

DESIGN COMMISSION MONDAY, MARCH 27, 2017 AT 6:00 PM

AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101 301 W. SECOND STREET, AUSTIN, TEXAS 78701

Commission Members

Evan Taniguchi, Chair (Mayor)	Martha Gonzalez (District 2)
Bart Whatley, Vice-Chair (District 9)	Melissa Henao-Robledo (District 5)
Katie Halloran (District 7)	Conor Kenny (District 4)
David Carroll (District 1)	Ben Luckens (District 10)
Aan Coleman (District 8)	Beau Frail (District 6)
Samuel Franco (District 3)	
	City of Austin Planning & Zoning Staff: Katie Mulholland, Executive Liaison Nichole Koerth, Staff Liaison

AGENDA

Please note: Posted times are for time-keeping purposes only. The Commission may take any item(s) out of order and no express guarantee is given that any item(s) will be taken in order or at the time posted.

Approx. time

CA	LL TO ORDER AND ROLL CALL	6:00 PM	
1.	 CITIZEN COMMUNICATION: GENERAL The first five speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda. 		
2.	MEETING MINUTES	6:15 PM	
	a. Discussion and possible action on the February 27, 2017 meeting minutes;		
3.	NEW BUSINESS (Discussion and Possible Action):	6:30 PM	
	a. Discussion and possible action on the Waterloo Tower Park design development		
	submittal, located at 1201 Red River, seeking review for substantial compliance with		
	the Urban Design Guidelines for Austin in accordance with the Gatekeeper		
	requirements of LDC 25-2-586 for the Downtown Density Bonus Program (Eric Van		
	Hyfte, Architect, BOKA Powell)		
	b. Discussion and possible action on the Colony District Park General Improvements		
	project, located at 7400 Loyola Ln., seeking support for the project under Resolution		
	No. 20071129-046 (Fred Fuller, Project Manager, COA Parks and Recreation Dept.)		
	c. Discussion and possible action on the Convention Center expansion plan (Mark		
	Tester, Director, COA Convention Center Dept.)		

4. OLD BUSINESS (Discussion and Possible Action):	7:45 PM
a. Discussion and possible action to nominate a representative to <u>South Central</u>	
Waterfront Advisory Board, which was created by Ordinance No. 20170216-034	
(Alan Holt, COA Planning and Zoning Dept.)	
b. Introduction and briefing by acting City Architect (Raymundo Minjarez, acting City	,
Architect, COA Public Works Dept.)	
c. Discussion and possible action on the <u>new draft code</u> from CodeNEXT (<u>D. Carroll</u>)	
5. COMMITTEE AND LIAISON REPORTS (Discussion and Possible Action):	8:30 PM
a. Standing Committees Reports;	
b. Working Group Reports;	
c. Liaison Reports;	
d. Appointment of Committee/Working Group members by Chair.	
6. STAFF BRIEFINGS:	8:45 PM
a. None	
7. FUTURE AGENDA ITEMS:	8:45 PM
a. Election of Officers (April 24)	
8. ANNOUNCEMENTS:	8:50 PM
a. Chair Announcements;	
b. Items from Commission Members;	
c. Items from City Staff;	
ADJOURNMENT	9:00 PM

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Design Commission: Committees, Working Groups, and Liaisons

Committees

1. Executive Committee: Chair E. Taniguchi, B. Whatley, Secretary (TBD)

Working Groups

- 1. Planning and Urban Design Working Group: E. Taniguchi, B. Whatley, A. Coleman, TDB
- 2. Architecture and Development Working Group: B. Whatley, M. Gonzalez, D. Carroll
- 3. Landscape and Infrastructure Working Group: S. Franco, M. Henao-Robledo, A. Coleman, B. Luckens
- 4. Public Engagement Working Group: B. Luckens, S. Franco, M. Henao-Robledo, C. Kenny

Liaisons

1. Downtown Commission Liaison / Downtown Austin Plan: S. Franco

Staff to Design Commission

City of Austin, Planning and Zoning Department, Urban Design Division One Texas Center, 505 Barton Springs Rd., 5th floor, Austin, TX 78704

Executive Liaison: Katie.Mulholland@austintexas.gov, (512) 974-3362

Staff Liaison: Nichole.Koerth@austintexas.gov , (512) 974-2752

Downtown Density Bonus Liaison: Anne.Milne@austintexas.gov, (512) 974-2868

Resources

1. Urban Design Guidelines for Austin:

http://www.austintexas.gov/sites/default/files/files/Boards and Commissions/Design Commission urban design guidelines for austin.pdf

2. Design Commission backup:

http://www.austintexas.gov/cityclerk/boards commissions/meetings/22 1.htm

3. Downtown Density Bonus program

https://www.municode.com/library/tx/austin/codes/land_development_code?nodeId=TIT25_LADE_CH25-2ZO_SUBCHAPTER_CUSDERE_ART3ADRECEDI_SPAGERE_S25-2-586DODEBOP



DESIGN COMMISSION MONDAY, FEBRUARY 27, 2017 6:00 PM AUSTIN CITY HALL, BOARDS AND COMMISSIONS ROOM 1101 301 W. SECOND STREET, AUSTIN, TEXAS 78701

Meeting Minutes

Call to order by: E. Taniguchi at 6:05 PM.

Roll Call: New Commissioners K. Halloran (District 7) and B. Frail (District 6) present. S. Franco arrived at 6:07 PM. B. Whatley and A. Coleman not present.

- 1. CITIZEN COMMUNICATION: None.
- 2. MEETING MINUTES (Discussion and Possible Action):
 - a. Discussion and possible action on the <u>January 23, 2016</u> meeting minutes.

The motion to approve the minutes as drafted made by C. Kenny; seconded by D. Carroll; approved on a unanimous vote of [8-0]. B. Whatley, A. Coleman, and S. Franco not present.

- S. Franco arrived at 6:07 PM.
- NEW BUSINESS (Discussion and Possible Action):
 - a. Discussion and possible action on the <u>ABIA Parking Garage & Administration Building</u> located at 3600 Presidential Boulevard, seeking support for the project (<u>Burton Jones</u>, COA Public Works Department)

Burton Jones (PWD), Cris Ruebush (PGAL) and Lyn Estabrook (ABIA) presented. The Commission determined it needed more information on the project, including a formal landscape plan, how the pedestrian spine would be protected from the elements (rain, sun), the airport's long term plan for transit (in terms of space allocation and design), and the LEED checklist for the Administrative Building before they could make a recommendation of support for the project.

The motion to have the Chair's designee (C. Kenny) draft a letter and that the Chair and Staff Liaison deliver the letter to ABIA requesting additional information before the Commission makes a recommendation of support made by C. Kenny; seconded by D. Carroll; approved on a unanimous vote of [9-0]. B. Whatley and A. Coleman not present.

b. Discussion and possible action on the Code Advisory Group's (CAG) request to

provide input on the new draft code from CodeNEXT (Chair Taniguchi)

The Commission discussed the CAG's request and that Commissioners Carroll and Gonzalez would attend and provide input at Saturday's CAG meeting. **No action taken.**

c. Discussion and possible action on creating a CodeNEXT Working Group to review and provide recommendations on the <u>new draft code</u> with a focus on how it aligns with the <u>Imagine Austin Comprehensive Plan</u> and the <u>Urban Design Guidelines of Austin</u> (D. Carroll)

The motion to create a CodeNEXT Working Group was made by B. Luckens; seconded by S. Franco; approved on a unanimous vote of [9-0]. B. Whatley and A. Coleman not present.

- 4. OLD BUSINESS (Discussion and Possible Action):
 - a. Discussion and possible action on the <u>Infrastructure Design Guidelines</u> as directed by City Council Resolution No. 20120816-060 (Chair Taniguchi)
 - Annick Beaudet and Liane Miller (COA Transportation Department) introduced and answered questions about their pilot Street Design Guide which will provide guidance to technical criteria manuals and help create a standard for the city's roadway infrastructure. **No action taken.**
 - b. Review of other Cities' Infrastructure Guidelines: Portland (Chair Taniguchi), Minneapolis (M. Henao-Robledo), NACTO (C. Kenny), <u>Denver</u> (M. Gonzalez), Seattle (C. Kenny), <u>Chicago</u>, <u>New York</u>

The Commission agreed to use New York City's Infrastructure Guidelines as a starting point for their interim guidelines. Executive Liaison will email New York's Guidelines so Commissioners can review and come with comments next month. The Chair may assign Working Groups to dig into specific chapters. **No action taken.**

- 5. COMMITTEE AND WORKING GROUP REPORTS (Discussion and Possible Action)
 - a. Standing Committees Reports: None
 - b. Working Group Reports: None
 - c. Liaison Reports: None
 - d. Appointment of Committee/Working Group members by Chair:

Chair Taniguchi appointed D. Carroll and M. Gonzalez as members to the CodeNEXT Working Group.

6. STAFF BRIEFINGS:

Executive Liaison Katie Mulholland (COA PAZ) introduced the Airport Memo, which indicates that ABIA projects will come to the Design Commission for recommendations.

She also mentioned that two Commissioners needed to be re/appointed and that March's meeting should have the full, new membership.

7. FUTURE AGENDA ITEMS:

- Introduction of the new Interim City Architect.
- Election of Officers, including Secretary.
- Appointment of Working Groups members, including to the Planning and Infrastructure Working Group.
- Presentation on Convention Center's expansion plan (C. Kenny)
- Appointment of a representative to the new South Central Waterfront Advisory Board.

8. ANNOUNCEMENTS

a. Chair Announcements:

The Design Commission will have a representative on the newly-formed South Central Waterfront Advisory Board.

- b. Items from Commission Members: None
- c. Items from City Staff: None

ADJOURNMENT by consensus at: 8:10 PM.



DOWNTOWN DENSITY BONUS PROGRAM (DDBP) SUBMITTAL APPLICATION

Waterloo Park Tower	
Alan Woods Nalle, Sr.	
54 Sundown Parkway, Austin TX 78746	
512-327-3969	
anallesr@icloud.com	
Jim Wittliff/Land Answers, Inc.	
3606 Winfield Cove, Austin TX 78704	_
512-416-6611	
512-416-6611 landanswers@sbcglobal.net	
2	Alan Woods Nalle, Sr. 54 Sundown Parkway, Austin TX 78746 512-327-3969 anallesr@icloud.com sed Agent Jim Wittliff/Land Answers, Inc.

5. Site Information

b.	property has a conditional overlay (CO), provide explanation of condit
	(attach additional pages as necessary): CBD
	Culables autitlements.
C.	Existing entitlements:
	I. Current floor to area (FAR) limitation:
	8:1
	II. Current height limitation (in feet) :
	450
	III. Affected by Capitol View Corridors (CVCs) Yes/No?
	□ Yes □ No
	If yes, please provide specify height allowed under CVC:
	- Dood Postvistians
	existing deed restrictions on the property (if any):
lone	
etail	

7. Building Information

282,318 square feet	
Gross floor area devoted to the different land uproject (e.g., retail/restaurant, office, apartment	
282,318 square feet	
Number or units (if residential development):	28
Number of rooms (if hotel or similar use):	256
Number of floors:	33
	074
Height:	371

8. Gatekeeper Requirements

Provide an explanation of how this project meets the *Gatekeeper* requirements of the DDBP as described in <u>Ordinance No. 20140227-054</u>. Attach additional page(s) as necessary:

Our site plan includes a schematic level site plan, building elevations, and calculation tables, and shows the relationship of this project to it's surroundings. We are meeting the Great Streets requirements including streetscape improvements and we are working with AEGB program to achieve a two star rating.

9.Community Benefits

Detail which community benefits will be used and how they will be applied (affordable housing on site, fee in lieu of, affordable housing + community benefit, etc.). Attach additional page(s) as necessary:

The property owner has voluntarily agreed to donate 901 square feet of additional right-of-way to aid the City in the realignment of Red River Street. This ROW dedication will require this project to add an additional floor to recoup the lost hotel rooms at a cost to the developer o over \$500,000.

AEGB progr	ng allows 8:1 FAR. Participation in Great Streets and am will allow us to increase our FAR to 15:1. We are FAR of 15:1. THIS IS AN APPITION OF
133,140	SQUARE FEET.
Provide detaile Design Guideli	ct to the Urban Design Guidelines for Austin ed explanation of how the project substantially complies with t nes for Austin with reference to specific guidelines. Attach add
Provide detaile Design Guideli page(s) as nece	ed explanation of how the project substantially complies with to nes for Austin with reference to specific guidelines. Attach addressary.
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10. Density Bonus Calculation

12. Acknowledgements

 Applicant understands that a standard restrictive covenant template will drafted by the City of Austin to address Gatekeeper requirements in account to address Gatekeeper requirements. 		
	Yes	□ No
b.		nat will be required to submit a copy of the project's een Building Letter of Intent:
	Yes	□ No
c.	Applicant has received a Ordinance:	nd reviewed a copy of the <u>Downtown Density Bonus</u>
	Yes	□ No
d.	Applicant has received a Austin:	nd reviewed a copy of the <u>Urban Design Guidelines for</u>
	Yes	□ No
e.		presentation to the Design Commission Working Group mmission Meeting by coordinating dates with program tintexas.gov)
	□ Yes	No
f.	benefit, Applicant has so Housing and Community	or provision of on-site affordable housing as a public cheduled a coordination meeting with the Neighborhood powerlopment Department to detail program ned a letter of affordability from NHCD:
	□ Yes	T No

Signed: Owner or App	plicant	
Authorized Agent	Jim Wittliff/Land Answers, Inc.	
Date Submitted	1/25/17	



DOWNTOWN DENSITY BONUS PROGRAM (DDBP) APPLICATION SUBMITTAL CHECKLIST

Submit	ted:
d	Completed DDBP Application;
9	Vicinity plan/aerial locating the project in its context, and showing a minimum 9 block area around the project;
9	Location of nearby transit facilities;
ď	Drawings: Site plan; Floor plans; Exterior elevations (all sides); Three-dimensional views;
V	Copy of the projects signed Austin Energy Green Building Letter of Intent;
	Other items that may be submitted but not required: Narrative / graphics / photos to further describe the project.
	Letter of affordability and acknowledgment from NHCD for affordable housing community benefit.

[Project Name] DDBP Request Review of Susbstantial Compliance with UD Guidelines

	Area Wide Guidelines		
	Guideline	Achieved? (Yes/No)	Applicant's Comments
1	AW-1: Create dense development	Yes	15:1 FAR is proposed
2	AW-2. Create mixed-use development	Yes	Site will contain a Hotel, restaurant and cocktail lounge
3	AW-3. Limit development which closes downtown streets	No	Red River will be closed NB for realignment
4	AW-4. Buffer neighborhood edges	N/A	N/A
5	AW-5. Incorporate civic art in both public and private development	No	
6	AW-6. Protect important public views	Yes	Capital View Corridors are protected and enhanced
7	AW-7. Avoid historical misrepresentations	Yes	
8	AW-8. Respect adjacent historic buildings	Yes	Symphony Square will not be impacted
9	AW-9. Acknowledge that rooftops are seen from other buildings and the street	Yes	
10	AW-10. Avoid the development of theme environments	Yes	
11	AW-11. Recycle existing building stock	No	

	Public Streetscape Guidelines		
12	PS-1. Protect the pedestrian where the building meets the street	Yes	
13	PS-2. Minimize curb cuts	Yes	
14	PS-3. Create a potential for two- way streets	N/A	
15	PS-4. Reinforce pedestrian activity	Yes	
16	PS-5. Enhance key transit stops	No	
17	PS-6. Enhance the streetscape	Yes	Great Strees lighting, trees, and street furniture
18	PS-7. Avoid conflicts between pedestrians and utility equipment	Yes	All utilities will be underground
19	PS- 8. Install street trees	Yes	

[Project Name] DDBP Request Review of Susbstantial Compliance with UD Guidelines

20	PS- 9. Provide pedestrian-scaled lighting	Yes	
71	PS- 10. Provide protection from cars/promote curbside parking	Yes	porte-cochere privided for registering hotel guests
22	PS-11. Screen mechanical and utility equipment	Yes	
23	PS-12. Provide generous street- level windows	Yes	
24	PS-13. Install pedestrian-friendly materials at street level	Yes	

Building Guidelines		
B- 1. Build to the street	Yes	
B- 2. Provide multi-tenant, pedestrian-oriented development at the street level	Yes	
B-3. Accentuate primary entrances	Yes	
B- 4. Encourage the inclusion of local character	Yes	
B- 5. Control on-site parking	Yes	parking garage will be valet-only
B- 6. Create quality construction	Yes	
B- 7. Create buildings with human scale	Yes	

Plaza and Open Space Guidelines		
PZ-1. Treat the four squares with special consideration	N/A	
PZ- 2. Contribute to an open space network	No	
PZ- 3. Emphasize connections to parks and greenways	Yes	Waterloo Park is across the street
PZ- 4. Incorporate open space into residential development (pool, deck, dog area)	Yes	Outdoor view plazas are provided
PZ- 5. Develop green roofs	No	

[Project Name] DDBP Request Review of Susbstantial Compliance with UD Guidelines

PZ- 6. Provide plazas in high use areas	Yes	
PZ- 7. Determine plaza function, size, and activity	Yes	
PZ- 8. Respond to microclimate in plaza design	Yes	
PZ- 9. Consider views, circulation, boundaries, and subspaces in plaza design	Yes	views focus on State Capitol and Waterloo Park
PZ- 10. Provide an appropriate amount of plaza seating	Yes	
PZ- 11. Provide visual and spatial complexity in public spaces	Yes	
PZ- 12. Use plants to enliven urban spaces	Yes	
PZ- 13. Provide interactive civic art and fountains in plazas	No	
PZ- 14. Provide food service for plaza participants	Yes	
PZ- 15. Increase safety in plazas through wayfinding, lighting, & visibility	Yes	
PZ- 16. Consider plaza operations and maintenance	Yes	

Conclusions		
Total number of Urban Design Guidelines	37	



SCHEMATIC DESIGN

12th and Red River Hotel

1201 Red River, Austin TX 78701

04/15/2016

PROJECT NUMBER: 16022.100



architecture | interiors | planning | graphics 327 Congress Ave., St. 600 | Austin, Texas 78701 Tel 512.687.0699 | Fax 512.687.1097 www.bokapowell.com

Color Scheme Legend

Balcony, Patio, Pool Deck

Food and Beverage BOH

Building Services

Circulation

Food and Beverage

Hotel BOH

Landscape

Vehicular Circulation

Vertical Penetration

Hotel







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Arch: Donald R. Powell, Jr. Reg. No.: 7206 Arch: Chris W. Barnes Reg. No.: 10147 Arch: John E. Orfield Reg. No.: 11164 Arch: R. Andrew Bennett Reg. No.: 18129

developer AUSTIN DEVERSORIUM, LLC 4124 Buena Vista Dallas, TX 75204 Contact: Craig Bull, 972.978.6911

structural engineer THORNTON TOMASETTI 8750 North Central Expressway, Ste. 700 Dallas, TX 75231 Contact: John Aniol, 972.764.6240

m.e.p. engineer BLUM CONSULTING ENGINEERS 8144 Walnut Hill Lane, Ste. 200 Dallas, TX 75231 Contact: Jake Musick, 214.373.8222

landscape DWG 912B Congress Avenue Austin, TX 78701 Contact: Daniel Woodroffe, 512.917.6040

interiors
WALDROP+NICHOLS STUDIO
8070 Park Lane, Ste. 250
Dallas, TX 75231
Contact: Dona Bianchi, 214.979.9050

project 12th and Red River Hotel 1201 Red River, Austin TX 78701

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original issue SCHEMATIC DESIGN

04.15.2016

16022.100

LEVEL 1 FLOOR PLAN

project number

04.15.2016

A2.01

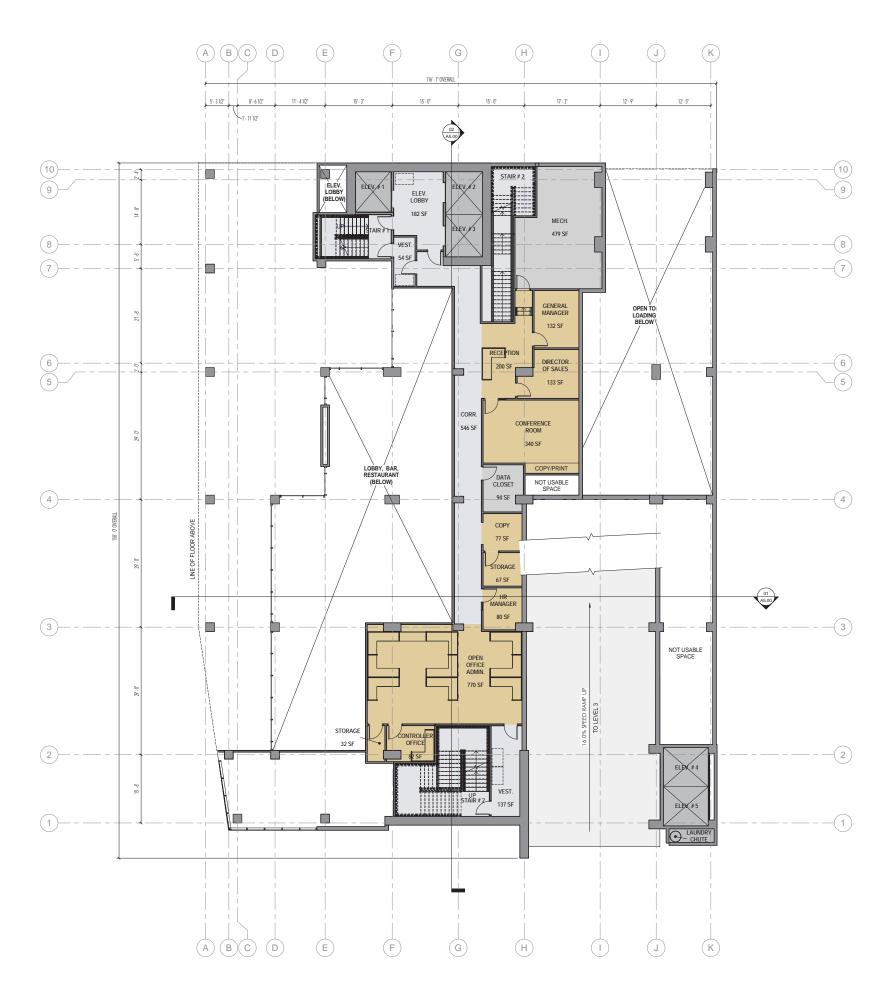
01 LEVEL 1 - FLOOR PLAN SCALE: 1/8" = 1'-0"

/2016 12:06:25 PM

Building Services

Circulation

Hotel BOH
Vertical Penetration





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04.15.2016

LEVEL 2 MEZZANINE

project number 16022.100

te 04.15.2016

A2.02

01 LEVEL 2 - MEZZANINE SCALE: 1/8" = 1'-0"

2016 12:06:30 PM

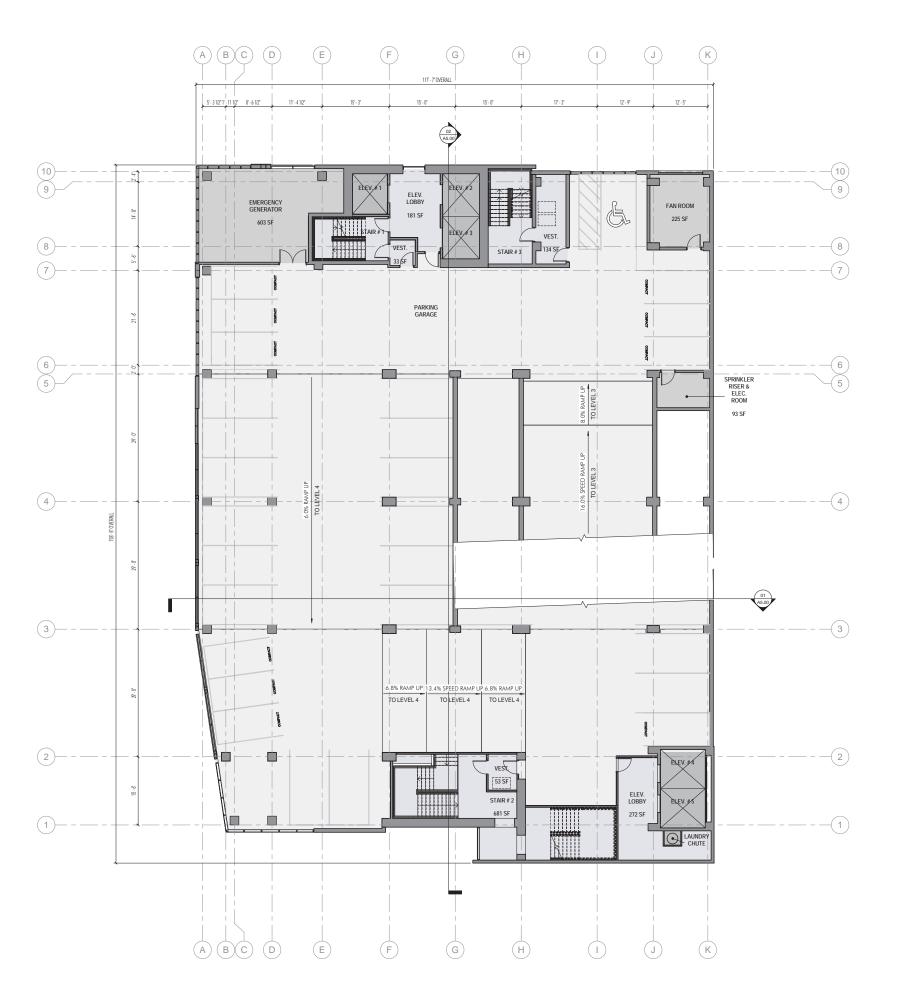
Building Services

Circulation

Vehicular Circulation

Vertical Penetration

Parking Schedule Type Count





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original issue SCHEMATIC DESIGN

04.15.2016

LEVEL 3 PARKING

project number 16022.100

04.15.2016

A2.03

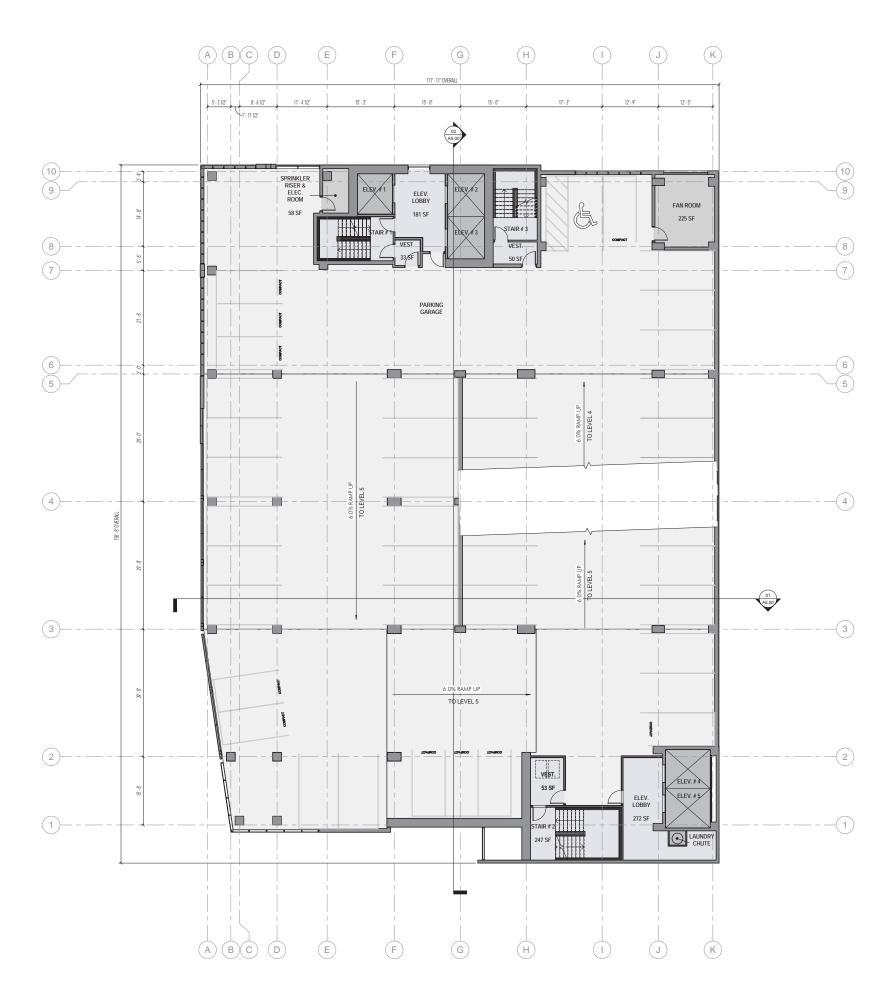
01 LEVEL 3 - PARKING SCALE: 1/8" = 1'-0"

Building Services Circulation

Vehicular Circulation

Vertical Penetration

Parking Schedule Type Count





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original issue SCHEMATIC DESIGN

04.15.2016

PARKING PLAN - TYPICAL

project number 16022.100

04.15.2016

A2.04

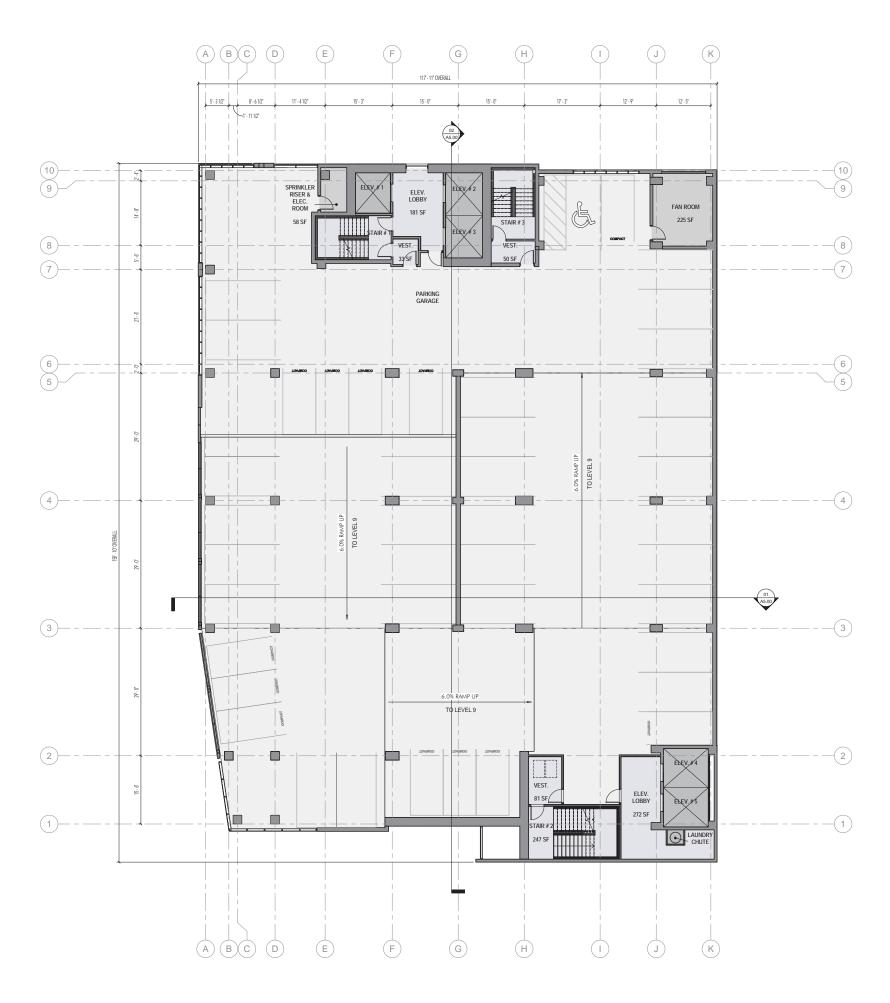
01 PARKING PLAN - TYPICAL SCALE: 1/8" = 1'-0"

Building Services

Circulation Vehicular Circulation

Vertical Penetration

Parking Schedule Type Count





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original issue SCHEMATIC DESIGN

04.15.2016

LEVEL 9 PARKING

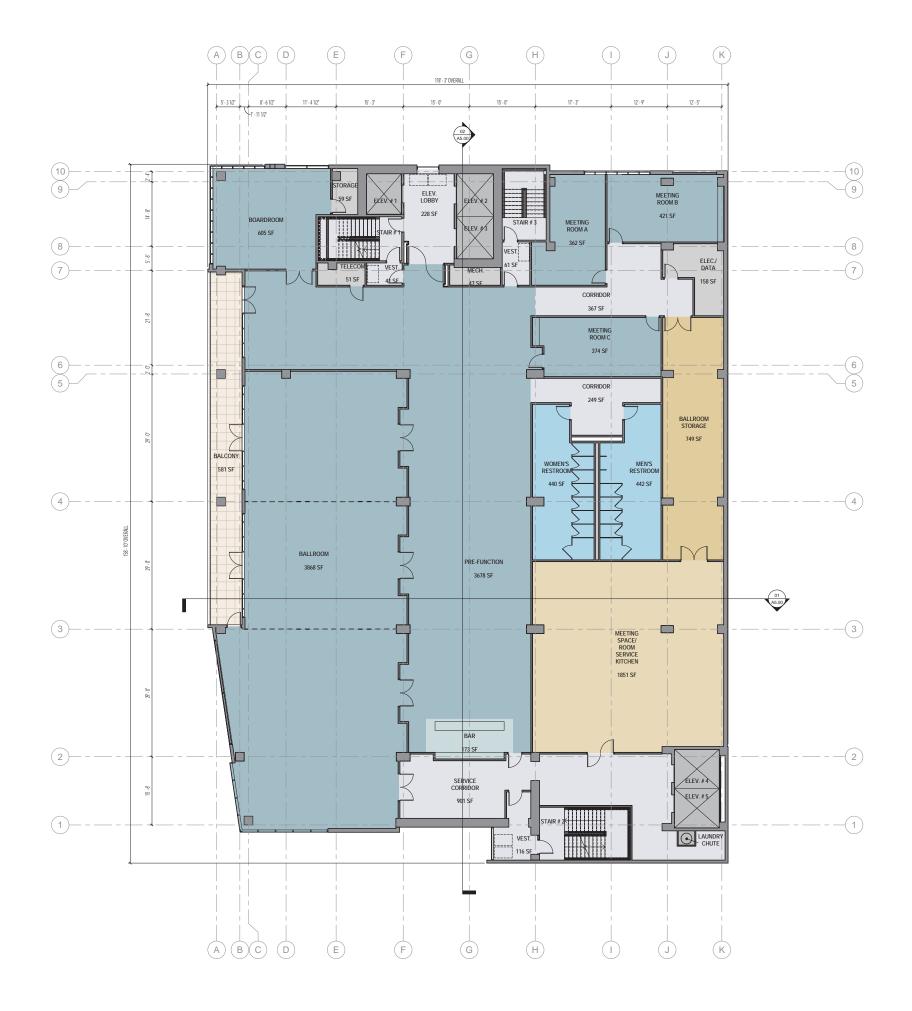
project number 16022.100

A2.09

04.15.2016

01 LEVEL - 9 PARKING SCALE: 1/8" = 1'-0"

Color Scheme Legend Balcony, Patio, Pool Deck Building Services Circulation Food and Beverage Food and Beverage BOH Hotel Hotel BOH Meeting Space Vertical Penetration





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structural engineer THORNTON TOMASETTI 8750 North Central Expressway, Ste. 700 Dallas, TX 75231 Contact: John Aniol, 972.764.6240

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Dallas, TX 75231
Contact: Jake Musick, 214.373.8222

landscape landscape DWG 912B Congress Avenue Austin, TX 78701 Contact: Daniel Woodroffe, 512.917.6040

interiors WALDROP+NICHOLS STUDIO 8070 Park Lane, Ste. 250 Dallas, TX 75231 Contact: Dona Bianchi, 214.979.9050

project 12th and Red River Hotel 1201 Red River, Austin TX 78701

original issue

SCHEMATIC DESIGN

04.15.2016

LEVEL 10 BALLROOM

project number 16022.100

04.15.2016

A2.10

01 LEVEL 10 - BALLROOM SCALE: 1/8" = 1'-0"

Vertical Penetration





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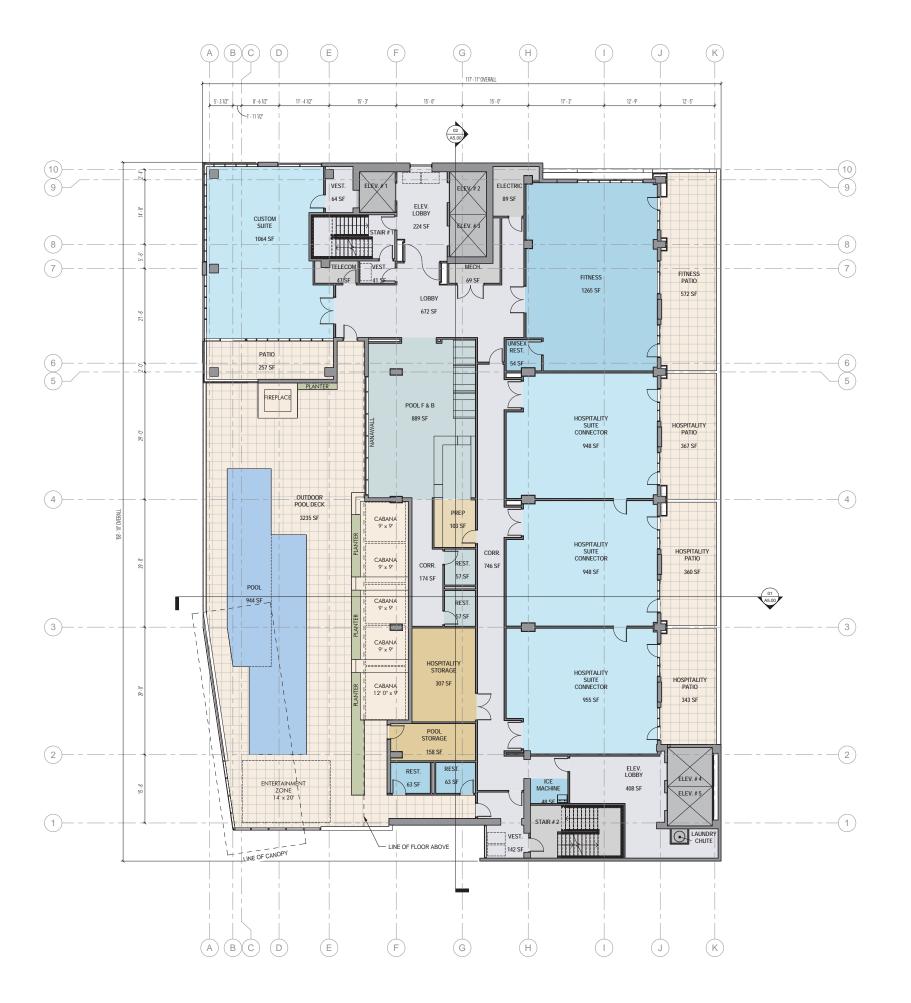
LEVEL 11 BALLROOM MEZZANINE

project number

16022.100 04.15.2016

01 LEVEL 11 - BALLROOM MEZZANINE SCALE: 1/8" = 1'.0"







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LEVEL 12 AMENITY DECK

project number 16022.100

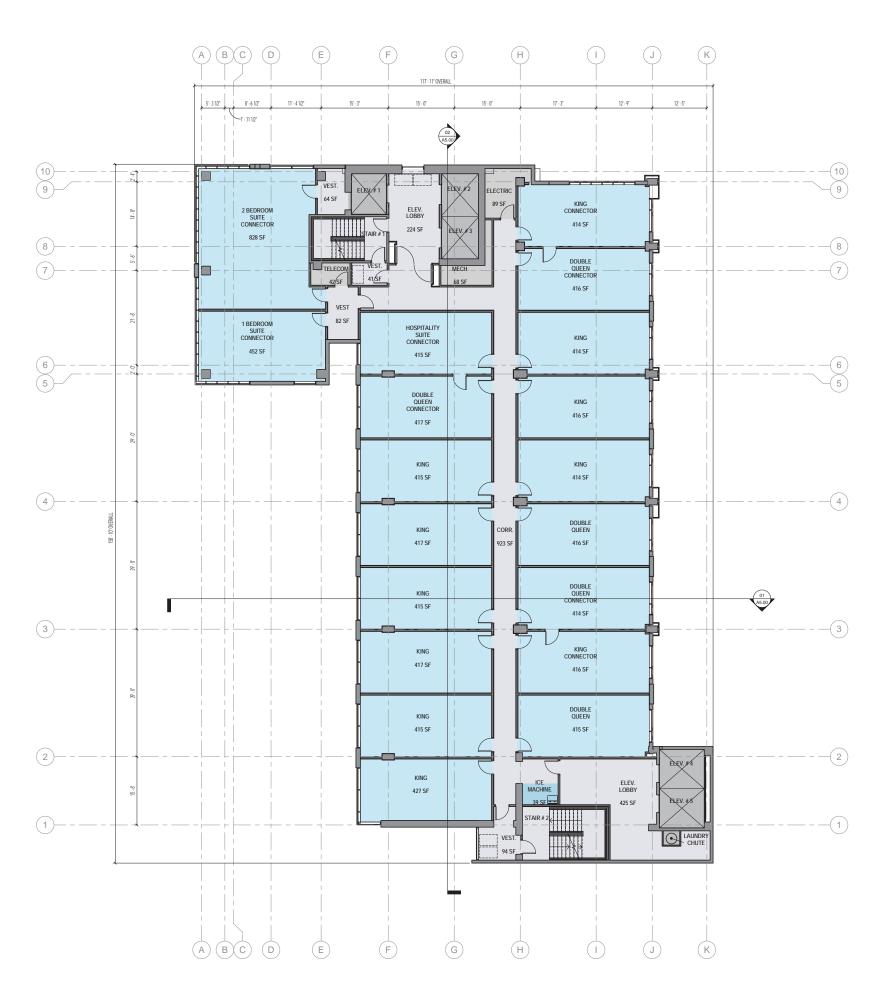
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01 LEVEL 12 - AMENITY DECK

Circulation Guest Rooms

Hotel Vertical Penetration





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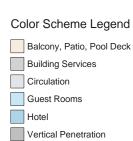
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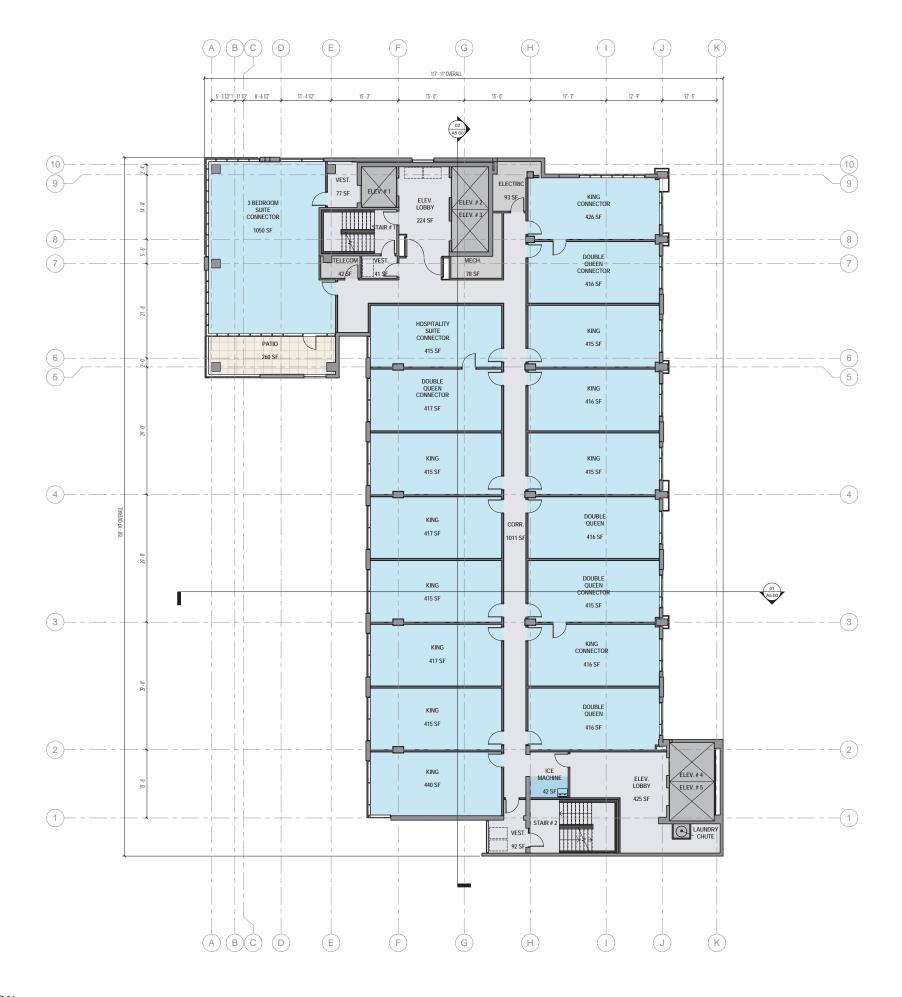
HOTEL PLAN - TYPICAL

project number 16022.100

04.15.2016

01 HOTEL PLAN - TYPICAL SCALE: 1/8" = 1'-0"







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HOTEL PLAN WITH BALCONY

- TYPICAL

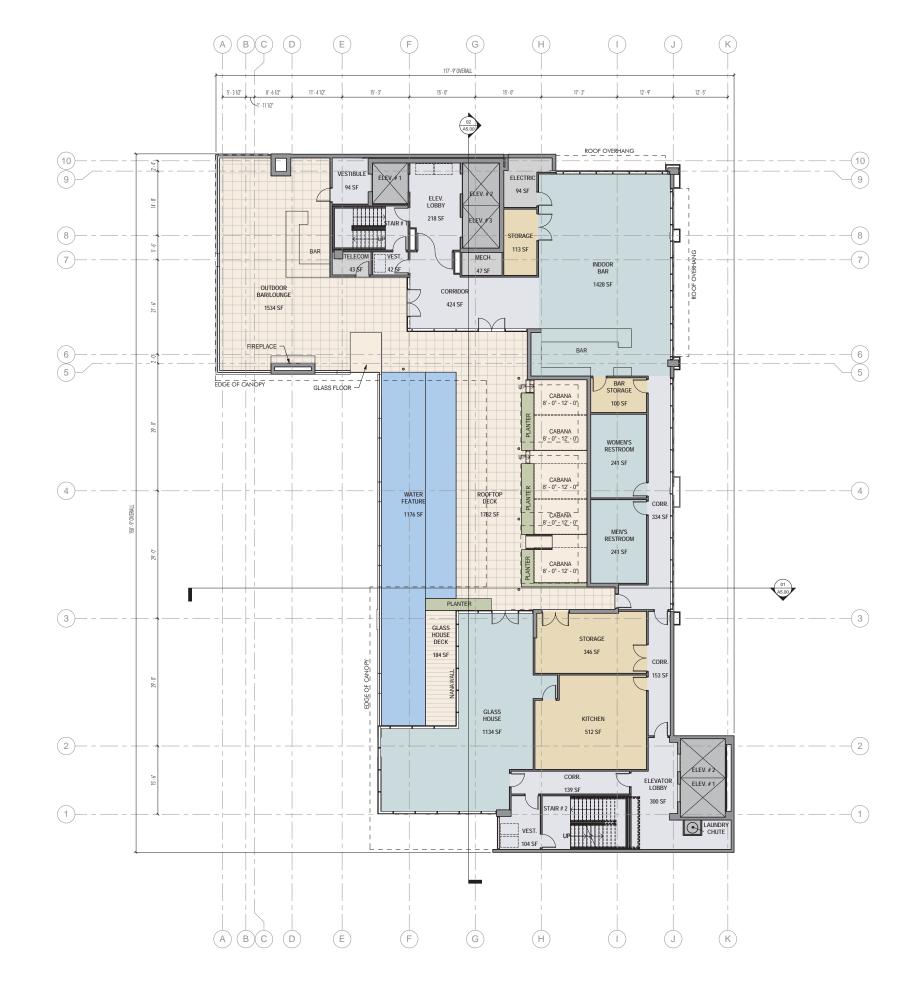
project number 16022.100 date 04.15.2016

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 $01 \ \, \underset{\text{SCALE: } 18^{\circ} = 1^{\circ}0^{\circ}}{\text{HOTEL PLAN WITH BALCONY - TYPICAL}}$

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04.15.2016

LEVEL 27 ROOF DECK

project number

04.15.2016

16022.100

A2.15

NORTH

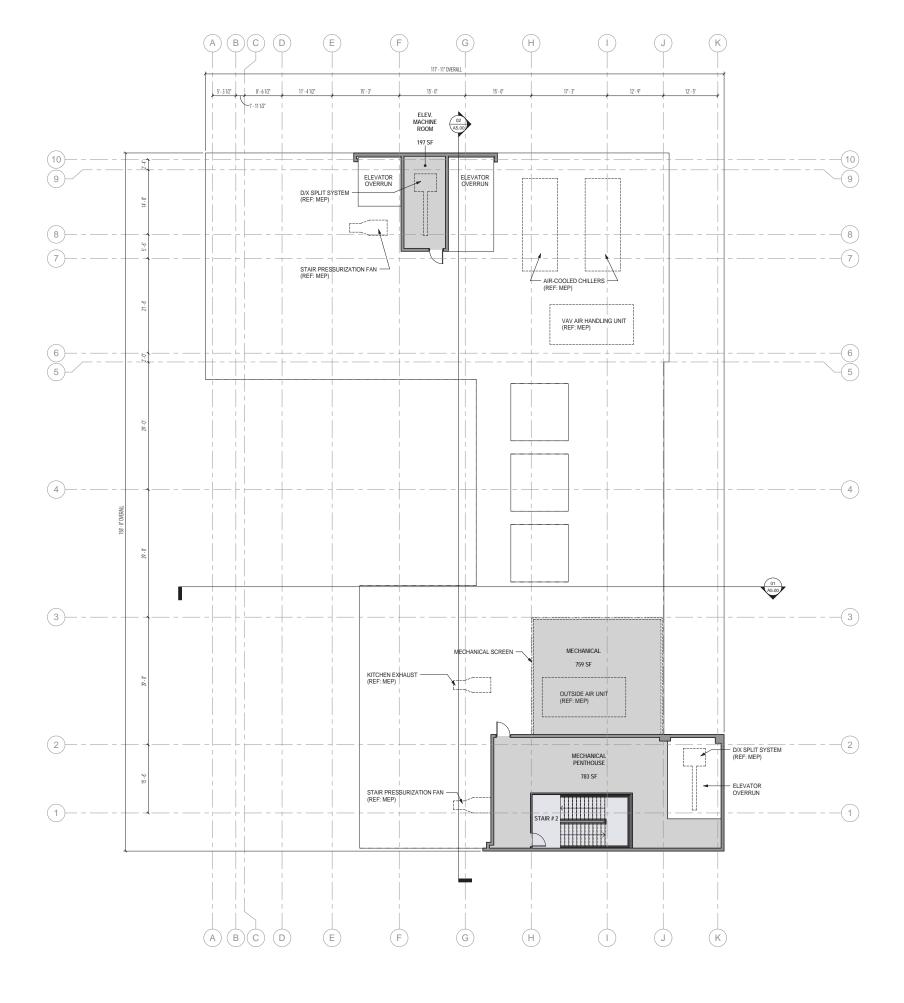
01 LEVEL 27 - ROOF DECK

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Color Scheme Legend

Building Services

Circulation





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ROOF PLAN - OVERALL

project number 16022.100

te 04.15.2016

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01 ROOF PLAN SCALE: 1/8" = 1'-0"

	Room Schedule	1 000
DINING PATIO	Balcony, Patio, Pool Deck	1,260 SF
DOCK	Building Services	575 SF
MAIN ELECTRICAL	Building Services	262 SF
PUMP ROOM	Building Services	218 SF
RECYCLING	Building Services	437 SF
TRANSFORMER VAULT	Building Services	617 SF
CORRIDOR	Circulation	594 SF
STAIR # 1	Circulation	137 SF
STAIR # 2	Circulation	247 SF
STAIR #3	Circulation	156 SF
STAIR # 4	Circulation	86 SF
VEST.	Circulation	122 SF
BAR	Food and Beverage	1,006 SF
CORR.	Food and Beverage	247 SF
LOBBY	Food and Beverage	1,034 SF
MEN'S RESTROOM	Food and Beverage	212 SF
RESTAURANT	Food and Beverage	1,388 SF
WOMEN'S RESTROOM	Food and Beverage	212 SF
BAR STORAGE	Food and Beverage BOH	114 SF
KITCHEN	Food and Beverage BOH	891 SF
KITCHEN STORAGE	Food and Beverage BOH	177 SF
ELEV. LOBBY	Hotel	239 SF
ELEV. LOBBY	Hotel	63 SF
RECEPTION & CONCIERGE	Hotel	529 SF
BAGGAGE STORAGE	Hotel BOH	174 SF
ENGINEERING OFFICE	Hotel BOH	128 SF
ENGINEERING WORKSHOP	Hotel BOH	188 SF
FIRE COMMAND	Hotel BOH	204 SF
FRONT OFFICE	Hotel BOH	181 SF
HOUSEKEEPING STORAGE	Hotel BOH	200 SF
LAUNDRY BIN STORAGE	Hotel BOH	111 SF
SECURITY	Hotel BOH	80 SF
SOILED LINEN	Hotel BOH	171 SF
LOADING DOCK	Vehicular Circulation	1,387 SF
ELEV. # 1	Vertical Penetration	74 SF
ELEV. #2	Vertical Penetration	81 SF
ELEV. # 3	Vertical Penetration	81 SF
ELEV. # 4	Vertical Penetration	91 SF
ELEV. # 5	Vertical Penetration	91 SF
Level 1 Total NSF		14,066 SF

Level 2 Room Schedule				
DATA CLOSET	Building Services	94 SF		
MECH.	Building Services	479 SF		
CORR.	Circulation	546 SF		
ELEV. LOBBY	Circulation	182 SF		
STAIR #1	Circulation	173 SF		
STAIR # 2	Circulation	359 SF		
STAIR # 2	Circulation	138 SF		
VEST.	Circulation	54 SF		
VEST.	Circulation	137 SF		
CONFERENCE ROOM	Hotel BOH	340 SF		
CONTROLLER OFFICE	Hotel BOH	82 SF		
COPY	Hotel BOH	77 SF		
DIRECTOR OF SALES	Hotel BOH	133 SF		
GENERAL MANAGER	Hotel BOH	132 SF		
HR MANAGER	Hotel BOH	80 SF		
OPEN OFFICE ADMIN.	Hotel BOH	770 SF		
RECEPTION	Hotel BOH	200 SF		
STORAGE	Hotel BOH	67 SF		
STORAGE	Hotel BOH	32 SF		
ELEV. # 1	Vertical Penetration	74 SF		
ELEV. #2	Vertical Penetration	81 SF		
ELEV. #3	Vertical Penetration	81 SF		
ELEV. # 4	Vertical Penetration	91 SF		
ELEV. #5	Vertical Penetration	91 SF		
LAUNDRY CHUTE	Vertical Penetration	32 SF		
Level 2 Mezzanine Total NSF		4,522 SF		

Level 10 Room Schedule				
BALCONY	Balcony, Patio, Pool Deck	581 SF		
ELEC./ DATA	Building Services	158 SF		
MECH.	Building Services	47 SF		
STORAGE	Building Services	59 SF		
TELECOM	Building Services	51 SF		
CORRIDOR	Circulation	367 SF		
CORRIDOR	Circulation	249 SF		
ELEV. LOBBY	Circulation	228 SF		
SERVICE CORRIDOR	Circulation	901 SF		
STAIR # 1	Circulation	190 SF		
STAIR # 2	Circulation	247 SF		
STAIR #3	Circulation	163 SF		
VEST.	Circulation	116 SF		
VEST.	Circulation	41 SF		
VEST.	Circulation	61 SF		
BAR	Food and Beverage	173 SF		
MEETING SPACE/ ROOM SERVICE KITCHEN	Food and Beverage BOH	1,851 SF		
MEN'S RESTROOM	Hotel	442 SF		
WOMEN'S RESTROOM	Hotel	440 SF		
BALLROOM STORAGE	Hotel BOH	749 SF		
BALLROOM	Meeting Space	3,868 SF		
BOARDROOM	Meeting Space	605 SF		
MEETING ROOM A	Meeting Space	362 SF		
MEETING ROOM B	Meeting Space	421 SF		
MEETING ROOM C	Meeting Space	374 SF		
PRE-FUNCTION	Meeting Space	3,678 SF		
ELEV. # 1	Vertical Penetration	73 SF		
ELEV. # 2	Vertical Penetration	81 SF		
ELEV. #3	Vertical Penetration	81 SF		
ELEV. # 4	Vertical Penetration	91 SF		
ELEV. # 5	Vertical Penetration	91 SF		
LAUNDRY CHUTE	Vertical Penetration	12 SF		
Level 10 Ballroom Total NSF		16,846 SF		

Level 11 Room Schedule			
MECH.	Building Services	386 SI	
MECH. ROOM	Building Services	320 S	
TELECOM	Building Services	51 S	
CORR.	Circulation	1,457 S	
CORR.	Circulation	202 S	
ELEV. LOBBY	Circulation	199 S	
STAIR # 2	Circulation	247 S	
STAIR # 2	Circulation	190 S	
VEST.	Circulation	116 S	
VEST.	Circulation	41 S	
ADMINISTRATION OFFICE	Food and Beverage BOH	200 S	
CHEF OFFICE	Food and Beverage BOH	106 SI	
CHEMICAL STORAGE	Food and Beverage BOH	31 S	
CHINA GLASS SILVER STORAGE	Food and Beverage BOH	78 S	
DRY STORAGE	Food and Beverage BOH	117 S	
GM OFFICE	Food and Beverage BOH	82 S	
LINEN STORAGE	Food and Beverage BOH	159 S	
LIQUOR STORAGE	Food and Beverage BOH	150 S	
BREAKROOM	Hotel BOH	432 S	
CONFERENCE ROOM	Hotel BOH	174 S	
HOTEL GENERAL STORAGE	Hotel BOH	615 S	
HOUSEKEEPING	Hotel BOH	391 S	
HOUSEKEEPING OFFICE	Hotel BOH	81 S	
JC	Hotel BOH	46 S	
MEN'S RESTROOM/ LOCKERS	Hotel BOH	366 S	
MINI BAR STORAGE	Hotel BOH	105 S	
MPOE/ MDF	Hotel BOH	194 S	
OFFICE	Hotel BOH	203 S	
OFFICE	Hotel BOH	111 S	
SEATING	Hotel BOH	198 S	
VEST.	Hotel BOH	32 S	
WOMEN'S RESTROOM/ LOCKERS	Hotel BOH	364 S	
ELEV. #1	Vertical Penetration	73 S	
ELEV. # 2	Vertical Penetration	81 S	
ELEV.#3	Vertical Penetration	81 S	
ELEV. # 4	Vertical Penetration	91 S	
ELEV. # 5	Vertical Penetration	91 S	
LAUNDRY CHUTE	Vertical Penetration	12 S	
Level 11 Ballroom Total NSF		7,873 S	

Level 12 R	oom Schedule	
FITNESS PATIO	Balcony, Patio, Pool Deck	572 SF
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	343 SF
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	360 SF
HOSPITALITY PATIO	Balcony, Patio, Pool Deck	367 SF
OUTDOOR POOL DECK	Balcony, Patio, Pool Deck	3,235 SF
PATIO	Balcony, Patio, Pool Deck	257 SF
ELECTRIC	Building Services	89 SF
MECH.	Building Services	69 SF
STAIR # 2	Building Services	253 SF
TELECOM	Building Services	47 SF
CORR.	Circulation	746 SF
CORR.	Circulation	174 SF
ELEV. LOBBY	Circulation	408 SF
ELEV. LOBBY	Circulation	224 SF
LOBBY	Circulation	672 SF
STAIR # 1	Circulation	190 SF
VEST.	Circulation	142 SF
VEST.	Circulation	41 SF
VEST.	Circulation	64 SF
POOL F & B	Food and Beverage	889 SF
REST.	Food and Beverage	57 SF
REST.	Food and Beverage	57 SF
PREP	Food and Beverage BOH	103 SF
CUSTOM SUITE	Guest Rooms	1,064 SF
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF
HOSPITALITY SUITE CONNECTOR	Guest Rooms	948 SF
HOSPITALITY SUITE CONNECTOR	Guest Rooms	955 SF
FITNESS	Hotel	1,265 SF
ICE MACHINE	Hotel	48 SF
REST.	Hotel	63 SF
REST.	Hotel	63 SF
UNISEX REST.	Hotel	54 SF
HOSPITALITY STORAGE	Hotel BOH	307 SF
POOL STORAGE	Hotel BOH	158 SF
POOL	Pool / Water Feature	944 SF
ELEV. # 1	Vertical Penetration	73 SF
ELEV. #2	Vertical Penetration	81 SF
ELEV. #3	Vertical Penetration	81 SF
ELEV. # 4	Vertical Penetration	91 SF
ELEV. #5	Vertical Penetration	91 SF
LAUNDRY CHUTE	Vertical Penetration	12 SF
Level 12 Hotel Total NSF		16,603 SF

Level 15 Typical Room Schedule				
ELECTRIC	Building Services	89		
MECH.	Building Services	68		
TELECOM	Building Services	42		
CORR.	Circulation	923		
ELEV. LOBBY	Circulation	224		
ELEV. LOBBY	Circulation	425		
STAIR # 1	Circulation	172		
STAIR # 2	Circulation	237		
VEST	Circulation	82		
VEST.	Circulation	41		
VEST.	Circulation	64		
VEST.	Circulation	94		
1 BEDROOM SUITE CONNECTOR	Guest Rooms	452		
2 BEDROOM SUITE CONNECTOR	Guest Rooms	828		
DOUBLE QUEEN	Guest Rooms	416		
DOUBLE QUEEN	Guest Rooms	415		
DOUBLE QUEEN CONNECTOR	Guest Rooms	416		
DOUBLE QUEEN CONNECTOR	Guest Rooms	414		
DOUBLE QUEEN CONNECTOR	Guest Rooms	417		
HOSPITALITY SUITE CONNECTOR	Guest Rooms	415		
KING	Guest Rooms	414		
KING	Guest Rooms	416		
KING	Guest Rooms	414		
KING	Guest Rooms	427		
KING	Guest Rooms	415		
KING	Guest Rooms	417		
KING	Guest Rooms	415		
KING	Guest Rooms	417		
KING	Guest Rooms	415		
KING CONNECTOR	Guest Rooms	414		
KING CONNECTOR	Guest Rooms	416		
ICE MACHINE	Hotel	39		
ELEV. # 1	Vertical Penetration	73		
ELEV. # 2	Vertical Penetration	81		
ELEV. #3	Vertical Penetration	81		
ELEV. # 4	Vertical Penetration	91		
ELEV. # 5	Vertical Penetration	91		
LAUNDRY CHUTE	Vertical Penetration	12		
Level 15 Total NSF		11,280		

Level 20 Typical Room Schedule				
PATIO	Balcony, Patio, Pool Deck	260 SF		
LECTRIC	Building Services	93 SF		
MECH.	Building Services	78 SF		
ELECOM	Building Services	42 SF		
ORR.	Circulation	1,011 SF		
LEV. LOBBY	Circulation	224 SF		
LEV. LOBBY	Circulation	425 SF		
STAIR # 1	Circulation	172 SF		
STAIR # 2	Circulation	243 SF		
/EST.	Circulation	41 SF		
/EST.	Circulation	77 SF		
/EST.	Circulation	92 SF		
BEDROOM SUITE CONNECTOR	Guest Rooms	1,050 SF		
OUBLE QUEEN	Guest Rooms	416 SF		
OOUBLE QUEEN	Guest Rooms	416 SF		
OOUBLE QUEEN CONNECTOR	Guest Rooms	416 SF		
OOUBLE QUEEN CONNECTOR	Guest Rooms	417 SF		
OOUBLE QUEEN CONNECTOR	Guest Rooms	415 SF		
HOSPITALITY SUITE CONNECTOR	Guest Rooms	415 SF		
(ING	Guest Rooms	415 SF		
(ING	Guest Rooms	416 SF		
(ING	Guest Rooms	415 SF		
(ING	Guest Rooms	415 SF		
KING	Guest Rooms	417 SF		
(ING	Guest Rooms	415 SF		
KING	Guest Rooms	417 SF		
KING	Guest Rooms	415 SF		
(ING	Guest Rooms	440 SF		
KING CONNECTOR	Guest Rooms	426 SF		
KING CONNECTOR	Guest Rooms	416 SF		
CE MACHINE	Hotel	42 SF		
LEV. #1	Vertical Penetration	73 SF		
LEV. # 2	Vertical Penetration	81 SF		
ELEV. #3	Vertical Penetration	81 SF		
LEV. # 4	Vertical Penetration	91 SF		
ELEV. # 5	Vertical Penetration	91 SF		
AUNDRY CHUTE	Vertical Penetration	12 SF		
evel 20 Hotel Total NSF		11,380 SF		

Level 27	Room Schedule	
ROOFTOP DECK	Balcony, Patio, Pool Deck	1,782 SF
ELECTRIC	Building Services	94 SF
MECH.	Building Services	47 SF
TELECOM	Building Services	43 SF
CORR.	Circulation	334 SF
CORR.	Circulation	153 SF
CORR.	Circulation	139 SF
CORRIDOR	Circulation	424 SF
ELEV. LOBBY	Circulation	218 SF
ELEVATOR LOBBY	Circulation	300 SF
STAIR # 1	Circulation	172 SF
STAIR # 2	Circulation	241 SF
VEST.	Circulation	104 SF
VEST.	Circulation	42 SF
VESTIBULE	Circulation	94 SF
GLASS HOUSE	Food and Beverage	1,134 SF
GLASS HOUSE DECK	Food and Beverage	184 SF
INDOOR BAR	Food and Beverage	1,428 SF
MEN'S RESTROOM	Food and Beverage	241 SF
OUTDOOR BAR/LOUNGE	Food and Beverage	1,534 SF
WOMEN'S RESTROOM	Food and Beverage	241 SF
BAR STORAGE	Food and Beverage BOH	100 SF
KITCHEN	Food and Beverage BOH	512 SF
STORAGE	Food and Beverage BOH	346 SF
STORAGE	Food and Beverage BOH	113 SF
WATER FEATURE	Pool / Water Feature	1,176 SF
ELEV. #1	Vertical Penetration	75 SF
ELEV. #1	Vertical Penetration	91 SF
ELEV. # 2	Vertical Penetration	81 SF
ELEV. #2	Vertical Penetration	91 SF
ELEV. #3	Vertical Penetration	81 SF
LAUNDRY CHUTE	Vertical Penetration	12 SF
Level 27 Clubhouse Total NSF		11,626 SF

Building Services Building Services Circulation	
	783 SF
Circulation	
Circulation	273 SF
	2,012 SF
I	



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Arch: Donald R. Powell, Jr. Reg. No.: 7206 Arch: Chris W. Barnes Reg. No.: 10147 Arch: John E. Orfield Reg. No.: 11164 Arch: R. Andrew Bennett Reg. No.: 18129

developer AUSTIN DEVERSORIUM, LLC 4124 Buena Vista Dallas, TX 75204 Contact: Craig Bull, 972.978.6911

structural engineer THORNTON TOMASETTI 8750 North Central Expressway, Ste. 700 Dallas, TX 75231 Contact: John Aniol, 972.764.6240

m.e.p. engineer m.e.p. engineer
BLUM CONSULTING ENGINEERS
8144 Walnut Hill Lane, Ste. 200
Dallas, TX 75231
Contact: Jake Musick, 214.373.8222

landscape landscape
DWG
912B Congress Avenue
Austin, TX 78701
Contact: Daniel Woodroffe, 512.917.6040

interiors WALDROP+NICHOLS STUDIO 8070 Park Lane, Ste. 250 Dallas, TX 75231 Contact: Dona Bianchi, 214.979.9050

project 12th and Red River Hotel 1201 Red River, Austin TX 78701

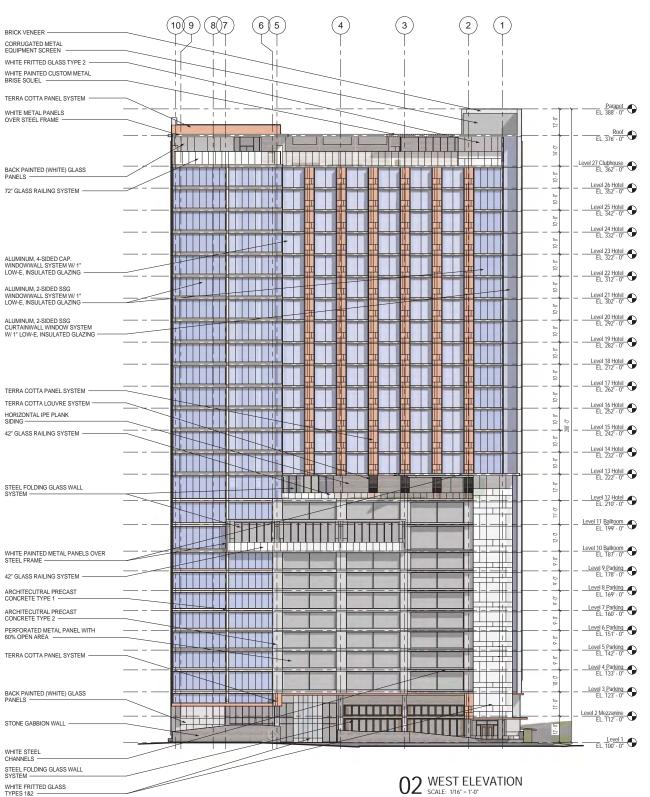
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ROOM SCHEDULE

project number

16022.100 04.15.2016

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client

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civil engineer

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POLITICIDATION DE SIN

EXTERIOR ELEVATIONS

project number

04.15.2016

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(2) 7 8 9 10 (3) (4) (5)(6) WHITE FRITTED GLASS TYPE 2 WHITE FRITTED GLASS TYPE 1 BACK PAINTED (WHITE) GLASS PANELS Parapet 5 evel 27 Clubhouse EL. 362' - 0" Level 26 Hotel EL. 352' - 0" WHITE METAL PANELS OVER Level 25 Hotel EL. 342' - 0" Level 24 Hotel EL. 332' - 0" Level 23 Hotel EL. 322' - 0" ALUMINUM, 4-SIDED CAP. WINDOWWALL SYSTEM W/ 1" LOW-E, INSULATED GLAZING Level 21 Hotel EL. 302' - 0" Level 20 Hotel ARCHITECUTRAL PRECAST CONCRETE TYPE 1 Level 19 Hotel EL. 282' - 0" BRICK VENEER Level 17 Hotel EL. 262' - 0" Level 16 Hotel EL. 252' - 0" TERRA COTTA PANEL SYSTEM TERRA COTTA LOUVRE SYSTEM Level 14 Hotel EL. 232' - 0" 42" GLASS RAILING SYSTEM Level 11 Ballroom FL 199' - 0" ALUMINUM COMPOSITE METAL (ACM) PANEL SYSTEM Level 10 Ballroom EL. 187' - 0" CAST-IN-PLACE CONCRETE Level 8 Parking Level 7 Parking EL. 160' - 0" Level 6 Parking EL. 151' - 0" Level 5 Parking EL. 142' - 0" Level 2 Mezzanine EL. 112' - 0"

(A)(B)(C)(D)(E)(G) TERRA COTTA PANEL SYSTEM BACK PAINTED (WHITE) GLASS PANELS WHITE METAL PANELS OVER STEEL FRAME 72" GLASS RAILING SYSTEM WHITE FRITTED GLASS TYPE 2 Level 24 Hotel EL. 332' - 0" Level 23 Hotel EL. 322' - 0" CAST-IN-PLACE CONCRETE ALUMINUM, 2-SIDED SSG CURTAINWALL WINDOW SYSTEM W/ 1" LOW-E, INSULATED GLAZING ALUMINUM, 4-SIDED CAP WINDOWWALL SYSTEM W/ 1" LOW-E, INSULATED GLAZING ALUMINUM, 2-SIDED SSG WINDOWWALL SYSTEM W/ 1" LOW-E, INSULATED GLAZING Level 17 Hotel EL. 262' - 0" HORIZONTAL IPE PLANK SIDING TERRA COTTA LOUVRE SYSTEM VEGETATED WALL WHITE PAINTED METAL PANELS OVER STEEL FRAME WHITE FRITTED GLASS TYPES 1&2 Level 11 Ballroom EL. 199' - 0" WHITE STEEL CHANNELS Level 10 Ballroom FL 187' - 0" Level 9 Parking EL. 178' - 0" PERFORATED METAL PANEL WITH 60% OPEN AREA -Level 8 Parking EL. 169' - 0" ARCHITECUTRAL PRECAST CONCRETE TYPE 2 — Level 7 Parking EL. 160' - 0" TERRA COTTA PANEL SYSTEM Level 5 Parking EL. 142' - 0" Level 4 Parking EL. 133' - 0" HORIZONTAL IPE PLANK Level 3 Parking EL. 123' - 0" VEGETATED WALL GARAGE ENTRANCE -

01 SOUTH ELEVATION SCALE: 1/16" = 1'-0"



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civil engineer

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landscape

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project 12th and Red River Hotel 1201 Red River, Austin TX 78701

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EXTERIOR ELEVATION

project number

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02 EAST ELEVATION SCALE: 1/16" = 1'-0"





AERIAL VIEW









NORTHWEST VIEW



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NORTHEAST VIEW

SOUTHEAST VIEW



ROOF DECK VIEW



AMENITY DECK VIEW



MAIN ENTRY VIEW



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GLASS HOUSE VIEW



AMENITY POOL VIEW



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AUSTIN ENERGY GREEN BUILDING

Letter of Intent

This Letter of Intent demonstrates the intent of the project owner or an athorized repesentative to complete the necessary requirements to achieve an Austin Energy Green Building (AEGB) minimum TWO Star Rating for a development / project that requires this rating.

Project Name Waterloo

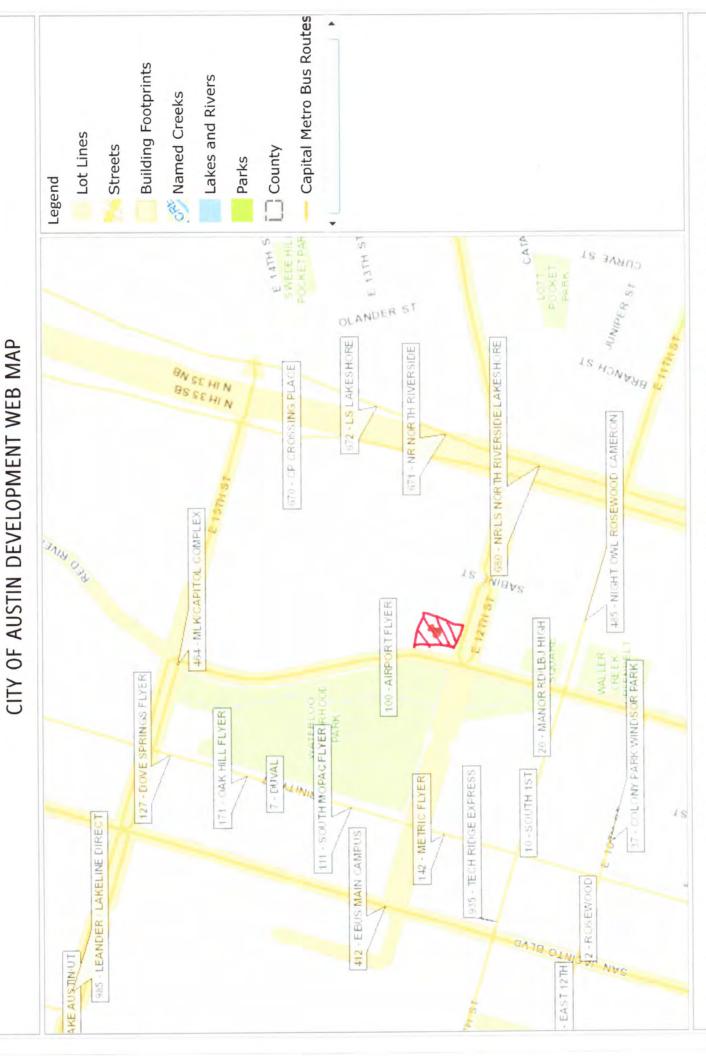
Project Address: 1201 Red River, Austin, Texas, 78701

This Letter of Intent must be included with the Administrative Site Plan application for all projects requiring an AEGB Rating. Signing this Letter demonstrates knowledge of this requirement and the process necessary to achieve an AEGB Rating. For best results, meet with an AEGB representative early in the design process. To achieve an AEGB Rating:

- Submit a Participation Request or Completed "Project Team" and "Project Information" Tabs within the AEGB Rating Packet to an AEGB representative prior to or within Schematic Design Phase.
- II. Submit a completed and signed AEGB Conditional Approval with the Building Permit application. AEGB will issue a Conditional Approval upon satisfactory review of the project's construction documents, including plans, specifications, mechanical plans, Manual J calculation (applicable for multi-family and single family projects), and the AEGB Rating Packet.
- III. Schedule AEGB inspections (separate from City of Austin inspections) of the project with the AEGB representative
 - a) After interior mechanical equipment has been installed and prior to installation of insulation.
 - b) At substantial completion of construction.
- IV. Submit a completed and signed AEGB Final Approval to receive the Certificate of Occupancy for this project. AEGB will issue a Final Approval upon substantial completion of the project and satisfactory fulfillment of the AEGB Rating, as described in Section 7 of the Building Criteria Manual.

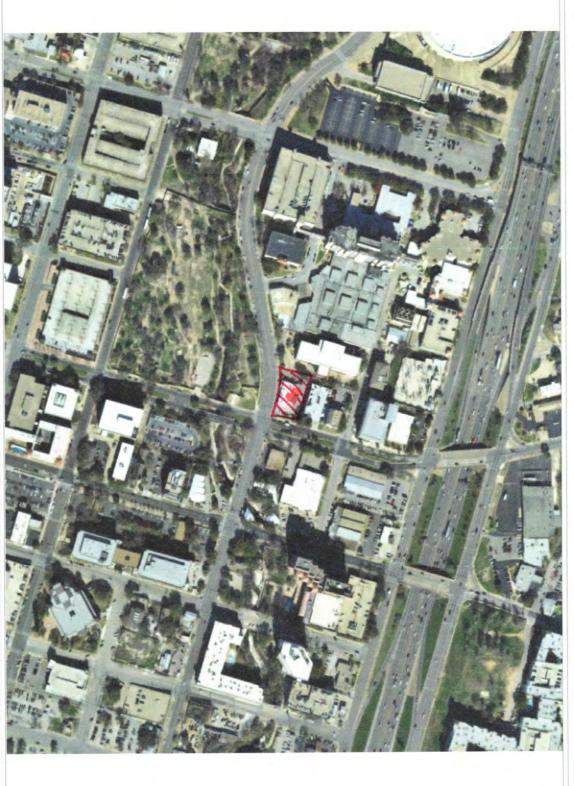
This Letter of Intent is entered into by the parties, acting through their duly authorized representatives, effective as of the later of two signature dates entered below:

PARTICIPANT:	AUSTIN ENERGY GREEN BUILDING:
Name Jim With FF	Name Liana Kallivoka
Signature	Signature:
Tille: President, Land Answers, Inc.	Title Project Manager
Phone Number 512-416-6611	Phone Number. (512) 482-5406
Date: 2/27/15	Date: 3, 2, 2015



REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS. THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND

CITY OF AUSTIN DEVELOPMENT WEB MAP



Legend

Lot Lines

Streets

Building Footprints

Named Creeks

Lakes and Rivers

Parks

County

THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.

SITE INFORMATION

LEGAL DESCRIPTION:

0.4520 ACRES or (19689 SQ. FT.) OUT OF THE SAMUEL GOCHER SURVEY, ABSTRACT NO. 316 IN TRAVIS COUNTY. TEXAS BEING ALL OF LOT 1. THE WEST 43 FEET OF LOT 2 AND THE ABANDONED PORTION RECORDED IN VOLUME 5388, PAGE 1230 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS ALL CONVEYED IN DEED TO ALAN WOOD NALLE IN DOCUMENT NUMBER 2005012146 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS,

ALLAN WOODS NALLE 54 SUNDOWN PKWY. AUSTIN, TEXAS 78746 (512) 327-3565

ENGINEER:

REYNALDO CEDILLOS, P.E. CEDILLOS & COMPANY P.O. BOX 50362 AUSTIN, TEXAS 78763 (512) 306-1322

BEARING BASIS FOR THIS SURVEY IS TEXAS STATE PLANE COORDINATES (NAD83), CENTRAL TEXAS ZONE (4203).

2. THIS PROJECT IS LOCATED WITHIN THE WALLER CREEK WATERSHED, WHICH IS CLASSIFIED BY THE CITY OF AUSTIN AS URBAN. THE SITE IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.

3. A PORTION OF THIS SITE IS WITHIN A DESIGNATED FLOOD ZONE "AE" AS SHOWN ON THE FEDERAL INSURANCE RATE MAP NO. 4845340465H DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS.

4. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE SCALED PER AUSTIN UTILITY MAPS.

5. THIS TRACT IS ZONED "CBD" (CENTRAL BUSINESS DISTRICT) BY THE CITY OF AUSTIN. ZONING REQUIREMENTS ARE AS FOLLOWS:



INIMUM SETBACKS

6. THESE PLANS ARE COMPLETE, ACCURATE AND IN COMPLIANCE WITH CHAPTER 25-8, OF THE CITY OF AUSTIN DEVELOPMENT CODE.

7. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE DESIGN ENGINEER.

8. A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING

9. ALL RETAINING WALLS GREATER THAN FOUR-FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND REQUIRE A SEPARATE BUILDING PERMIT PER THE INTERNATIONAL BUILDING CODE.

10. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION ISREVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.

11. AN ELEVATION CERTIFICATE WILL BE REQUIRED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY (CONTACT KATINA BOHRER 512-974-3558).

12. A FEE-IN-LIEU OF PARKLAND DEDICATION HAS BEEN PAID FOR 256 HOTEL ROOMS PER ORDINANCE 20160128-086.

SIX WEEKS TRAFFIC CONTROL NOTE

PRE-CONSTRUCTION MEETING NOTE:

ARRANGE PAYMENT OF INSPECTION FEES.

THE OWNER/ REPRESENTATIVE HAS ELECTED TO DEFER THE TEMPORARY TRAFFIC CONTROL PLAN REVIEW UNTIL AFTER THE COMPLETION OF THE DEVELOPMENTAL REVIEW PROCESS AND FULLY UNDERSTANDS THAT, AT A MINIMUM OF 6 WEEKS PRIOR TO THE START OF CONSTRUCTION, A TEMPORARY TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY RIGHT OF WAY MANAGEMENT DIVISION. THE OWNER / REPRESENTATIVE FURTHER RECOGNIZES THAT A REVIEW FEE, AS PRESCRIBED BY THE MOST CURRENT VERSION OF THE CITY'S FEE ORDINANCE, SHALL BE PAID EACH TIME A PLAN OR PLAN REVISION IS SUBMITTED TO RIGHT OF WAY MANAGEMENT DIVISION FOR REVIEW.

THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION WHEN DEVELOPING FUTURE TRAFFIC CONTROL STRATEGIES:

-PEDESTRIAN AND BICYCLE TRAFFIC ACCESS MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE AUTHORIZED BY RIGHT OF WAY MANAGEMENT.

-NO LONG-TERM LANE CLOSURES WILL BE AUTHORIZED, UNLESS RIGHT OF WAY MANAGEMENT DETERMINES THAT ADEQUATE ACCOMMODATIONS HAVE BEEN MADE TO MINIMIZE TRAFFIC

-PROJECT SHOULD BE PHASED SO THAT UTILITY INSTALLATION MINIMALLY IMPACTS EXISTING OR TEMPORARY PEDESTRIAN FACILITIES.

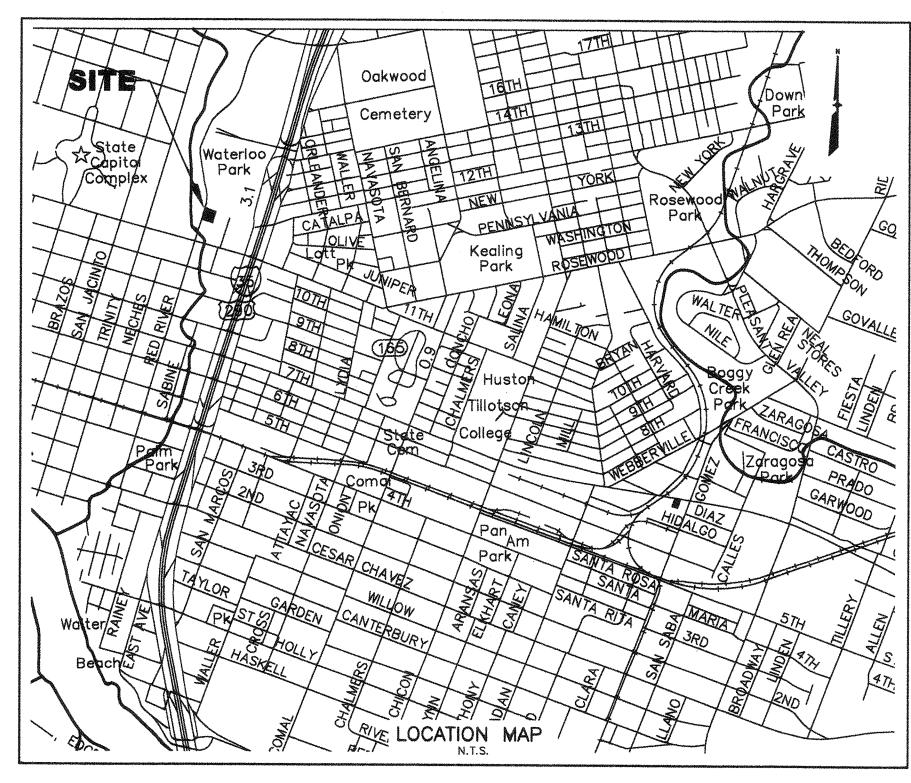
CONTRACTOR SHALL NOTIFY THE CITY OF AUSTIN - SITE AND SUBDIVISION

INSPECTION FEES AND TO SCHEDULE THE REQUIRED SITE AND SUBDIVISION

PRE-CONSTRUCTION MEETING. THIS MEETING MUST BE HELD PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE ROW OR PUBLIC EASEMENTS. PLEASE GO

TO http://austintexas.gov/page/commercial—site—and—subdivision—inspections FOR A LIST OF SUBMITTAL REQUIREMENTS, FEE CALCULATIONS AND TO

DIVISION TO SUBMIT REQUIRED DOCUMENTATION, PAY CONSTRUCTION



SITE PLAN FOR

WATERLOO PARK TOWER

1201 RED RIVER STREET

AUSTIN, TEXAS 78701

COA GRID: J-22 MAPSCO PAGE: 585X

LAND STATUS DETERMINATION CASE #C8i-2012-0150

SUBMITTAL DATE: FEBRUARY 29, 2016

Cedillos & Company Civil/Environmental Consulting Engineers

TEXAS FIRM REGISTRATION NO. F-9159 P.O. BOX 50362 - Austin, Texas - 78763 (512) 306-1322 (Phone)

REVISIONS / CORRECTIONS NET CHANGE IN TOTAL IMPERVIOUS COVER PERCENT OF IMPERVIOUS SHEETS DESCRIPTION APPROVED BY

A PRE-CONSTRUCTION MEETING WITH THE CITY OF AUSTIN ENVIRONMENTAL INSPECTOR CANNOT TAKE PLACE UNTIL THE WALLER CREEK TUNNEL IS OPERATIONAL AND PROVIDING THE PRESCRIBED FLOODPLAIN REDUCTION BENEFITS (CONTACT KATINA BOHRER 512-974-3558)

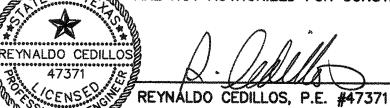
DRAWING INDEX

- COVER SHEET
- **EXISTING CONDITIONS**
- GENERAL CONSTRUCTION NOTES
- DEMOLITION PLAN OVERALL SITE PLAN
- EXISTING AND PROPOSED DRAINAGE CONDITIONS
- GRADING PLAN
- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION PLAN 10 DETAILS

- 12 LANDSCAPE 1 OF 1 GREAT STREETS LANDSCAPE PLAN
- 13 ARCHITECTURAL 1 OF 6 SITE PLAN GROUND LEVEL 14 ARCHITECTURAL 2 OF 6 - FLOOR PLAN - GARAGE LEVEL 1
- 15 ARCHITECTURAL 3 OF 6 FLOOR PLAN GARAGE LEVELS 2-6
- 16 ARCHITECTURAL 4 OF 6 FLOOR PLAN GARAGE LEVEL 7
- 17 ARCHITECTURAL 5 OF 6 ELEVATIONS WEST & SOUTH
- 18 ARCHITECTURAL 6 OF 6 ELEVATIONS EAST & NORTH

SUBMITTED FOR APPROVAL:

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.



DATE

Sheet 1 of 18

REVIEWED BY:

フラ Wine V J Bane V V Bane Ban V Gan I G	
DEVELOPMENT SERVICES DEPARTMENT	DATE
DEVELOPMENT PERMIT NUMBER	
INDUSTRIAL WASTE	DATE
AUSTIN WATER	DATE
FIRE DEPARTMENT	DATE

APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

which do not comply with the Code current at the time to filing, and all required Building Permits

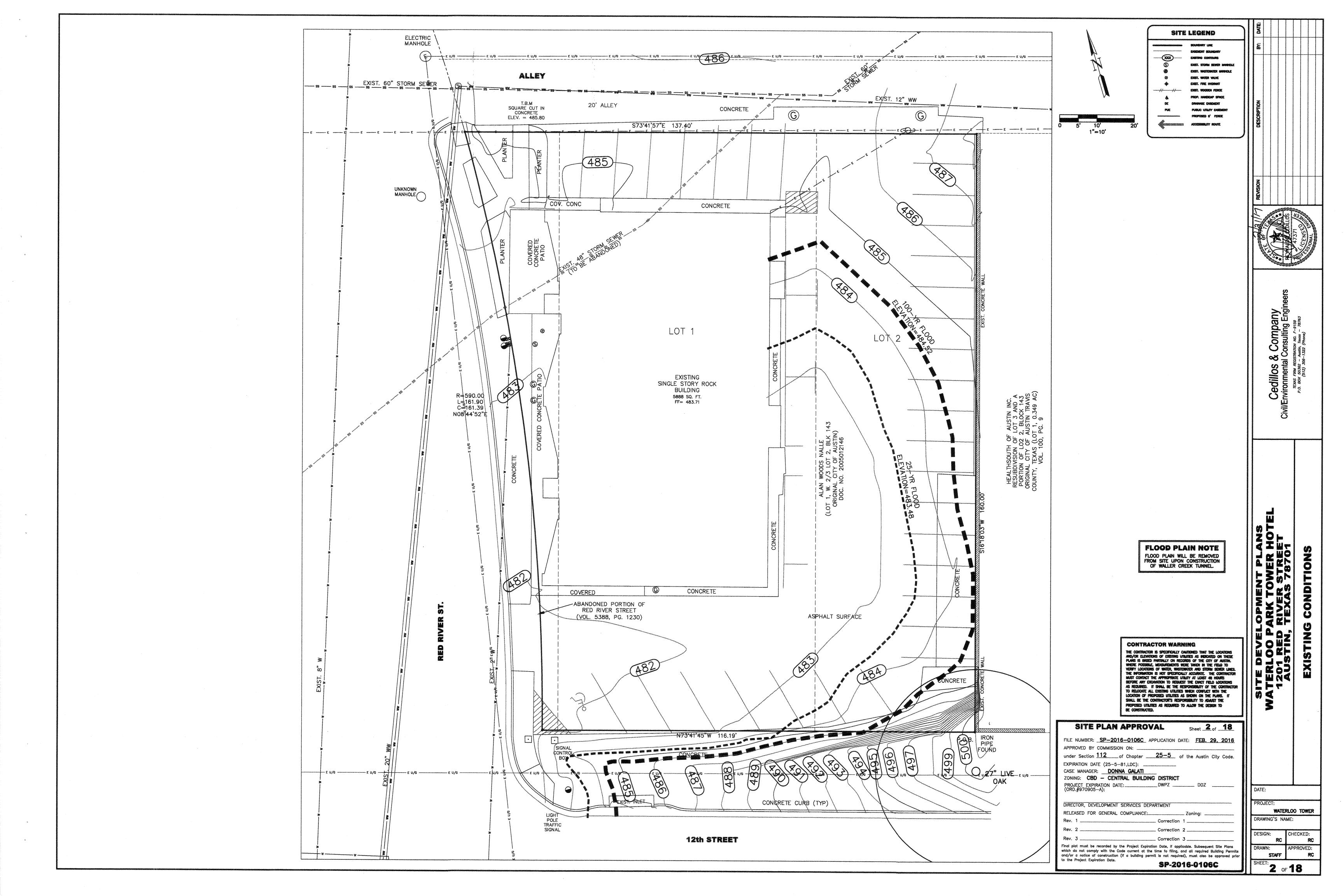
SP-2016-0106C

SITE PLAN APPROVAL

282,318 SF 33 LEVELS) 1,500 GPM 7,193 GPM 85 PSI CENTRAL	FILE NUMBER: SP-2016-0106C API APPROVED BY COMMISSION ON: under Section 112 of Chapter EXPIRATION DATE (25-5-81,LDC): CASE MANAGER: DONNA GALATI ZONING: CBD - CENTRAL BUILDING PROJECT EXPIRATION DATE: (ORD.#970905-A):	25-5 of the Austin City Code. DISTRICT
	DIRECTOR, DEVELOPMENT SERVICES DEPA	RTMENT
	RELEASED FOR GENERAL COMPLIANCE:	Zoning;
	Rev. 1	. Correction 1
	Rev. 2	Correction 2
	Rev 3	Correction 3

to the Project Expiration Date.

BUILDING TYPE: FIRE FLOW DEMAND PER IFC FIRE FLOW W/SPRINKLER: AVAILABLE FIRE FLOW:_ STATIC PRESSURE:__ PRESSURE ZONE: BUILDING TO HAVE SPRINKLER SYSTEM



CITY OF AUSTIN **GENERAL NOTES**

FIRE DEPARTMENT:

- THE AUSTIN FIRE DEPARTMENT REQUIRES ASPHALT OR CONCRETE PAVEMENT PRIOR TO CONSTRUCTION AS AN "ALL-WEATHER" DRIVING SURFACE.
- HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE FOUR-INCH OPENING AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE FOUR-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH THREE TO SIX FOOT SETBACKS FROM THE CURBLINE(S). NO OBSTRUCTION IS ALLOWED WITHIN THREE FEET OF ANY HYDRANT AND THE FOUR-INCH OPENING MUST BE TOTALLY UNOBSTRUCTED FROM THE STREET.
- TIMING OF INSTALLATION: WHEN FIRE PROTECTION FACILITIES ARE INSTALLED BY THE DEVELOPER, SUCH FACILITIES SHALL INCLUDE ALL SURFACE ACCESS ROADS WHICH SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. WHERE ALTERNATIVE METHODS OF PROTECTION, AS APPROVED BY THE FIRE CHIEF, ARE PROVIDED, THE ABOVE MAY BE MODIFIED OR WAIVED.
- 4. ALL PERVIOUS/DECORATIVE PAVING SHALL BE ENGINEERED AND INSTALLED FOR 80,000 LB. LIVE-VEHICLE LOADS. ANY PERVIOUS/DECORATIVE PAVING WITHIN 100 FEET OF ANY BUILDING MUST BE APPROVED BY THE FIRE
- 5. COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN TEN FEET OF OPENINGS, COMBUSTIBLE WALLS, OR COMBUSTIBLE
- 6. FIRE LANES DESIGNATED ON SITE PLAN SHALL BE REGISTERED WITH THE CITY OF AUSTIN FIRE MARSHALL'S OFFICE AND INSPECTED FOR FINAL
- 7. VERTICAL CLEARANCE REQUIRED FOR FIRE APPARATUS IS 14 FEET FOR FULL WIDTH OF ACCESS DRIVE.

GENERAL CONSTRUCTION NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE
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- 3. CONTRACTOR SHALL CALL THE ONE CALL CENTER (800-344-8377) FOR THE UTILITY LOCATIONS PRIOR TO ANY WORK IN CITY EASEMENTS OR
- CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS AND TRANSPORTATION DEPARTMENT (PWTD) AT 974-7161 AT LEAST 24 HOURS PRIOR TO THE NSTALLATION OF ANY DRAINAGE FACILITY WITHIN A DRAINAGE EASEMENT OR STREET R.O.W. THE METHOD OF PLACEMENT AND COMPACTION OF BACKFILL IN THE CITY'S R.O.W. MUST BE APPROVED PRIOR TO THE START OF BACKFILL OPERATIONS.
- 5. FOR SLOPES OR TRENCHES GREATER THAN FIVE FEET IN DEPTH, ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY
- 6. ALL SITE WORK MUST ALSO COMPLY WITH ENVIRONMENTAL REQUIREMENTS
- 7. UPON COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY BY THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT, THE ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE, FILTRATION, AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMITY WITH THE APPROVED PLANS.
- 8. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED ON DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN OR
- 9. UPON THE COMPLETION OF THE PROPOSED SITE IMPROVEMENTS AND PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION RELEASE BY THE CITY, THE DESIN ENGINEER SHALL CERTIFY IN WRITING THAT THE PROPOSED DRAINAGE AND DETENTION FACILITIES WERE CONSTRUCTED IN CONFORMANCE WITH
- 10. PURSUANT TO 15-12-131 OF THE CITY CODE, THE CONTRACTOR MAY NOT BLOCK, DIRECT. IMPEDE. OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORK AND TRANSPORTATION.
- 11. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH SECTIONS 14-11-161 THROUGH 14-11-196 OF THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.

MITIGATIVE MEASURES

D. SPECIAL CONSTRUCTION TECHNIQUES.

IN CONJUNCTION WITH REMEDIAL CARE, MITIGATION FOR TREES REMOVED MAY INCLUDE SPECIAL CONSTRUCTION TECHNIQUES NOT NORMALLY REQUIRED IN STANDARD SPECIFICATIONS. SOME OF THESE TECHNIQUES INCLUDE THE FOLLOWING:

PRIOR TO EXCAVATION WITHIN TREE DRIPLINES OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH OR GRAVEL TO MINIMIZE SOIL

PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.

WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY

ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE. USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO

APPENDIX P-6 REMEDIAL TREE CARE NOTES **AERATION AND SUPPLEMENTAL NUTRIENT REQUIREMENTS**

FOR TREES WITHIN CONSTRUCTION AREAS

TREES WILL BE AERATED AND PROVIDED NUTRIENTS PRIOR TO ANY CONSTRUCTION AS A CONDITION OF FINAL ACCEPTANCE OF THE SITE, AND IN CONFORMANCE WITH ECM SECTION 3.5.4 - ALL PRESERVED TREES WITHIN THE LIMITS OF CONSTRUCTION WILL BE AERATED AND PROVIDED WITH SUPPLEMENTAL NUTRIENTS PER THE FOLLOWING GUIDELINES. MACRO AND MICRONUTRIENTS ARE REQUIRED, HUMATE/NUTRIENT SOLUTIONS WITH MYCORRHIZAE COMPONENTS ARE HIGHLY RECOMMENDED. THESE SOLUTIONS ARE COMMONLY UTILIZED TO PROVIDE REMEDIATION FOR TREES AFFECTED BY CONSTRUCTION. MATERIALS AND METHODS ARE TO BE APPROVED BY THE CITY ARBORIST (974-1876) PRIOR TO APPLICATION. THE OWNER OR GENERAL CONTRACTOR SHALL SELECT A FERTILIZATION CONTRACTOR AND INSURE COORDINATION WITH THE CITY ARBORIST (PH.

TREATMENT IS TO COMMENCE PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES AND AGAIN AFTER THE COMPLETION OF ALL CONSTRUCTION. AREAS TO BE TREATED INCLUDE THE ENTIRE CRITICAL ROOT ZONE OF TREES AS DEPICTED ON THE CITY APPROVED PLANS. TREES ARE TO BE AERATED BY WATER INJECTED INTO THE SOIL (UNDER PRESSURE VIA A SOIL PROBE AT 50-125 PSI) OR BY OTHER METHOD AS APPROVED BY WPDR. THE PROPOSED NUTRIENT MIX SPECIFICATIONS NEED TO BE PROVIDED TO AND APPROVED BY THE CITY ARBORIST PRIOR TO APPLICATION (FAX # 974-3010). APPLICANTS MAY ALSO SPECIFY SOIL INJECTION OF DOGGETT X-L INJECTO 32-7-7 OR EQUIVALENT AT RECOMMENDED RATES. CONSTRUCTION WHICH WILL BE COMPLETED IN LESS THAN 90 DAYS SHOULD USE MATERIALS AT 1/2 RECOMMENDED RATES. ALTERNATIVE ORGANIC FERTILIZER MATERIALS ARE ACCEPTABLE WHEN APPROVED BY THE CITY ARBORIST. WITHIN 7 DAYS AFTER FERTILIZATION IS PERFORMED, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF THE WORK PERFORMED TO THE CITY ARBORIST, WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPT. P.O. BOX 1088. AUSTIN, TX 78767.

APPENDIX P-1 - EROSION CONTROL NOTES

- 1. The contractor shall install existent/sedimentation controls and tree/natural area protective tensing prior to any site preparation work (clearing, grubbing or excavation) in/sedimentation controls shall be in accordance with the Er
- Orderia Manual and the approved Erosion and Sedimentation Control Plan. The COA Es shall be consulted and used as the basis for a TPDES required SWPPP. If a SWPPP is req shall be available for review by the City of Austin Environmental Inspector at all times during construction, including at the Pre-Construction meeting. The checklist below contains the basic elements that shall be reviewed for permit approval by COA EV Plan Reviewers as well as GOA
- The Placement of tree/natural area protective fencing shall be in accordance with the City of Austin standard Notes for Tree and Natural Area Protection and the approved Grading/Tree and Natural
- 4. A pre-construction conference shall be held on-site with the contractor, design Engineer/permit applicant and Environmental Inspector offer installation of the erosion/sedimentation controls and tree/hatural area protection measures and prior to beginning any site preparation work. The owner or owner's representative shall notify the Planning and Development Review Department, 374. 2278, at least three days prior to the meeting date. COA approved ESC Plan and TPDES SWPPI (if required) should be reviewed by COA EV inspector at this time.
- 5. Any major variation in materials or locations of controls or fences from these shown on the approved plans will require a revision and must be approved by the reviewing Engineer, Environmental Specialist or City Aborist as appropriate. Major revisions must be approved by the Planning and Development Review Department. Minor changes to be made as field revisions to the Erosion and Sadimentation Control Plan may be required by the Environmental Inspector
- 5. The contractor is required to provide a certified inspector with either a Certified Professional in Erosion and Sectiment Control (CPESC), Certified Erosion, Sectiment and Stormwater-inspector (CESSW) or Certified Inspector of Sedimentation and Erosion Controls (CIBEC) certification to inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fence: shall immediately make any necessary repairs to damaged areas. Slit accumulation at controls must be removed when the depth reaches six (6) inches.
- contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All tend cleaning debris shall be disposed of in
- 8. All work must stop if a void in the rook substrate is discovered which is; one square foot in total area; blows air from within the substrate and/or consistently receives water during any rain event. At this time it is the responsibility of the Project Manager to immediately contact a City of Austin
- mental inspector for further investigation. Temporary and Permanent Erosien Control: All disturbed greas shall be restored as noted below A. All disturbed areas to be revegetated are required to place a minimum of six (5) inches of topsoil see Standard Specification term No. 8015.3(A). Do not add topsoil within the critical root zone of existing trees. The topsoil shall be composed of 4 parts of soil mixed with 1 part compost, by volume. The compost shall meet the definition of compost as defined by TxDOT

Specification item 161. The soil shall be locally available native soil that meets the following Shall be free of trash, weeds, deleterious materials, rocks, and debri

 100% shall pass through a 1.6-inch (38-mm) screen. Soil to be a loamy material that meets the requirements of the table below in accordance with the USDA textural triangle. Soil known locally as "red death" is not an allowable soil. Textural composition shall meet the following criteria;

Textural Glass	muniniM	Maximum				
Chay	5%	50%				
SM	10%	50%				

- An ownerlengineer may propose use of onsite salvaged topsoil which does not meet the soil texture class required above by providing a soil analysis and a written statement from a qualified professional in soils, landscape architecture, or agronomy indicating the onsite opecil will provide an equivalent prowth media and specifying what, if any, soil
- * Soil amendments shall be worked into the existing onsite topsoil with a disc or filler to Topsoil salvaged from the existing site may often be used, but it should meet the same standards as set forth in these standards.

The regelative stabilization of areas disturbed by construction shall be as follows: TEMPORARY VEGETATIVE STABILIZATION:

- From September 15 to March 1, seeding shall be with seel season cover maps (Wheat at 0.5 pounds per 1000 SF, Cereal Rya Grain at 0.5 pounds per 1000 SF). Cool season cover crops are not recovered extended and the control extended at 1.5 pounds per 1000 SF. Cool season cover crops are not recovered extended and the control of the control
- 2. From March 2 to September 14, seeding shall be with hulled Bermude at a rate of 1 pounds
- A. Fertilizer shall be water soluble with an analysis of 15-15-15 to be applied once at planting and once during the period of autablishment at a rate of 1/2 pound per 1000 SF. 8. Hydromulch shall comply with Table 1, below.
- C. Temperary erosion control shall be acceptable when the grass has grown at least 1 1/2 inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.
- D. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.

Material	Description	Longevity	Typical Applications	Application Rates
100% or any blend of wood, cellulase, atraw, and/or cotton plant material (except no mutch shall axceed 30% paper)	70% or greater Wood/Straw 30% or less Paper or Natural Fibers	Q-3 months	Modernie siopes; from flat to 3:1	1500 to 2000 lbs per scre

PERMANENT VEGETATIVE STABILIZATION:

- From September 15 to March 1, seeding is considered to be temporary stabilization only. If cool season cover crops exist where permanent regelative stabilization is desired, the grasses shall be moved to a height of tess than and-half (1/2) inch and the area shall be re-seeded in
- From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 1 pound per 1000 SF with a purity of 35% with 85% germination. Semuda grass is a warm season grass
- A. Fedilizer shall be a water soluble with an analysis of 15-15-15 to be sonlied once at
- planting and once during the period of establishment at a rate of 1/2 pound per 1000 SF B. Hydromulch shall comply with Table 2, below.
- C. The planted area shall be intigated or sprinkled in a manner that will not crode the topsoil, but will sufficiently soak the soil to a depth of six inches. The irrigation shall occur at daily intervals (minimum) during the first two morths. Rainfall occurrences of 14 inch or more shall postpone the watering schedule for one week.
- D. Permanent erosion control shall be acceptable when the grass has grown at least 1% inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.
- E. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.

Table 2: Hydromulching for Permanent Vegetative Stabilization

Material	Description	Longevity	Typical Applications	Application Rates
Sonded Fiber Matrix (GFM)	80% Organic defibrated fibers 10% Tackifier	6 months	On slopes up to 2:1 and erosive soil conditions	2500 to 4000 lbs per sore (see manufacturers recommendations
Fiber Reinforcesi Matrix (FRM)	65% Organie defibrated fibers 25% Reinfording Fibers or less 10% Tackifler	Up to 12 months	On slopes up to 1:1 and arosive soil conditions	3000 to 4500 bs per sare (see manufacturers recommendations

Dwner's representative responsible for plan elterations

Phone # Person or firm responsible for erosion/sedimentation control maintenance:

Person or firm responsible for tree/natural area protection Maintenance:

11. The confractor shall not dispose of surplus executed material from the site without notifying the Panning and Development Review Department at 974-2276 at least 48 hours prior with the location and a copy of the permit secued to receive the material.

AUSTIN WATER UTILITY GENERAL CONSTRUCTION NOTES **APRIL 3, 2013**

AUSTIN WATER UTILITY GENERAL CONSTRUCTION NOTES - APRIL 3, 2013

1. THE CITY STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL COVER MATERIAL AND METHODS USED TO DO THIS WORK.

2. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT FROM DEVELOPMENT SERVICES DEPARTMENT. RIGHT OF WAY MANAGEMENT DIVISION BEFORE BEGINNING CONSTRUCTION WITHIN THE RIGHT-OF-WAY OF A PUBLIC STREET OR ALLEY, 3. AT LEAST 48 HOURS BEFORE BEGINNING ANY WATER AND WASTEWATER

CONSTRUCTION IN PUBLIC R.O.W. OR PUBLIC EASEMENT, THE CONTRACTOR SHALL NOTIFY DEVELOPMENT SERVICES DEPARTMENT INSPECTION OR WATER AND WASTEWATER UTILITY TAPS INSPECTION AT THE NUMBER INDICATED ON THE PLANS BY THE AWU

4. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS. THE CITY OF AUSTIN WATER AND WASTEWATER MAINTENANCE RESPONSIBILITY ENDS AT R.O.W. /EASEMENT

5. NO OTHER UTILITY SERVICE/APPURTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.

6. THE CITY SPECIFICATION ITEM 509S WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE.

7. ALL MATERIALS TESTS, INCLUDING SOIL DENSITY TESTS AND DETAILED SOIL ANALYSES, SHALL BE CONDUCTED BY AN INDEPENDENT LABORATORY AND FUNDED BY THE OWNER IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 1804S.04.

8. PRESSURE TAPS SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 510.3(24). THE CONTRACTOR SHALL PERFORM EXCAVATION ETC., AND SHALL FURNISH. INSTALL AND AIR TEST THE SLEEVE AND VALVE. WHEN CONTRACTORS MAKE THE TAP A CITY INSPECTOR MUST BE PRESENT AND 2 WORKING DAYS (MIN.) NOTICE MUST BE GIVEN. "SIZE ON SIZE" TAPS WILL NOT BE PERMITTED, UNLESS, IT HAS BEEN DEMONSTRATED THAT A MORE ACCEPTABLE CONNECTION WOULD INVOLVE CONSIDERABLE HARDSHIP TO THE UTILITY SYSTEM. ALL TAPS SHALL BE MADE BY USE OF AN APPROVED FULL CIRCLE-GASKETED CAST IRON OR DUCTILE IRON TAPPING SLEEVE. CONCRETE BLOCKING SHALL BE PLACED UNDER ALL TAP SLEEVES PRIOR TO MAKING THE PRESSURE TAP AND THE USE OF PRECAST BLOCKS MAY BE USED TO HOLD THE TAP IN ITS CORRECT POSITION PRIOR TO BLOCKING. THE BLOCKING BEHIND AND UNDER THE TAP SHALL HAVE A MINIMUM OF 24 HOURS CURING TIME BEFORE THE VALVE CAN BE RE-OPENED FOR SERVICE FROM THAT TAP.

9. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATION

10. ALL BRANCH CONNECTIONS SHALL HAVE THE VALVE BOLTED TO THE MAIN BY METHODS OF FLANGE OR SWIVEL TEES. FOSTER ADAPTERS MAY BE USED IN LIEU OF FLANGE OR SWIVEL TEES WHEN CALLED OUT ON THE PLANS BY THE DESIGN ENGINEER.

11. A). FIRE HYDRANTS SHALL BE SET IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEM 511S.4 B). FIRE HYDRANTS SHALL BE PAINTED FLYNT ALUMINUM OR

12. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD SPECIFICATION ITEMS 510.3 (27)-(29). FORCE MAIN PRESSURE TESTING SHALL BE CONDUCTED AND FALL UNDER THE SPECIFICATIONS AS WATER LINES (PRESSURE PIPE) OR AT THE PRESSURES SHOWN ON THE APPROVED PLANS.

13. ALL MATERIAL USED ON THIS PROJECT MUST BE LISTED ON THE STANDARD PRODUCTS LISTING. ANY MATERIAL NOT LISTED HAS TO GO THROUGH THE REVIEW OF THE STANDARDS COMMITTEE FOR REVIEW AND APPROVAL PRIOR TO START OF PROJECT. TESTING AND EVALUATION OF PRODUCTS ARE REQUIRED BEFORE APPROVAL WILL BE GIVEN ANY CONSIDERATION.

14. WHEN WATER SERVICES ARE DAMAGED AND THE SERVICE MATERIAL IS PE, THE LINE SHALL BE REPAIRED ONLY BY HEAT FUSION WELD OR REPLACED THE FULL LENGTH WITH TYPE K COPPER MATERIAL. ANY TIME PB IS DAMAGED OR TAMPERED WITH IN ANY WAY, THE SERVICE LINE SHALL BE REPLACED FULL LENGTH WITH TYPE K COPPER MATERIAL. NOTE: FULL LENGTH IS FROM CORPORATION STOP TO METER.

CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR WHO WILL THEN NOTIFY THE AUSTIN WATER UTILITY DISPATCH AND THE AFFECTED CUSTOMERS A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE.

15. WHEN AN EXISTING WATERLINE SHUT OUT IS NECESSARY AND POSSIBLE, THE

16. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTOR SO THAT HE CAN NOTIFY THE AUSTIN WATER UTILITY AT 972--0000 AT A MINIMUM OF 72 HOURS PRIOR TO RELOCATING ANY DOMESTIC OR FIRE DEMAND WATER METERS. THE CONTRACTOR SHALL CAREFULLY REMOVE ALL METERS AND METERS BOXES THAT ARE INDICATED TO BE RELOCATED OR SALVAGED. THE CONTRACTOR SHALL INSTALL THE REMOVED METER OR CITY PROVIDED METER AT THE NEW LOCATION INDICATED ON THE CONSTRUCTION

17. ALL MANHOLES IN UNPAVED AREAS PROVIDING DIRECT ACCESS TO A WASTEWATER LINE SHALL BE WATERTIGHT AND BEAR THE WORDING AND INSIGNIA FOR THE CITY OF

18. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING UTILITIES PRIOR TO STARTING ONSITE UTILITY WORK.

19. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.

20. REVIEW BY THE AUSTIN WATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER AND WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING

21. ALL WATER AND WASTEWATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEPARATION DISTANCES INDICATED IN CHAPTER 290 - DRINKING WATER STANDARDS, AND CHAPTER 217 - DESIGN CRITERIA FOR SEWERAGE SYSTEMS, OF

22. CONTRACTOR'S PERSONNEL THAT PERFORM BUTT FUSION AND ELECTROFUSION ON OR TO HDPE PIPE AND FITTINGS MUST HAVE CURRENT QUALIFICATION TRAINING CERTIFICATE ISSUED BY MCELROY OR COMPARABLE TRAINING PROGRAM.

23. SHOP DRAWINGS SHALL BE SUBMITTED FOR AWU APPROVAL FOR LARGE DIAMETER PRE-CAST MANHOLES, JUNCTION BOXES, WET WELLS, AND SIMILAR STRUCTURES. THE SHOP DRAWINGS SHALL INCLUDE FLOWLINE ELEVATIONS OF ALL INCOMING AND OUTGOING PIPES, ELEVATION OF TRANSITION FROM LARGE DIAMETER SECTIONS TO 48" ID SECTION, TOP OF MANHOLE ELEVATION, SURROUNDING GROUND ELEVATION, AS WELL AS SPECIAL CONSTRUCTION CONSIDERATIONS THAT ARE SPECIFIED IN THE CONTRACT

24. VALVE STEM EXTENSIONS SHALL CONSIST OF A SINGLE PIECE OF IRON ROD OF THE REQUIRED LENGTH WITH A SOCKET ON ONE END AND NUT ON THE OTHER.

25. ASBESTOS CONCRETE PIPE (AC PIPE) HAS BEEN INSTALLED IN THE PAST AS PART OF AUSTIN WATER UTILITY'S WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS. AUSTIN WATER UTILITY'S INFRASTRUCTURE INCLUDES AC PIPE THAT IS CURRENTLY IN SERVICE AS WELL AS AC PIPE THAT HAS BEEN ABANDONED AND IS NO LONGER IN SERVICE. RECORD INFORMATION MAY NOT BE COMPLETE FOR THE PROJECT. CONTRACTORS AND SUBCONTRACTORS MUST BE ALERT TO THE POSSIBLE PRESENCE OF AC PIPE WITHIN THE LIMITS OF THE PROJECT AND BE KNOWLEDGEABLE OF HOW TO IDENTIFY IT. DISTURBANCE, REMOVAL OR CUTTING OF ASBESTOS CONTAINING PIPE IS TO BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE 25, SECTION 15, ARTICLE 4477-3A AND 29 CFR 1926.1101. CONTACT THE CITY OF AUSTIN ASBESTOS MANAGER AT 512-974-7154 THIRTY (30) DAYS PRIOR TO THE PLANNED DISTURBANCE OF THE AC PIPE. ONLY STATE LICENSÉD PERSONNEL ARE PERMITTED TO DISTURB, REMOVE, TRANSPORT AND DISPOSE OF AC PIPE.

<u>CITY OF AUSTIN</u> STANDARD NOTES FOR TREE & NATURAL AREA PROTECTION

- 1. ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL
- BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. 2. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN
- STANDARDS FOR TREE PROTECTION.
- 3. PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- 4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
- 5. PROTECTIVE FENCES SHALL SURROUND THE TREE OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIPLINE), OR, FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
- (A) SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OR EQUIPMENT OR MATERIALS.
- (B) ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6' CUT OR FILL), OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE
- (C) WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMT. (D) OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE,
- CEMENT TRUCK CLEANING, AND FIRES. 6. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
- (A) WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEHIND THE AREA IN
- (B) WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREF'S DRIPLINE, ERECT THE FENCE AT THE OUTER LIMITS OT THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE).
- (C) WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
- (D) WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT PHONE #974-1876 TO DISCUSS ALTERNATIVES.

NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.

DEVELOPER INFORMATION:

OWNER: ALLAN WOODS NALLE 54 SUNDOWN PKW AUSTIN, TEXAS 78746

(512) 327-3565

OWNERS REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:

REYNALDO CEDILLOS, P.E. CEDILLOS & COMPANY P.O. BOX 50362 AUSTIN, TEXAS 78763 (512) 306-1322

FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:

THE CONTRACTOR STAGING AREA WILL BE CONTAINED WITHIN THE LIMITS OF

FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE:

THE SITE AS INDICATED ON THE EROSION CONTROL PLAN. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER

THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER

- BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED. 8. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- 9. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED IN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- 10. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION
- SHALL BE PLACED AS FAR FROM EXISTING TRFF TRUNKS AS POSSIBLE. 11. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIPLINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE
- 12. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF
- 13. ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARD FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST
- 14. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

AUSTIN ENERGY NOTES

1. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENT CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

2. THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICES TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

3. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGATATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF CENTER LINE OF THE PROPOSED OVERHEAD ELECTRIC FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION OF

4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNIFSS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.

APPPENDIX P-4 SEQUENCE OF CONSTRUCTION

PRECONSTRUCTION MEETING.

- TEMPORARY EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED AS INDICATED ON THE APPROVED SITE PLAN OR SUBDIVISION CONSTRUCTION PLAN AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THAT IS REQUIRED TO BE POSTED ON THE SITE. INSTALL TREE PROTECTION AND INITIATE TREE
- 2. THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR MUST CONTACT THE WATERSHED PROTECTION DEPARTMENT, ENVIRONMENTAL INSPECTION, AT 512-974-2278, 72 HOURS PRIOR TO THE SCHEDULED DATE OF THE REQUIRED ON-SITE
- 3. THE ENVIRONMENTAL PROJECT MANAGER, AND/OR SITE SUPERVISOR, AND/OR DESIGNATED RESPONSIBLE PARTY, AND THE GENERAL CONTRACTOR WILL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE REVISED, IF NEEDED, TO COMPLY WITH CITY INSPECTORS' DIRECTIVES. AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
- 4. ROUGH GRADE THE POND(S) AT 100% PROPOSED CAPACITY. EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF EMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A SUMP PIT OUTLET AND AN EMERGENCY SPILLWAY MEETING THE REQUIREMENTS OF THE DRAINAGE CRITERIA MANUAL AND/OR THE ENVIRONMENTAL CRITERIA MANUAL, AS REQUIRED. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL INSTALLATION OF THE PERMANENT WATER QUALITY

5. TEMPORARY EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) POSTED ON THE SITE.

6. BEGIN SITE CLEARING/CONSTRUCTION (OR DEMOLITION) ACTIVITIES.

7. IN THE BARTON SPRINGS ZONE, THE ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR WILL SCHEDULE A MID-CONSTRUCTION CONFERENCE TO COORDINATE CHANGES IN THE CONSTRUCTION SCHEDULE AND EVALUATE EFFECTIVENESS OF THE EROSION CONTROL PLAN AFTER POSSIBLE CONSTRUCTION ALTERATIONS TO THE SITE. PARTICIPANTS SHALL INCLUDE THE CITY INSPECTOR, PROJECT ENGINEER, GENERAL CONTRACTOR AND ENVIRONMENTAL PROJECT MANAGER OR SITE SUPERVISOR. THE ANTICIPATED COMPLETION DATE AND FINAL CONSTRUCTION SEQUENCE AND INSPECTION SCHEDULE WILL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR.

8. PERMANENT WATER QUALITY PONDS OR CONTROLS WILL BE CLEANED OUT AND FILTER MEDIA WILL BE INSTALLED PRIOR TO/CONCURRENTLY WITH REVEGETATION OF

9. COMPLETE CONSTRUCTION AND START REVEGETATION OF THE SITE AND INSTALLATION OF LANDSCAPING.

10. UPON COMPLETION OF THE SITE CONSTRUCTION AND REVEGETATION OF A PROJECT SITE, THE DESIGN ENGINEER SHALL SUBMIT AN ENGINEER'S LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT CONSTRUCTION, INCLUDING REVEGETATION, IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.

11. UPON COMPLETION OF LANDSCAPE INSTALLATION OF A PROJECT SITE, THE LANDSCAPE ARCHITECT SHALL SUBMIT A LETTER OF CONCURRENCE TO THE DEVELOPMENT SERVICES DEPARTMENT INDICATING THAT THE REQUIRED LANDSCAPING IS COMPLETE AND IN SUBSTANTIAL CONFORMITY WITH THE APPROVED PLANS. AFTER RECEIVING THIS LETTER, A FINAL INSPECTION WILL BE SCHEDULED BY THE APPROPRIATE CITY INSPECTOR.

12. AFTER A FINAL INSPECTION HAS BEEN CONDUCTED BY THE CITY INSPECTOR AND WITH APPROVAL FROM THE CITY INSPECTOR, REMOVE THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND COMPLETE ANY NECESSARY FINAL REVEGETATION RESULTING FROM REMOVAL OF THE CONTROLS. CONDUCT ANY MAINTENANCE AND REHABILITATION OF THE WATER QUALITY PONDS OR CONTROLS.

SITE PLAN APPROVAL

EXPIRATION DATE (25-5-81,LDC):

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

ZONING: CBD - CENTRAL BUILDING DISTRICT

APPROVED BY COMMISSION ON: ____

CASE MANAGER: **DONNA GALATI**

RELEASED FOR GENERAL COMPLIANCE:

(ORD.#970905-A):

to the Project Expiration Date.

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

under Section 112 of Chapter 25-5 of the Austin City Code.

PROJECT EXPIRATION DATE: ______DWPZ ______DDZ _____

Final plat must be recorded by the Project Expiration Date, if applicable, Subsequent Site Plans

which do not comply with the Code current at the time fo filing, and all required Building Permits

ompany sulting Eng

DATE:

WATERLOO TOWER DRAWING'S NAME: DESIGN: CHECKED: APPROVED: DRAWN:

and/or a notice of construction (if a building permit is not required), must also be approved prior SP-2016-0106C

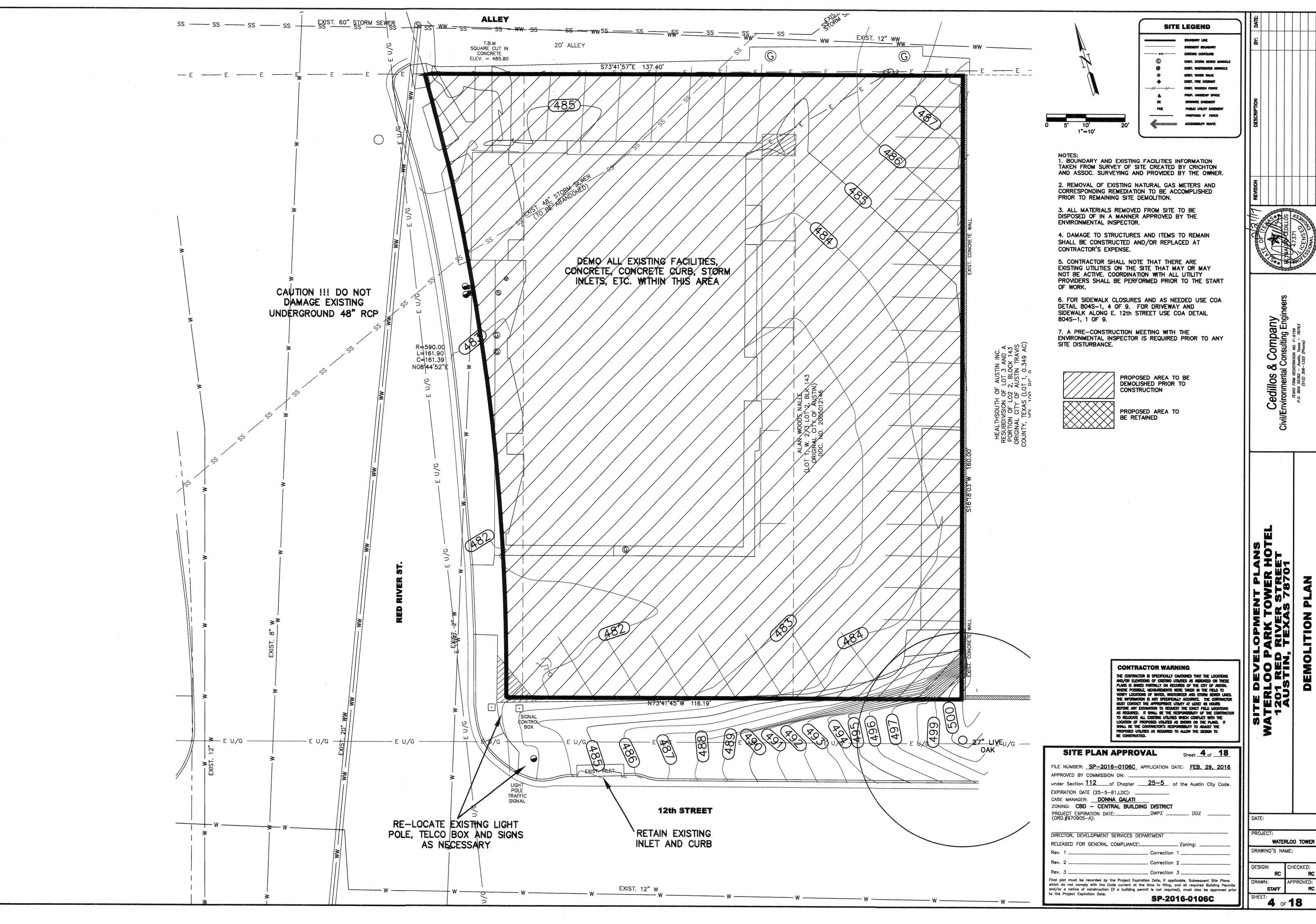
_ Correction 2 _____

. Correction 1

_ Correction 3 _

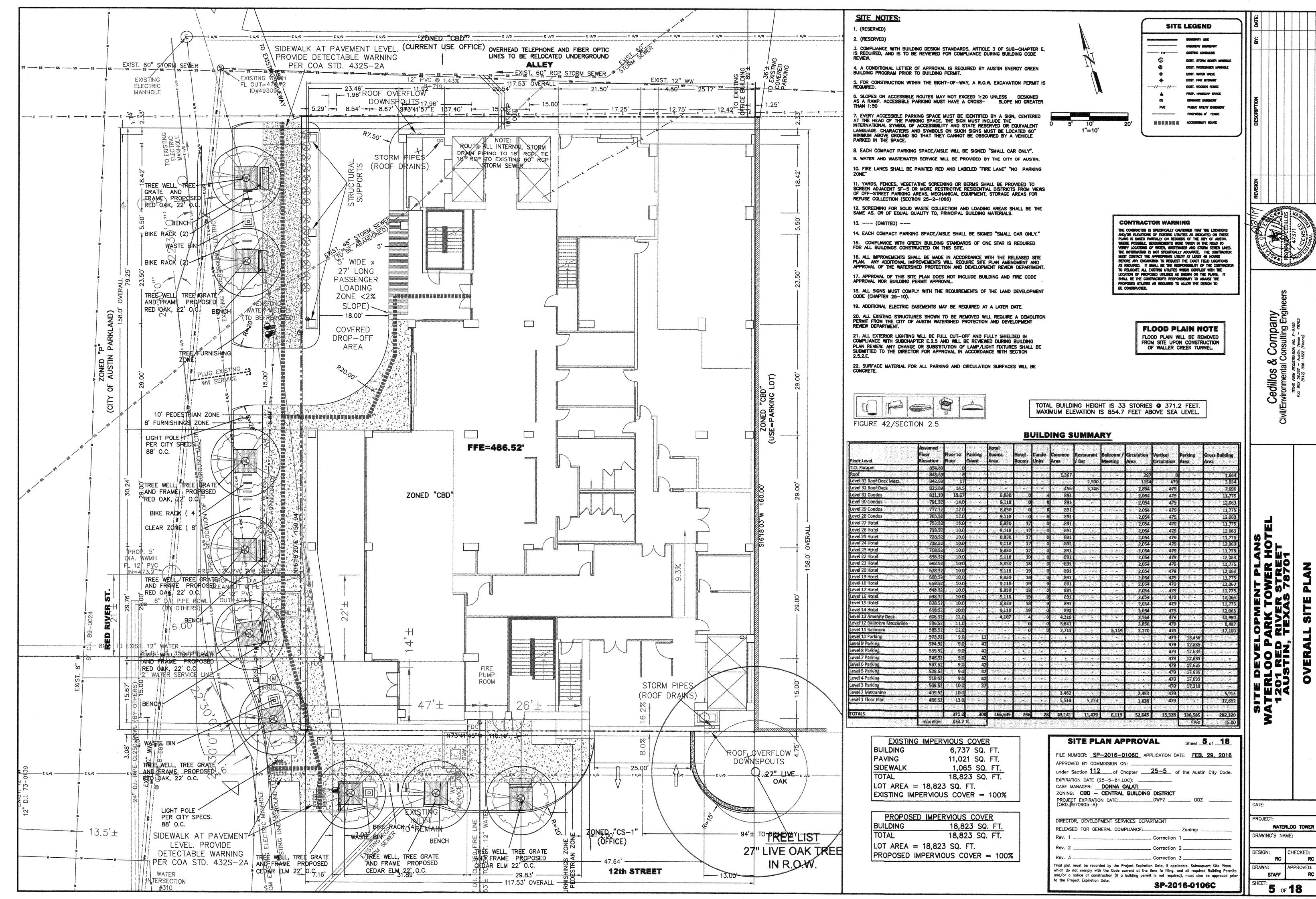
Sheet 3 of 18

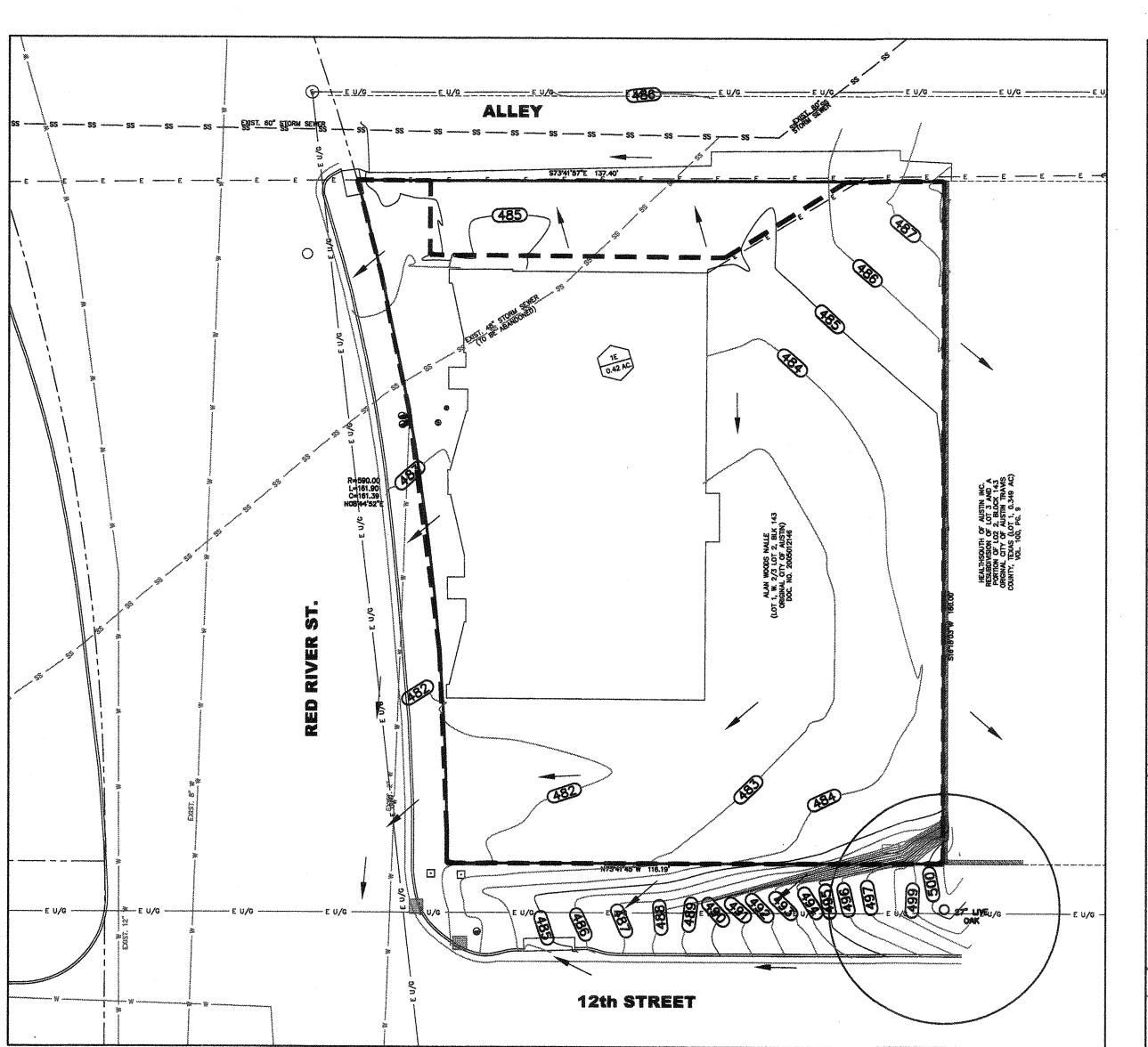
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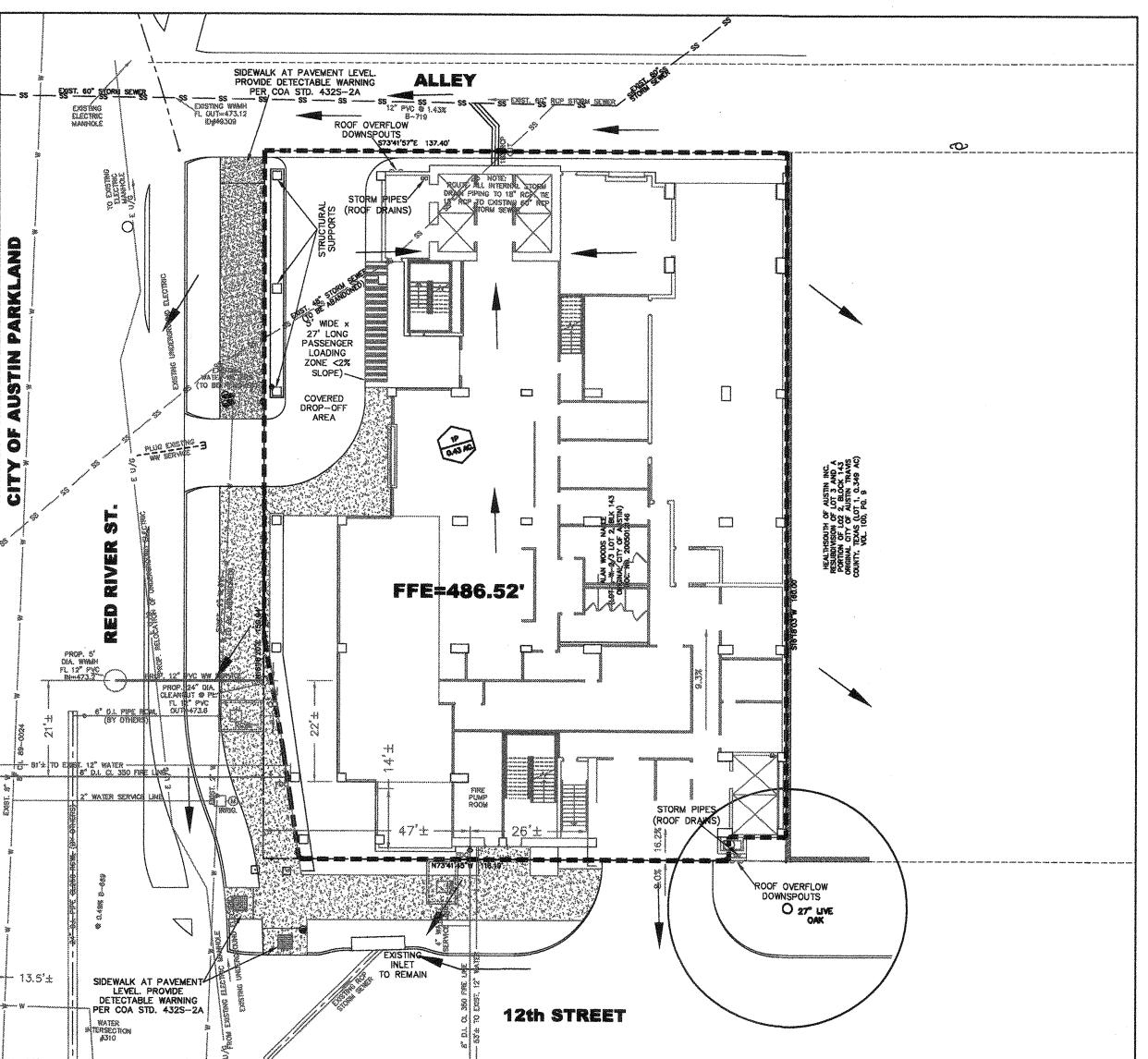


4 of 18

CHECKED:







PROPOSED DRAINAGE CONDITIONS SCALE 1"=20'

EXISTING CONDITIONS

	С	(in/hr)	A (acres)	Q (cfs)
2-YEAR	0.743	7.04	0.42	2.2
25-YEAR	0.873	10.54	0.42	3.9
100-YEAR	0.963	12.68	0.42	5.1

EXISTING DRAINAGE CONDITIONS
SCALE 1"=20"

R	0	P	0	S	E	D	C	0	P	Œ.	D		1		O	P	¢
********	deproper	dynami	****	-	-	NAME OF THE OWNER,	namidelessis		inches:	MINA	dayoran	-		-	034V6		Mys

de company		C	I (in/hr)	A (acres)	Q (cfs)
deliberation of the factor	2-YEAR	0.667	6.55	0.43	1.9
And designation of the last	25-YEAR	0.860	9.92	0.43	3.7
And desired Control of the Party of	100-YEAR	0.950	11.97	0.43	4.9
			The state of the s		

SITE LEGEND

DRAINAGE LEGEND

DRAINAGE DIRECTION ---- EXIST. CHANNEL/PIPE - CONTOURS

PROP. CONTOUR PROPOSED DRAINAGE BOUNDARY EXISTING DRAINAGE BOUNDARY

CONTRACTOR WARNING

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016

under Section 112 of Chapter 25-5 of the Austin City Code.

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SP-2016-0106C

SITE PLAN APPROVAL

ZONING: CBD - CENTRAL BUILDING DISTRICT

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

APPROVED BY COMMISSION ON: ____

EXPIRATION DATE (25-5-81,LDC): CASE MANAGER: DONNA GALATI

PROJECT EXPIRATION DATE: (ORD.#970905-A):

RELEASED FOR GENERAL COMPLIANCE:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED PARTIPLLY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAYEN IN THE FIELD TO VERTRY LOCATIONS OF WATER, WASTENBATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXPECT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADALIST THE PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO BE CONSTRUCTED.

Sheet <u>6</u> of <u>18</u>

DRAINAGE AREA - EXISTING



DRAINAGE AREA - PROPOSED



PROPOSED FLOW

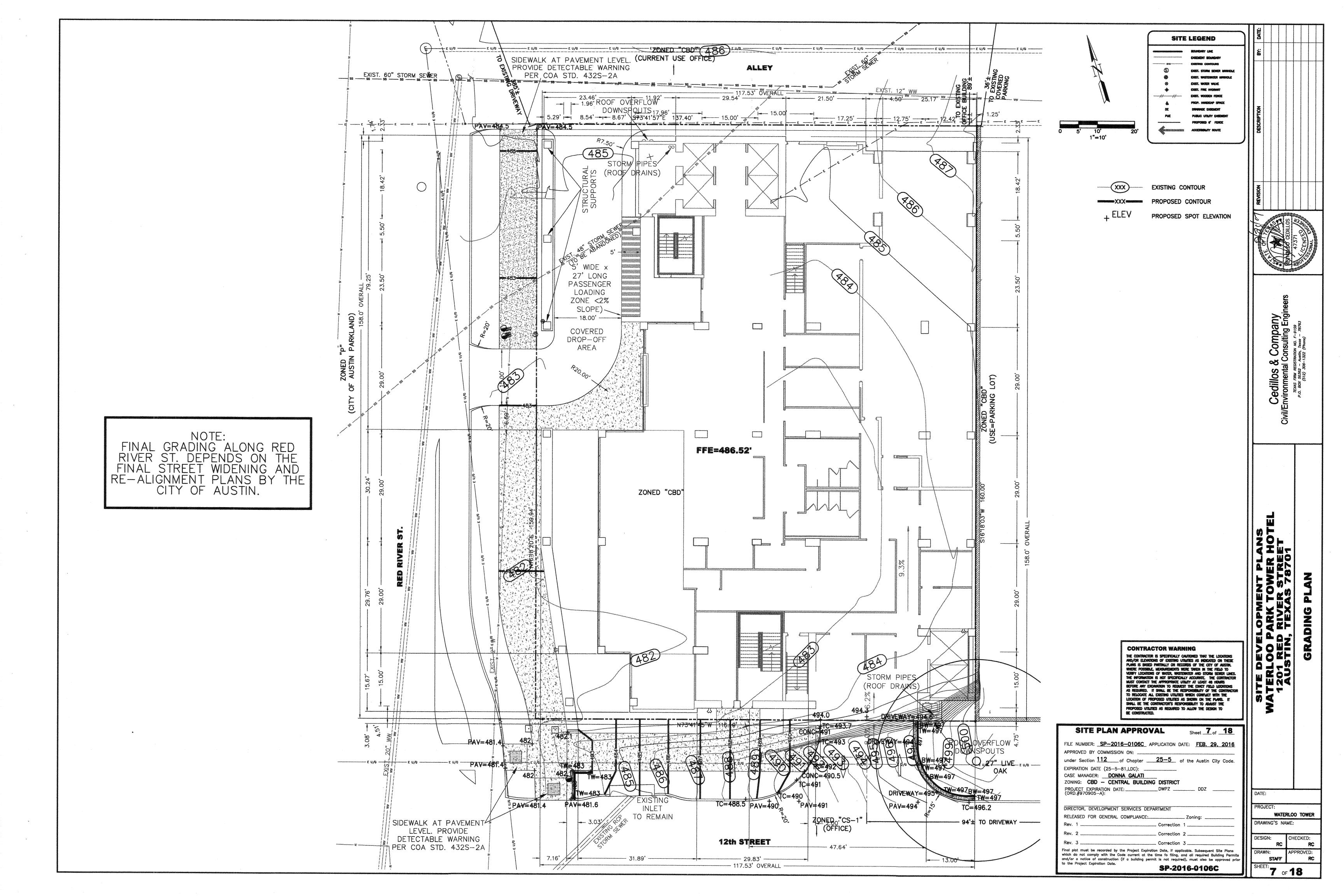


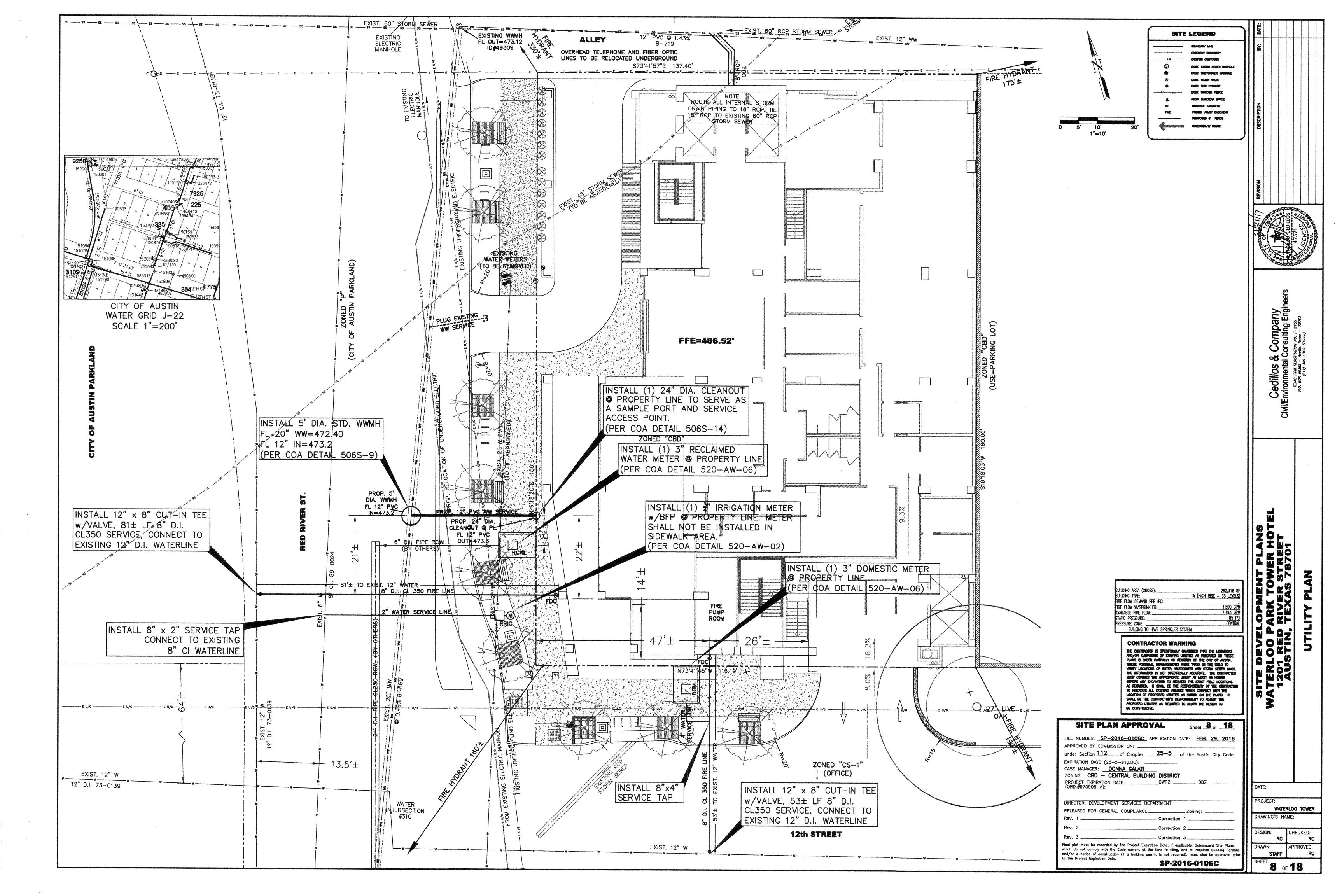
EXISTING FLOW

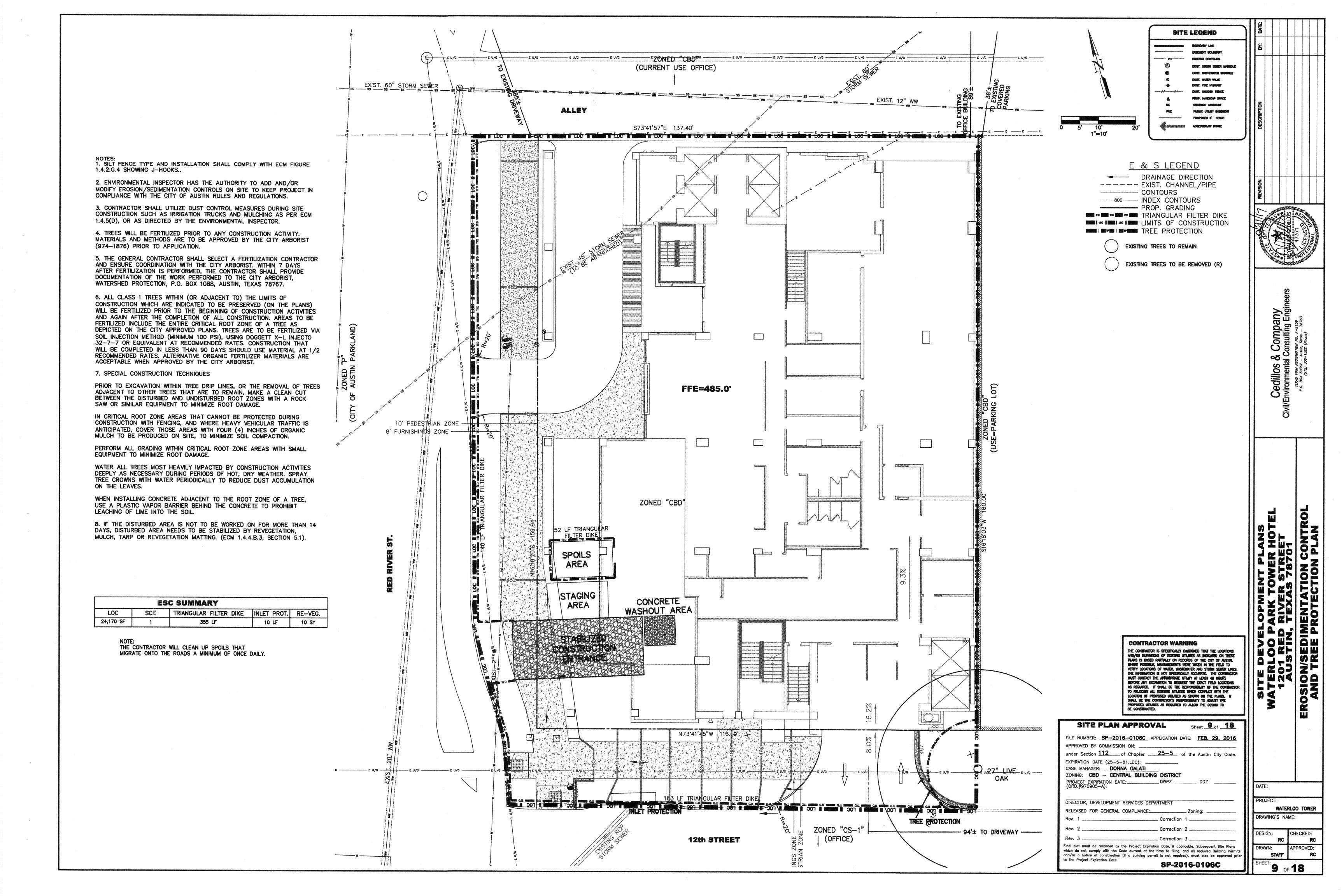
WATERLOO TOWER DRAWING'S NAME:

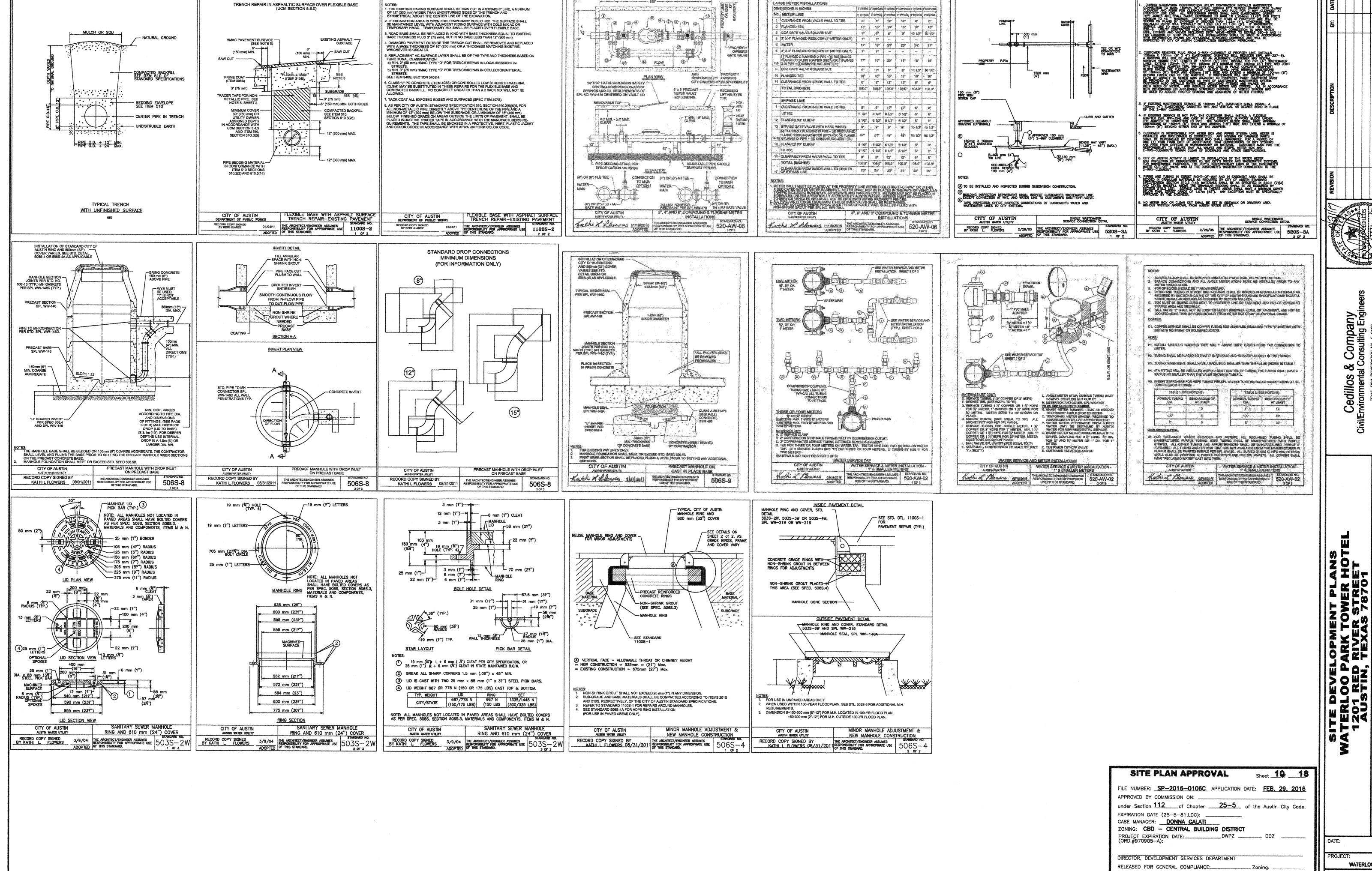
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WATERLOO TOWER DRAWING'S NAME: DESIGN:

CHECKED: STAFF

10 of 18

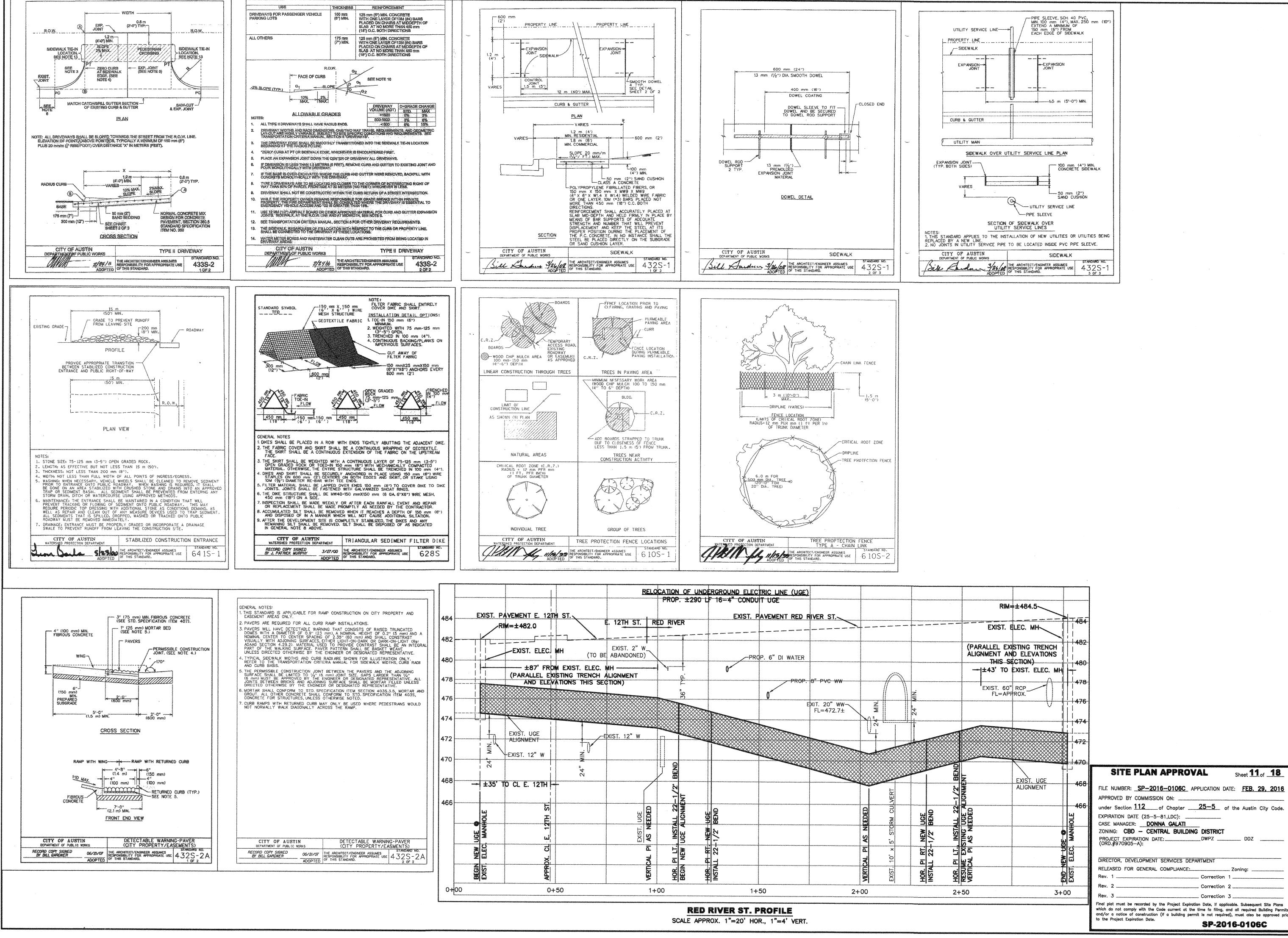
Correction 3

SP-2016-0106C

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time fo filing, and all required Building Permits

and/or a notice of construction (if a building permit is not required), must also be approved prio

to the Project Expiration Date.



& Company al Consulting Engil edillos

FERL 201 201 AUS

DATE: DRAWING'S NAME:

WATERLOO TOWER

CHECKED: STAFF

SHEET: 11 of 18

DESIGN:

NOTE: SITE FURNISHINGS ARE SHOWN TO MEET C.O.A. REQUIREMENTS, ALL LOCATIONS OF THESE FURNISHINGS SHALL BE APPROVED IN FIELD SO AS NOT TO CONFLICT WITH ELEC. UTILITIES AND OTHER UNSUITABLE ELEMENTS.

I, THOMAS D. BROWN, A REGISTERED LANDSCAPE ARCHITECT, CERTIFY

THAT THESE PLANS MEET THE REQUIREMENTS OF CHAP. 25-2, ART. 9, DIV. 1 OF THE LAND DEVELOPMENT CODE.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS IS BASED PARTIALLY ON RECORDS OF THE CITY OF AUSTIN. WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD TO VERIFY LOCATIONS OF WATER, WASTEWATER AND STORM SEWER LINES. THE INFORMATION IS NOT SPECIFICALLY ACCURATE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LITILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS AS REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE LOCATION OF PROPOSED UTILITIES AS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE

CONTRACTOR WARNING

MEX HEAD SLEEVED MECHANICAL EXPANSION ANCHOR BOLT AND LOCK NUT FOR ANCHOR BOLTS MOUNTING FLANGE* CITY OF AUSTIN

DEPARTMENT OF PUBLIC MORKS

IN CONCRETE SIDEWALK—ALTERNATE 1

STANDARD NO.

BE CONSTRUCTED.

PROPOSED UTILITIES AS REQUIRED TO ALLOW THE DESIGN TO

PECORD COPY SIGNED 11/21/05 THE ARCHITECT/ENGINEER ASSUME RESPONSEMENT FOR APPROPRIATE USE 710S-4
ADDPTED 07 His STANDARD.

BASIC INSTALLATION

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016 APPROVED BY COMMISSION ON: ___ under Section 112 of Chapter 25-5 of the Austin City Code. EXPIRATION DATE (25-5-81,LDC): CASE MANAGER: DONNA GALATI ZONING: CBD - CENTRAL BUILDING DISTRICT PROJECT EXPIRATION DATE: ______DWPZ ______DDZ _____ (ORD.#970905-A): DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT RELEASED FOR GENERAL COMPLIANCE:

SITE PLAN APPROVAL

TOTAL CALIPER INCHES INVASIVE TREES REMOVED = 0" TOTAL CALIPER INCHES NON APPENDIX F TREES REMOVED = 0"

Final plat must be recorded by the Project Expiration Date, if applicable, Subsequent Site Plans

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and/or a notice of construction (if a building permit is not required), must also be approved prior

SP-2016-0106C

TOTAL NUMBER OF CALIPER INCHES REPLACED = 0"

TOTAL NEW OF CALIPER INCHES PROPOSED = 45"

ARBORIST'S OVERALL TREE CALCULATIONS TOTAL NUMBER OF APPENDIX F CALIPER INCHES ON SITE = 0" TOTAL NUMBER OF APPENDIX F CALIPER INCHES REMOVED = 0"

TOTAL NUMBER OF APPENDIX F CALIPER INCHES SAVED = 0"

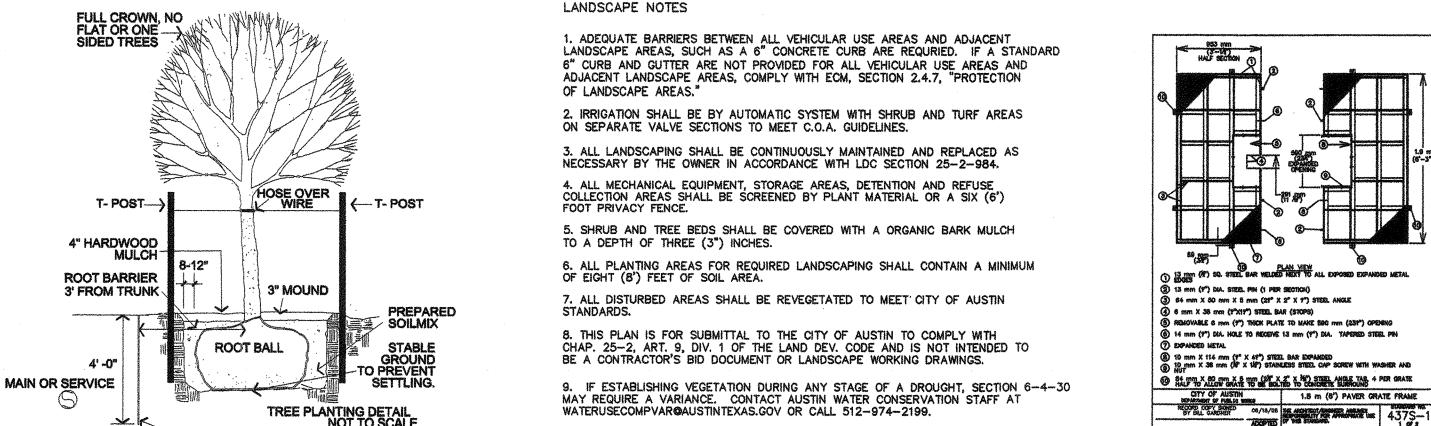
APPENDIX F

SCALE: 1'-20'

TREE LIST

27" LIVE OAK

TREE IN R.O.W.



WATERUSECOMPVAR@AUSTINTEXAS.GOV OR CALL 512-974-2199.

10. ANY CHANGES IN PLANT SPECIES, QUANTITY OR LOCATION OF PLANT MATERIAL MAY RESULT IN NON-ACCEPTANCE OF THIS PROJECT BY THE CITY INSPECTORS.

11. NO SITE FURNISHINGS (BENCHES, BIKE RACKS ETC.) SHALL BE PLACED OVER THE UNDERGROUND ELECTRIC.

GENERAL TOP

Se una

SOUTH

TARK OF

E. 12TH STREET

'TREE WELL,

PROPOSED CEDAR ELM

22' O.C.

TREE GRATE AND FRAME

PER CITY SPECS.

TREE GRATE AND FRAME

RED OAK, 22' O.C.

BIKE RACK (2)-

BIKE RACK (2)

TREE GRATE-AND FRAME

RED OAK, 22' O.C.

PER CITY SPECS.

TREE GRATE AND FRAME

PROPOSED

RED OAK, 22' O.C.

BIKE RACK (4)

CLEAR ZONE (8

TREE GRATE

AND FRAME-PROPOSED RED OAK, 22' O.C.

TREE GRATE AND FRAME

TREE GRATE AND FRAME PROPOSED

RED OAK, 22' O.C.

RED OAK, 22' O.C.

PER CITY SPECS.

, 2'-0"

MAIN OR SERVICE

2' FROM BARRIER

TREE GRATE

AND FRAME

TREE WELL

TREE GRATE AND FRAME

PROPOSED CEDAR ELM

TREE PLANTING DETAIL NOT TO SCALE

INSTALL "DEEP ROOT"

UB- 48-2 ROOT BARRIER OR APPROVED EQUAL

48" FROM TOP OF GROUND,

2' FROM OUTER DIAMETER OF THE UTILITY PIPE AND 3' FROM TREE TRUNK

BENCH

BIKE RACK (4)

PROPOSED CEDAR ELM

WASTE BIN

22' O.C.

88' O.C.

TREE/FURNISHING ZONE -

14. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE WOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

13. ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THEINDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).

10. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE. 11. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PREMITTED ON THE ROOT FLARE OF ANY TREE.

9. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.

7. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED—ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS REES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH

PECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS 1 TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTETD.

C. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 974-1876 TO DISCUSS ALTERNATIVES.

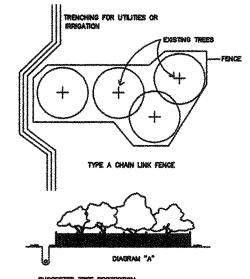
B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZED ROOT DAMAGE); 8. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, EREC' THE FENCE TO ALLOW 8 TO 10 FEET OF WORK SPACE BETWEEN THE

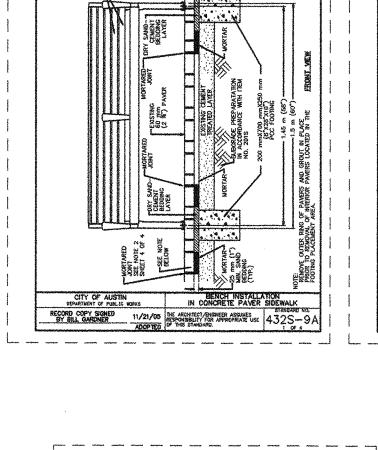
WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS E D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES. A. WHERE THERE IS TO BE A GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE

5. FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES, WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING: B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST;

4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD—UP WITHIN TREE DRIP LINES .

CITY OF AUSTIN STANDARD NOTES 1. ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVE SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. 3. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT).





note: Number and size of anchor bolts as specified by Manufacturer. Wribaum Length of 150 mm (6").

FRONT VIEW

CITY OF AUSTIN TRASH RECEPTACLE INSTALLATION
DEPARTMENT OF PUBLIC MORES IN CONCRETE PAVER SIDEWALK
STANDARD TO

RECORD COPY SIGNED 11/21/05 THE ARCHITECT ENGINEER ASSUMES REPORTED TO APPROPRIATE USE 4325-4 1, or 3

100 mm (4")-

---- 25.4 mm (1")

r-12.7 mm (9")

FLANGE DETAIL

2/17/00 ADDSTED

--- 6.35 mm (9"

HALL

9.5 mm (9") ~

EXISTING 7

THEE PIT OPENING IS

d ies.

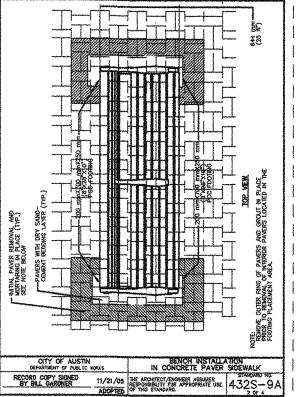
Faver grate frame email be faverated in two dentical halves. Each half spale, which ho word than sit by cool bed.

Contribute held all presentables.

Domanded hetal sale be reduced on top of frame work. Spot weld at 120 mg (5) 20, 20, 21, 21, 22, 22.

AROUND GRATE ABOS
SEE SPECE NO. ABOS
PAVER THIOMESS
THE PIT OPENING
PAVER MATER

SETTING SED CONCRETE PAVER GRATE



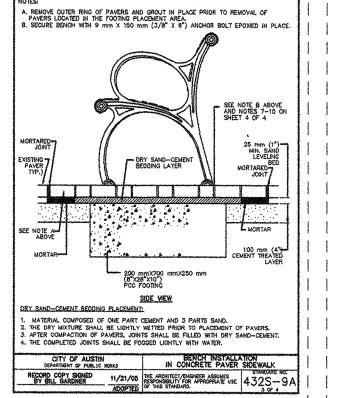
DRY SAND-CEMENT BEDOING PLACEMENT

MATERIAL COMPOSED OF ONE PART CEMENT AND 3 PARTS SAND.
THE DRY MIXTURE SHALL BE LIGHTLY WETTED PRIOR TO PLACEMENT OF PAVERS.
AFFER COMPACTION OF PAVERS, JOINTS SHALL BE FLIED WITH WATER.
THE COMPLETED JOINTS SHALL BE FOGGED LIGHTLY WITH WATER.

CITY OF AUSTIN TRASH RECEPTACLE INSTALLATION DEPARTMENT OF PUBLIC WORKS IN CONCRETE PAVER SIDEWALK IN CONCRETE PAVER SIDEWALK IN CONCRETE PAVER SIDEWALK IN STRANSHOOT IN

SEE INSTALLATION -

RECORD COPY SIGNED 11/21/06
BY BILL GARDNER 11/21/06
ADDPTED 17/85 THE ARCHITECT PHIGHER ASSUMES 5TANDARD HO. 5TANDARD HO.



BASH RECEPTACLE ON PAVERS AND MARK LOCATIONS OF BOLTHOLES A

REMOVE TRASH BIN.

2. IDENTRY LOCATION OF FOOTING.

3. MARK AND REMOVE EXISTING PAVERS ONE UNIT AWAY FROM FOOTING LOCATIONS,

5. PLACE MORTAR BEDDING LAYER, MOSTAR THE JOINT AND REPLACE/COMPACT THE

"MARKED" PAVERS IN APPROPRIATE LOCATIONS.

"MARKED" PAVERS IN APPROPRIATE LOCATIONS.

"MARK AND REMOVE EXISTING PAVERS FROM LOCATION ABOVE FOOTING LOCATION.

5. PLACE BIY SAND—COMPAT BEDDING LAYER, REPLACE THE "MARKED" PAVERS IN

FOR BUILDINGS WITH PRONTAGE ON MORE THAN ONE STREET, A TRASH RECOTAGLE SHALL BE PACED ON EACH FRONTAGE. TRASH RECOTAGLES SHALL BE LOCATED WITHIN 15 G ACT OF THE FOR THE MAIN BUILDING ENTRY OR THE ENTRY TO THE PRIMARY LOCAL LISE, OR BOTH. THE MAIN BUILDING ENTRY OR THE ENTRY TO THE

CITY OF AUSTIN TRASH RECEPTACLE INSTALLATION
DEPARTMENT OF PUBLIC WORKS IN CONCRETE PAVER SIDEWALK

RECORD COPY SIGNED 11/21/05 THE ARCHITECT/ENGINEER ASSIMES RESPONSELTY FOR APPROPRIATE USE 4325—8A

ropriate positions and compact the pavers in place. Of trash receptacle on pavers at appropriate locations and re-mark 8.O.T. HOLE(S)

BOIL BUT HOLES THROUGH THE PAVERS INTO THE POC FOOTINGS.

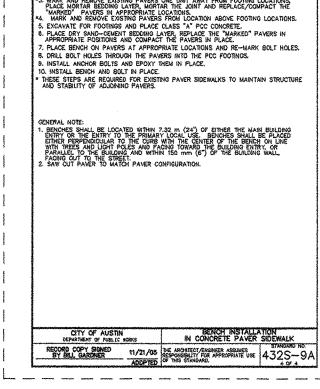
9. INSTALL ANCHOR BOLTS AND EPOXY THEM IN PLACE.

10. INSTALL THASH RECEPTACLE AND BOILT IN PLACE.

11. HISTALL THASH RECEPTACLE AND BOILT IN PLACE.

12. HESE STEPS ARE REQUIRED FOR EXISTING PAVER SIDEWALKS TO MAINTAIN STRUCTURE
AND STABLY OF ADJOINING PAVERS.

SD-432S-76



8 5" CAL RED OAK, 14" HT., MIN.

5" CAL CEDAR ELM, 14" HT., MIN.

Sheet **12**of **18**

DATE:

PROJECT:

DESIGN:

DRAWING'S NAME:

WATERLOO TOWER

LANDSCAPE PLA

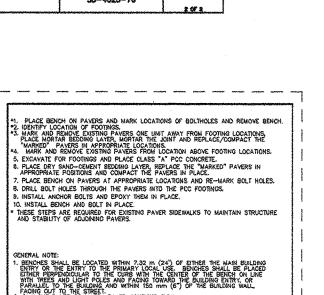
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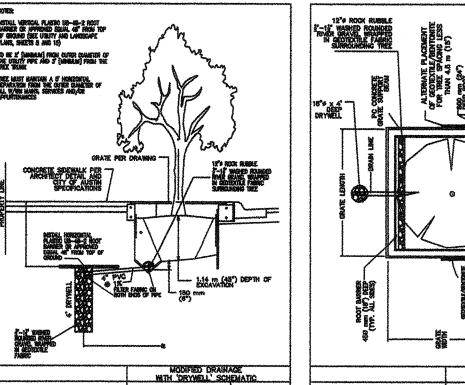
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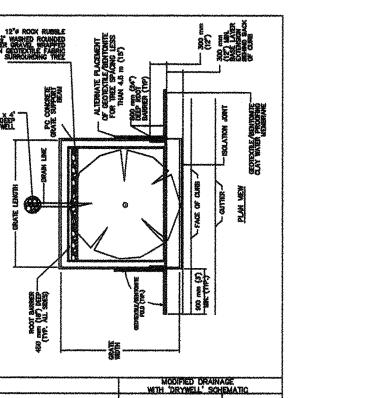
APPROVED:

TREE/CALIPER IN./HT.

ireet trees - 12TH Street







NEW COMMERCIAL AND MULTI-FAMILY LANDSCAPE IRRIGATION 1. A NEW COMMERCIAL AND MULTI-FAMILY IRRIGATION SYSTEM MUST BE DESIGNED AND INSTALLED SO THAT:

2. THE MAXIMUM SPACING BETWEEN SPRAY OR ROTARY SPRINKLER HEADS MUST NOT EXCEED THE RADIUS OF THROW OF THE HEAD UNLESS MANUFACTURER OF THE SPRINKLER HEAD SPECIFICALLY RECOMMENDS A GREATER SPACING. THE RADIUS OF THROW IS DETERMINED BY REFERENCE TO THE MANUFACTURER'S SPECIFICATIONS FOR A SPECIFIC NOZZLE AT A SPECIFIC OPERATING PRESURE.

3. THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN AND WATER BUDGET TO THE CITY AT THE TIME THE FINAL PLUMBING INSPECTION IS PERFORMED. THE WATER BUDGET SHALL INCLUDE: (1) A CHART CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND (2) THE LOCATION OF THE EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR.

5. IRRIGATION SHALL COMPLY WITH CITY CODE CHAPTER 6-4, ART. 2, DIVISION 2, REGARDING THE CITY'S WATER CONSERVATION RESTRICTIONS.

4. THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY THE AUSTIN WATER UTILITY DEPARTMENT CERTIFYING COMPLIANCE WITH SUBSECTION (I) WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.

THERE IS NOT DIRECT OVERSPRAY ONTO NON-IRRIGATED AREAS;
THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN SIX (6)
FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS);
ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6)
INCHES FROM IMPERVIOUS SURFACES;
ITHE IRRIGATION SYSTEM HAS A MASTER VALVE;
CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS;
SERVICEABLE IN-HEAD CHECK VALVES ARE ADJACENT TO PAVED AREAS WHERE
ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE;
THE IRRIGATION SYSTEM HAS A CITY-APPROVED WEATHER BASED CONTROLLER;
AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM
AUTOMATICALLY AFTER NOT MORE THAN A ONE-HALF INCH (1/2") RAINFALL;
ZONE VALVES AND CIRCUITS ARE SEPARATED BASED ON PLANT WATER REQUIREMENTS;
AN IRRIGATION EMMISSION DEVICE (SUCH AS SPRAY, ROTOR, OR DRIP EMITTER) DOES
NOT EXCEED THE MANUFACTURER'S RECOMMENDED OPERATING PRESSURE; AND
NO COMPONENT OF THE IRRIGATION SYSTEM DEVIATES FROM THE MANUFACTURER'S
RECOMMENDED USE OF THE PRODUCT.

SITE PLAN GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR GRADING AND SITE UTILITIES.

2. REFER TO LANDSCAPE DRAWINGS FOR PLANTSCAPE & SITE AMENITY FEATURE ELEMENTS.

3. EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY."

4. SCREENING FOR COVERED DROP-OFF AREA SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.

5. BICYCLE PARKING COMPLAINT WITH LDC APPENDIX A (REF. LANDSCAPE)

6. ALL PARKING SURFACES SHALL HAVE A SEALED CONCRETE FINISH.

SITE PLAN LEGEND

----- ACCESSIBLE ROUTE

- - - PROPERTY LINE

PLANTERS

GABION WALL

SIDEWALK

BUILDING DATA

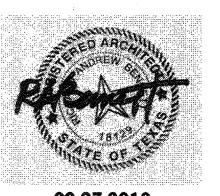
Floor Level	Assumed Floor Elevation	Floor to Floor	Parking Count	Hotel Rooms Area	Hatel Rooms	Condo Units	Common Area	Restaurant / Bar	Ballroom / Meeting	Circulation Area	Vertical Circulation	Parking Area	Gross Building Area
T.O. Parapet	854.69	A Commence of the Commence of											
Roof	848.69	A STREET, SANSON OF THE PROPERTY OF THE PARTY OF THE PART		*			1,367			297	Ò		1,66
Level 33 Roof Deck Mezz.	842.69	A CONTRACTOR OF THE PARTY OF TH	Consissation of the constitution of					2,500		1154	479		3,5
Level 32 Roof Deck	825,69	Marine and the second	Tables and the second	65.55.55			456	3,746		2,894	479		7,09
Level 31 Condos	811.19	The state of the s	Contraction of the second	8,830	1 1	1	891	Other contract and		2,054	479		11,77
Level 30 Condos	791.52	Marcon continuos	A Commission of the Common	9,118	Δ		891	The second secon		2,054	479		12,0
Level 29 Condos	777.52	Character and the same	Attendation in the second second	8,830		\$		Chronical and the second second		2,054	479		11,77
Level 28 Condos	765.52	Militaria de la constitución de la	The series of th	9,118		Commence of the last of the la	di kuanananan matataniana			2,054	479		12.00
Level 27 Hatel	753,52	Microscope manufactions	Contraction of the second	8.830	Marian Company	Stranger and the	Marca construction of the second			2,054	479		11.77
Level 26 Hotel	738.52	and the contract of the contra	All training in the second	9,118	17	The second second	National Commence of the Comme	1		2,054	479		12,06
Level 25 Hotel	728.52	A Charles of the second second	Contract Con	8,830	17					2,054	479		11,77
Level 24 Hotel	718.52	Section of the second section of the second	A STREET AND ADDRESS OF THE PARTY OF THE PAR	9,118		Contract to the second	(Characteristics)			2,054	479		12.00
Level 23 Hotel	708.52	Contract of the contract of th	Eliterania di mandania della	8,830	17	The second second second	Commence of the second			2,054	479		11,77
Level 22 Hotel	698.52		The second second second second	9,118	19	The second second second	District Control of the Control of t			2,054	479		12.0
evel 21 Hotel	688.52	100		8,830	18	0	891			2,054	479		11.77
evel 20 Hotel	678.52	10.0	yayayan iya da Larayan k	9,118	19		891			2,054	479		12,0
evel 19 Hotel	668.52	100		8,830	18	C.				2,054	479		11,7
eyel 18 Hotel	658.52	10.0		9,118	19	The second consists of	SE HOSPIERO SE SE HERO DE LA CONTRACTOR DE			2,054	479		12,08
evel 17 Hotel	648.52	10.0		8,830	18		891			2,054	479	*	11,77
reyel 15 Hotel	638.52	10.0		9,118	19		891			2,054	479		12.00
evel 15 Hotel	628.52	10.0		8,830	18	0	891			2,054	479		1100
evel 14 Hatel	618.52	10.0		9,118	19		891			2,054	479		12,0
evel 19 Amenity Deck	608.52	1270		4,107	4	(C	4,319			2,564	479		10,99
evel 12 Ballroom Mezzanine	596.52	11.0			0	C	5,641			2,856	479		8,49
evel 11 Ballroom	585.52	12.0			0	e e e e e e e e e e e e e e e e e e e	(Carrier and Assessment)		6,119	3,270	479		17,710
level 10 Parking	573.52	9.0									479	18,456	
evel 9 Parking	564,52	910			-						479	17,635	
evel 8 Parking	555.52	A CONTRACTOR OF THE PARTY OF TH	The remains are a second	Commence of the Commence of th							479	17,635	
Level 7 Parking	546.52		The contract of the contract of	A Transport of the Control of the Co					1		479	17,635	
Level 6 Parking	537.52	9.0	Commission of the Commission o	Commission of the second second second second		1	1		1		479	17,635	1
evel 5 Parking	528.52	9.0	Military and a second s						1		479	17,635	
evel 4 Parking	519.52		Contractive and a second contractive	Maria de la constitución de la c	*						479	17,635	
evel 3 Parking	509.52					Personal States		*****			479	17,319	
evel 2 Mezzanine	499.52	A STREET, STRE	Concessor of the contest of the cont				3,462			2,453	479		3.9
evel 1 Floor Plan	486.52	A Company of the Comp					5,514			1,636	479		12,81
										3,020			3,2,23
OTALS		371.2	200	165,639	256		43,141	11,479	2349	En 230	48.340	47// 164	200
	max elev:		The state of the s		Characteristic problems of the control of the contr	h		L 13/8/3	6,119	52,645		136,585 FAR	282,32 (1.1

TOTAL BUILDING HEIGHT IS 33 STORIES AT 371.2 FEET. MAXIMUM ELEVATION IS 854.7 FEET ABOVE SEA LEVEL.

Powell

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09.27.2016

WATERLOO PARK HOTEL 1201 RED RIVER ST, AUSTIN, TX 78701

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revisions

project

SITE PLAN - GROUND LEVEL

project number

16022.100

09.27.2016

date

4.0

09.27.2016

13 of 18

SITE PLAN APPROVAL

Sheet 13 of 18

FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON:

under Section 112 of Chapter 25-5 of the Austin City Code.

EXPIRATION DATE (25-5-81,LDC):

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT

PROJECT EXPIRATION DATE: DWPZ DDZ

(ORD,#970905-A):

DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT

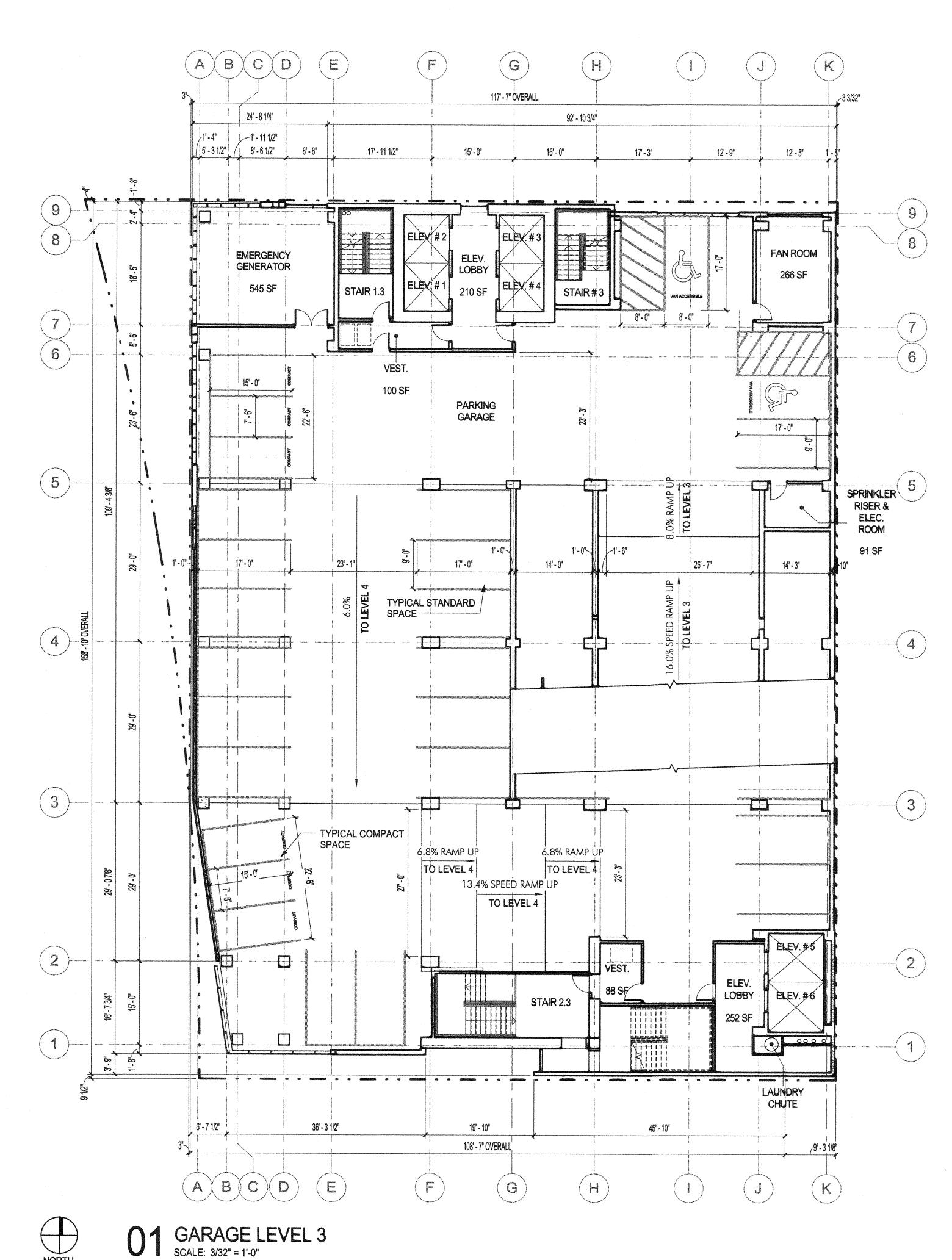
RELEASED FOR GENERAL COMPLIANCE: Zoning:

Rev. 1 Correction 1

Rev. 2 Correction 2

Final plot must be recorded by the Project Expiration Date, if applicable, Subsequent Site Plans which do not comply with the Code current at the time for Ring, and all required Building Permits and/or a notice of posstruction (if a building permit is not required, must also be approved prior to the Project Expiration Date.

SP-2016-0106C



	AREA/ROOMS	RATIO	BASE REQUREMENT PER APPENDIX A	MINIMUM*	MAXIMUM**	PROVIDED
HOTEL	256 Rooms	1.1 Per Room	281:60 Spaces	0 Spaces	168.96 Spaces	
RESTAURANT >2,500 sf						
Non-Accessory within Hotel	8,129 GSF	1/75 GSF	108:39 Spaces	O Spaces	65.03 Spaces	
COCKTAIL LOUNGE 2,500sf-10,000sf						
Non-Accessory within Hotel	3,350 GSF	1/50 GSF	67.00 Spaces	0 Spaces	40.20 Spaces	
CONDOMINIUM						
1 Bedroom	12 Units	1.5 Per Unit	18,00 Spaces	O Spaces	10.80 Spaces	
2 Bedroom	12 Units	2.0 Per Unit	24:00 Spaces	0 Spaces	14.40 Spaces	
3 Bedroom	4 Units	2.5 Per Unit	10.00 Spaces	0 Spaces	6.00 Spaces	
TOTAL			508.99 Spaces	0 Spaces	305,39 Spaces	300 Spaces
		1 1 1 2 1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2				
ACCESSIBLE SPACES	(PER IBC TABLE 1106.1)			7 Spaces		7 Spaces
VAN ACCESSIBLE SPACES	(PER IBC 1106:5)			2 Spaces		2 Spaces
BICYCLE PARKING SPACES	(5% OF VEHICULAR SPAC	ES; BASE REQUIREMEN	0	25 Spaces		25 Spaces
LOADING SPACES	PER LDC 25-6-592, FOR H	10TEL USES OF 150,001	sf - 300,000 sf,			1.10x30
	1 (10'x30') AND 1 (10'x40	D') SPACES ARE REQUIRE	D			1 10x40

hedule
Count
29
6
2

vel 4 Parkin	a	BIKE PARKING
andard	31	LOADING AREA
mpact	10	
cessible	1	
	42	ما

PARKING TABLE

Standard Spaces Compact Spaces

Accessible Spaces

Total Spaces

COUNT

25 Total

1 10'X30' Space 1 10'X40' Space 2 Total

220

PERCENTAGE

73.33%

23.67%

3.00%

Standard	31	
Compact	10	indiran propagation may revise wh
Accessible	1	

Level 6 Parkin Standard	9 31
Compact	10
Accessible	1
	42

Level 7 Parkin	9	
Standard	31	
Compact	10	
Accessible	. 1	
	42	

Level 8 Parkin	9	
Standard	31	
Compact	10	
Accessible	1	
and the second two states to private and the second secon	42	

Level 9 Parkin	g
Standard	31
Compact	10
Accessible	1
the the graph of the ability began drafter for any new tree healther a year bloom by a graph senses.	42

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5
5
1

Grand total: 300 300

FILE NUMBER: <u>SP-2016-0106C</u> /	PPLICATION C	ATE:	FEB.	29.	201
APPROVED BY COMMISSION ON:	·				
under Section 112of Chapter _	25-5	of the	Austin	City	Cod
EXPIRATION DATE (25-5-81,LDC):					
CASE MANAGER: DONNA GALATI					
ZONING: CBD - CENTRAL BUILDIN	Present and the property of the section				
PROJECT EXPIRATION DATE: (ORD #970905-A):	DWPZ		DDZ		
DIRECTOR, DEVELOPMENT SERVICES DE	VARTMENT		ACASTA AND CONTRACTOR		
RELEASED FOR GENERAL COMPLIANCE.		Zon	ing:		
Rev. 1	Correction	3	4671		********
Rev. 2	Correction	2			
Rev. 3	Correction				

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project WATERLOO PARK HOTEL 1201 RED RIVER ST, AUSTIN, TX 78701

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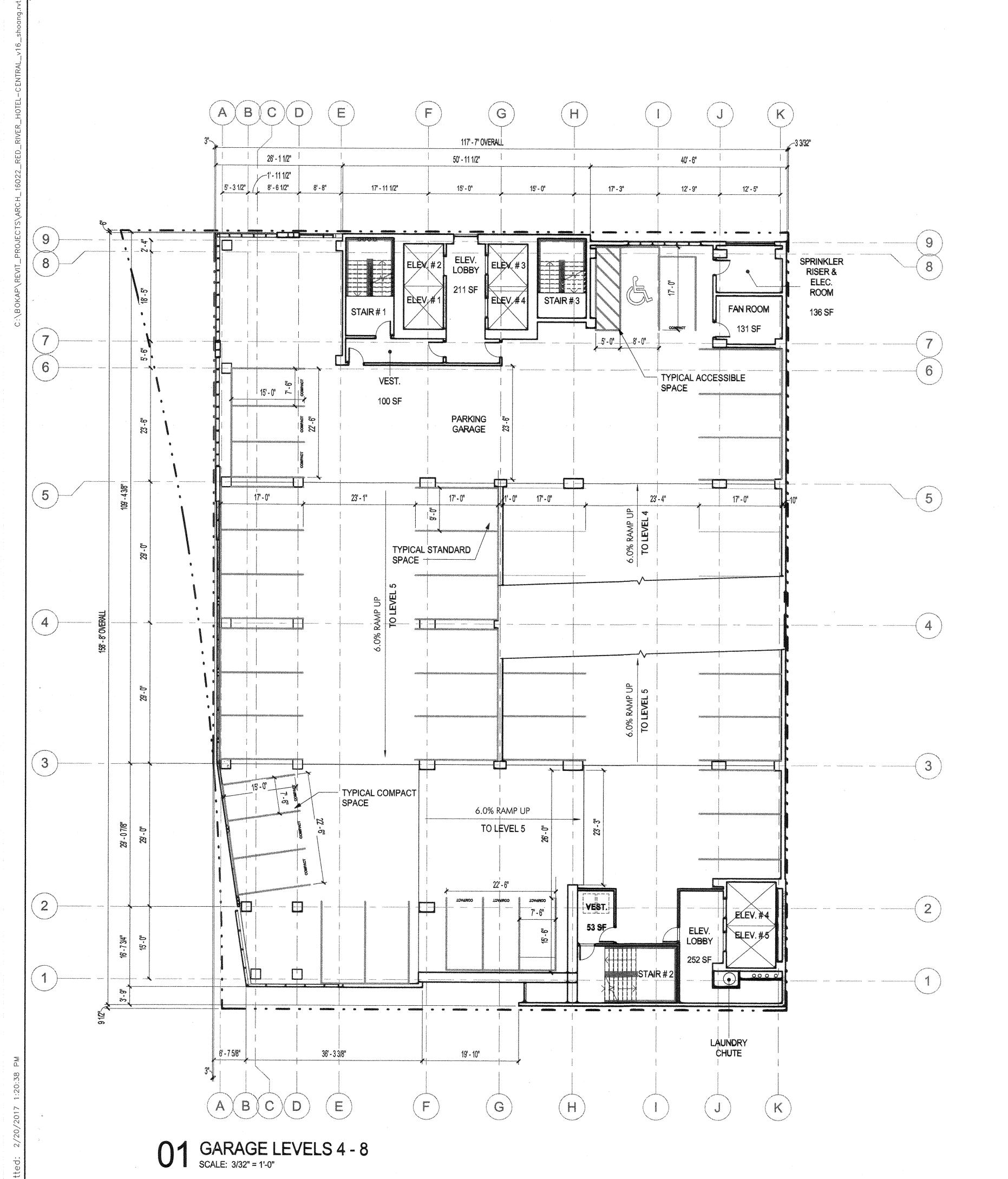
FLOOR PLAN - GARAGE LEVEL 3

project number

16022.100 09.27.2016

09.27.2016

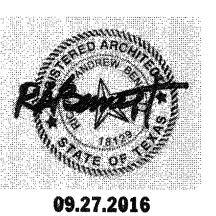
SP-2016-0106C





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revisions

SITE PLAN APPROVAL FILE NUMBER: SP-2016-0106C APPLICATION DATE: FEB. 29, 2016 APPROVED BY COMMISSION ON: ____ under Section 112 of Chapter 25-5 of the Austin City Code. EXPIRATION DATE (25-5-81,LDC):

CASE MANAGER: DONNA GALATI

ZONING: CBD - CENTRAL BUILDING DISTRICT DIRECTOR, DEVELOPMENT SERVICES DEPARTMENT RELEASED FOR GENERAL COMPLIANCE: Final plot must be recorded by the Project Expiration Date, if applicable, Subsequent Site Plans which do not comply with the Code current at the time to filling, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

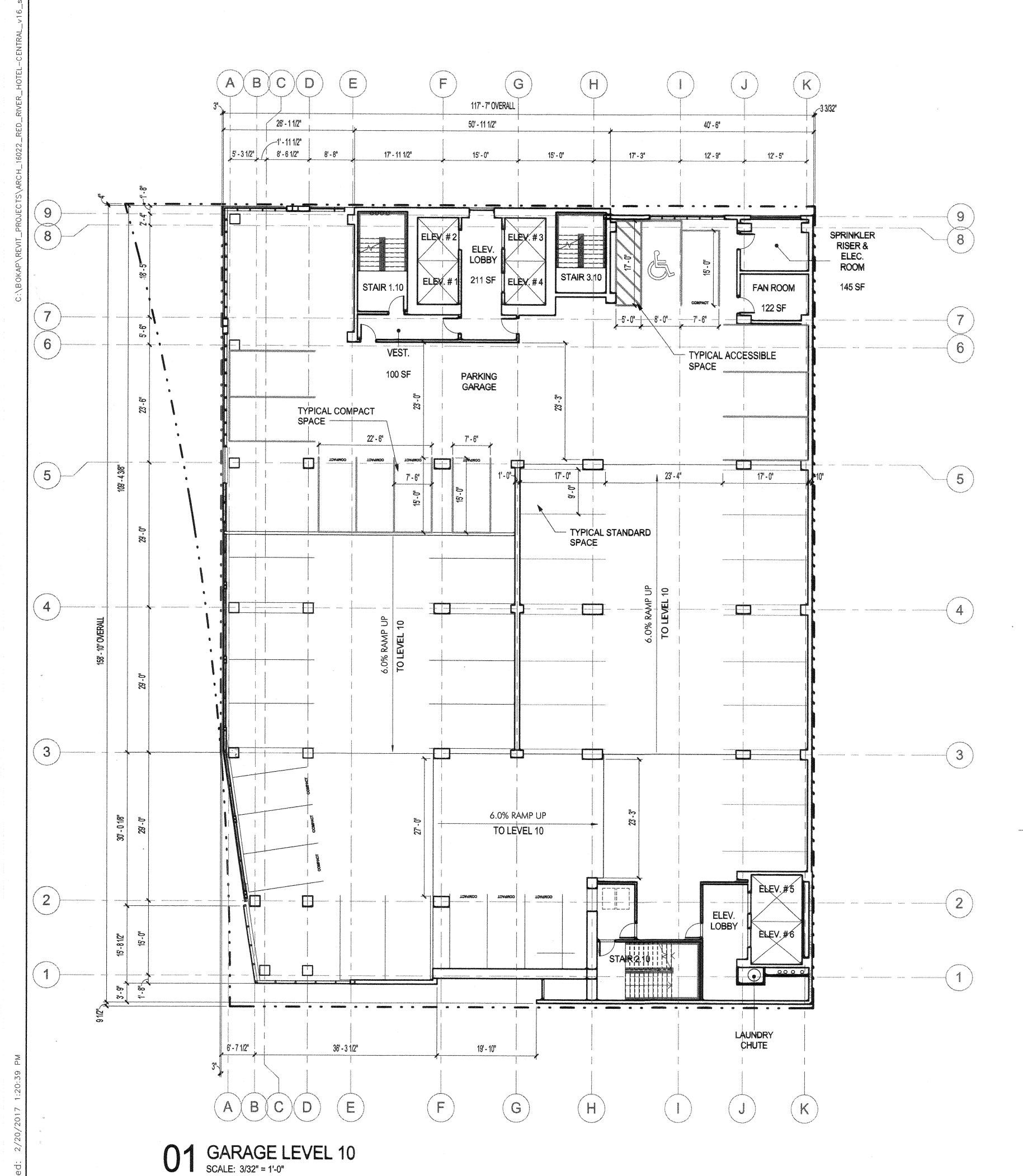
SP-2016-0106C

FLOOR PLAN - GARAGE LEVELS

project number

16022.100

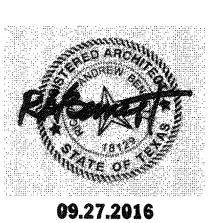
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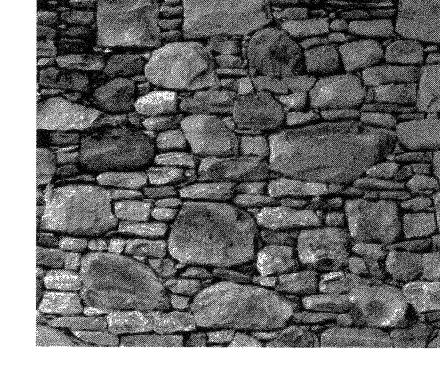




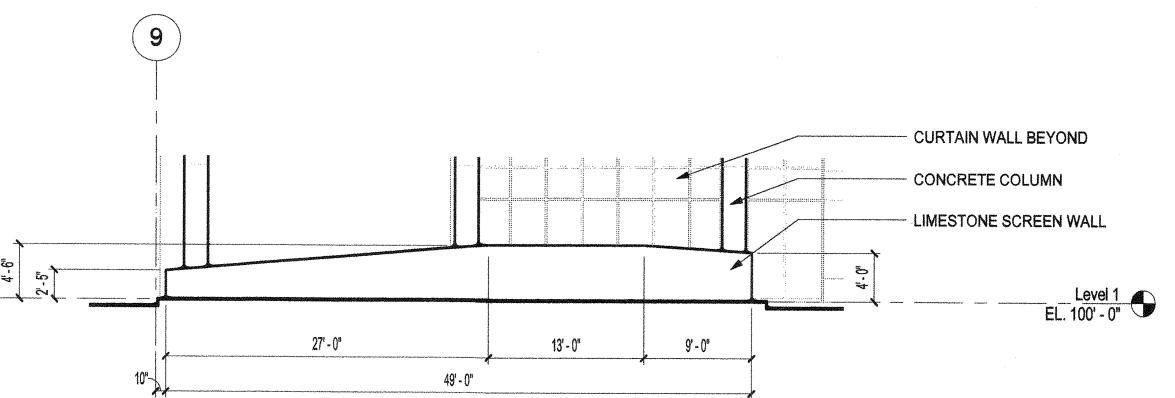
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LIMESTONE SCREEN HEIGHT VARIES FROM 2'-5" TO 4'-6". REFER TO ENLARGED ELEVATION BELOW



ENLARGED ELEVATION - STONE SCREEN

WALL
SCALE: 1/8" = 1'-0"

FILE NUMBER: SP-2016-010	DEC APPLICATION DATE: FEB. 29, 2016
APPROVED BY COMMISSION ON:	
under Section 112of Chap	oter <u>25-5</u> of the Austin City Gode
EXPIRATION DATE (25-5-61,LDC	
CASE MANAGER: <u>DONNA GAL</u>	
ZONING: CBD - CENTRAL B	
PROJECT EXPIRATION DATE: (ORO.#970905-A):	DWPZ DDZ
The state of the s	
DIRECTOR, DEVELOPMENT SERVIC	ES DEPARTIVENT
ka Principal dia mantanti ny raokana ny araoka arao amin'ny fisika na m	ES DEPARTMENT ANCE: Zoning:
RELEASED FOR GENERAL COMPLI	ann a ma theathrach a' fa Walabler (18 Yank 1901), an talaigh gold a ch, an ann an
RELEASED FOR GENERAL COMPLI	ANCE: Zoning:
RELEASED FOR GENERAL COMPLI Rev. 1 Rev. 2	ANCE: Zoning: Carrection 1

project
WATERLOO PARK HOTEL
1201 RED RIVER ST, AUSTIN, TX 78701

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FLOOR PLAN - GARAGE LEVEL

project number

16022.100

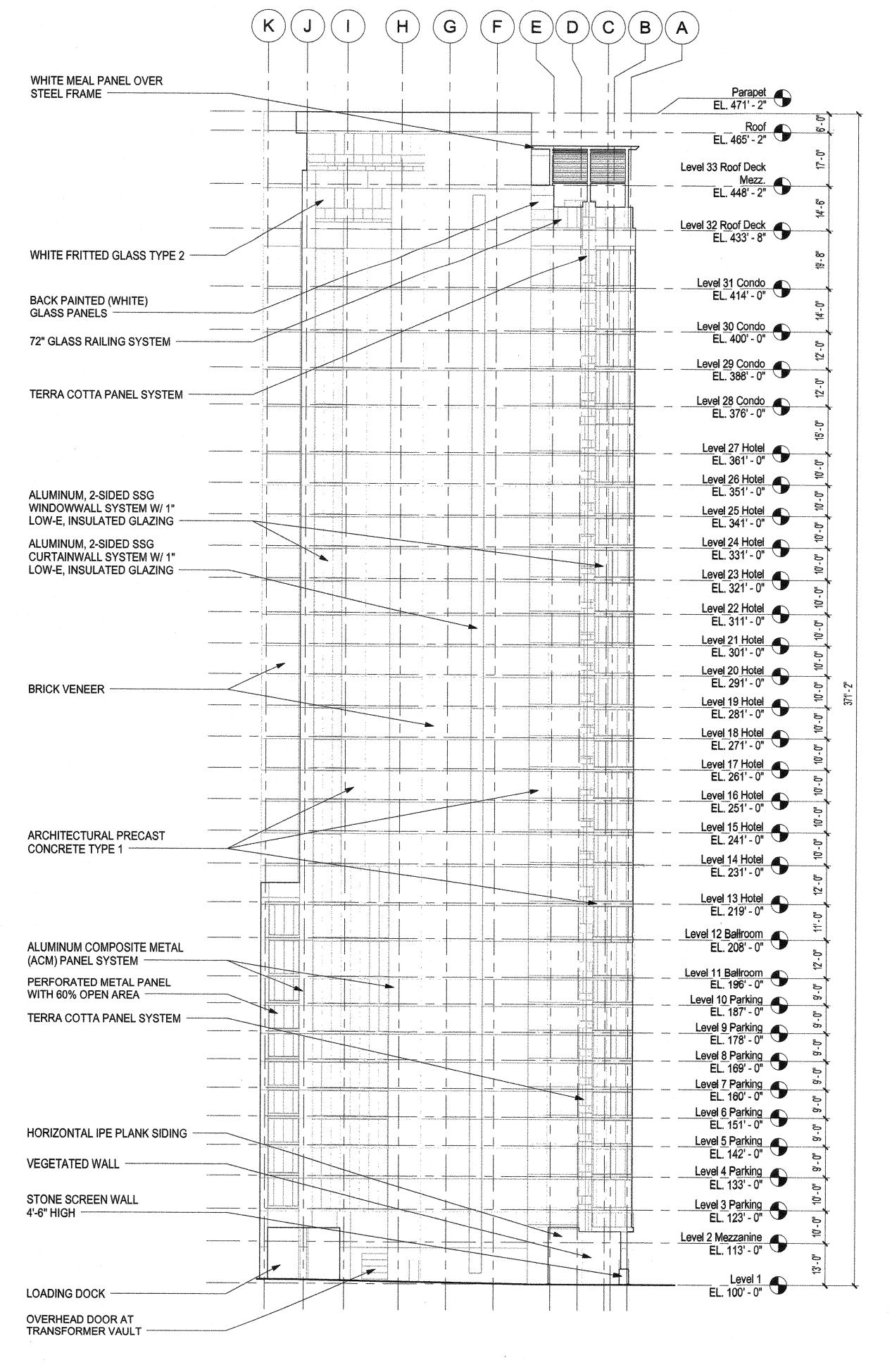
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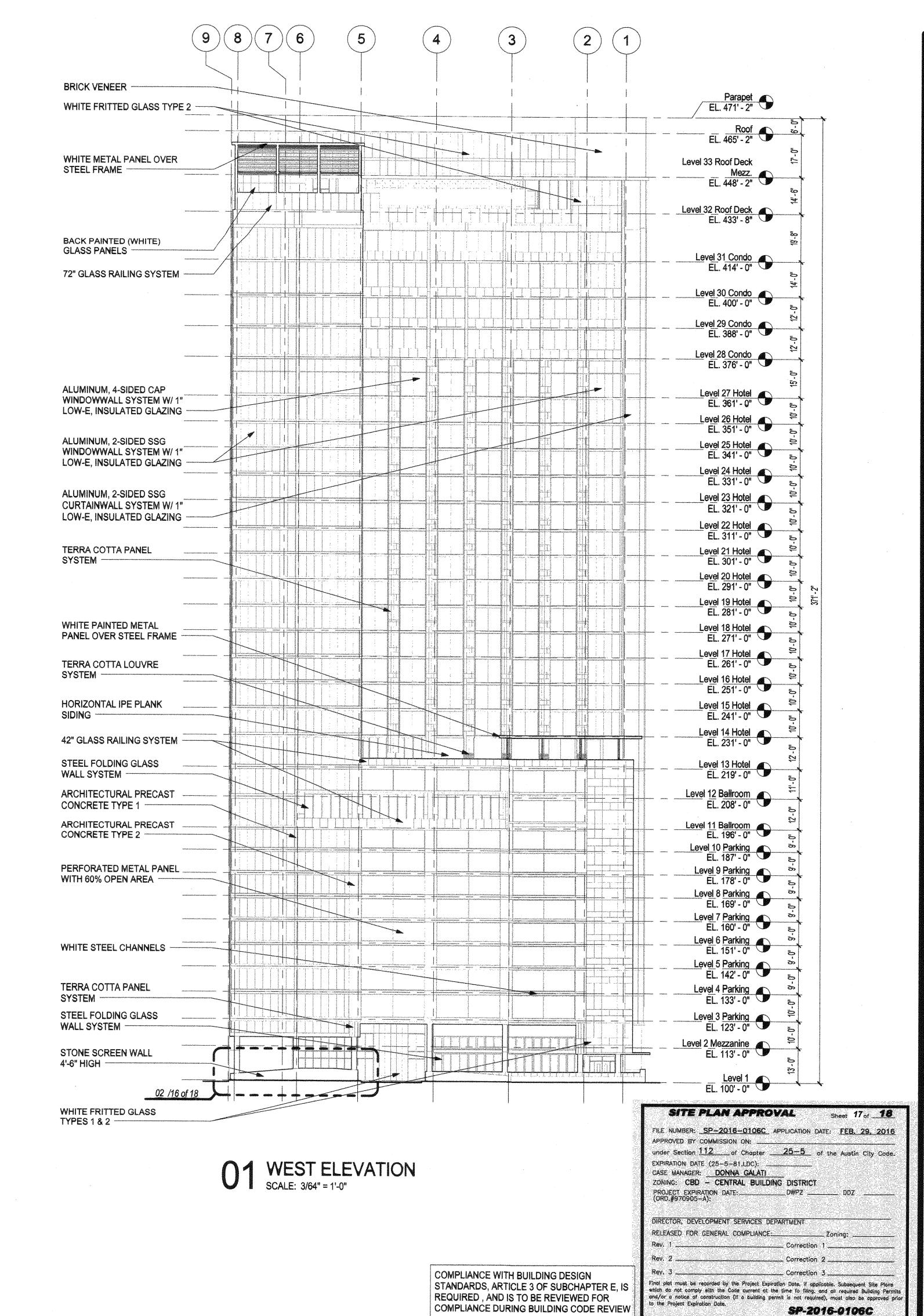
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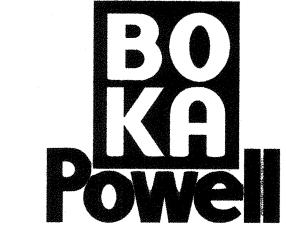
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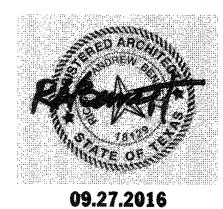


02 NORTH ELEVATION SCALE: 3/64" = 1'-0"





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ELEVATIONS NORTH & WEST

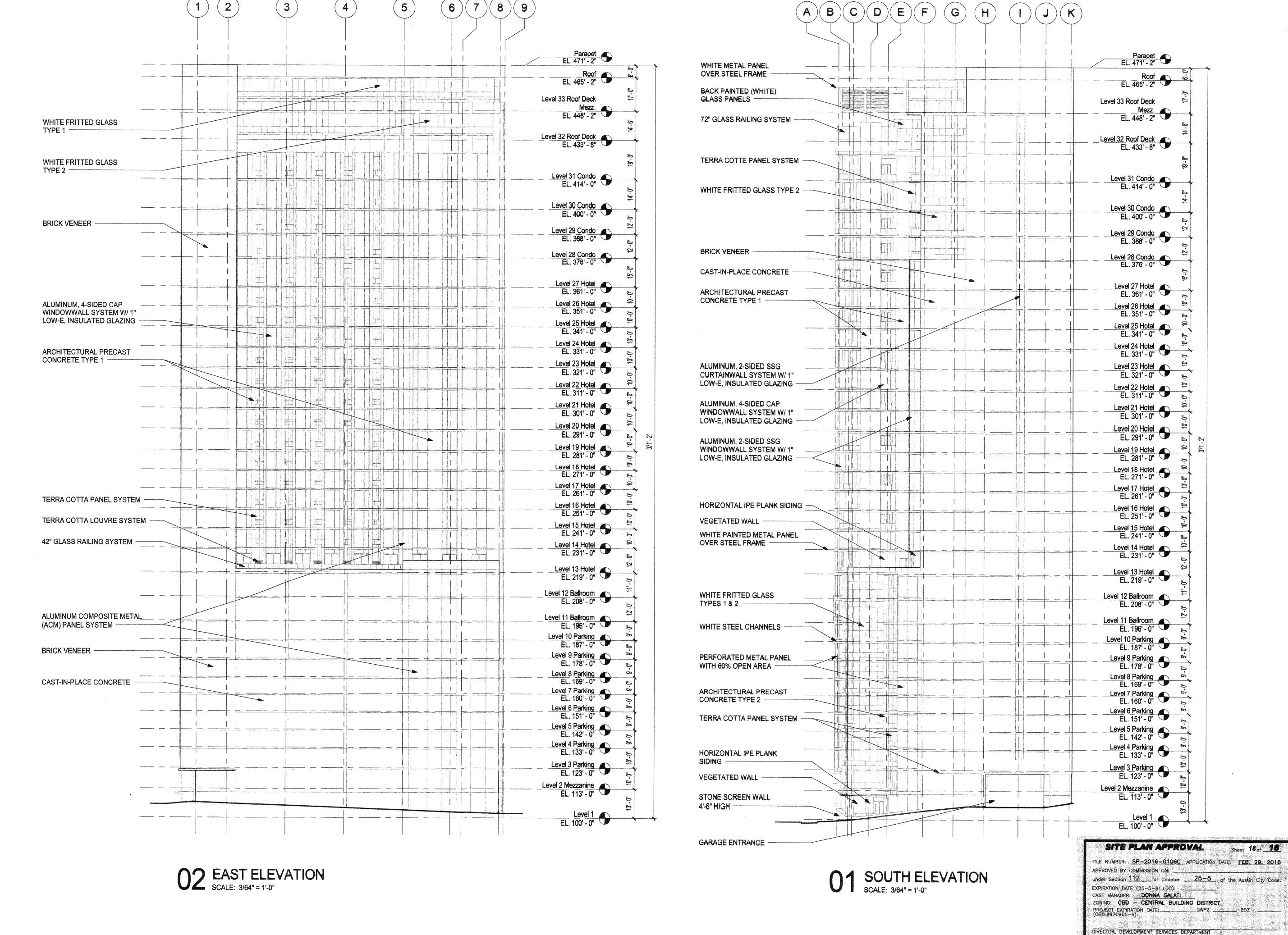
project number

16022.100

date

09.27.2016

17 of 18



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09.27.2016

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ELEVATIONS SOUTH & EAST

project number

16022.100

09.27.2016

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Rev. 2 Correction 2

Rev. 3 Correction 3

Final plot must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time to filing, and all required Building Permits and/or a natice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SP-2016-0106C

COMPLIANCE WITH BUILDING DESIGN
STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS
REQUIRED, AND IS TO BE REVIEWED FOR

Rev. 2

Rev. 3

Final plot must which do not an accordance of a not an accordance of a not accor

COMPLIANCE DURING BUILDING CODE REVIEW

RELEASED FOR GENERAL COMPLIANCE:



2013 COMMERCIAL RATING SCORECARD PLANNER



PROJECT NAME

Waterloo Tower Hotel

AEGB COMMERCIAL RATING STAR LEVELS			
1 Star	Basic Requirements		
2 Stars	35 - 44 points		
3 Stars	45 - 54 points		
4 Stars	55 - 74 points		
5 Stars	75 points or more		

SUMMARY			
TOTAL "YES" POINTS	41		
RATING ELIGIBILITY, BASED ON YES	2 Stars		
TOTAL POINTS, INCLUDING "MAYBE"	79		
RATING ELIGIBILITY, INCLUDING "MAYBE"	5 Stars		

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY		
BASIC REQUIREMENTS								
1. Plans and Specifications	Req'd	YES						
2. Current Codes and Regulations	Req'd	YES						
3. Building Systems Commissioning	Req'd	YES						
4. Building Energy Performance	Req'd	YES						
5. Outdoor Water Use Reduction	Req'd	YES						
6. Indoor Water Use Reduction	Req'd	YES						
7. Low-Emitting Materials - Interior Paints and Coatings	Req'd	YES						
Storage and Collection of Recyclables	Req'd	YES						
9. Construction Waste Management	Req'd	YES						
INTEGRATED DESIGN								
1. Integrated Project Design	2		2					
INTEGRATED DESIGN	SUBTOTALS	0	2	0				
SITE								
Site Selection								
Environmental Sensitivity	2	2						
Desired Development Area	2	2						
Density	2	2						
Diverse, Walkable Communities	1		1					
Brownfield Redevelopment	1			1				
Site Specific Design	1			1				
Transportation Alternatives								
Public Transportation	1-3	3						
Bicycle Use	1	1						
Parking Capacity	1			1				
Electric Vehicle Charging Station	1	1						
Protect or Restore Habitat	1			1				
Beneficial Open Space	1	1						
Access to Local and Regional Produce	1		1					
Heat Island Reduction	1	1						
Light Pollution Reduction	1	1						
Integrated Pest Management	1	1						
SITE	SUBTOTALS	15	2	4				
ENERGY								
Building Energy Performance	1-16	7	3	6				
Renewables	1-4		2	2				
Additional Commissioning	1-3	1	2					
Advanced Energy Metering	1		1					
Demand Response	2			2				

VERSION 2013

MEASURE	POINTS AVAILABLE	YES	MAYBE	NO	NOTES	RESPONSIBLE PARTY			
Green Energy	2		2						
District Cooling	1		1						
ENERGY	SUBTOTALS	8	11	10					
WATER									
Outdoor Water Use Reduction	1-3	3			Use of city reclaimed water for				
Building Water Use Reduction	1-6	4	2		Use of low flow fixteures and				
Process Water Use Reduction	1-2	1	1		reclaimed water for toilet flushing Cooling tower make-up to use				
Stormwater Management	1-2			2	reclaimed water				
WATER	SUBTOTALS	8	3	2					
INDOOR ENVIRONMENTAL QUALITY (IEQ)									
Indoor Chemical & Pollutant Sources	1		1						
Green Housekeeping	1	1							
Daylighting and Views									
Daylighting Design	1		1						
Daylighting Controls	1		1						
Views to the Outside	1		1						
Individual Controllability	1	1							
Low Emitting Materials		,							
Sealants and Adhesives		1							
Flooring System		1							
Composite Wood and Agrifiber Products		'	1						
Insulation	1-5	1	1						
	1-5	1	1						
Ceiling and Wall Systems	_		1						
Furniture	_								
Exterior Applied Products	_								
Moisture Protection	1	1							
Acoustic Quality	1		1						
Outdoor Pollutant Control	1		1						
Construction Indoor Air Quality	1	1 7							
IEQ SUBTOTALS			8	0					
MATERIALS AND RESOURCES	1		T						
Additional Construction Waste Management	1	1							
Building Materials Use Reduction	1-3			3					
Sustainably Sourced Material	1-6	1	3	2					
Certified Wood	1		1						
PVC and Phthalate Free	1		1						
MATERIALS AND RESOURCES SUBTOTALS 2 5 5									
EDUCATION AND EQUITY					1				
Educational Outreach	2		2						
Construction Worker Equity	1		1						
EDUCATION AND EQUITY SUBTOTALS			3	0					
INNOVATION									
Innovation #1	1	1							
Innovation #2	1		1						
Innovation #3	1		1						
Innovation #4	1		1						
Innovation #5	1		1						
INNOVATION	SUBTOTALS	1	4	0					
GRAND TOTAL POINTS	100	41	38	21					

VERSION 2013 2

MEMORANDUM

Date: 3-21-2017

To: Austin Design Commission

From: Design Commission Planning & Urban Design Working Group

Subject: Working Group Density Bonus Program review of Waterloo Park Tower for

substantial compliance with the Urban Design Guidelines.

Meeting Date: 3-13-2017 Applicant: Jim Wittliff Architect: Boka Powell

The project location is 1201 Red River. It was presented as a hotel project. There is no residential component. The existing zoning is CBD.

The applicant is seeking a density bonus to raise the FAR from 8:1 to 15:1 FAR. The lot area is 19,689 sq ft, and the total project area is 282,318 sf ft.

The applicant is not seeking additional height. The maximum height achievable under the density bonus program in this portion of downtown is 450 feet. The total building height proposed is 371'-0" or 33 floors.

The additional square footage made available by the FAR density bonus is 133,140 sq ft.

Per the Density Bonus Program ordinance, the applicant is required to provide streetscape improvements along all public street frontages consistent with the Great Streets Standards, and the applicant shall commit to a minimum of 2 star Green Building rating. The Mayor and City Council and the Planning & Development Review Director will determine appropriate bonus area in light of community benefits to be provided.

Positive attributes of the project:

- 1. LEED Silver minimum sought in addition to 2 star Green Building.
- 2. Use of reclaimed water up to 2% of building costs, including potentially toilets.
- 3. Publicly accessible terrace.
- 4. Façade treatment works to integrate parking levels into overall massing.
- 5. Letter of intent to meet or exceed Green Building 2 star rating was attached but scorecard was not included.

Concerns/suggestions for the project:

1. This is a tight site with sloping grade on E 12th. Some portions of the 12th street façade being dedicated to vehicle access and stairs seems reasonable.

It is determined that the project, as presented, is in substantial compliance with the Urban Design Guidelines. The Working Group appreciates the opportunity to review and comment on this project.

Respectfully submitted,

BAKT WHATMY

Bart Whatley, Vice Chair of the Design Commission Planning & Urban Design Working Group