



# City of Austin Residential New Construction and Addition Permit Application

Residential Review, 2<sup>nd</sup> floor, One Texas Center  
505 Barton Springs, Austin, TX 78704 (512) 978-4000

HAYNCR

## Property Information

|  |  |
|--|--|
| Project Address: 4203 Avenue A   | Tax Parcel ID:                               |
| Legal Description: lot 13 + S 10 ft of lot 12 blk 1 Hyde Park Addn No. 2 |  |
| Zoning District: SF-3-HD-NCCD-NP   | Lot Size (sq ft): 4,739 SF                   |
| Neighborhood Plan Area (if applicable): Hyde Park NCCD                   | Historic District (if applicable): Hyde Park |

## Required Reviews

|  |  |
|--|--|
| Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N<br>(If yes, contact Austin Energy for Green Building Rating requirements. Attach signed certification letter from NHCD.)  | Does project have a Green Building requirement? Y <input checked="" type="radio"/> N<br>(If yes, contact Austin Energy for Green Building Rating requirements)     |
| Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N<br>(If yes, approval through Aviation is required)   | Does this site have a septic system? Y <input checked="" type="radio"/> N<br>(If yes, submit a copy of approved septic permit)                                     |
| Does the structure exceed 3600 square feet total under roof? Y <input checked="" type="radio"/> N<br>(If yes, Fire review is required)   | Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N<br>(If yes, Fire review is required)                                |
| Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N<br>(If yes, EHZ review is required)   | Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N<br>(Proximity to floodplain may require additional review time.) |
| Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="radio"/> N<br>Note: Include tree location(s) on plot plan.   | (If yes, application for a tree permit with the City Arborist is required)   |
| Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <input checked="" type="radio"/> N   |  |
| Does this site currently have: water availability? Y <input checked="" type="radio"/> N<br>wastewater availability? Y <input checked="" type="radio"/> N<br>(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.) |  |
| Are there existing water/waste water infrastructure, appurtenances or existing water/ wastewater easements located on site? Y <input checked="" type="radio"/> N<br>(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)                |  |
| Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N<br>(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)  |  |
| Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="radio"/> N<br>(If yes, contact the Development Assistance Center for a Site Plan Exemption)   |  |
| Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N<br>(LDC 25-2 Subchapter C Article 3)  | Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N<br>(LDC 25-2-180, 25-2-647)  |
| Does this site front a paved street? Y <input checked="" type="radio"/> N<br>(If no, contact Development Assistance Center for Site Plan requirements)   | Is this site adjacent to a paved alley? Y <input checked="" type="radio"/> N<br>(Public Works approval required to take access from a public alley)                |
| Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)  |  |
| Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N<br>(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)          |  |

## Description of Work

|  |                  |                                  |                    |                             |              |
|--|------------------|----------------------------------|--------------------|-----------------------------|--------------|
| Existing Use:  | vacant           | <u>single-family residential</u> | duplex residential | two-family residential      | other: _____ |
| Proposed Use:  | vacant           | <u>single-family residential</u> | duplex residential | two-family residential      | other: _____ |
| Project Type:  | new construction | <u>addition</u>                  | addition/remodel   | other: _____                |              |
| Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="radio"/> Y <input type="radio"/> N<br>(Note: Removal of all or part of a structure requires a demolition permit application.) |                  |                                  |                    |                             |              |
| # of existing bedrooms:  | 2                | # of bedrooms upon completion:   | 4                  | # of baths existing:        | 2            |
|  |                  |                                  |                    | # of baths upon completion: | 3            |

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary)

second floor addition of two kids bedrooms and storage bathroom

Trades Permits Required (Circle as applicable): electric plumbing mechanical (HVAC) concrete (R.O.W.)

| Job Valuation   |  |   |
|---|--|---|
| Total Job Valuation:<br>\$ <u>160,000</u>   | Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>55,000</u>  | Amount of Total Job Valuation dedicated to all Remodel/Repair: \$ <u>5,000</u>                    |
| Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule. | Amount for Primary Structure: \$ <u>55,000</u><br>Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N | Bldg: \$ <u>2,000</u><br>Elec: \$ <u>1,000</u><br>Plmbg: \$ <u>1,000</u><br>Mech: \$ <u>1,000</u> |
|   | Amount for Accessory Structure: \$ <u>0</u><br>Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N    |   |

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

| Site Development Information  |                |        |   |        |             |        |
|---|----------------|--------|---|--------|-------------|--------|
| Area Description<br><small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>  | Existing Sq Ft |        | New/Added Sq Ft   |        | Total Sq Ft |        |
|   | Bldg 1         | Bldg 2 | Bldg 1  | Bldg 2 | Bldg 1      | Bldg 2 |
| a) 1 <sup>st</sup> Floor conditioned area   | <u>1282</u>    |        | <u>117</u>  |        | <u>1399</u> |        |
| b) 2 <sup>nd</sup> Floor conditioned area   |                |        | <u>595</u>  |        | <u>595</u>  |        |
| c) 3 <sup>rd</sup> Floor conditioned area   |                |        |   |        |             |        |
| d) Basement   |                |        |   |        |             |        |
| e) Covered parking (garage or carport)  |                |        |   |        |             |        |
| f) Covered patio, deck, porch, and/or balcony area(s)   | <u>232</u>     |        |   |        | <u>232</u>  |        |
| g) Other covered or roofed area   | <u>83</u>      |        |   |        | <u>83</u>   |        |
| h) Uncovered wood decks   |                |        |   |        |             |        |
| <b>Total Building Area</b> (total a through h)  | <u>1597</u>    |        | <u>612</u>  |        | <u>2209</u> |        |
| i) Pool   |                |        |   |        |             |        |
| j) Spa  |                |        |   |        |             |        |
| <b>Building Coverage Information</b>  |                |        |   |        |             |        |
| <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>   |                |        |   |        |             |        |
| Total Building Coverage (sq ft): <u>1697</u> % of lot size: <u>36</u>   |                |        |   |        |             |        |
| <b>Impervious Cover Information</b>   |                |        |   |        |             |        |
| <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small> |                |        |   |        |             |        |
| Total Impervious Cover (sq ft): <u>2126</u> % of lot size: <u>44.9</u>  |                |        |   |        |             |        |
| <b>Setbacks</b>   |                |        |   |        |             |        |
| Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="radio"/> Y <input type="radio"/> N   |                |        |   |        |             |        |
| Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="radio"/> Y <input type="radio"/> N  |                |        |   |        |             |        |
| Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input type="radio"/> Y <input checked="" type="radio"/> N  |                |        |   |        |             |        |
| <b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)   |                |        | <b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)               |        |             |        |
| Building Height <u>23'8"</u> Number of Floors: <u>2</u>   |                |        | # of spaces required: <u>2</u> # of spaces provided: <u>2</u> |        |             |        |
| <b>Right-of-Way Information</b>   |                |        |   |        |             |        |
| Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input type="radio"/> Y <input checked="" type="radio"/> N   |                |        |   |        |             |        |
| <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>   |                |        |   |        |             |        |
| Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input type="radio"/> Y <input checked="" type="radio"/> N  |                |        |   |        |             |        |
| Width of approach (measured at property line): <u>12.5</u> ft Distance from intersection (for corner lots only): _____ ft   |                |        |   |        |             |        |
| Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required) <input type="radio"/> Y <input checked="" type="radio"/> N   |                |        |   |        |             |        |

## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

|  | Existing Sq Ft | New/Added Sq Ft | Proposed Exemption (check article utilized)  | Applied Exemption Sq Ft | Total Sq Ft |
|--|----------------|-----------------|--|-------------------------|-------------|
| 1 <sup>st</sup> Floor                        | 1268           | 117             |  |                         | 1385        |
| 2 <sup>nd</sup> Floor                        |                | 555             |  |                         | 555         |
| 3 <sup>rd</sup> Floor                        |                |                 |  |                         |             |
| Area w/ ceilings > 15'                       |                |                 | Must follow article 3.3.5  |                         |             |
| Ground Floor Porch* (check article utilized) | 229            |                 | <input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A)<br><input type="checkbox"/> 200 sq ft (3.3.3 A 2) | 229                     | 0           |
| Basement                                     |                |                 | Must follow article 3.3.3B, see note below   |                         | —           |
| Attic  |                |                 | Must follow article 3.3.3C, see note below   |                         | —           |
| Garage**: (check article utilized)           | Attached       |                 | <input type="checkbox"/> 200 sq ft (3.3.2 B 2b)  |                         | —           |
|  | Detached       |                 | <input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a)<br><input type="checkbox"/> 200 sq ft (3.3.2 B 2a)           |                         | —           |
| Carport**: (check article utilized)          | Attached       |                 | <input type="checkbox"/> 450 sq ft (3.3.2 A 3)<br><input type="checkbox"/> 200 sq ft (3.3.2 B 1)***              |                         | —           |
|  | Detached       |                 | <input type="checkbox"/> 450 sq ft (3.3.2 A 1)   |                         | —           |
| Accessory Building(s) (detached)             | 83             |                 |  |                         | 83          |
| Totals                                       |                |                 |  |                         |             |

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2023

(Total Gross Floor Area ÷ lot area) x 100 = 42.6 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project?

Y

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")?

Y

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It is fully contained within the roof structure; 3. It has only one floor; 4. It does not extend beyond the footprint of the floors below; 5. It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6. Fifty percent or more of the area has a ceiling height of seven feet or less.



# Development SERVICES DEPARTMENT

One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Demolition Permit Application

Application Type: ☐ Commercial ☐ Residential

Fee Paid: \$ \_\_\_\_\_ Submission Date: \_\_\_\_\_

### For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ LHD\_NRD\_HDP- \_\_\_\_\_ Ca. \_\_\_\_\_

Referred By: \_\_\_\_\_ NRHD/LHD: \_\_\_\_\_

☐ Release Permit

☐ Do Not Release Permit

☐ HLC Review- \_\_\_\_\_

Historic Preservation Office

Date

**IMPORTANT:** Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

**DO NOT LET YOUR PERMIT EXPIRE!!!!**

**HISTORIC LANDMARKS AND DISTRICTS:** If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/departments/historic-preservation>).

To complete this form electronically: Open with Internet Explorer, then [Click Here to Save and continue](#).

### Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page, OR a **NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- ☐ 5. Review Fee (see [fee schedule](#) for applicable fees)

#### Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

### Property Information

Address: 4203 Avenue A  
City: AUSTIN, TX Zip: 78751  
Current Use: single family residential

### Demolition Type

☐ Total ☒ Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:

portion of existing wall and roof

### Demolition Contractor Information

Company: Stackable + Associates  
Address: 13403 Briarhollow Drive  
City: AUSTIN, TX Zip: 78729  
Phone: 512.250.8644

### Structural Information

Square Feet: 1282  
Building Materials: wood, comp shingle  
Foundation Type: pier + beam  
Estimated Cost of Demolition: 2,000



Front (West) Elevation

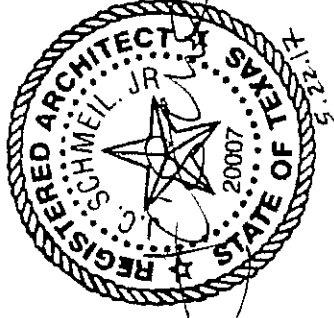


North Elevation

\_\_\_\_ Demo. existing roof structure where second floor addition will occur

\_\_\_\_ Demo. existing exterior door

\_\_\_\_ Demo existing wood deck



Rear (East) Elevation



South Elevation

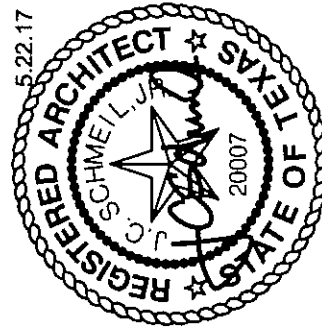
\_\_\_\_ Demo. existing roof structure where second floor addition will occur

Demolition Permit Application  
Mitchell + Keiko Hayner  
4203 Avenue A  
Block 1 Lot 13 + S10ft Lot 12  
Hyde Park Addn No. 2

M E R Z B A U  
DESIGN COLLECTIVE

2235 E. 6th St. #105, Austin, TX 78702  
T | 512 636 5300 E | jcschmel@merzbaudesign.com

J.C. SCHMEL, ARCHITECT AIA | TEXAS LICENSE NO. 20007



2235 E. 6TH STREET STE. 105  
Austin, Texas 78702  
tel: 512.636.5900  
jcschmell@marzball.com

LOT 13 + S 10 FT OF LOT 12 BLK 1 HYDE PARK ADDN NO. 2  
MITCHELL + KEIKO HAYNER

**1** PLOT PLAN  
1 / 16" = 1' - 0"





# HAYNER RESIDENCE

## OWNER

MITCHELL + KEIKO HAYNER  
4203 AVENUE A  
AUSTIN, TEXAS 78751  
T 512.825.3803

## ARCHITECT

MERZBAU DESIGN COLLECTIVE  
2235 E. 6TH STREET STE. 105  
AUSTIN, TX 78702  
T 512.636.5900  
CONTACT: J.C. SCHMEIL, AIA

## CONTRACTOR

STACKABLE & ASSOCIATES  
13403 BRIARHOLLOW DRIVE  
AUSTIN, TEXAS 78729  
T 512.250.8644  
CONTACT: LYNN STACKABLE

## ENGINEERING

JM STRUCTURAL ENGINEERING  
2400 EAST CESAR CHAVEZ #302  
AUSTIN, TX 78702  
T 512.505.8533  
CONTACT: JAVIER MARTIN, P.E.

## SQUARE FOOTAGES:

EXISTING: 1,268.F.  
NEW: 672 S.F.  
TOTAL: 1,940 S.F. CONDITIONED AREA  
  
FAR: 2,023 S.F. (ALLOWABLE FAR 2,300 S.F.)  
TOTAL IMPERVIOUS COVERAGE: 2,126 S.F.  
ALLOWABLE IMPERVIOUS COVER: 2,132 S.F.  
(45% OF 4,739 S.F.)  
BUILDING COVERAGE: 1,697 S.F.  
ALLOWABLE BLDG. COVERAGE: 1,896 S.F.  
(40% OF 4,739 S.F.)

## SHEET INDEX:

| SHEET NAME           | NO.  | ISSUE FOR |      |
|----------------------|------|-----------|------|
|                      |      | NO.       | DATE |
| ARCHITECTURAL        |      |           |      |
| SITE PLAN            | A1.1 | ●         |      |
| GROUND FLOOR PLAN    | A2.1 |           |      |
| SECOND FLOOR PLAN    | A2.2 |           |      |
| BUILDING ELEVATIONS  | A3.1 |           |      |
| STRUCTURAL           |      |           |      |
| FOUNDATION PLAN      | S1   |           |      |
| FOUNDATION DETAILS   | S2   |           |      |
| FLOOR FRAMING PLAN   | S3   |           |      |
| CEILING FRAMING PLAN | S4   |           |      |
| ROOF FRAMING PLAN    | S5   |           |      |

## LEGAL DESCRIPTION:

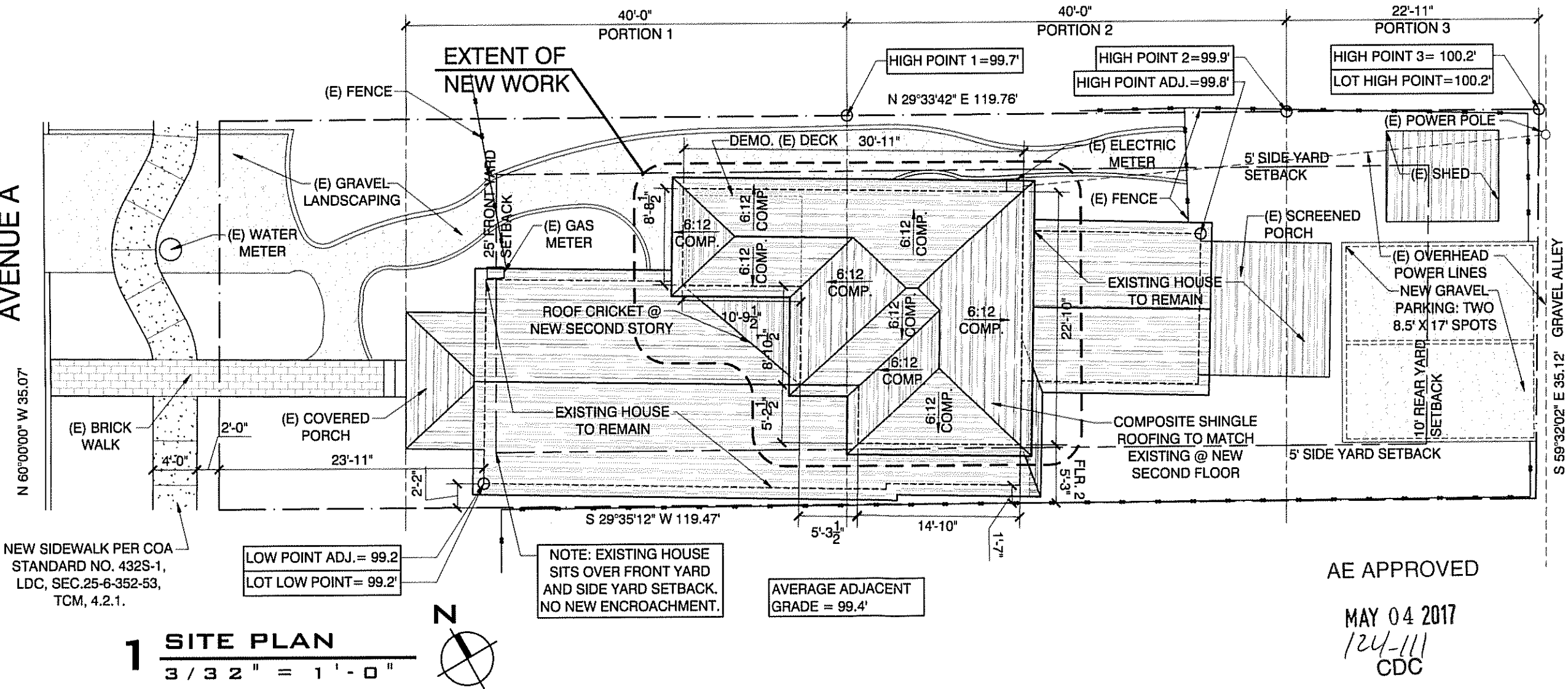
LOT 13 & S 10FT OF LOT 12 BLK 1 HYDE PARK  
ADDN NO 2

## SCOPE:

SECOND FLOOR ADDITION TO  
EXISTING ONE- STORY SINGLE  
FAMILY HOME

## ZONING:

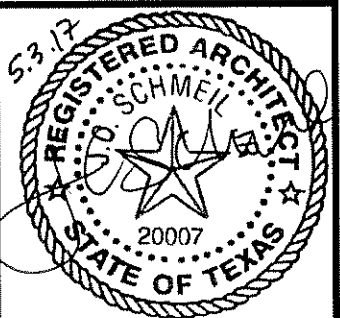
SF-3-HD-NCCD-NP, HYDE PARK



1 SITE PLAN  
3/32" = 1'-0"

AE APPROVED

MAY 04 2017  
124-111  
CDC



FOR PERMIT

M E R Z B A U  
DESIGN COLLECTIVE  
2235 E. 6th St. #105, Austin, TX 78702  
T 512 636 5900 E | jcschmeil@merzbau.com  
J.C. SCHMEIL, ARCHITECT AIA | TEXAS LICENSE NO. 20007

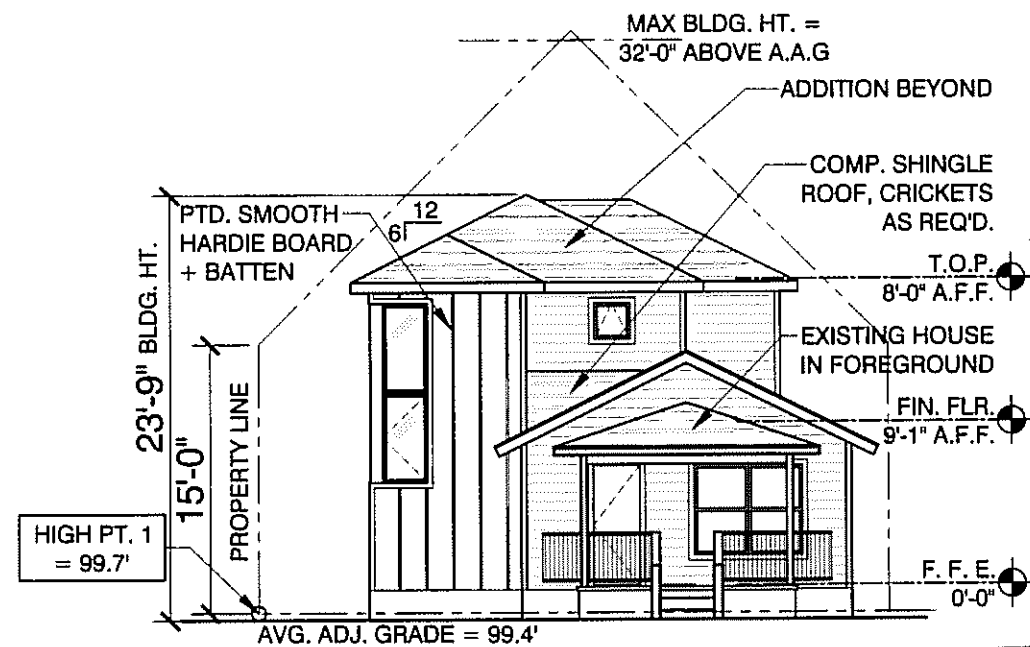
## HAYNER RESIDENCE

MITCHELL + KEIKO HAYNER  
4203 AVENUE A  
AUSTIN, TX 78751

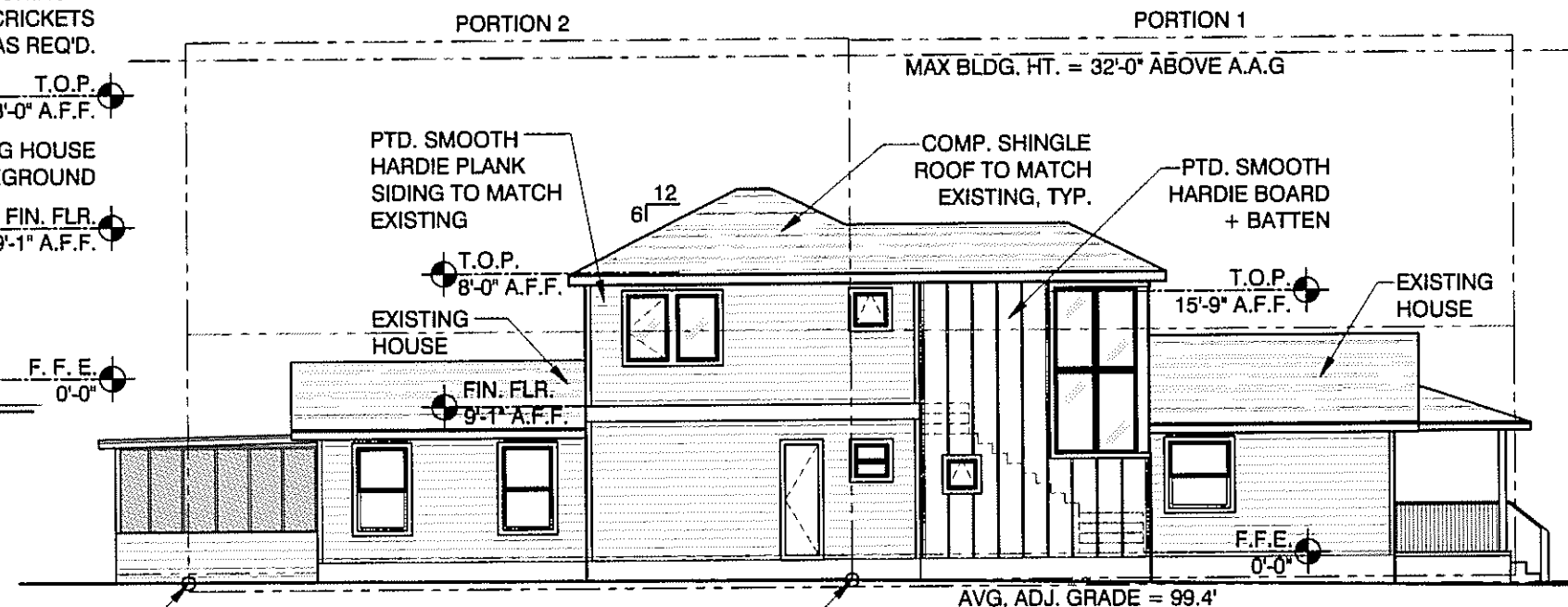
| ISSUE  | DATE    |
|--------|---------|
| PERMIT | 5/04/17 |

ISSUE DATE:  
5/04/17  
SITE PLAN  
3/32" = 1'-0"

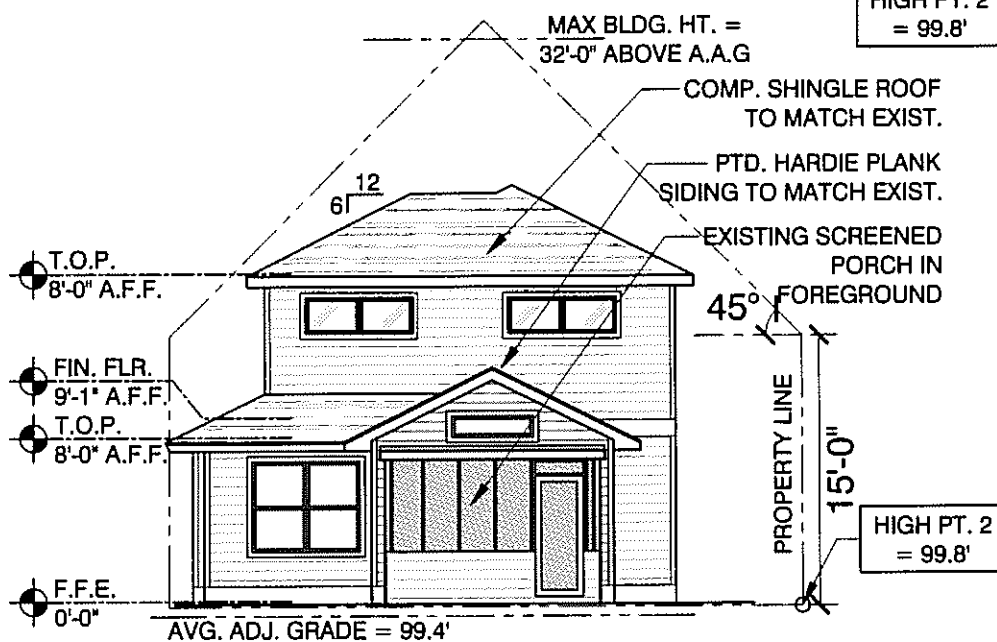
A1.1



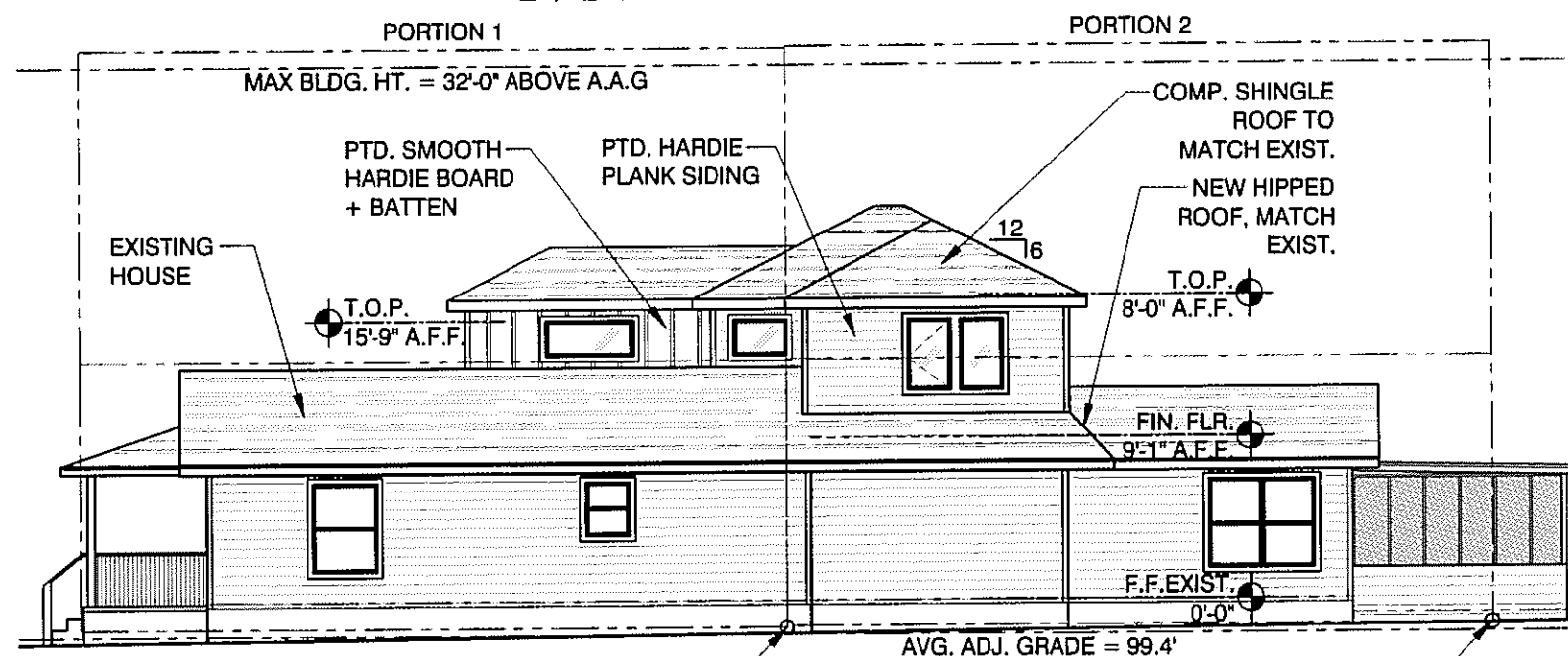
**1 WEST ELEVATION**  
3 / 3 2" = 1' - 0"



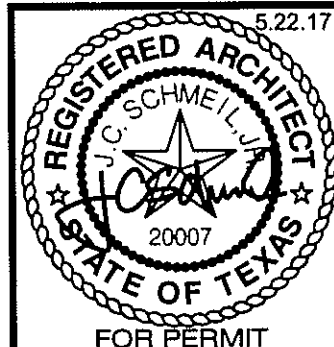
**3 NORTH ELEVATION**  
3 / 3 2" = 1' - 0"



**2 EAST ELEVATION**  
3 / 3 2" = 1' - 0"



**4 SOUTH ELEVATION**  
3 / 3 2" = 1' - 0"



**M E R Z B A U**  
**DESIGN COLLECTIVE**  
2235 E. 6th St. #105, Austin, TX 78702  
T 512 636 5900 E jcschmeil@merzbau.com  
J.C. SCHMEIL, ARCHITECT AIA | TEXAS LICENSE NO. 20007

**HAYNER RESIDENCE**

MITCHELL + KEIKO HAYNER  
4203 AVENUE A  
AUSTIN, TX 78751

| ISSUE  | DATE    |
|--------|---------|
| PERMIT | 5/22/17 |

ISSUE DATE:  
5/22/17  
ELEVATIONS  
3/32" = 1'-0"

**A3.1**

The designs presented herein are the property of Merzbau Design Collective. No part thereof shall be used in connection with any work or project other than the specific project for which they were prepared without the written consent of Merzbau Design Collective. Visual content with these drawings and construction acceptance of these restrictions.