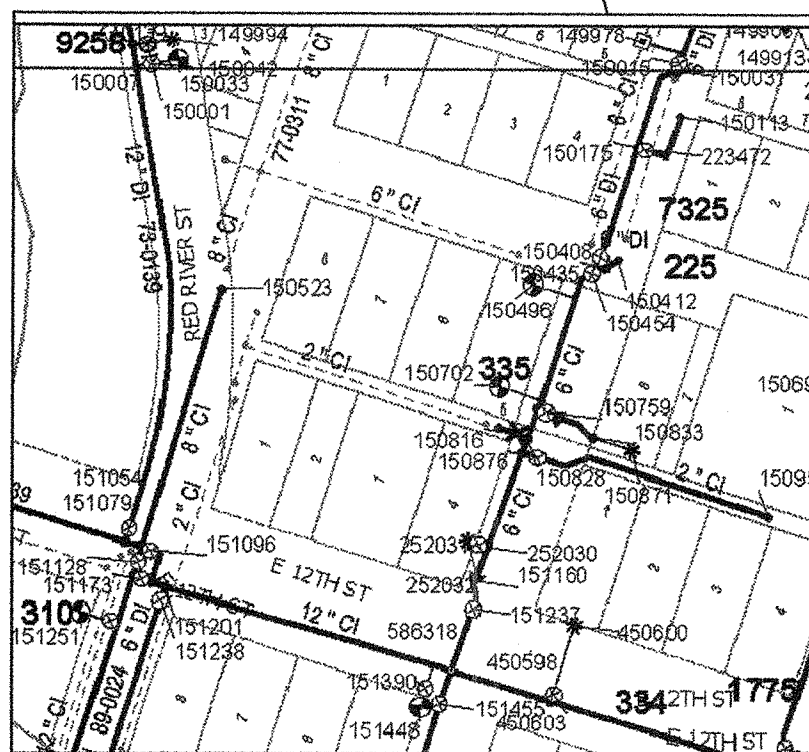
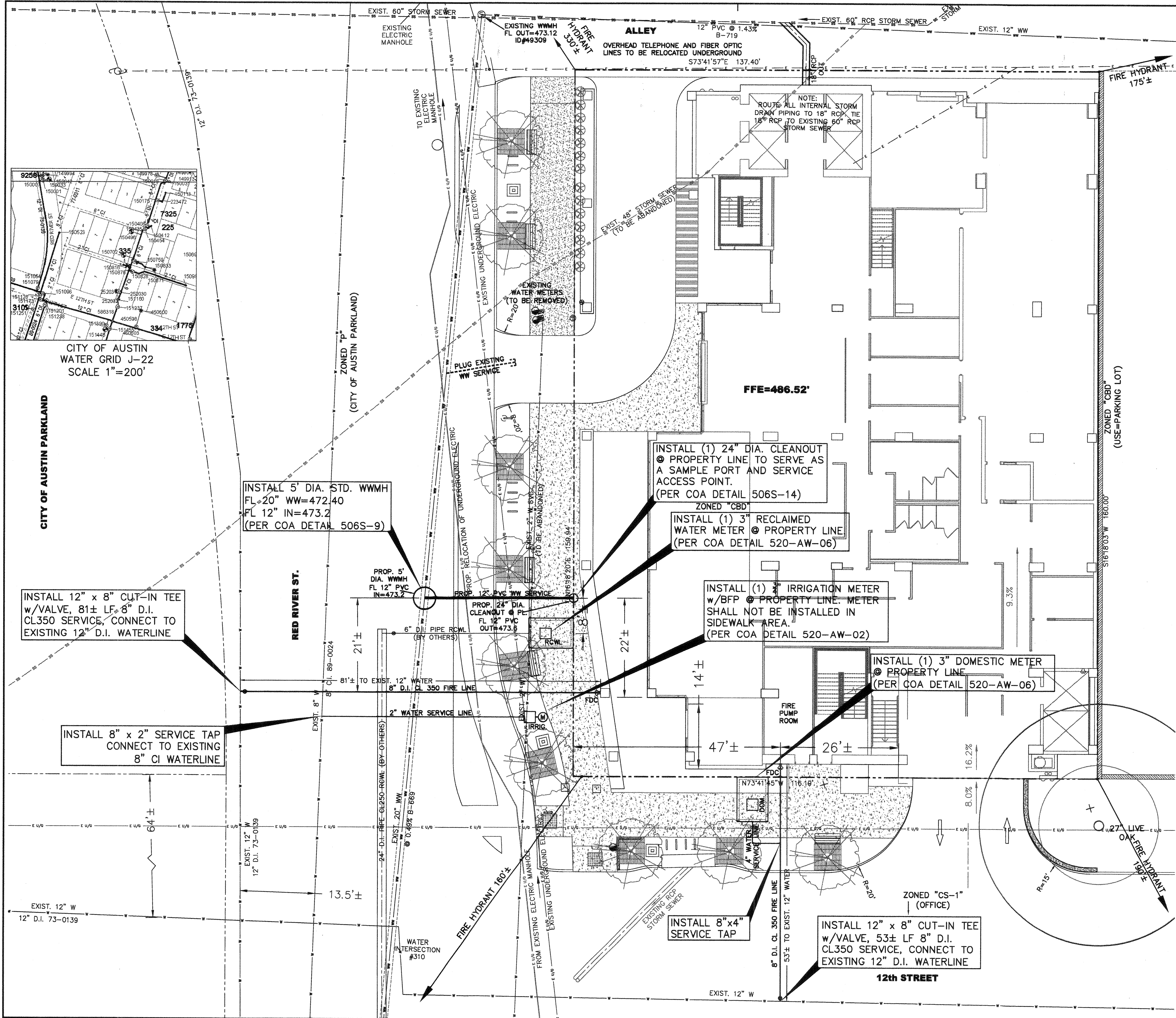
DATE: _____
BY: _____
DESCRIPTION: _____
REVISION: _____

Cedillos & Company
Civil/Environmental Consulting Engineers
P.O. BOX 80082 - Austin, Texas 78763
(512) 306-1322 (Phone)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

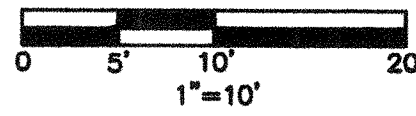
GRADING PLAN

DATE: _____
PROJECT: **WATERLOO TOWER**
DRAWING'S NAME: _____
DESIGN: _____ CHECKED: _____
DRAWN: _____ APPROVED: _____
STAFF _____ RC
SHEET: **7** OF **18**



SITE LEGEND

- BOUNDARY LINE
- EXISTING BOUNDARY
- EXISTING CONTOUR
- EXIST. STORM SEWER INVOLE
- EXIST. WATER MAIN
- EXIST. FIRE HYDRANT
- EXIST. WOODEN FENCE
- PROP. INDOOR SPACE
- EXIST. ELEVATION
- PROPOSED FENCE
- ACCESSORY ROUTE



BUILDING AREA (GROSS):	282,318 SF
BUILDING TYPE:	1A (HIGH RISE - 33 LEVELS)
FIRE FLOW DEMAND PER IFC:	1,500 GPM
FIRE FLOW W/SPRINKLER:	7,193 GPM
AVAILABLE FIRE FLOW:	85 PSI
STATIC PRESSURE:	CENTRAL
PRESSURE ZONE:	BUILDING TO HAVE SPRINKLER SYSTEM

CONTRACTOR WARNING

THE CONTRACTOR IS SPECIFICALLY CHARGED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED ENTIRELY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

SITE PLAN APPROVAL Sheet **8** of **18**

FILE NUMBER: **SP-2016-0106C** APPLICATION DATE: **FEB. 29, 2016**

APPROVED BY COMMISSION ON: _____

under Section **112** of Chapter **25-5** of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: **DONNA GALATI**

ZONING: **CBD - CENTRAL BUILDING DISTRICT**

PROJECT EXPIRATION DATE: _____ DWPZ _____ DOZ _____

(ORD.#970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

DATE: _____ BY: _____

DESCRIPTION: _____

REVISION: _____

Cedillos & Company
Civil/Environmental Consulting Engineers
1902 FM 6609, Suite 100, Austin, Texas 78752
P.O. Box 50282 - Austin, Texas 78763
(512) 385-1322 (Phone)

SITE DEVELOPMENT PLANS
WATERLOO PARK TOWER HOTEL
1201 RED RIVER STREET
AUSTIN, TEXAS 78701

UTILITY PLAN

DATE: _____

PROJECT: **WATERLOO TOWER**

DRAWING'S NAME: _____

DESIGN: **RC** CHECKED: **RC**

DRAWN: **STAFF** APPROVED: **RC**

SHEET: **8** OF **18**

NOTES:

1. SILT FENCE TYPE AND INSTALLATION SHALL COMPLY WITH ECM FIGURE 1.4.2.G.4 SHOWING J-HOOKS..
2. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
3. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(D), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
4. TREES WILL BE FERTILIZED PRIOR TO ANY CONSTRUCTION ACTIVITY. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (974-1876) PRIOR TO APPLICATION.
5. THE GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND ENSURE COORDINATION WITH THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST, WATERSHED PROTECTION, P.O. BOX 1088, AUSTIN, TEXAS 78767.
6. ALL CLASS 1 TREES WITHIN (OR ADJACENT TO) THE LIMITS OF CONSTRUCTION WHICH ARE INDICATED TO BE PRESERVED (ON THE PLANS) WILL BE FERTILIZED PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE FERTILIZED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF A TREE AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE FERTILIZED VIA SOIL INJECTION METHOD (MINIMUM 100 PSI), USING DOGETT X-L INJECTO 32-7-7 OR EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION THAT WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIAL AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST.
7. SPECIAL CONSTRUCTION TECHNIQUES

PRIOR TO EXCAVATION WITHIN TREE DRIP LINES, OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE, TO MINIMIZE SOIL COMPACTION.

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.

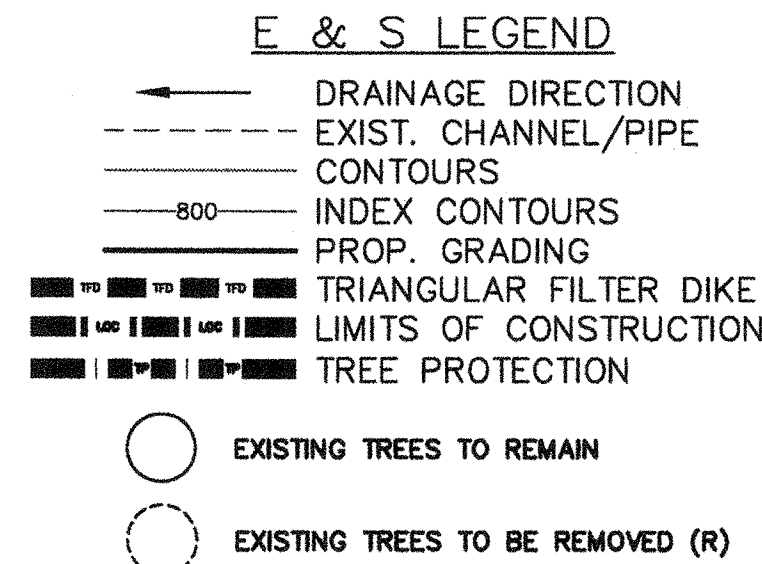
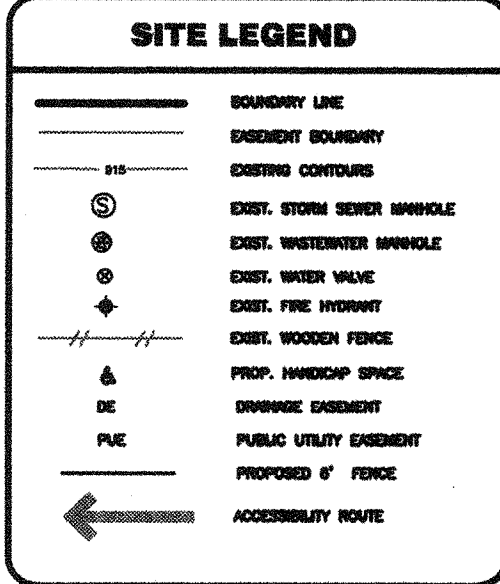
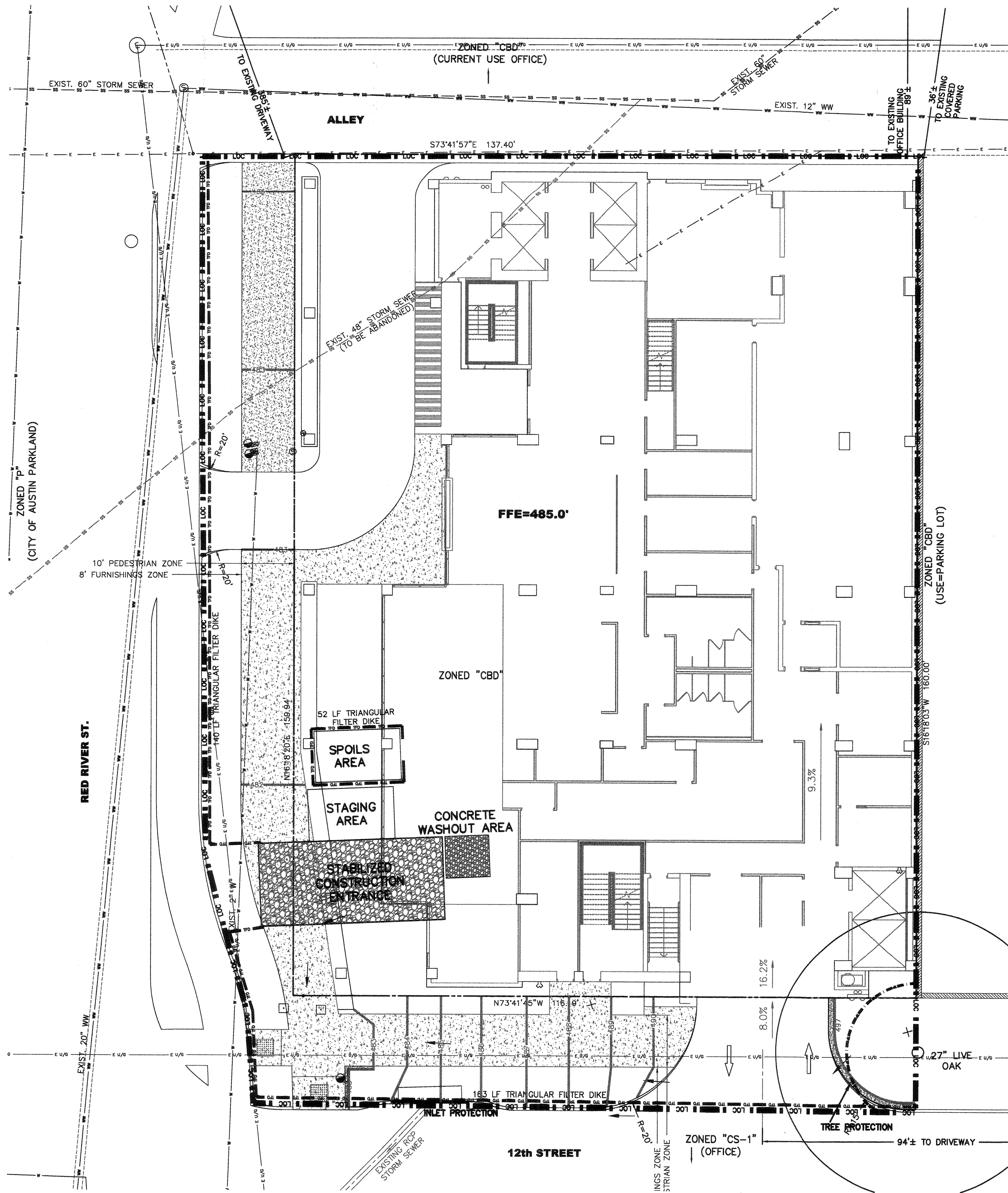
WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

8. IF THE DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. (ECM 1.4.4.B.3, SECTION 5.1).

ESC SUMMARY				
LOC	SCE	TRIANGULAR FILTER DIKE	INLET PROT.	RE-VEG.
24,170 SF	1	355 LF	10 LF	10 SY

NOTE:
THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.

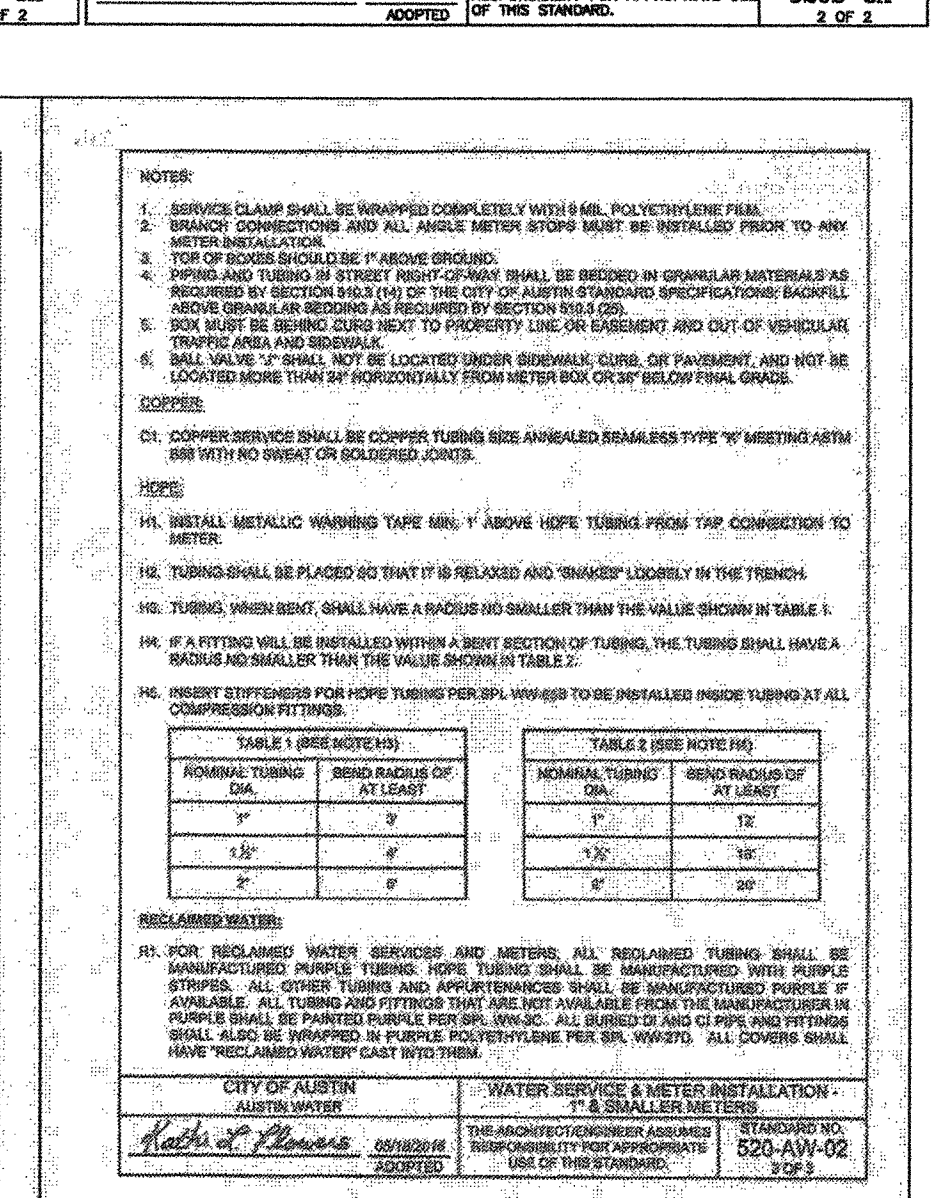
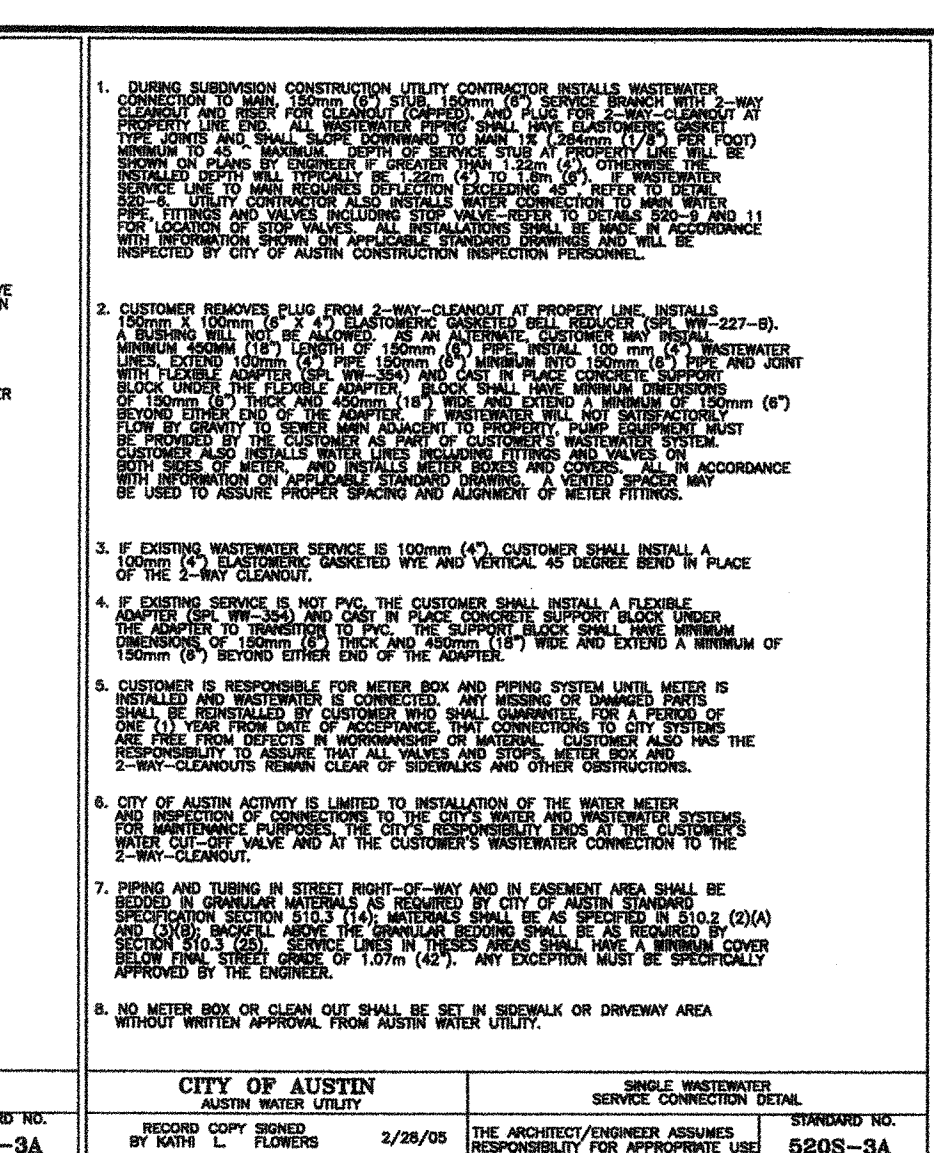


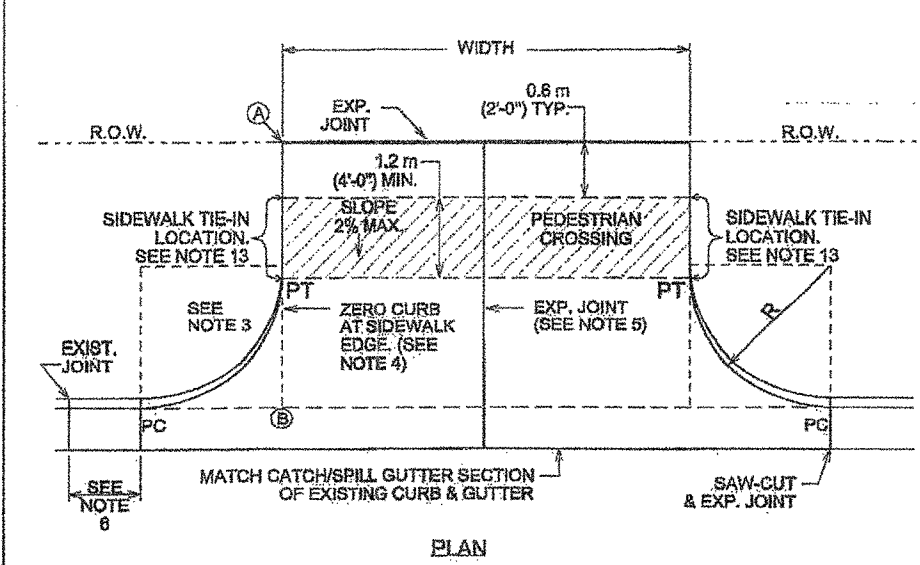
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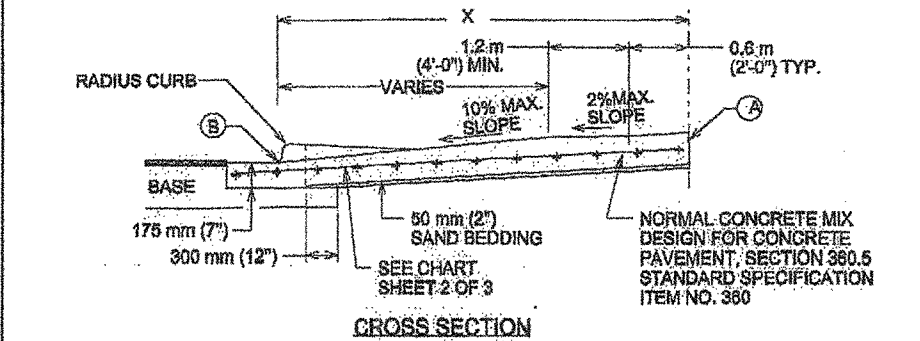
SITE PLAN APPROVAL		Sheet 9 of 18
FILE NUMBER: SP-2016-0106C , APPLICATION DATE: FEB. 29, 2016		
APPROVED BY COMMISSION ON: _____		
under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE (25-5-81.LDC): _____		
CASE MANAGER: DONNA GALATI		
ZONING: CBD - CENTRAL BUILDING DISTRICT		
PROJECT EXPIRATION DATE: _____ DDZ _____		
(ORD.#970905-A): _____		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
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SP-2016-0106C		

DATE:	
BY:	
DESCRIPTION:	
REVISION:	
Cedillos & Company Civil/Environmental Consulting Engineers P.O. BOX 1088, AUSTIN, TEXAS 78767 (512) 306-1322 (Home)	
SITE DEVELOPMENT PLANS WATERLOO PARK TOWER HOTEL 1201 RED RIVER STREET AUSTIN, TEXAS 78701	
EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION PLAN	

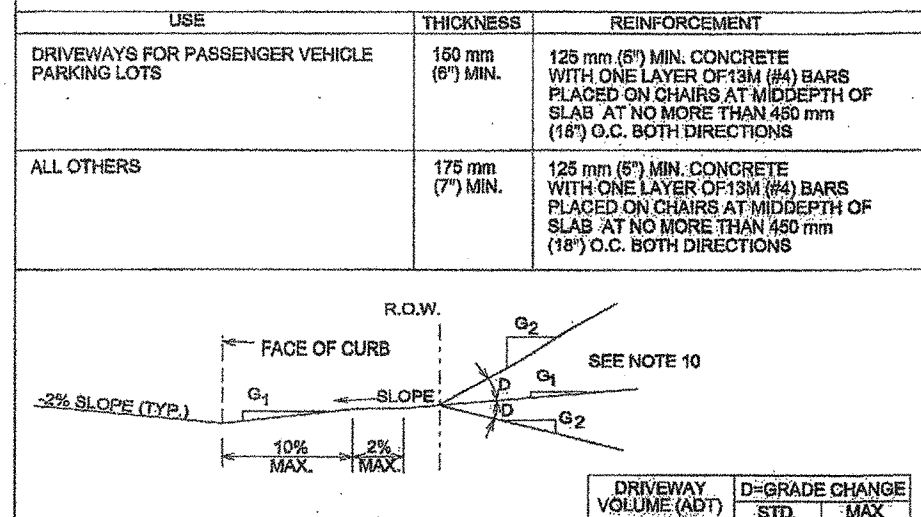




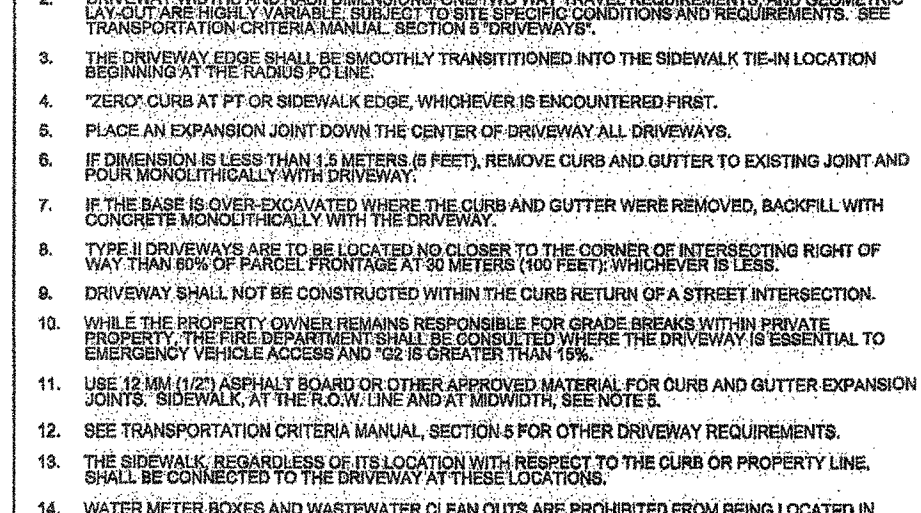
NOTE: ALL DRIVEWAYS SHALL BE SLOPED TOWARDS THE STREET FROM THE R.O.W. LINE. ELEVATION OF POINT (ABOVE POINT) IS TYPICALLY A MINIMUM OF 150 mm (6") PLUS 20 mm (3/4") OVER DISTANCE 'X' IN METERS (FEET).



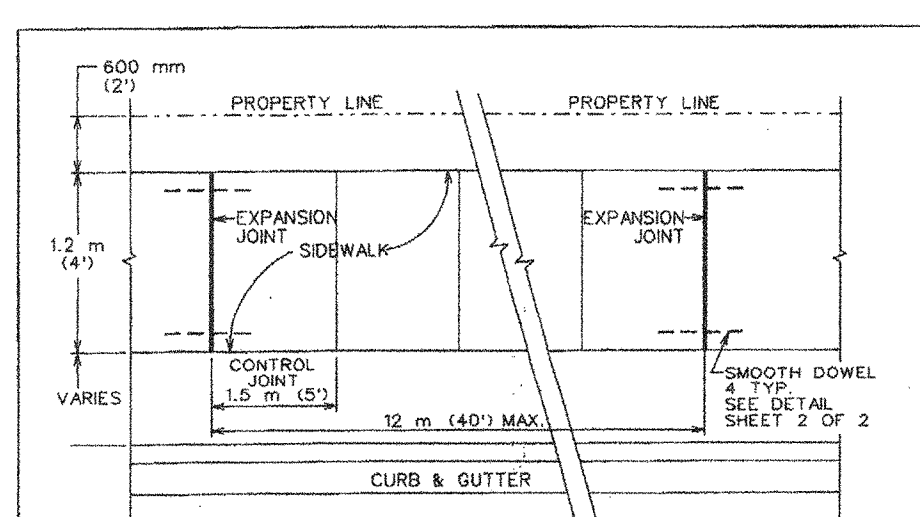
CITY OF AUSTIN
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BY: *Bill Anderson* 3/26/16
THE ARCHITECT/ENGINEER ASSUMES
RESPONSIBILITY FOR APPROPRIATE USE
OF THIS STANDARD.
STANDARD NO.
433S-2
1 OF 2



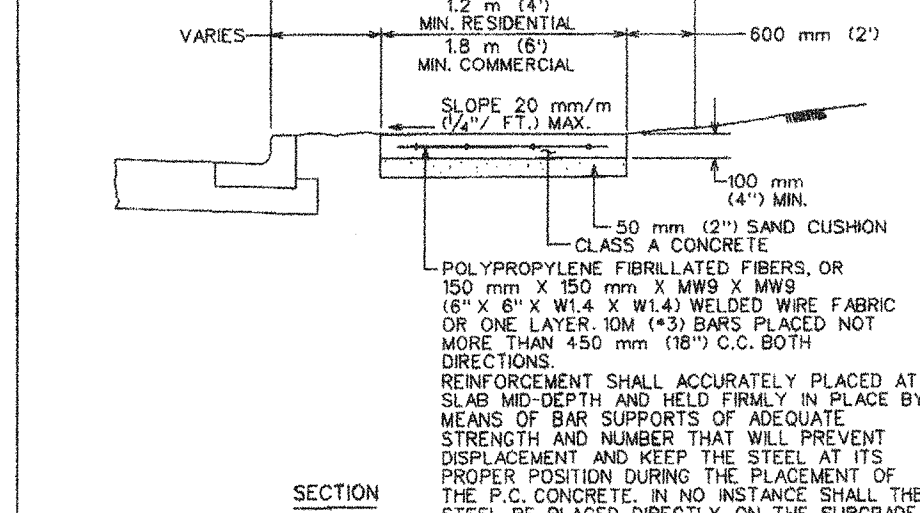
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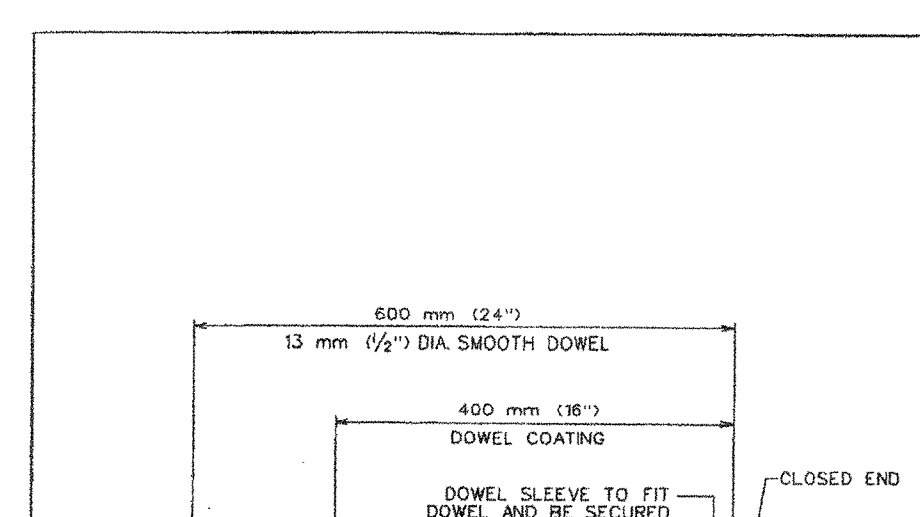
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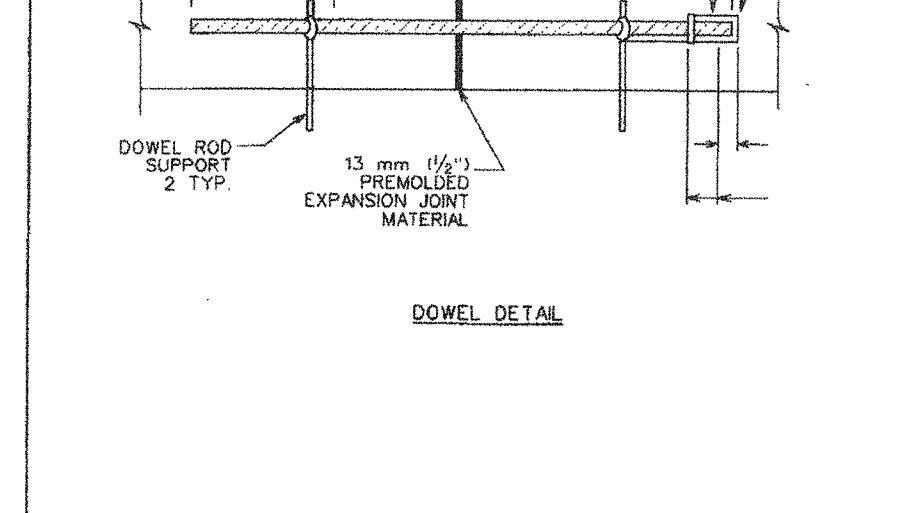
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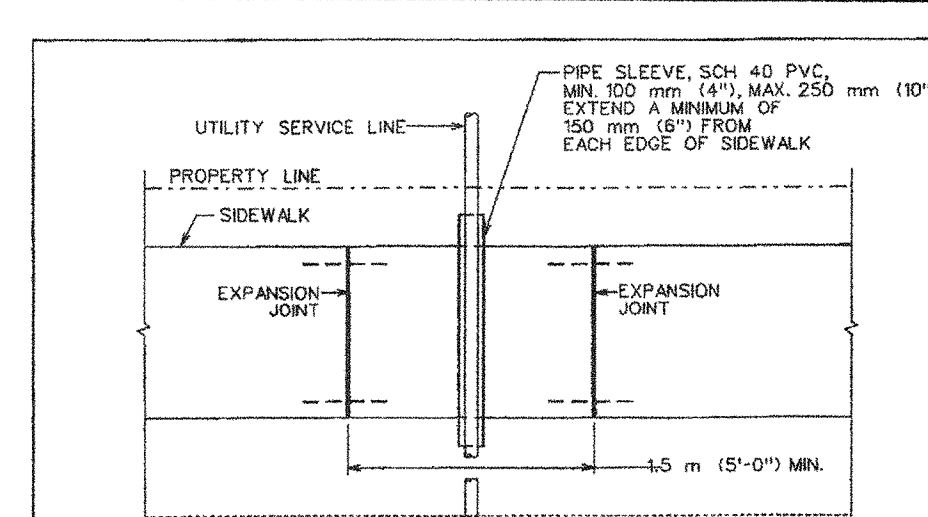
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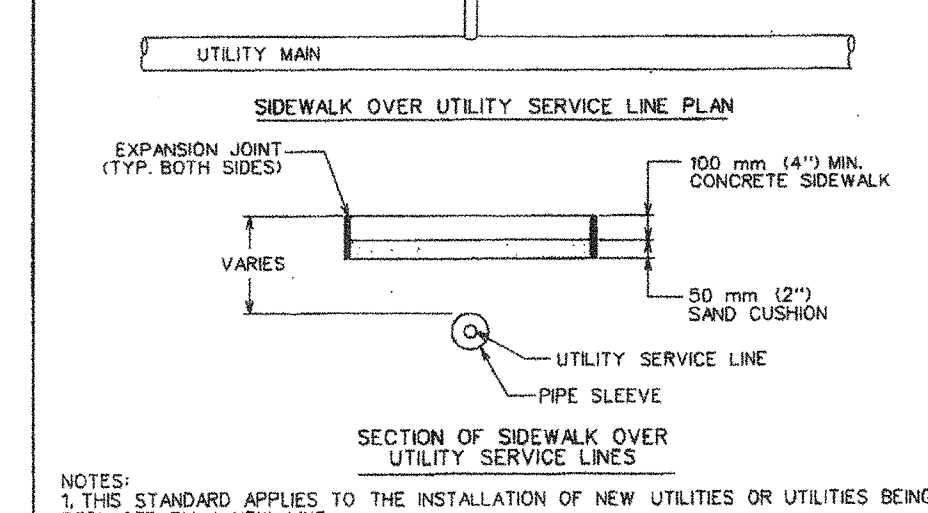
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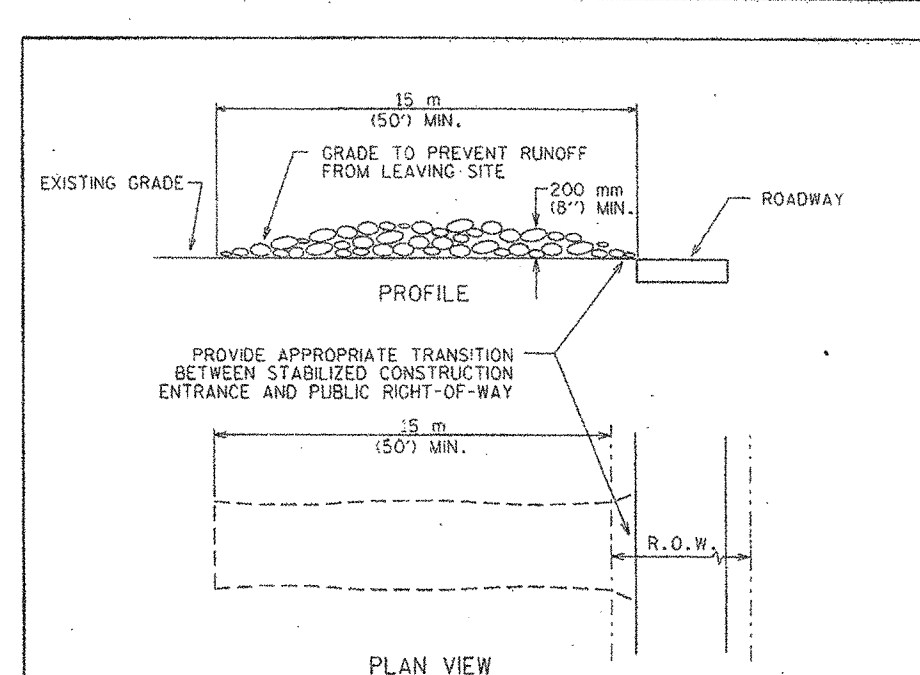
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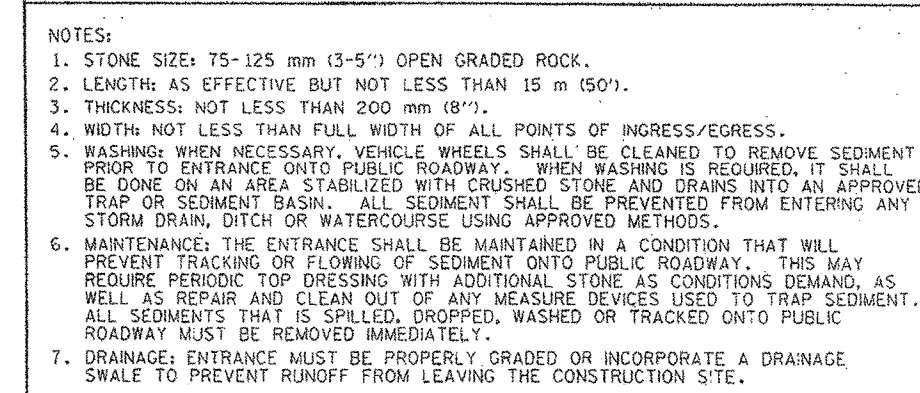
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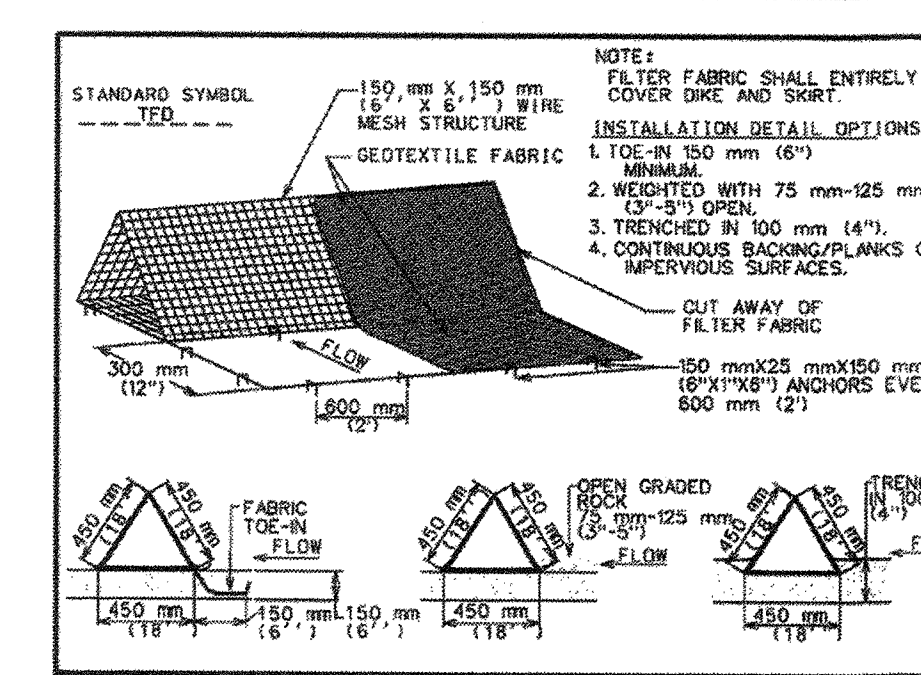
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STANDARD NO.
432S-1
3 OF 3



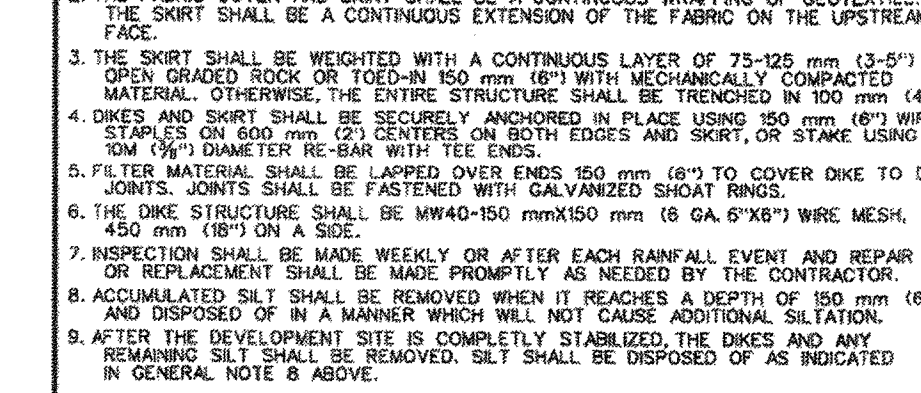
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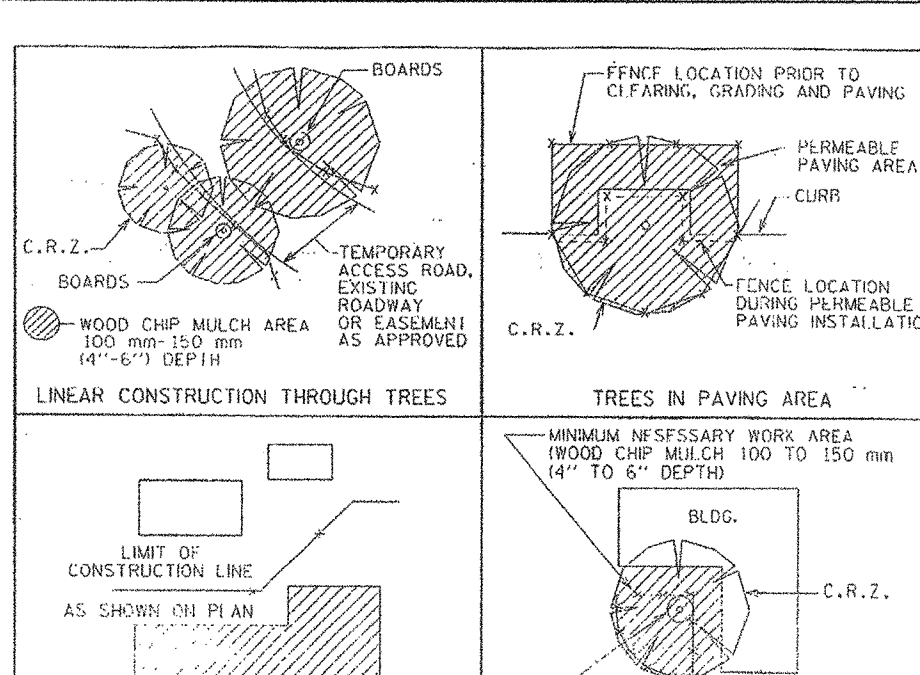
CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
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STANDARD NO.
641S-1



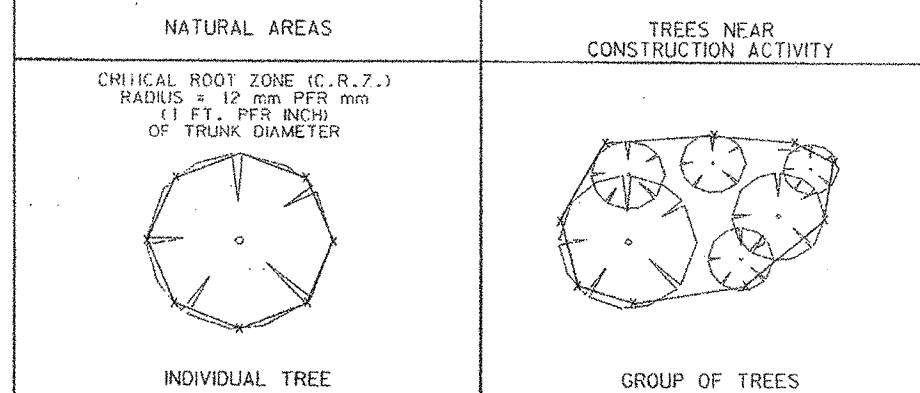
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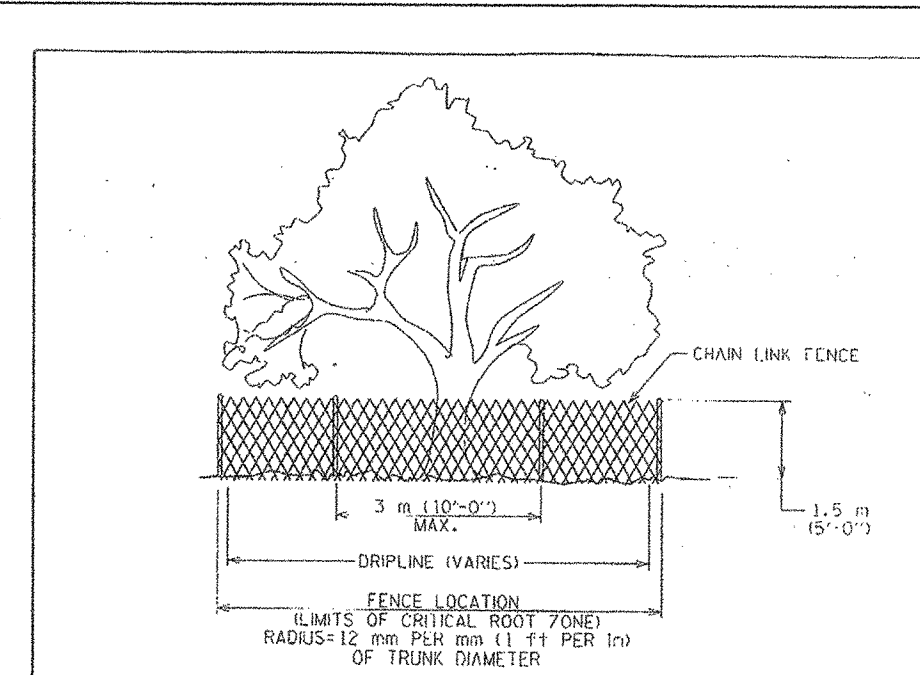
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628S



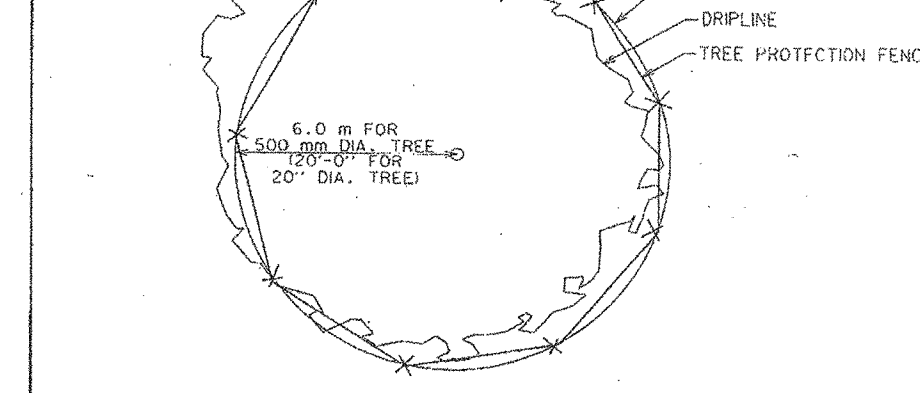
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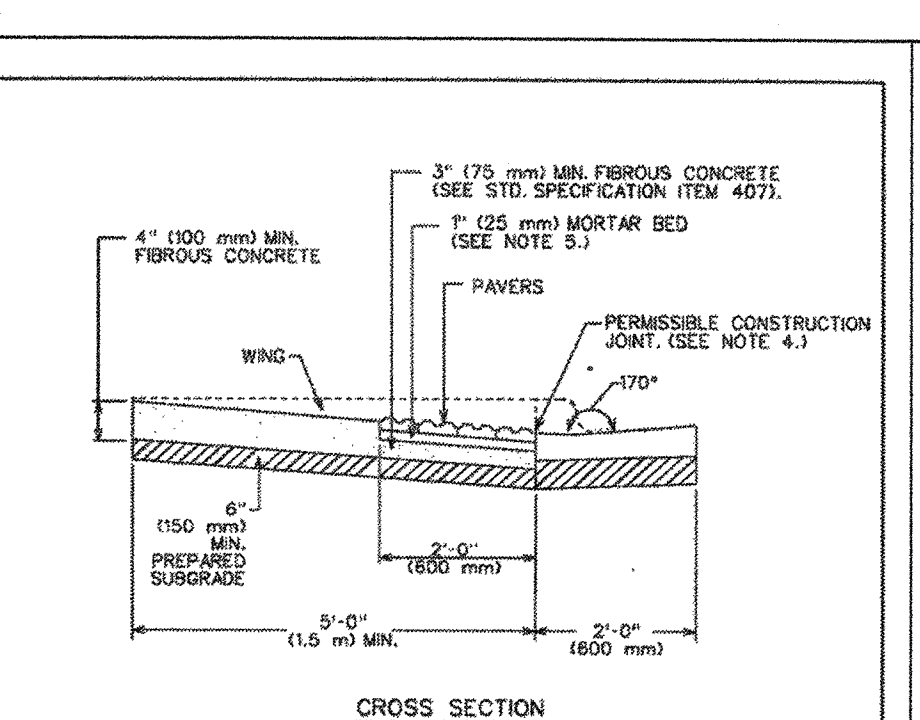
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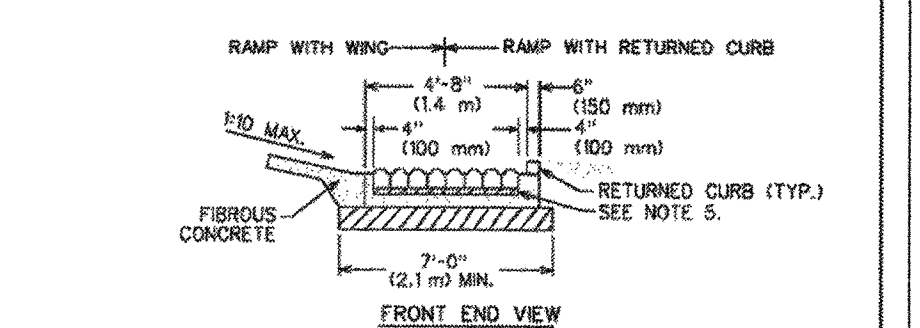
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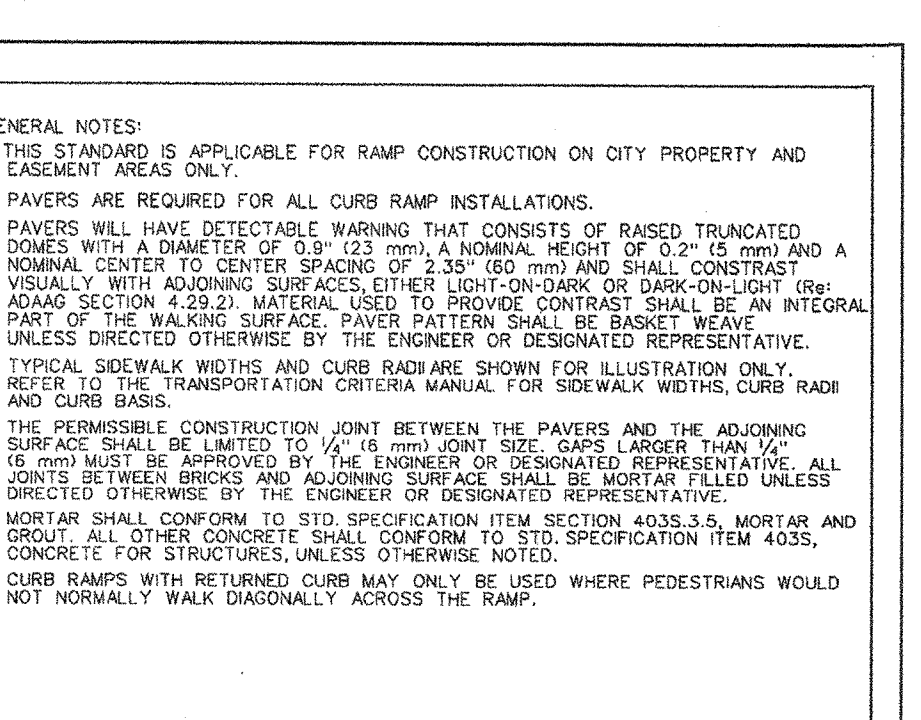
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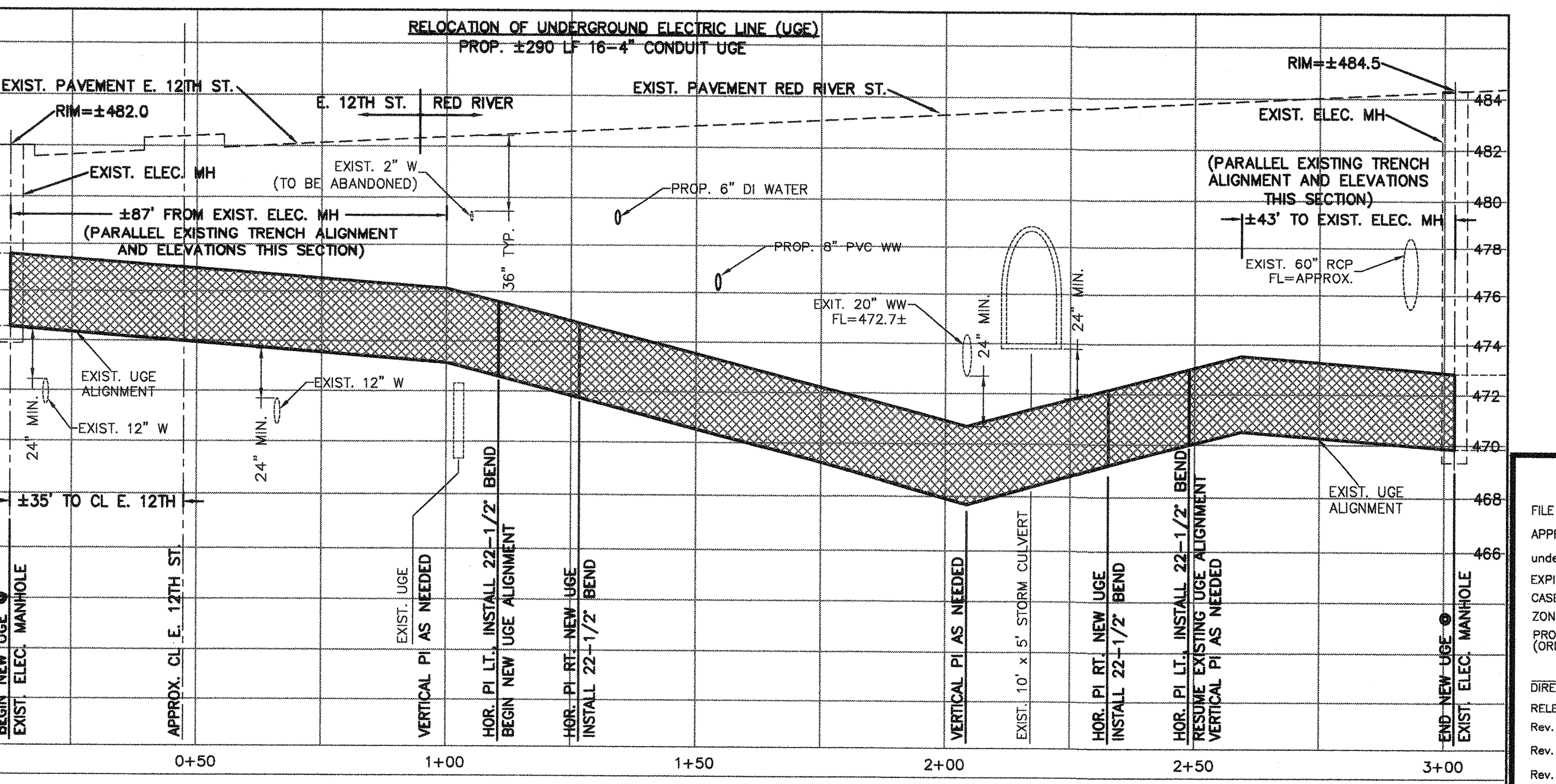
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432S-2A
1 OF 2



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CITY OF AUSTIN
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432S-2A
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RED RIVER ST. PROFILE
SCALE APPROX. 1"=20' HOR., 1"=4' VERT.

SITE PLAN APPROVAL Sheet 11 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: _____

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81.LDC): _____

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DDZ _____

(ORD.#970905-A): _____

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: _____ Zoning: _____

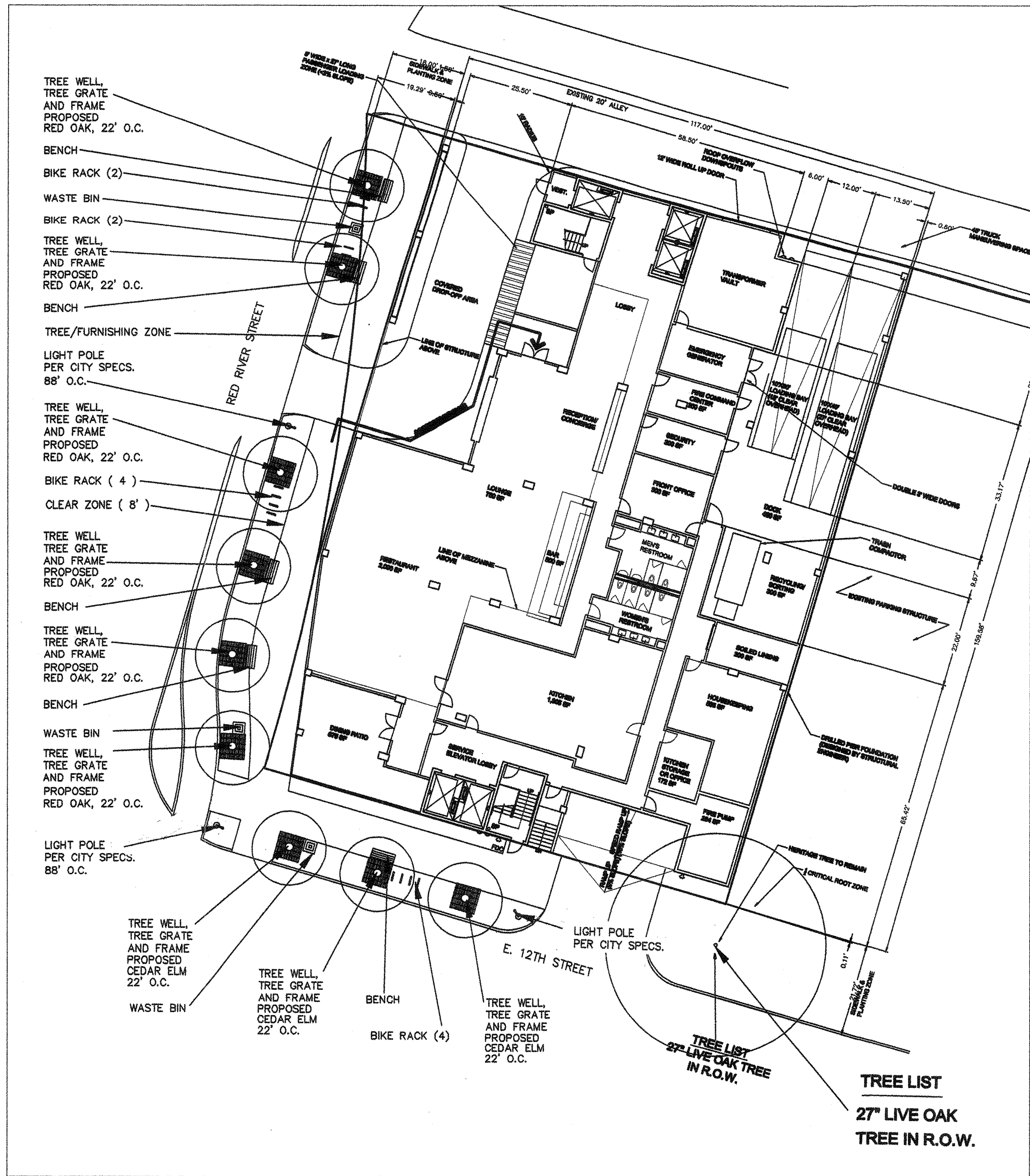
Rev. 1 _____ Correction 1 _____

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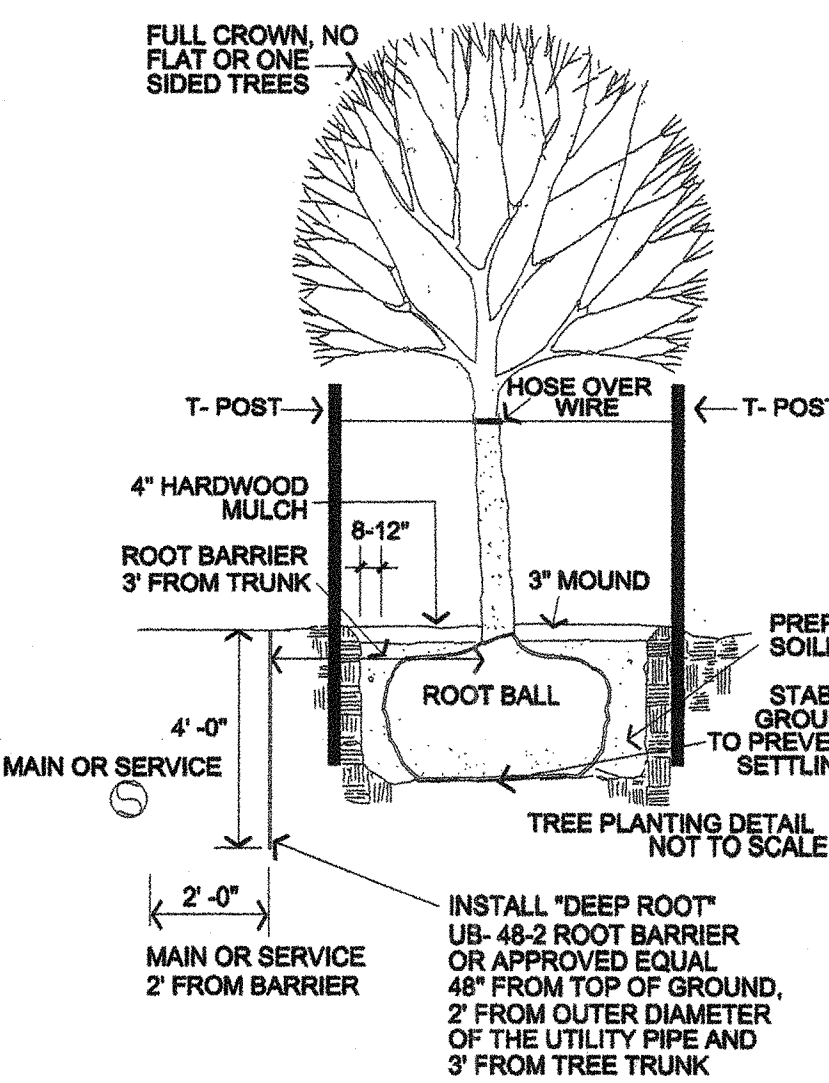


- CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION**
- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
 - TREE PROTECTION FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
 - TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
 - EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
 - FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES, WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE). FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
 - WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
 - EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - WHERE THERE IS TO BE A GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
 - WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
 - WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
 - WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1878 TO DISCUSS THE ALTERNATIVES.

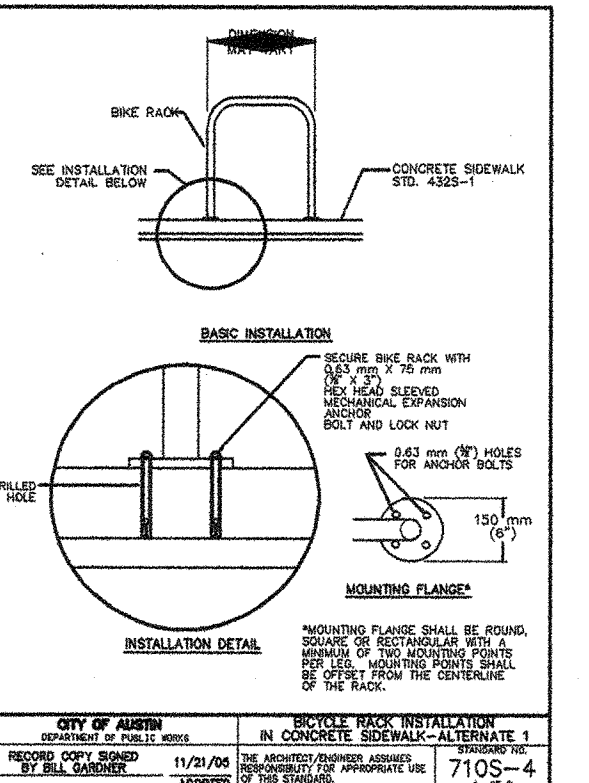
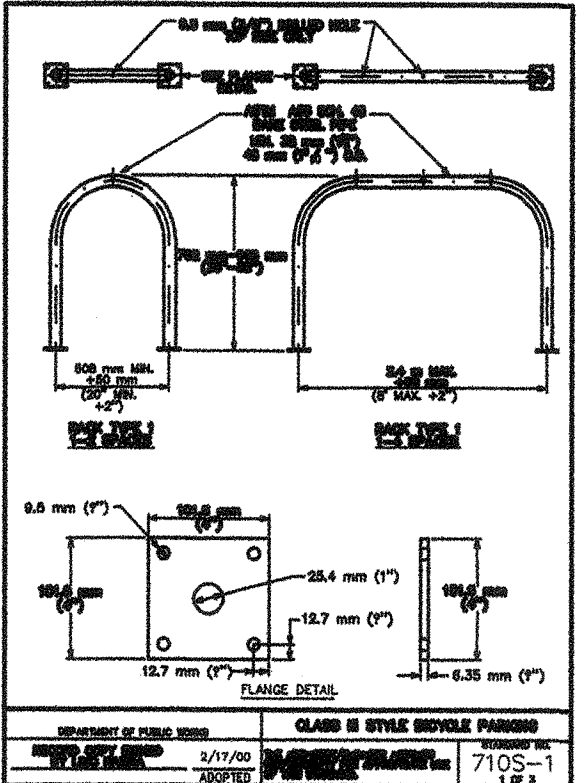
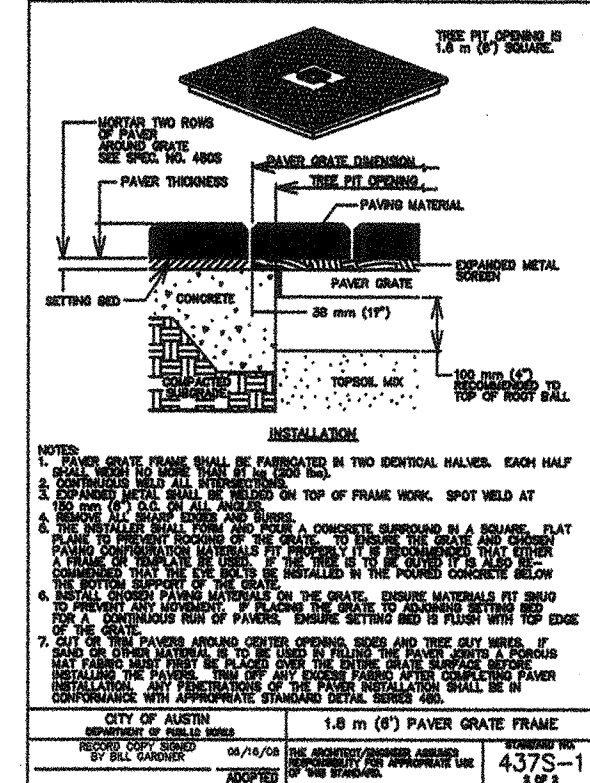
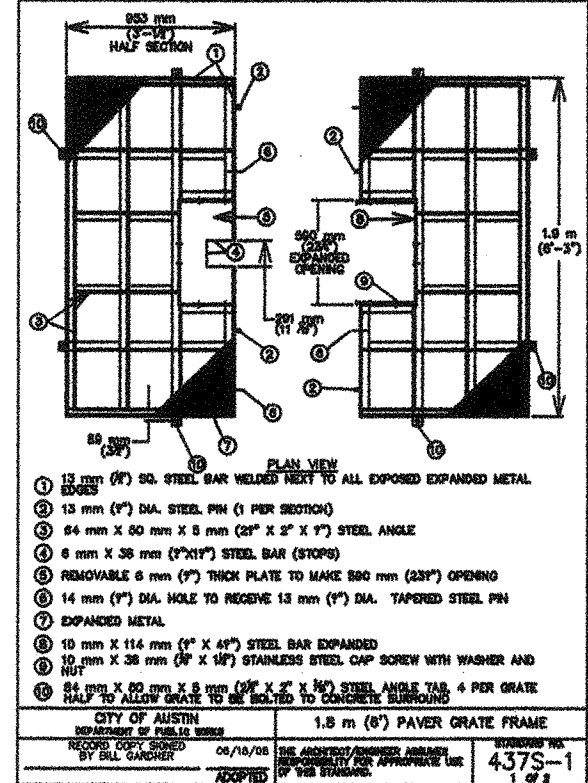
- SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.**
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING OTHER THAN 4 FEET TO 6 FEET TO TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
 - TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
 - ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
 - ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
 - NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
 - PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).
 - ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFER THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).
 - DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

TREE LIST
27' LIVE OAK
TREE IN R.O.W.

SCALE: 1" = 20'



- LANDSCAPE NOTES**
- ADEQUATE BARRIERS BETWEEN ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, SUCH AS A 6" CONCRETE CURB ARE REQUIRED. IF A STANDARD 6" CURB AND GUTTER ARE NOT PROVIDED FOR ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, COMPLY WITH EOM, SECTION 2.4.7, "PROTECTION OF LANDSCAPE AREAS."
 - IRRIGATION SHALL BE BY AUTOMATIC SYSTEM WITH SHRUB AND TURF AREAS ON SEPARATE VALVE SECTIONS TO MEET G.O.A. GUIDELINES.
 - ALL LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED AND REPLACED AS NECESSARY BY THE OWNER IN ACCORDANCE WITH LDC SECTION 25-2-98.4.
 - ALL MECHANICAL EQUIPMENT, STORAGE AREAS, DETENTION AND REFUSE COLLECTION AREAS SHALL BE SCREENED BY PLANT MATERIAL OR A SIX (6') FOOT PRIVACY FENCE.
 - SHRUB AND TREE BEDS SHALL BE COVERED WITH AN ORGANIC BARK MULCH TO A DEPTH OF THREE (3") INCHES.
 - ALL PLANTING AREAS FOR REQUIRED LANDSCAPING SHALL CONTAIN A MINIMUM OF EIGHT (8') FEET OF SOIL AREA.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED TO MEET CITY OF AUSTIN STANDARDS.
 - THIS PLAN IS FOR SUBMITTAL TO THE CITY OF AUSTIN TO COMPLY WITH CHAP. 25-2, ART. 9, DIV. 1 OF THE LAND DEV. CODE AND IS NOT INTENDED TO BE A CONTRACTOR'S BID DOCUMENT OR LANDSCAPE WORKING DRAWINGS.
 - IF ESTABLISHING VEGETATION DURING ANY STAGE OF A DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT WATERUSECOMP@AUSTIN.TX.GOV OR CALL 512-974-2199.
 - ANY CHANGES IN PLANT SPECIES, QUANTITY OR LOCATION OF PLANT MATERIAL MAY RESULT IN NON-ACCEPTANCE OF THIS PROJECT BY THE CITY INSPECTORS.
 - NO SITE FURNISHINGS (BENCHES, BIKE RACKS ETC.) SHALL BE PLACED OVER THE UNDERGROUND ELECTRIC.



- APPENDIX F**
ARBORIST'S OVERALL TREE CALCULATIONS
- TOTAL NUMBER OF APPENDIX F CALIPER INCHES ON SITE = 0"
TOTAL NUMBER OF APPENDIX F CALIPER INCHES REMOVED = 0"
TOTAL NUMBER OF APPENDIX F CALIPER INCHES SAVED = 0"
TOTAL NEW OF CALIPER INCHES REPLACED = 0"
TOTAL NEW OF CALIPER INCHES PROPOSED = 45"
TOTAL CALIPER INCHES INVASIVE TREES REMOVED = 0"
TOTAL CALIPER INCHES NON APPENDIX F TREES REMOVED = 0"

SITE PLAN APPROVAL Sheet 12 of 18

FILE NUMBER: SP-2016-0105C APPLICATION DATE: FEB. 29, 2016

APPROVED BY COMMISSION ON: 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81, LDC):

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DDZ

(ORD. #970905-A)

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

RELEASED FOR GENERAL COMPLIANCE: Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0105C

CONTRACTOR WARNING

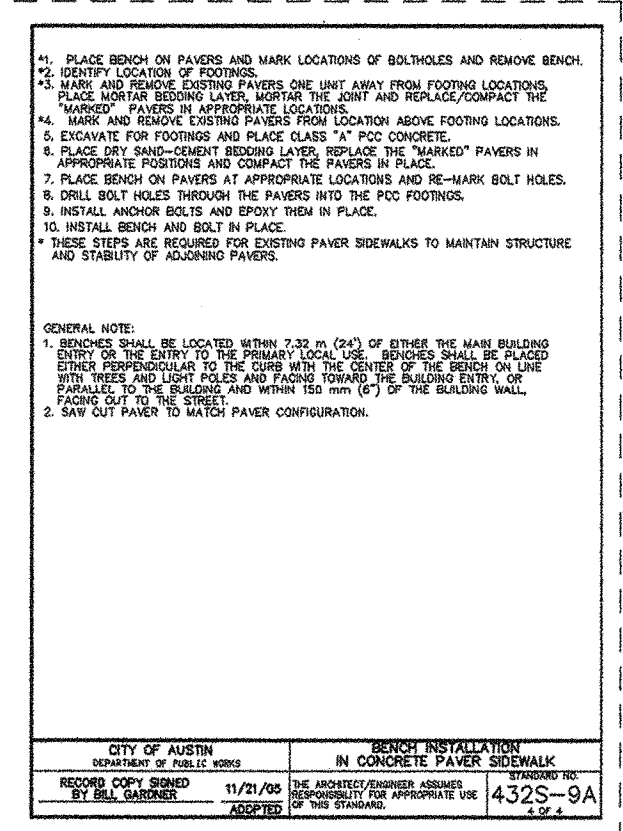
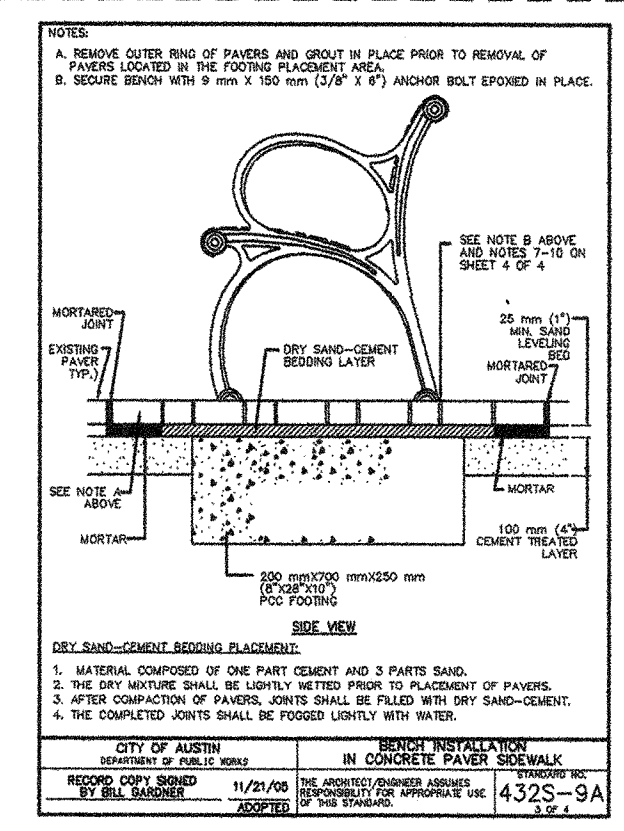
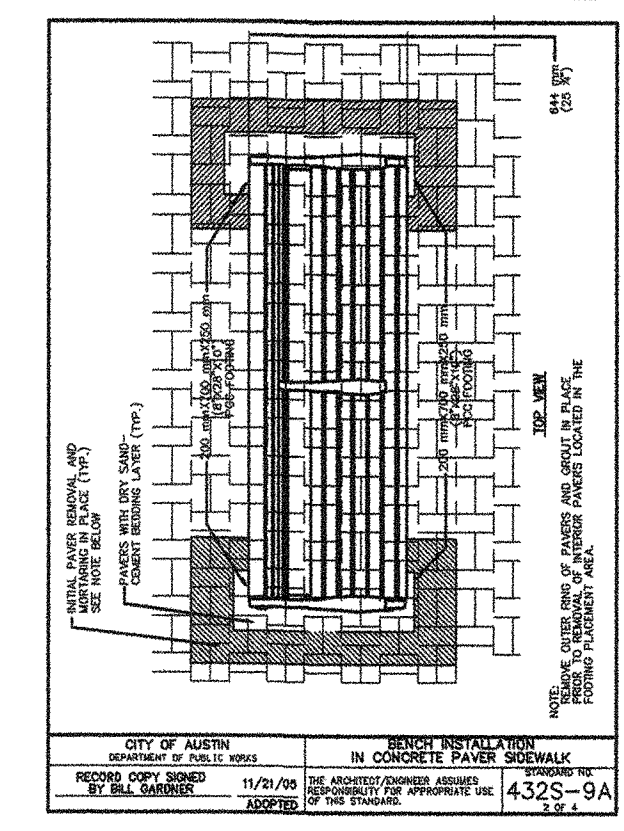
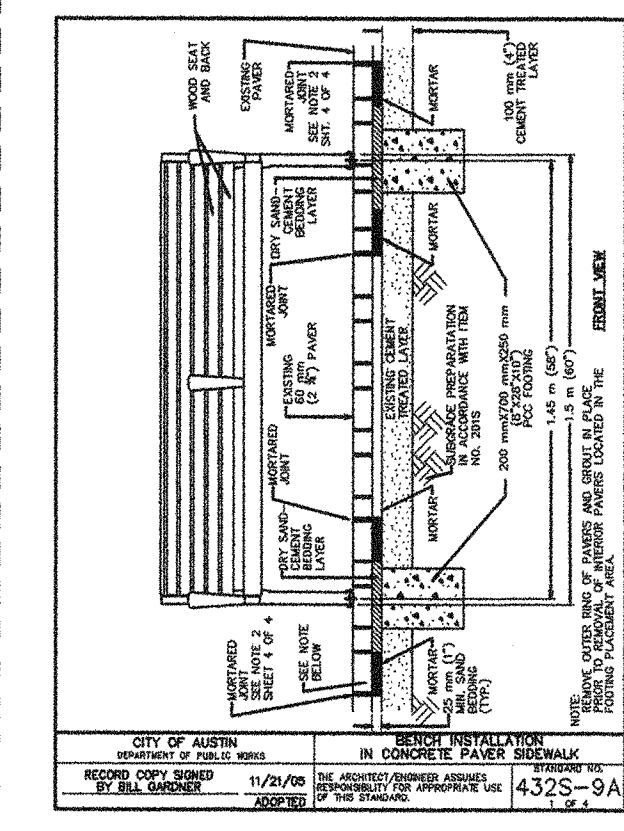
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED PARTIALLY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ADJUSTED. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ALLOW THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

I, THOMAS D. BROWN, A REGISTERED LANDSCAPE ARCHITECT, CERTIFY THAT THESE PLANS MEET THE REQUIREMENTS OF CHAP. 25-2, ART. 9, DIV. 1 OF THE LAND DEVELOPMENT CODE.

NOTE: SITE FURNISHINGS ARE SHOWN TO MEET G.O.A. REQUIREMENTS, ALL LOCATIONS OF THESE FURNISHINGS SHALL BE APPROVED BY THE CITY OF AUSTIN AS NOT TO CONFLICT WITH ELEC. UTILITIES AND OTHER UNSUITABLE ELEMENTS.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ARCHITECT AND ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ARCHITECT AND ENGINEER.

- NEW COMMERCIAL AND MULTI-FAMILY LANDSCAPE IRRIGATION**
- A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:
 - THERE IS NOT DIRECT OVERSPRAY ONTO NON-IRRIGATED AREAS;
 - THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS);
 - ABOVE-GROUND IRRIGATION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES;
 - THE IRRIGATION SYSTEM HAS A MASTER VALVE;
 - SCOUR REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS;
 - SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE;
 - THE IRRIGATION SYSTEM HAS A CITY-APPROVED WEATHER-BASED CONTROLLER;
 - AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL;
 - ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS;
 - AN IRRIGATION EMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMISSION) DOES NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE; AND
 - NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S RECOMMENDED USE OF THE PRODUCT.
 - THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESSURE.
 - THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE: (1) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND (2) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.
 - THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITY DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION (1) WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.
 - THE IRRIGATION SHALL COMPLY WITH CITY CODE CHAPTER 6-4, ART. 2, DIVISION 2, REGARDING THE CITY'S WATER CONSERVATION RESTRICTIONS.



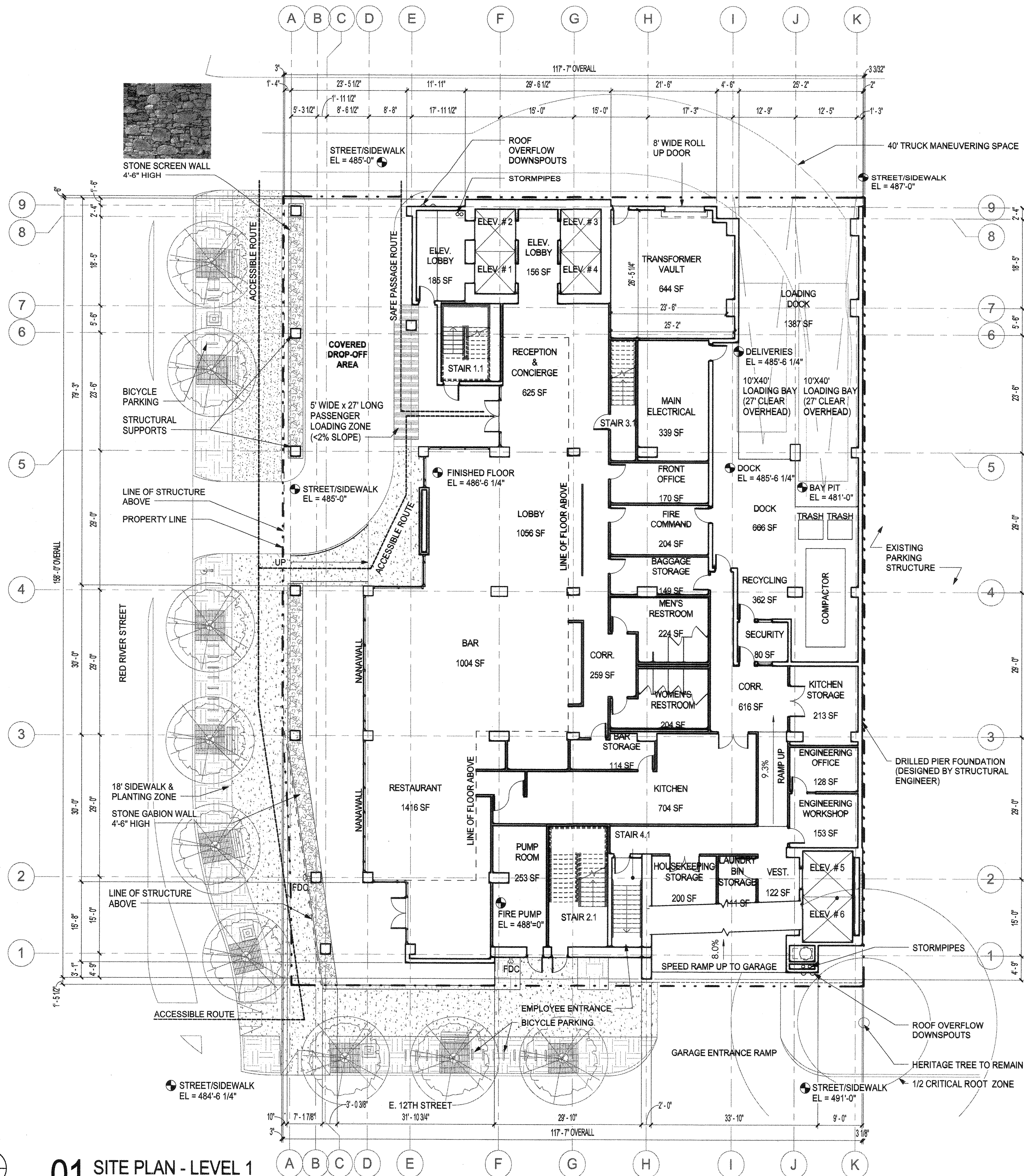
- PLANT LIST**
- STREET TREES - RED RIVER STREET**
- KEY: 6 TREE / CALIPER IN. HT.
- 6 8' CAL. RED OAK, 14' HT., MML
- STREET TREES - 12TH STREET**
- KEY: 6 TREE / CALIPER IN. HT.
- 6 8' CAL. CEDAR ELM, 14' HT., MML

THOMAS D. BROWN & ASSOCIATES
2000 PEARSON DRIVE
AUSTIN, TEXAS 78701
512-974-2199

WATERLOO TOWER
1201 RED RIVER STREET
AUSTIN, TEXAS 78701
GREAT STREETS LANDSCAPE PLAN

DATE: _____
BY: _____
REVISION: _____
PROJECT: WATERLOO TOWER
DRAWING'S NAME: LANDSCAPE PLAN
DESIGN: _____ CHECKED: _____
DRAWN: _____ APPROVED: _____
SHEET: 12 OF 18

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SITE PLAN GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR GRADING AND SITE UTILITIES.
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTSCAPE & SITE AMENITY FEATURE ELEMENTS.
3. EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY."
4. SCREENING FOR COVERED DROP-OFF AREA SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
5. BICYCLE PARKING COMPLAINT WITH LDC APPENDIX A (REF. LANDSCAPE)
6. ALL PARKING SURFACES SHALL HAVE A SEALED CONCRETE FINISH.

SITE PLAN LEGEND

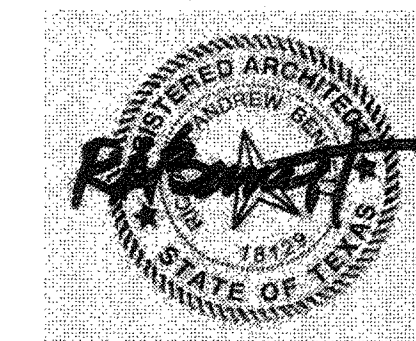
- ACCESSIBLE ROUTE
- PROPERTY LINE
- PLANTERS
- GABION WALL
- SIDEWALK

BUILDING DATA

Floor Level	Assumed Floor Elevation	Floor to Floor	Parking Count	Hotel Rooms Area	Hotel Rooms Units	Condo Units	Common Area	Restaurant / Bar	Ballroom / Meeting	Circulation Area	Vertical Circulation	Parking Area	Gross Building Area
T.O. Parapet	854.69	0						1,367		297	0		1,664
Roof	848.69	6							2,500	1,154	479		3,654
Level 33 Roof Deck Mezz.	842.69	17						436	3,746				7,096
Level 32 Roof Deck	825.69	14.5											11,775
Level 31 Condos	811.19	15.67		8,830	0	4	891			2,054	479		12,063
Level 30 Condos	791.52	14.0		8,830	0	8	891			2,054	479		11,775
Level 29 Condos	772.52	12.0		8,830	0	8	891			2,054	479		12,063
Level 28 Condos	753.52	15.0		8,830	17	0	891			2,054	479		11,775
Level 27 Hotel	733.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 26 Hotel	718.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 25 Hotel	708.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 24 Hotel	698.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 23 Hotel	688.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 22 Hotel	678.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 21 Hotel	668.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 20 Hotel	658.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 19 Hotel	648.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 18 Hotel	638.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 17 Hotel	628.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 16 Hotel	618.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 15 Hotel	608.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 14 Hotel	598.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 13 Amenity Deck	588.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 12 Ballroom Mezzanine	578.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 11 Ballroom	568.52	10.0		8,830	17	0	891			2,054	479		11,775
Level 10 Parking	558.52	9.0	42									479	17,635
Level 9 Parking	548.52	9.0	42									479	17,635
Level 8 Parking	538.52	9.0	42									479	17,635
Level 7 Parking	528.52	9.0	42									479	17,635
Level 6 Parking	518.52	9.0	42									479	17,635
Level 5 Parking	508.52	9.0	42									479	17,635
Level 4 Parking	498.52	9.0	42									479	17,635
Level 3 Parking	488.52	9.0	42									479	17,635
Level 2 Mezzanine	478.52	10.0											5,915
Level 1 Floor Plan	468.52	13.0											12,862
TOTALS	371.2	300	165,639	256	28	43,141	11,479	6,119	52,645	15,328		136,585	282,320
	max elev: 854.7 ft.											FAR:	15.00

TOTAL BUILDING HEIGHT IS 33 STORIES AT 371.2 FEET. MAXIMUM ELEVATION IS 854.7 FEET ABOVE SEA LEVEL.

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project
WATERLOO PARK HOTEL
1201 RED RIVER ST, AUSTIN, TX 78701

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original issue

ISSUE FOR SITE PLAN APPROVAL 09.27.2016

revisions

title
SITE PLAN - GROUND LEVEL

project number 16022.100

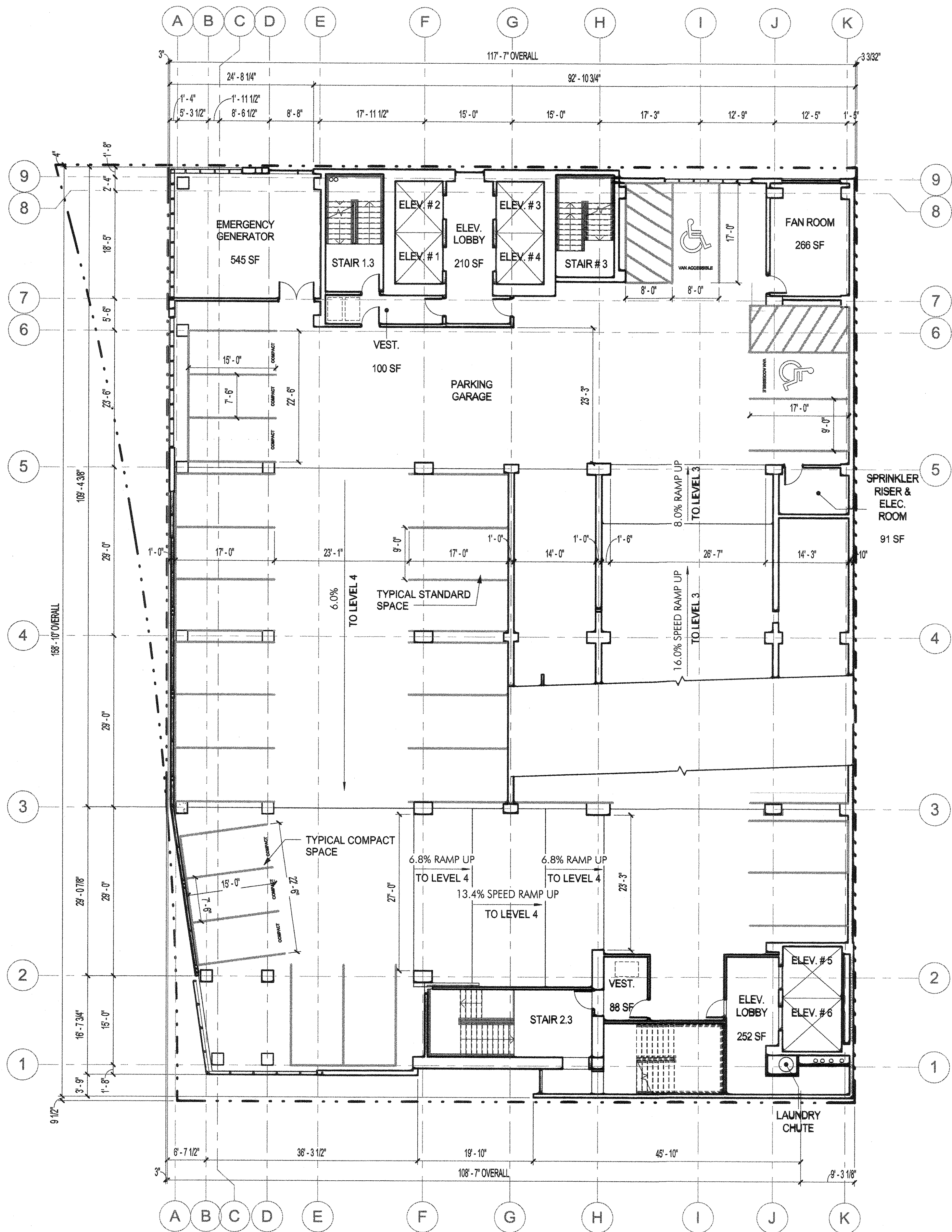
date 09.27.2016

sheet

13 of 18

SITE PLAN APPROVAL		Sheet 13 of 18
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016		
APPROVED BY COMMISSION ON: under Section 112 of Chapter 25-5 of the Austin City Code.		
EXPIRATION DATE: (25-5-81.LDC): CASE MANAGER: DONNA GALATI		
ZONING: CBD - CENTRAL BUILDING DISTRICT PROJECT EXPIRATION DATE: DWPZ DDZ		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE: Zoning:		
Rev. 1	Correction: 1	
Rev. 2	Correction: 2	
Rev. 3	Correction: 3	
Final plan must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		

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PARKING REQUIREMENTS

USE	AREA/ROOMS	RATIO	BASE REQUIREMENT PER APPENDIX A	MINIMUM*	MAXIMUM**	PROVIDED
HOTEL	256 Rooms	1.1 Per Room	281.60 Spaces	0 Spaces	168.96 Spaces	
RESTAURANT >2,500 sf						
Non-Accessory within Hotel	8,129 GSF	1/75 GSF	108.39 Spaces	0 Spaces	65.03 Spaces	
COCKTAIL LOUNGE 2,500sf-10,000sf						
Non-Accessory within Hotel	3,350 GSF	1/50 GSF	67.00 Spaces	0 Spaces	40.20 Spaces	
CONDOMINIUM						
1 Bedroom	12 Units	1.5 Per Unit	18.00 Spaces	0 Spaces	10.80 Spaces	
2 Bedroom	12 Units	2.0 Per Unit	24.00 Spaces	0 Spaces	14.40 Spaces	
3 Bedroom	4 Units	2.5 Per Unit	10.00 Spaces	0 Spaces	6.00 Spaces	
TOTAL			508.99 Spaces	0 Spaces	305.39 Spaces	300 Spaces
ACCESSIBLE SPACES (PER IBC TABLE 1106.1)				7 Spaces		7 Spaces
VAN ACCESSIBLE SPACES (PER IBC 1106.5)				2 Spaces		2 Spaces
BICYCLE PARKING SPACES (5% OF VEHICULAR SPACES, BASE REQUIREMENT)				25 Spaces		25 Spaces
LOADING SPACES PER LDC 25-6-592, FOR HOTEL USES OF 150,001 sf - 300,000 sf, 1 (10'x30') AND 1 (10'x40') SPACES ARE REQUIRED						1 10x30 1 10x40
* PER LDC 25-6-591(B) THERE IS NO MINIMUM PARKING REQUIREMENT FOR CBD ZONED PROPERTY ** PER LDC 25-6-591 (B)(3) THE MAXIMUM PARKING FOR CBD ZONED PROPERTY IS 60% OF THE BASE REQUIREMENTS PER APPENDIX A						

Parking Schedule	
Type	Count

Level 3 Parking	
Standard	29
Compact	6
Accessible Van	2
	37

Level 4 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 5 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 6 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 7 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 8 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 9 Parking	
Standard	31
Compact	10
Accessible	1
	42

Level 10 Parking	
Standard	5
Compact	5
Accessible	1
	11
Grand total:	300 300

PARKING TABLE	COUNT	PERCENTAGE
Standard Spaces	220	73.33%
Compact Spaces	71	23.67%
Accessible Spaces	9	3.00%
Total Spaces	300	

BIKE PARKING	25 Total
LOADING AREA	1 10'X30' Space 1 10'X40' Space 2 Total

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REGISTERED ARCHITECT
STATE OF TEXAS
09.27.2016

project
WATERLOO PARK HOTEL
1201 RED RIVER ST, AUSTIN, TX 78701

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ISSUE FOR SITE PLAN APPROVAL 09.27.2016
revisions

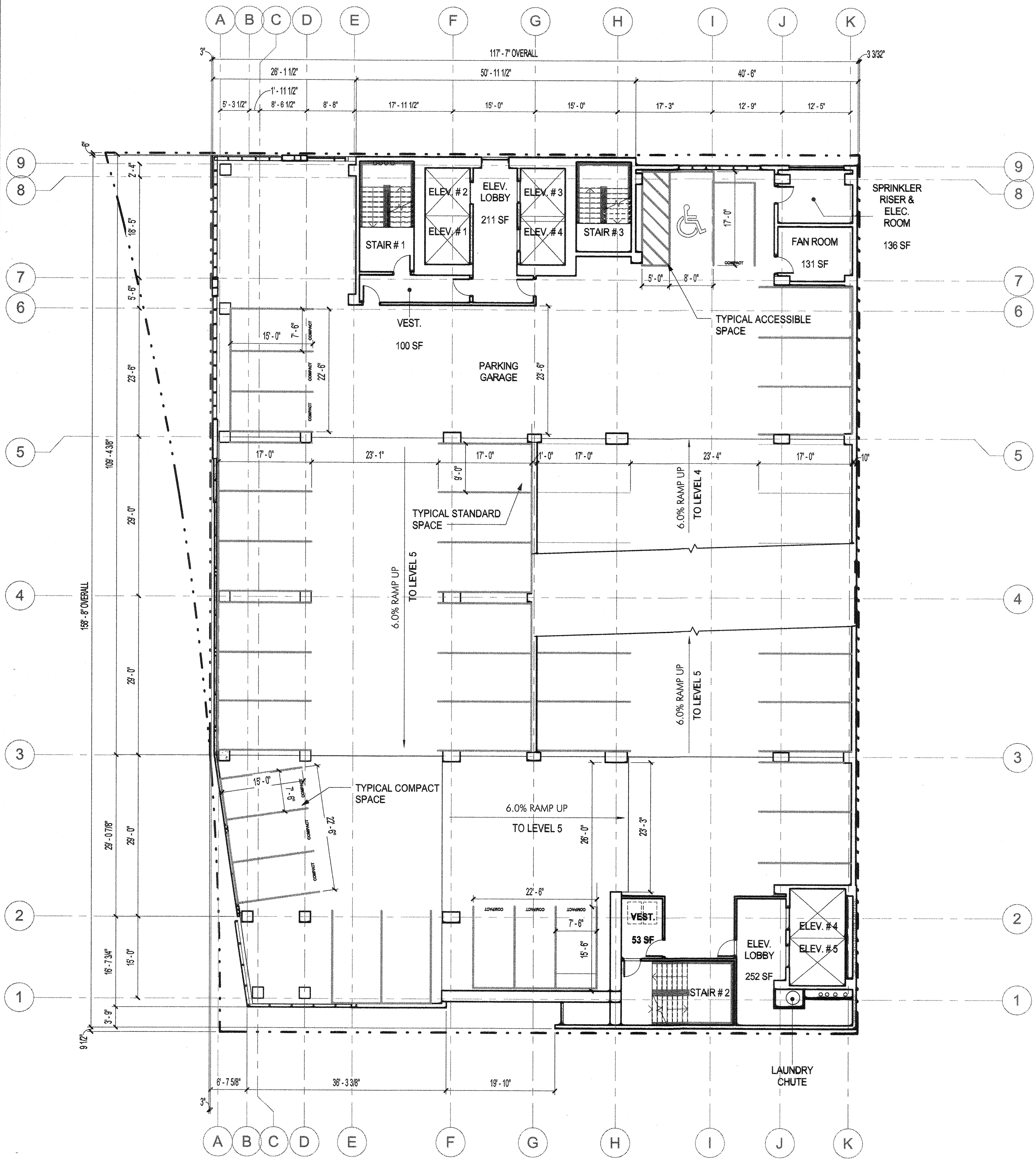
title
FLOOR PLAN - GARAGE LEVEL 3

project number 16022.100
date 09.27.2016
sheet 14 of 18

SITE PLAN APPROVAL
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON:
under Section 112 of Chapter 25-5 of the Austin City Code.
EXPIRATION DATE: (25-5-61.LDC):
CASE MANAGER: DONNA GALATI
ZONING: CBD - CENTRAL BUILDING DISTRICT
PROJECT EXPIRATION DATE: DWF2 DDZ
(ORD #57086C-A)
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT
RELEASED FOR GENERAL COMPLIANCE: Zoning:
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time for filing, and all required Building Permits and/or other notices of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.
SP-2016-0106C

Sheet 14 of 18

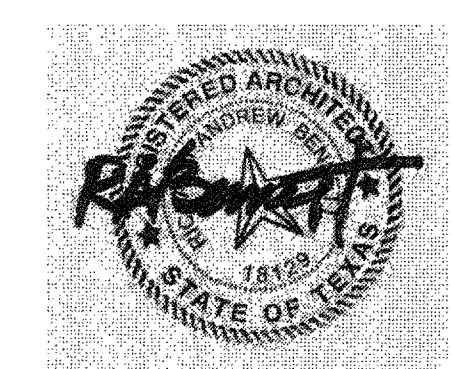
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01 GARAGE LEVELS 4 - 8
SCALE: 3/32" = 1'-0"



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project
WATERLOO PARK HOTEL
1201 RED RIVER ST, AUSTIN, TX 78701

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ISSUE FOR SITE PLAN APPROVAL 09.27.2016

revisions

SITE PLAN APPROVAL		Sheet 15 of 18
FILE NUMBER:	SP-2016-0106C	APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON:	under Section 112 of Chapter 25-5 of the Austin City Code.	
EXPIRATION DATE (25-5-81.LDC):	25-5	
CASE MANAGER:	DONNA GALATI	
ZONING:	CBD - CENTRAL BUILDING DISTRICT	
PROJECT EXPIRATION DATE:	DWPZ	DOZ
(ORD #870905-A)		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
RELEASED FOR GENERAL COMPLIANCE:	Zoning:	
Rev. 1	Correction 1	
Rev. 2	Correction 2	
Rev. 3	Correction 3	
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.		
SP-2016-0106C		

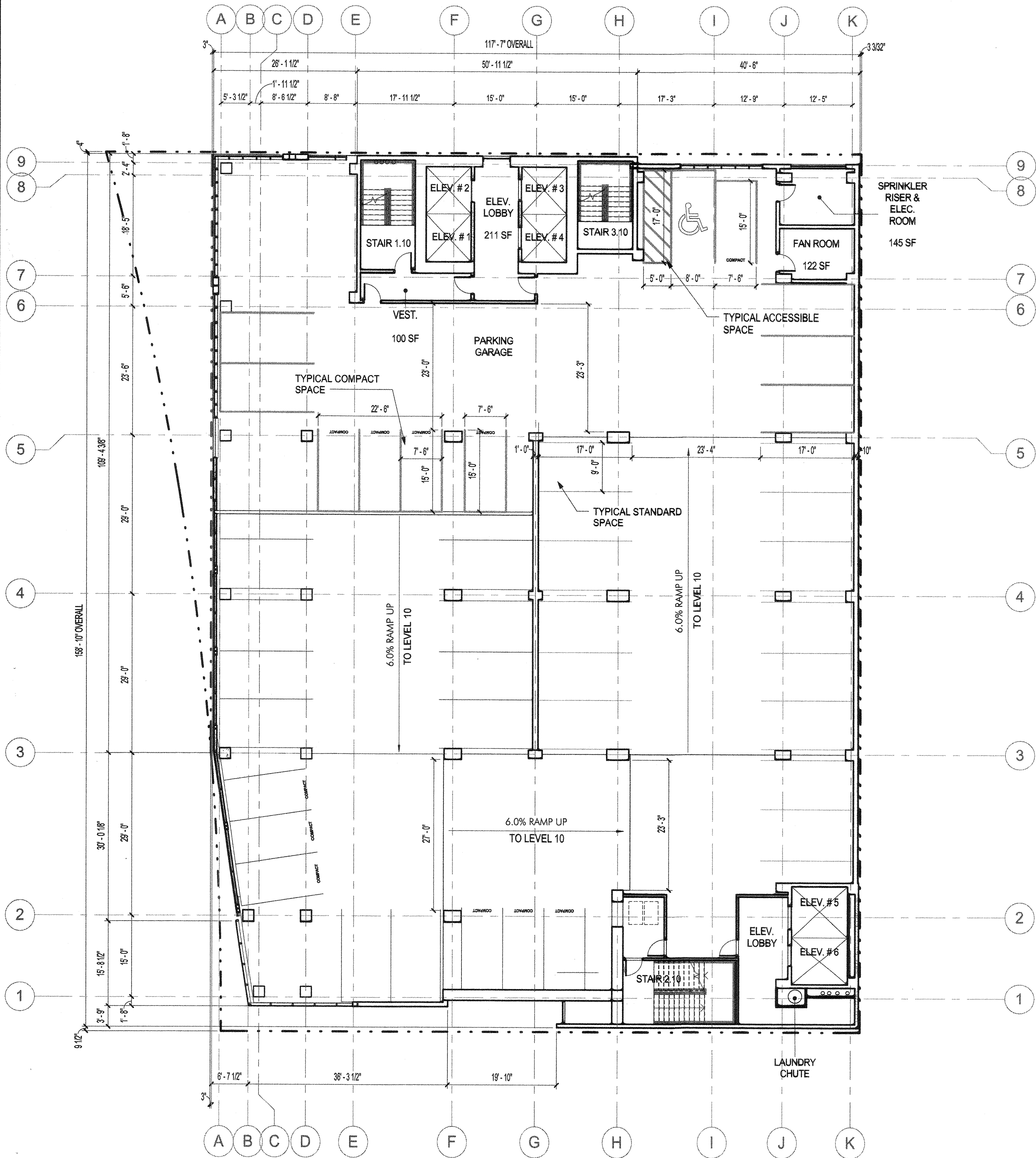
title
FLOOR PLAN - GARAGE LEVELS 4 - 8

project number 16022.100

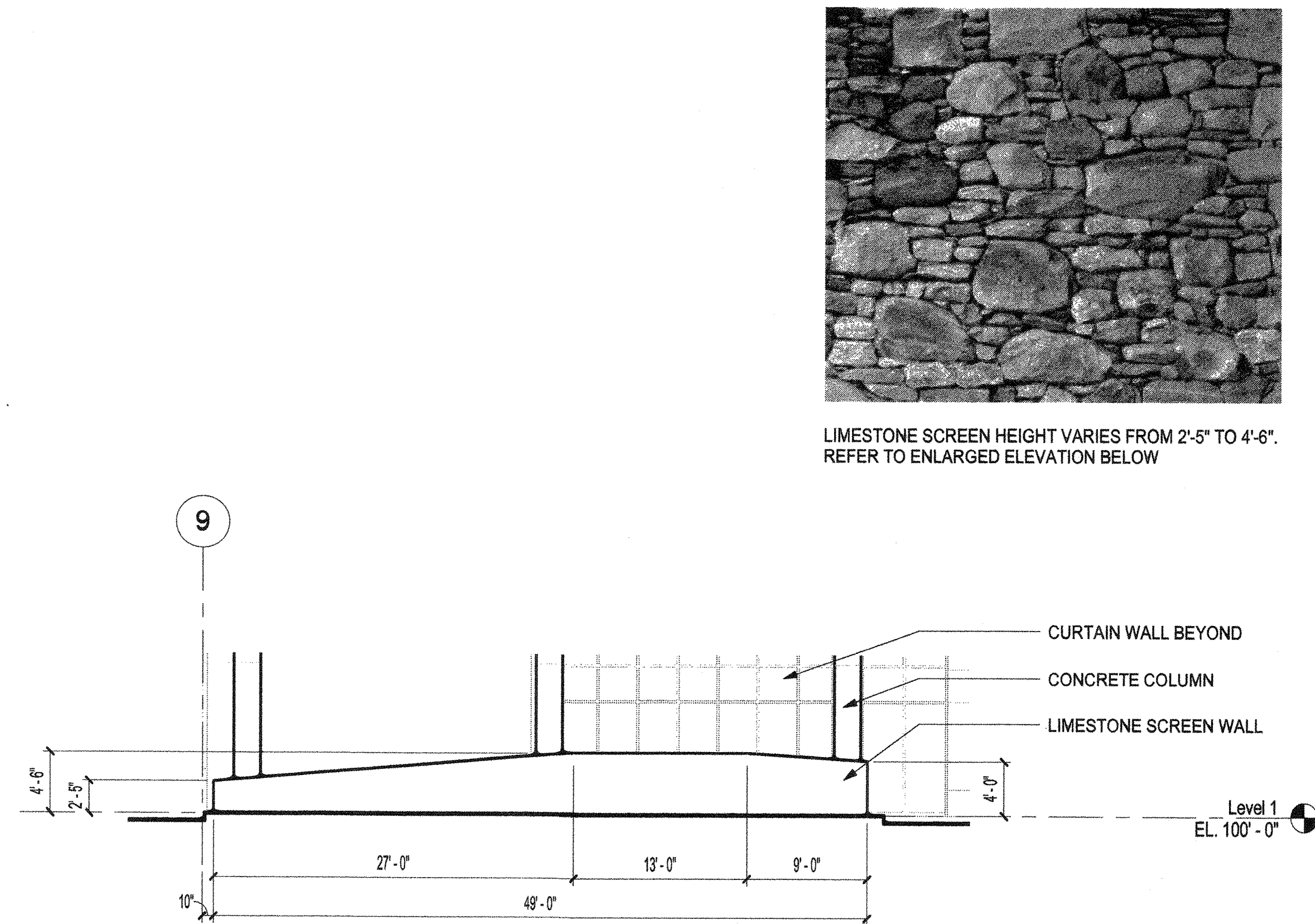
date 09.27.2016

sheet 15 of 18

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01 GARAGE LEVEL 10
SCALE: 3/32" = 1'-0"

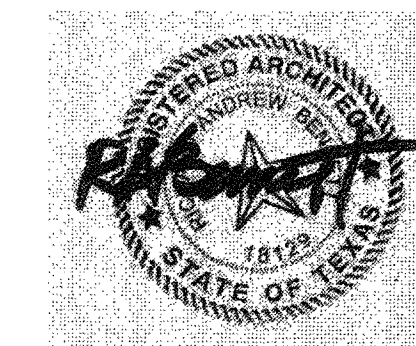


02 ENLARGED ELEVATION - STONE SCREEN WALL
SCALE: 1/8" = 1'-0"

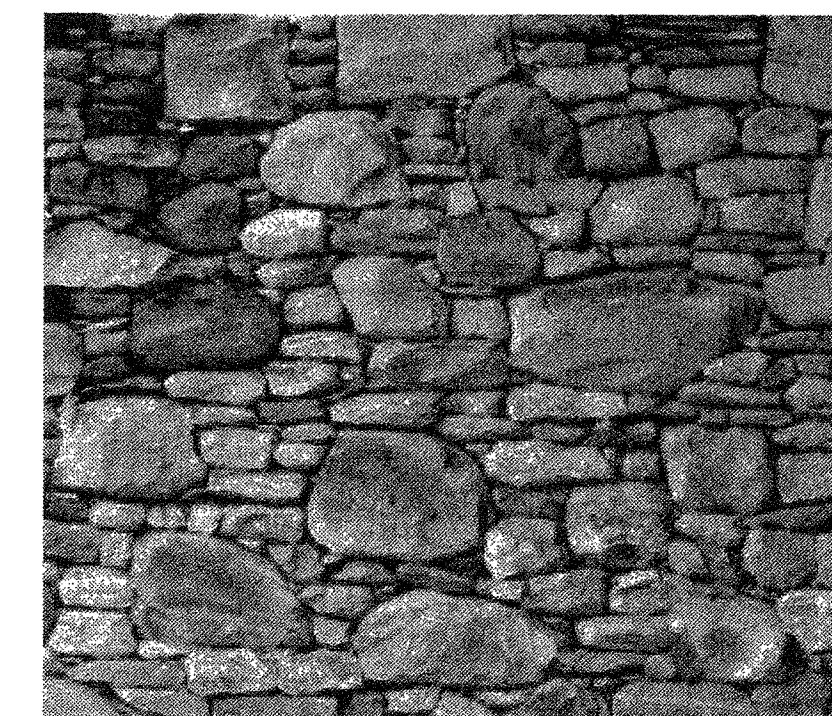
SITE PLAN APPROVAL		Sheet 16 of 18
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ZONING:	CBD - CENTRAL BUILDING DISTRICT	
PROJECT EXPIRATION DATE:	DWP2	DDZ
(ORD.#870000-A)		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
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Rev. 1	Correction 1	
Rev. 2	Correction 2	
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09.27.2016



LIMESTONE SCREEN HEIGHT VARIES FROM 2'-5" TO 4'-6".
REFER TO ENLARGED ELEVATION BELOW

project
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ISSUE FOR SITE PLAN APPROVAL 09.27.2016

revisions

title
FLOOR PLAN - GARAGE LEVEL 10

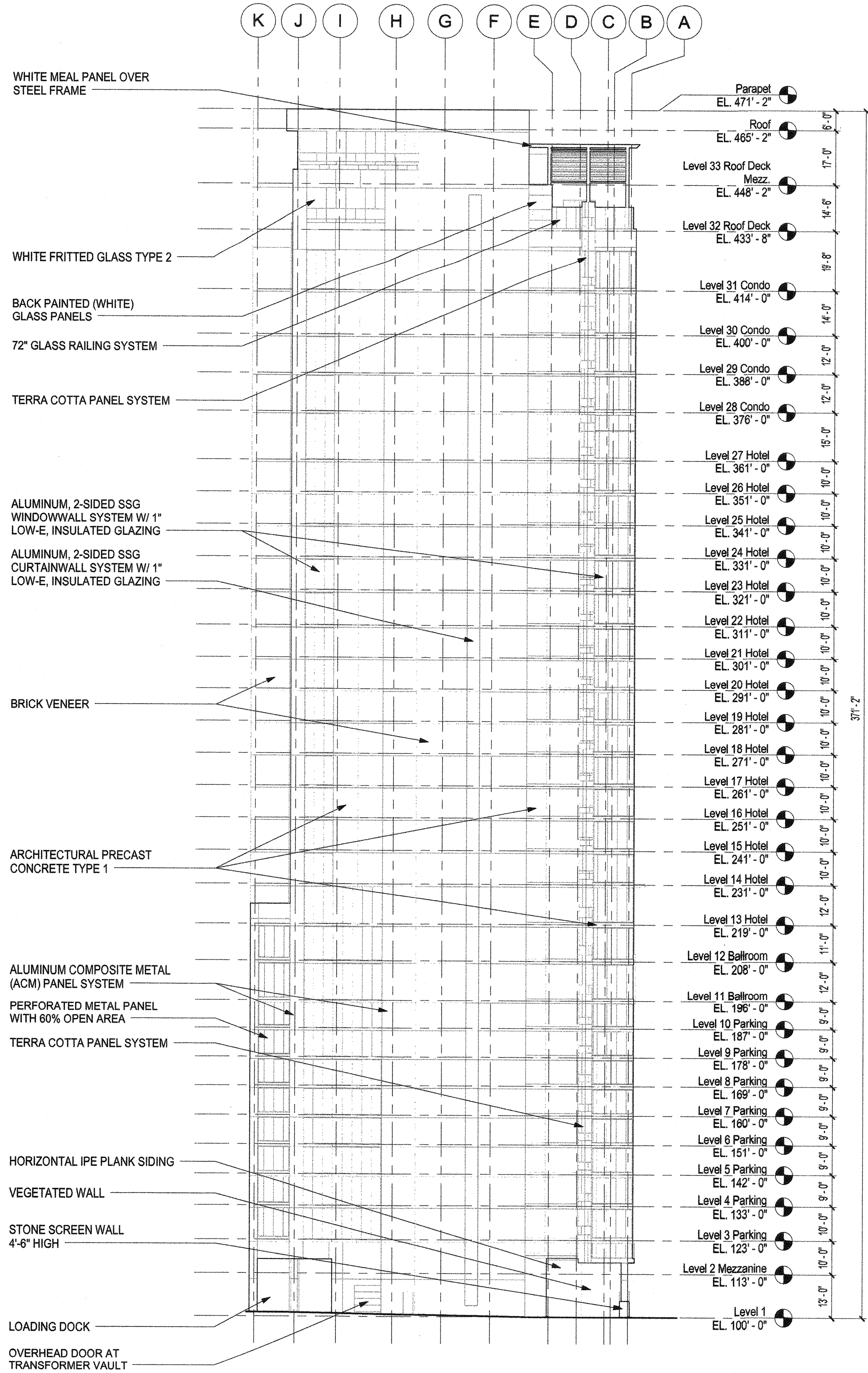
project number 16022.100

date 09.27.2016

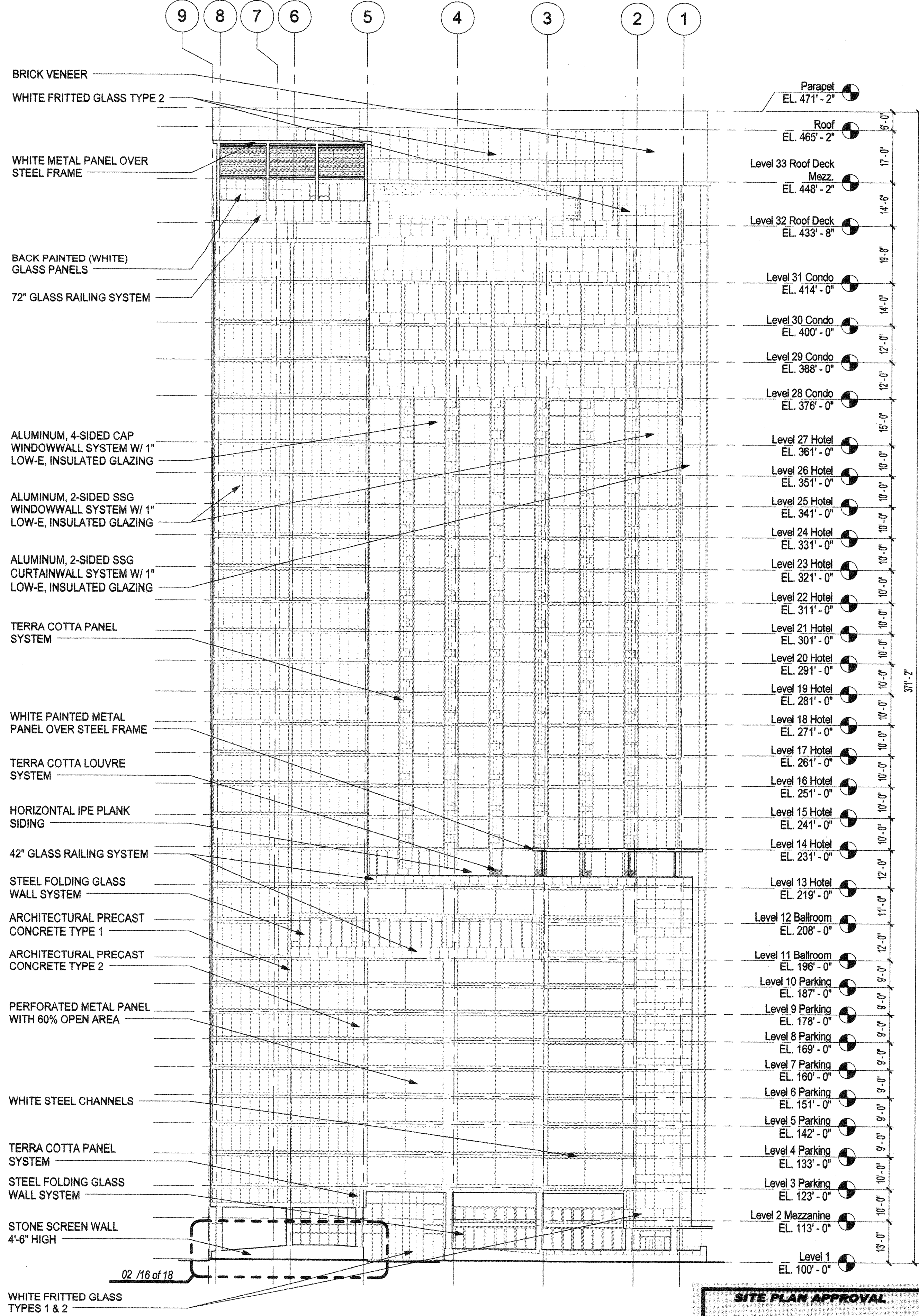
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02 NORTH ELEVATION
SCALE: 3/64" = 1'-0"



01 WEST ELEVATION
SCALE: 3/64" = 1'-0"

COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS
REQUIRED, AND IS TO BE REVIEWED FOR
COMPLIANCE DURING BUILDING CODE REVIEW

SITE PLAN APPROVAL		Sheet 17 of 18	
FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016			
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under Section 112 of Chapter 25-5 of the Austin City Code.			
EXPIRATION DATE (25-5-81.JDC):			
CASE MANAGER: DONNA GALATI			
ZONING: CBD - CENTRAL BUILDING DISTRICT			
PROJECT EXPIRATION DATE: DWPZ DOZ			
(ORD #970305-A)			
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT			
RELEASED FOR GENERAL COMPLIANCE: Zoning:			
Rev. 1	Correction 1		
Rev. 2	Correction 2		
Rev. 3	Correction 3		
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revisions

title
ELEVATIONS NORTH & WEST

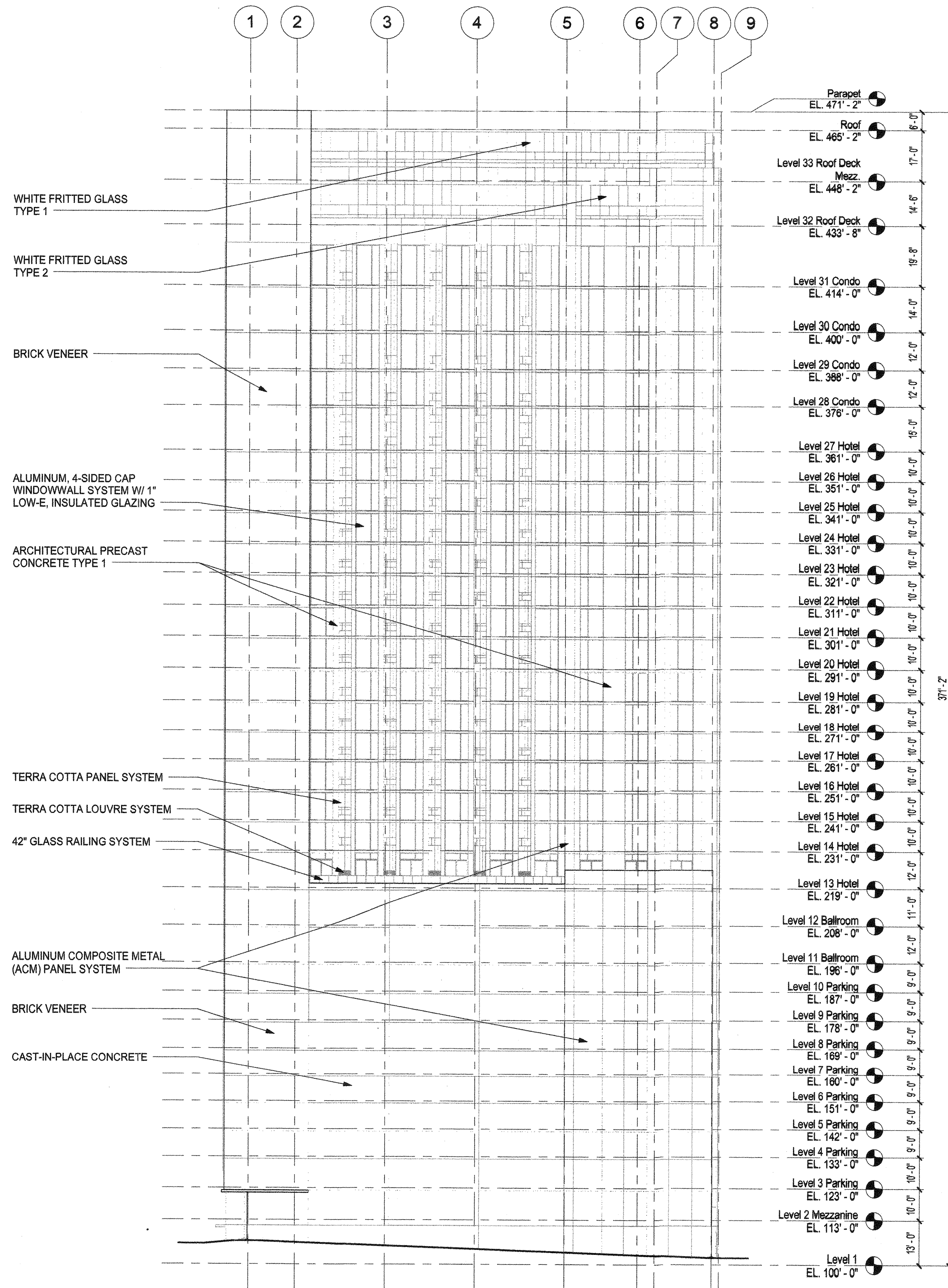
project number 16022.100

date 09.27.2016

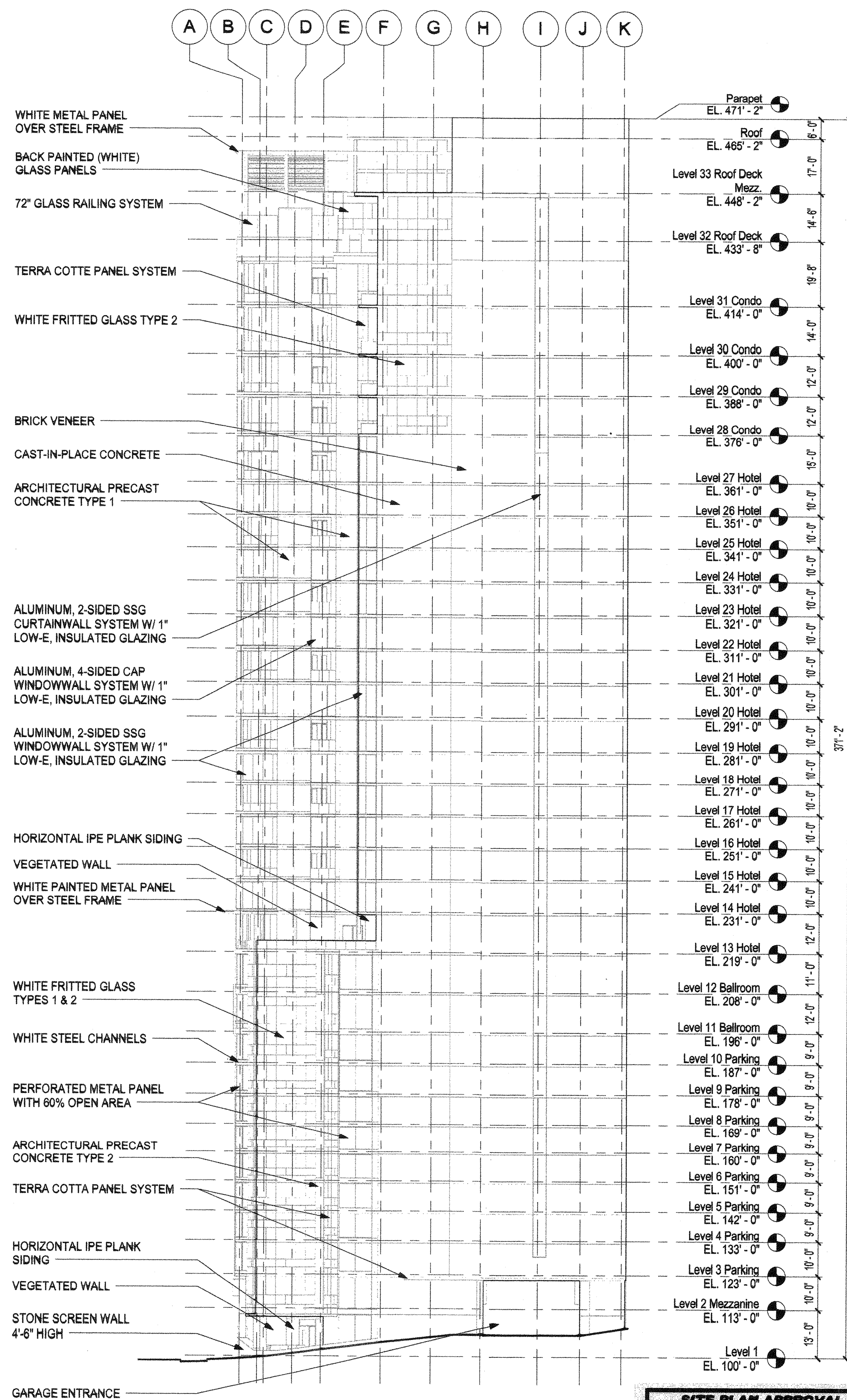
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02 EAST ELEVATION
SCALE: 3/64" = 1'-0"



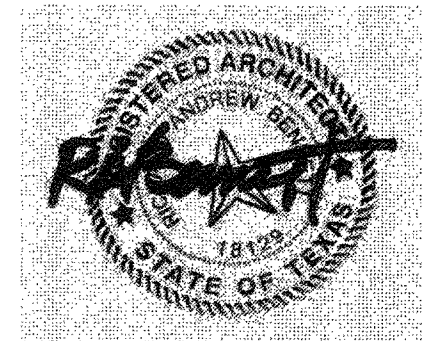
01 SOUTH ELEVATION
SCALE: 3/64" = 1'-0"

COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS
REQUIRED, AND IS TO BE REVIEWED FOR
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SITE PLAN APPROVAL		Sheet 18 of 18
FILE NUMBER:	SP-2016-0106C	APPLICATION DATE: FEB. 29, 2016
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(ORD.#970905-A)		
DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT		
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revisions

title
ELEVATIONS SOUTH & EAST

project number 16022.100

date 09.27.2016

sheet

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2013 COMMERCIAL RATING SCORECARD PLANNER



PROJECT NAME

Waterloo Tower Hotel

AEGB COMMERCIAL RATING STAR LEVELS	
1 Star	Basic Requirements
2 Stars	35 - 44 points
3 Stars	45 - 54 points
4 Stars	55 - 74 points
5 Stars	75 points or more

SUMMARY	
TOTAL "YES" POINTS	41
RATING ELIGIBILITY, BASED ON YES	2 Stars
TOTAL POINTS, INCLUDING "MAYBE"	79
RATING ELIGIBILITY, INCLUDING "MAYBE"	5 Stars

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY
BASIC REQUIREMENTS						
1. Plans and Specifications	Req'd	YES				
2. Current Codes and Regulations	Req'd	YES				
3. Building Systems Commissioning	Req'd	YES				
4. Building Energy Performance	Req'd	YES				
5. Outdoor Water Use Reduction	Req'd	YES				
6. Indoor Water Use Reduction	Req'd	YES				
7. Low-Emitting Materials - Interior Paints and Coatings	Req'd	YES				
8. Storage and Collection of Recyclables	Req'd	YES				
9. Construction Waste Management	Req'd	YES				
INTEGRATED DESIGN						
1. Integrated Project Design	2		2			
INTEGRATED DESIGN SUBTOTALS		0	2	0		
SITE						
Site Selection						
Environmental Sensitivity	2	2				
Desired Development Area	2	2				
Density	2	2				
Diverse, Walkable Communities	1		1			
Brownfield Redevelopment	1			1		
Site Specific Design	1			1		
Transportation Alternatives						
Public Transportation	1-3	3				
Bicycle Use	1	1				
Parking Capacity	1			1		
Electric Vehicle Charging Station	1	1				
Protect or Restore Habitat	1			1		
Beneficial Open Space	1	1				
Access to Local and Regional Produce	1		1			
Heat Island Reduction	1	1				
Light Pollution Reduction	1	1				
Integrated Pest Management	1	1				
SITE SUBTOTALS		15	2	4		
ENERGY						
Building Energy Performance	1-16	7	3	6		
Renewables	1-4		2	2		
Additional Commissioning	1-3	1	2			
Advanced Energy Metering	1		1			
Demand Response	2			2		

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY
Green Energy	2		2			
District Cooling	1		1			
ENERGY SUBTOTALS		8	11	10		
WATER						
Outdoor Water Use Reduction	1-3	3			Use of city reclaimed water for irrigation	
Building Water Use Reduction	1-6	4	2		Use of low flow fixtures and reclaimed water for toilet flushing	
Process Water Use Reduction	1-2	1	1		Cooling tower make-up to use reclaimed water	
Stormwater Management	1-2			2		
WATER SUBTOTALS		8	3	2		
INDOOR ENVIRONMENTAL QUALITY (IEQ)						
Indoor Chemical & Pollutant Sources	1		1			
Green Housekeeping	1	1				
Daylighting and Views						
Daylighting Design	1		1			
Daylighting Controls	1		1			
Views to the Outside	1		1			
Individual Controllability	1	1				
Low Emitting Materials						
Sealants and Adhesives	1-5	1				
Flooring System		1				
Composite Wood and Agrifiber Products			1			
Insulation		1				
Ceiling and Wall Systems			1			
Furniture						
Exterior Applied Products						
Moisture Protection	1	1				
Acoustic Quality	1		1			
Outdoor Pollutant Control	1		1			
Construction Indoor Air Quality	1	1				
IEQ SUBTOTALS		7	8	0		
MATERIALS AND RESOURCES						
Additional Construction Waste Management	1	1				
Building Materials Use Reduction	1-3			3		
Sustainably Sourced Material	1-6	1	3	2		
Certified Wood	1		1			
PVC and Phthalate Free	1		1			
MATERIALS AND RESOURCES SUBTOTALS		2	5	5		
EDUCATION AND EQUITY						
Educational Outreach	2		2			
Construction Worker Equity	1		1			
EDUCATION AND EQUITY SUBTOTALS		0	3	0		
INNOVATION						
Innovation #1	1	1				
Innovation #2	1		1			
Innovation #3	1		1			
Innovation #4	1		1			
Innovation #5	1		1			
INNOVATION SUBTOTALS		1	4	0		
GRAND TOTAL POINTS		100	41	38	21	

MEMORANDUM

Date: 3-21-2017
To: Austin Design Commission
From: Design Commission Planning & Urban Design Working Group
Subject: Working Group Density Bonus Program review of Waterloo Park Tower for substantial compliance with the Urban Design Guidelines.
Meeting Date: 3-13-2017
Applicant: Jim Wittliff
Architect: Boka Powell

The project location is 1201 Red River. It was presented as a hotel project. There is no residential component. The existing zoning is CBD.

The applicant is seeking a density bonus to raise the FAR from 8:1 to 15:1 FAR. The lot area is 19,689 sq ft, and the total project area is 282,318 sf ft.

The applicant is not seeking additional height. The maximum height achievable under the density bonus program in this portion of downtown is 450 feet. The total building height proposed is 371'-0" or 33 floors.

The additional square footage made available by the FAR density bonus is 133,140 sq ft.

Per the Density Bonus Program ordinance, the applicant is required to provide streetscape improvements along all public street frontages consistent with the Great Streets Standards, and the applicant shall commit to a minimum of 2 star Green Building rating. The Mayor and City Council and the Planning & Development Review Director will determine appropriate bonus area in light of community benefits to be provided.

Positive attributes of the project:

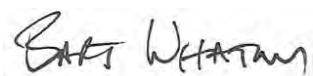
1. LEED Silver minimum sought in addition to 2 star Green Building.
2. Use of reclaimed water up to 2% of building costs, including potentially toilets.
3. Publicly accessible terrace.
4. Façade treatment works to integrate parking levels into overall massing.
5. Letter of intent to meet or exceed Green Building 2 star rating was attached but scorecard was not included.

Concerns/suggestions for the project:

1. This is a tight site with sloping grade on E 12th. Some portions of the 12th street façade being dedicated to vehicle access and stairs seems reasonable.

It is determined that the project, as presented, is in substantial compliance with the Urban Design Guidelines. The Working Group appreciates the opportunity to review and comment on this project.

Respectfully submitted,



Bart Whatley, Vice Chair of the Design Commission
Planning & Urban Design Working Group