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TB/DS THOUGHTBARN/DELINEATE STUDIO
ARCHITECT: TB/DS THOUGHTBARN/DELINEATE STUDIC 916 SPRINGDALE RD BUILDING 5, SUITE 102 AUSTIN, TX 78702 : 512 522 3511 WWW.THOUGHTBARN.COM WWW.DELINEATESTUDIO.COM PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. BART WHATLEY #17672
PROJECT 4004 AVENUE C
4004 Avenue C Austin, TX 78751
STAGE DESIGN PHASE
REVISIONS
DATE
09/08/2016 PAGE NUMBER
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NORTH ELEVATION





SOUTH ELEVATION

EAST ELEVATION







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SOUTH ELEVATION









WEST ELEVATION





ELINEATE STUDIO	
TB/DS THOUGHTBARN/DE	
ARCHITECT: TB/DS THOUGHTBARN/DELINEATE STUD 916 SPRINGDALE RO BUILDING 5 / SUITE 102 AUSTIN, TX 78702 : 512 522 3511 WWW.THOUGHTBARN.COM WWW.DELINEATESTUDIO.COM	10
PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. BART WHATLEY #17672	
PROJECT 4006 AVENUE C	
4006 AVENUE C AUSTIN, TX 78751	
DESIGN PHASE	
REVISIONS	-
DRAWING PHOTOS	
DATE	
09/08/2016 PAGE NUMBER	1





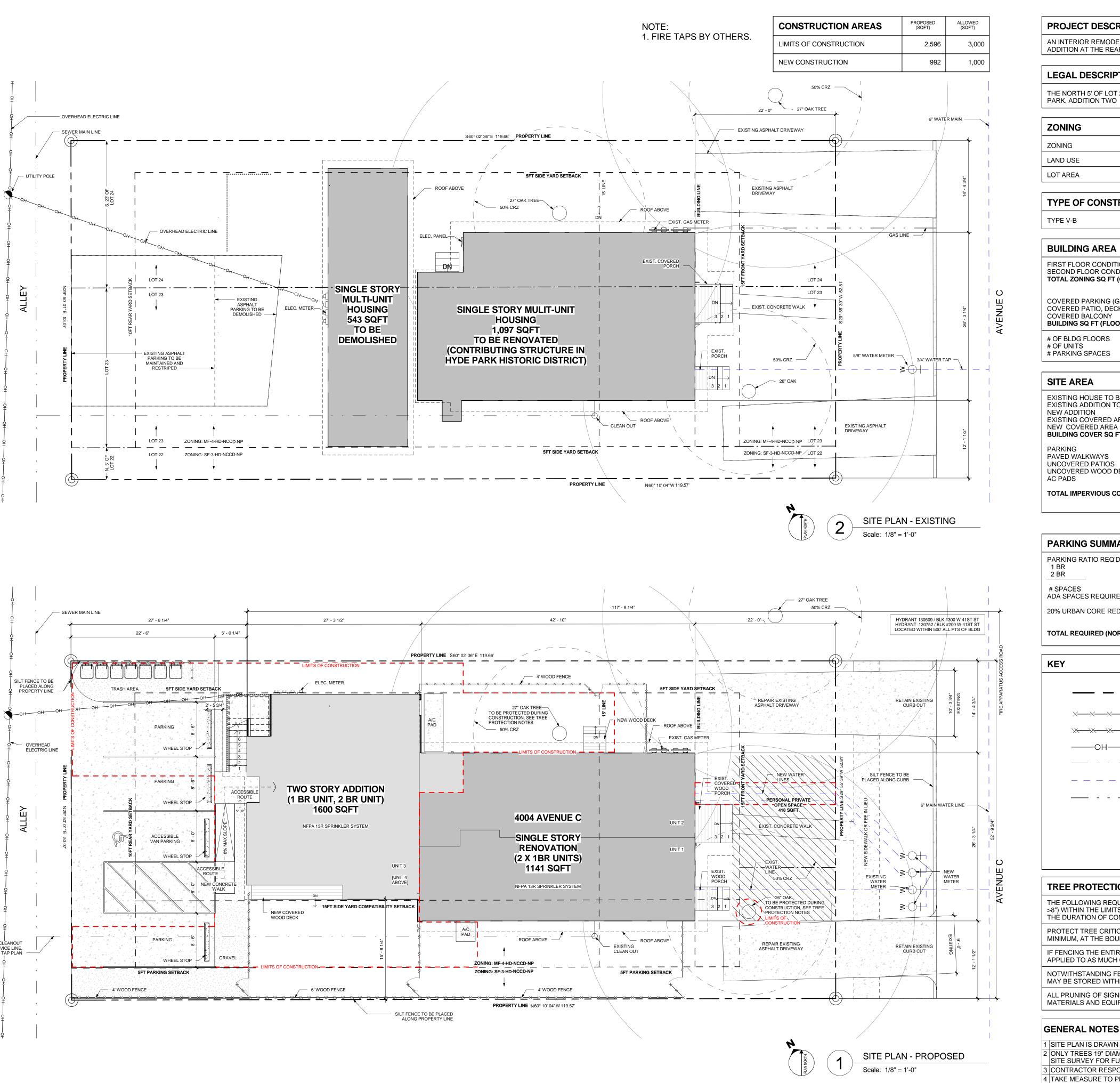


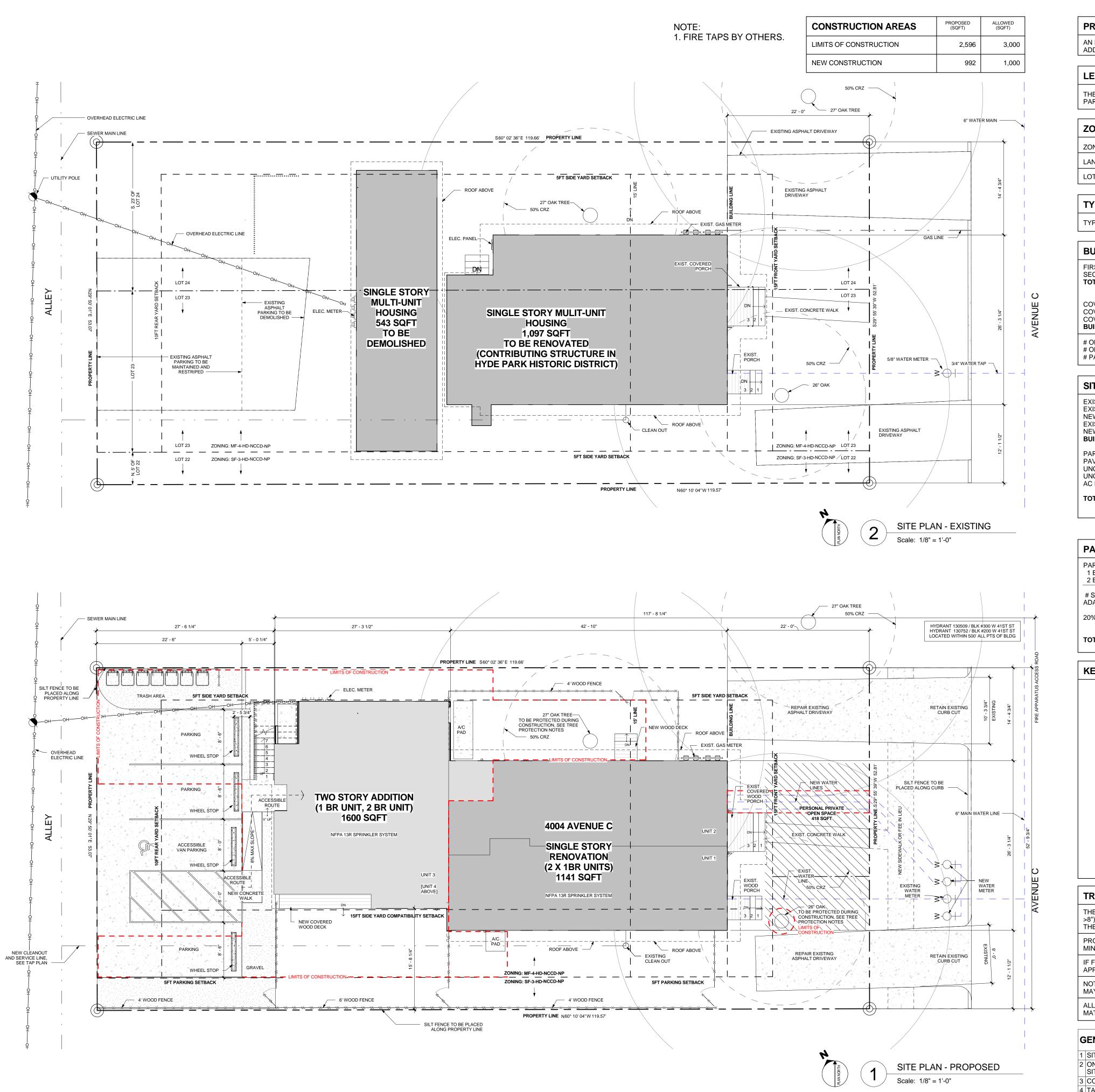
REAR ELEVATION

SOUTH SIDE ELEVATION

FRONT ELEVATION

TB/DS THOUGHTBARN/DELINEATE STUDIO
ARCHITECT: TB/ DS THOUGHTBARN/DELINEATE STUDIO 916 SPRINGDALE RD BUILING 5 / SUITE 102 AUSTIN, TX 78702 : 512 522 3511 WWW.THOUGHTBARN.COM WWW.DELINEATESTUDIO.COM PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. BART WHATLEY #17672
PROJECT 4008 AVENUE C 4008 AVENUE C
AUSTIN, TX 78751 STAGE DESIGN PHASE
DATE 09/08/2016 PAGE NUMBER P4008





AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR

LEGAL DESCRIPTION

THE NORTH 5' OF LOT 22 & ALL OF LOT 23 & THE SOUTH 23' OF LOT 24, BLK. 6; HYDE

ING	
IG	MF-4-HD-NCCD-NP & SF-3-HD-NCCD-NP
USE	MULTI-FAMILY RESIDENTIAL
REA	6,332 SQFT

TYPE OF CONSTRUCTION

DING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FLOOR CONDITIONED ND FLOOR CONDITIONED L ZONING SQ FT (GROSS FLOOR AREA)	1,650 0 1,650 (0.26:1)	1,928 813 2,741 (0.43:1)	3,106 (0.5:1 MF-4, 0.4:1 SF-3)
RED PARKING (GARAGE OR CARPORT) RED PATIO, DECK OR PORCH RED BALCONY DING SQ FT (FLOOR AREA)	0 35 0 1,685	0 143 0 2,883	7,000
BLDG FLOORS JNITS KING SPACES	1 5 4	2 4 6	
	-		
AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
TING HOUSE TO BE RENOVTED TING ADDITION TO BE REPLACED ADDITION TING COVERED AREA COVERED AREA DING COVER SQ FT	1,097 543 - 35 - 1,675	1097 - 834 35 122 2,088	
ING D WALKWAYS OVERED PATIOS OVERED WOOD DECKS (50%) ADS	1,111 49 0 20 0	1,308 116 0 24 36	
L IMPERVIOUS COVER	2,855 (50%)	3,512 (55.5%)	3,710 (60% MF-4, 45% SF-3)

KING SUMMARY			
ING RATIO REQ'D PER UNIT	1.5 SPACES 2 SPACES		
ACES SPACES REQUIRED	6.5 SPACES 1 SPACE		
JRBAN CORE REDUCTION	-1.3 SPACES		
L REQUIRED (NORMAL + ADA)	6 SPACES	= (6.5-1.3)	

<u> </u>	PROPERTY LINE
XXXXXXXX	4' WOOD FENCE
X-X-X-X-X-X-	6' WOOD FENCE
——————————————————————————————————————	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
₩ 	WATER METER

TREE PROTECTION NOTES

THE FOLLOWING REQUIRMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION
PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).

IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.

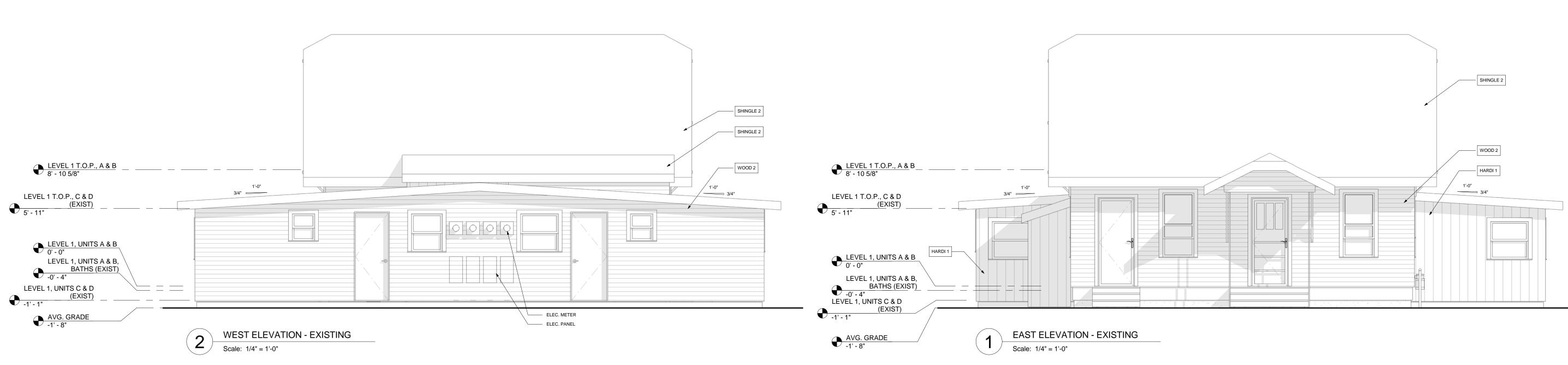
NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.

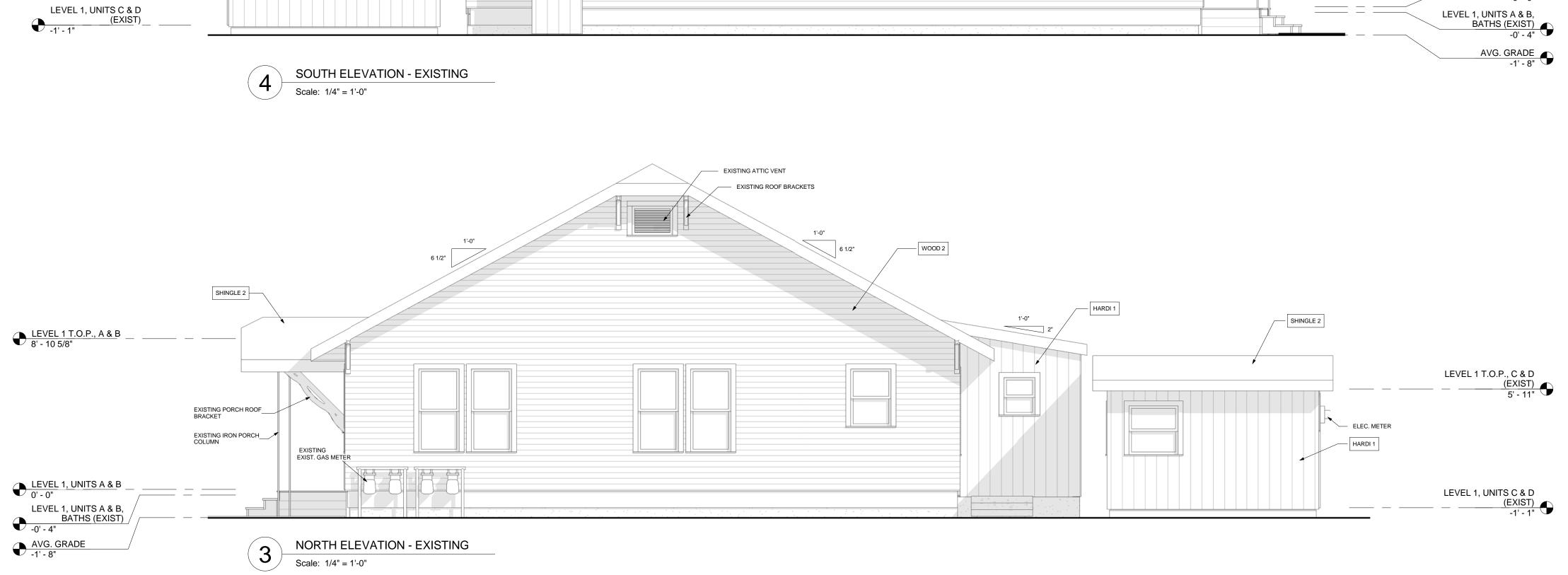
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

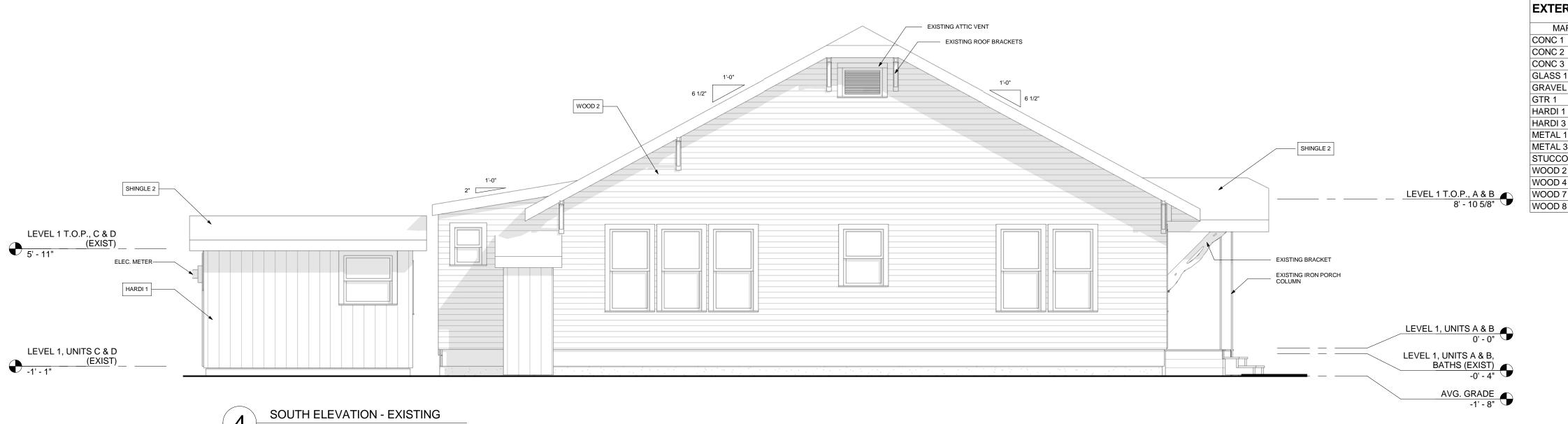
GENERAL NOTES - SITE PLAN

	SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 7/7/2016.
	2 ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.
	3 CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
•	TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
	5 FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
	6 FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTUR
ſ	7 NFPA 13R SPRINKLER SYSTEM FOR STRUCTURE

NDIO. S Ш AT Ш ELIN RN/DI J 4 Ш _ m (\mathbf{D}) OUC Ť ARCHITECT: TB/DS THOUGHTBARN/DELINEATE STUDIO 916 SPRINGDALE RD BUILDING 5 / SUITE 102 AUSTIN, TX 78702 : 512 522 3511 WWW.THOUGHTBARN.COM WWW.DELINEATESTUDIO.COM DRAWINGS FOR **BIDDING PURPOSES** ONLY. NOT FOR CONSTRUCTION, PERMITTING OR OTHER REGULATORY APPROVAL. PROJECT 4004 AVENUE C 4004 Avenue C Austin, TX 78751 STAGE PERMITTING REVISIONS NUMBER DATE DESCRIPTION DRAWING SITE PLAN DATE 6/1/17 PAGE NUMBER A0.01







IARK	DESCRIPTION
1	CONCRETE WALKWAY:
2	CONCRETE DRIVEWAY:
3	EXISTING CONCRETE
S 1	GLAZING
EL	GRAVEL
	METAL GUTTER AND DOWNSPOUT SYSTEM
1	VERTICAL FIBER CEMENT BOARD
3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE
_ 1	STANDING SEAM METAL ROOF
. 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
CO 1	STUCCO
2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
4	NEW WOOD DECKING: 5/4"X4" BOARDS, STAINED OR PAINTED
7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH
8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.

STUDIO **BARN/DELINEATE** S ⊢ \mathbf{m} HOUG -ARCHITECT: DRAWINGS FOR APPROVAL. STAGE PERMITTING DESCRIPTION

TB/DS THOUGHTBARN/DELINEATE STUDIO 916 SPRINGDALE RD BUILDING 5 / SUITE 102 AUSTIN, TX 78702 : 512 522 3511 WWW.THOUGHTBARN.COM WWW.DELINEATESTUDIO.COM

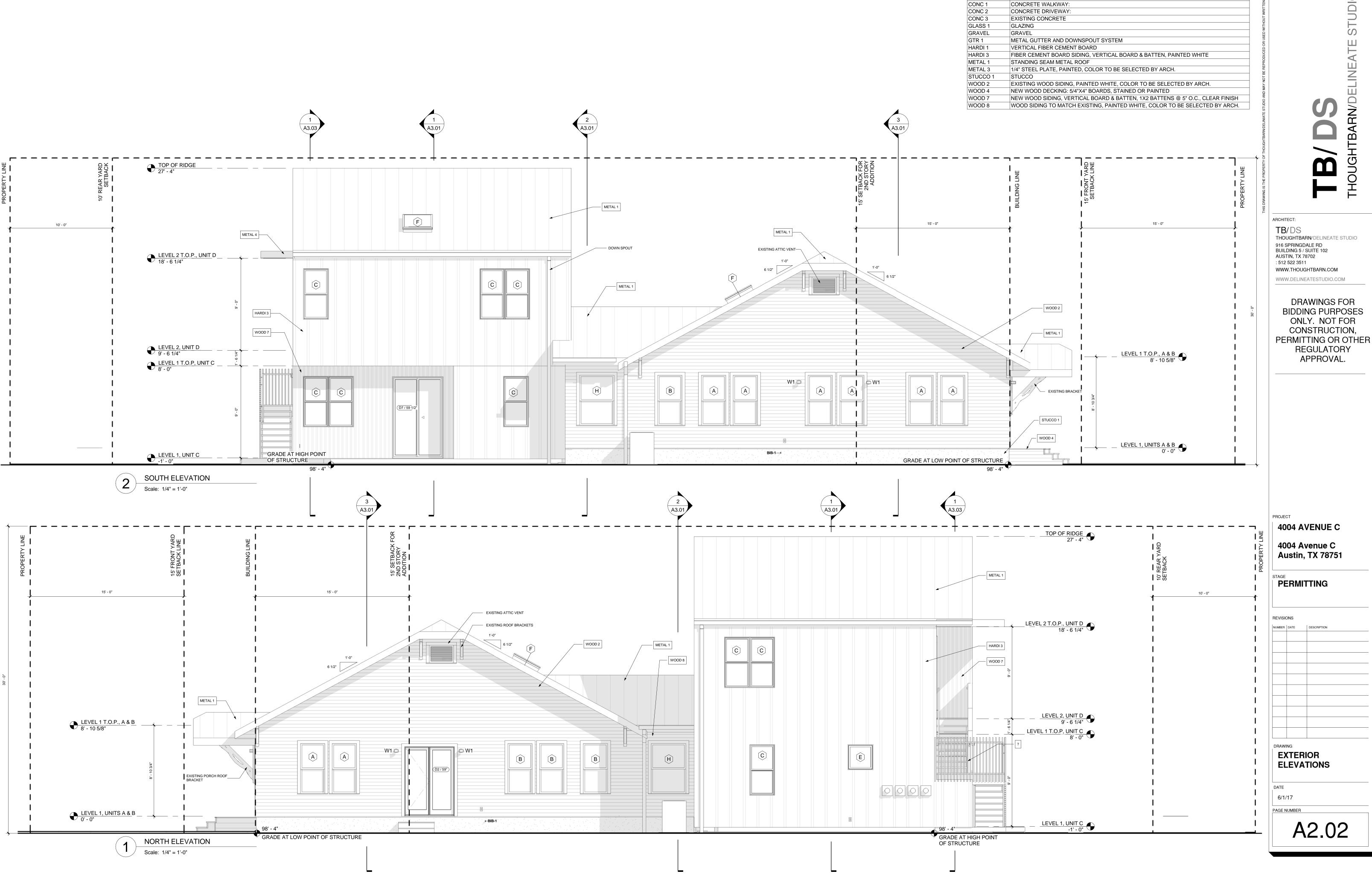
BIDDING PURPOSES ONLY. NOT FOR CONSTRUCTION, PERMITTING OR OTHER REGULATORY

PROJECT

4004 AVENUE C

4004 Avenue C Austin, TX 78751

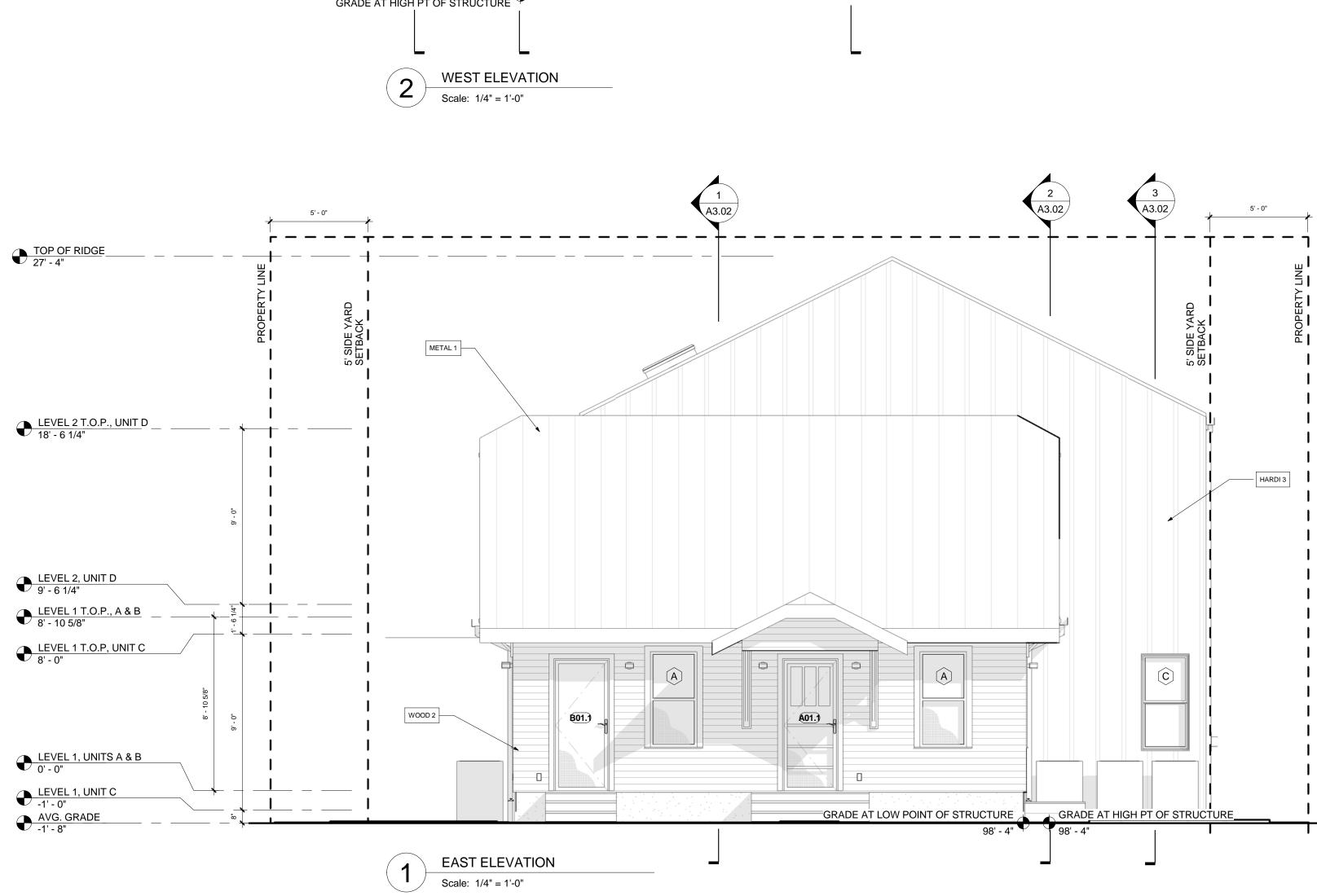
REVISIONS NUMBER DATE ____ DRAWING EXTERIOR ELEVATIONS, EXISTING DATE 6/1/17 PAGE NUMBER A2.01

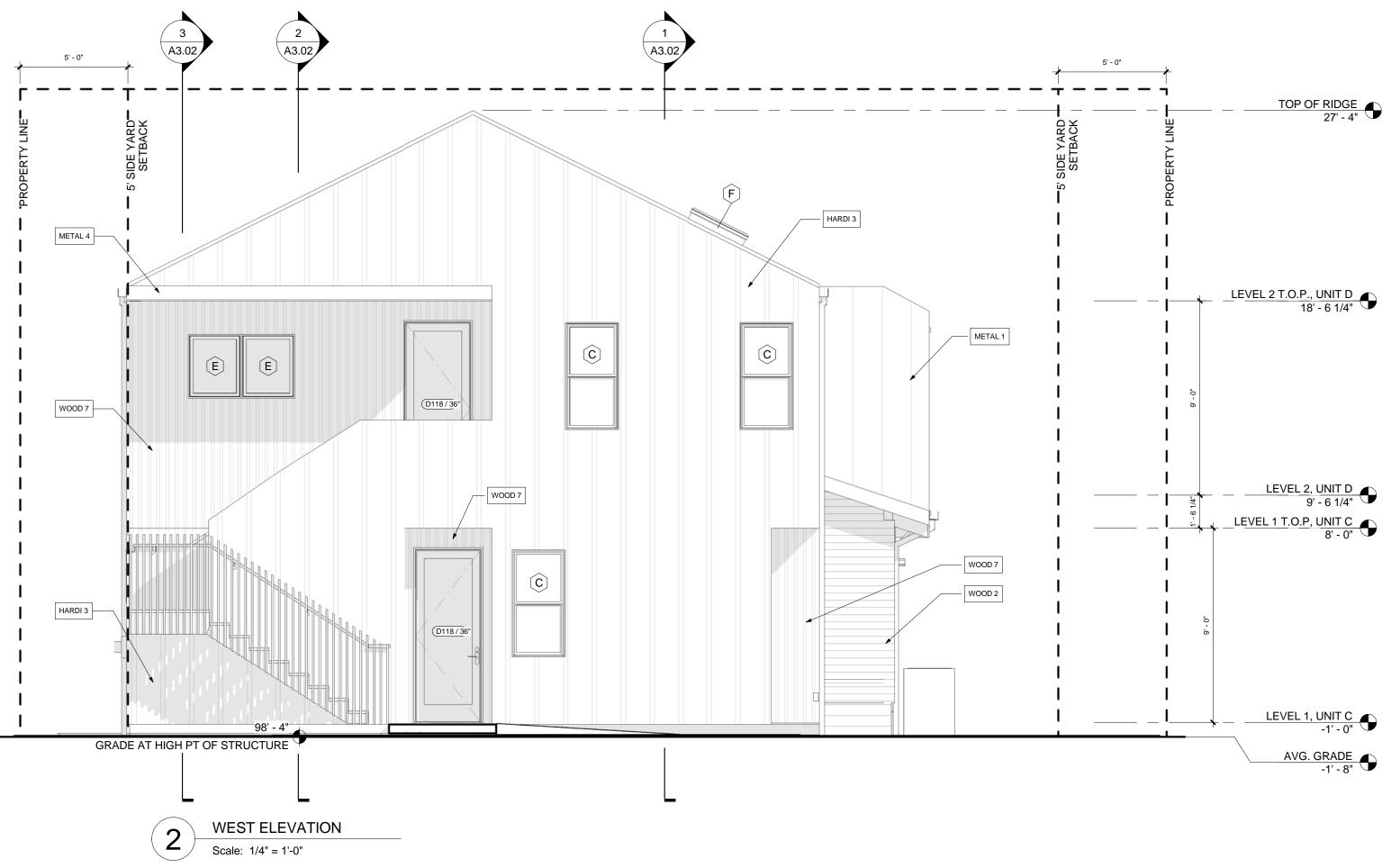


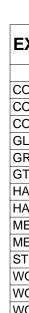
EXTERIOR MATERIAL LEGEND

MARK	DESCRIPTION	
NC 1	CONCRETE WALKWAY:	
NC 2	CONCRETE DRIVEWAY:	
NC 3	EXISTING CONCRETE	
ASS 1	GLAZING	
AVEL	GRAVEL	
R 1	METAL GUTTER AND DOWNSPOUT SYSTEM	
RDI 1	VERTICAL FIBER CEMENT BOARD	
RDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE	
TAL 1	STANDING SEAM METAL ROOF	
TAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.	
UCCO 1	STUCCO	
DOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	
DOD 4	NEW WOOD DECKING: 5/4"X4" BOARDS, STAINED OR PAINTED	
DOD 7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH	
DOD 8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	
	·	

STUDIO



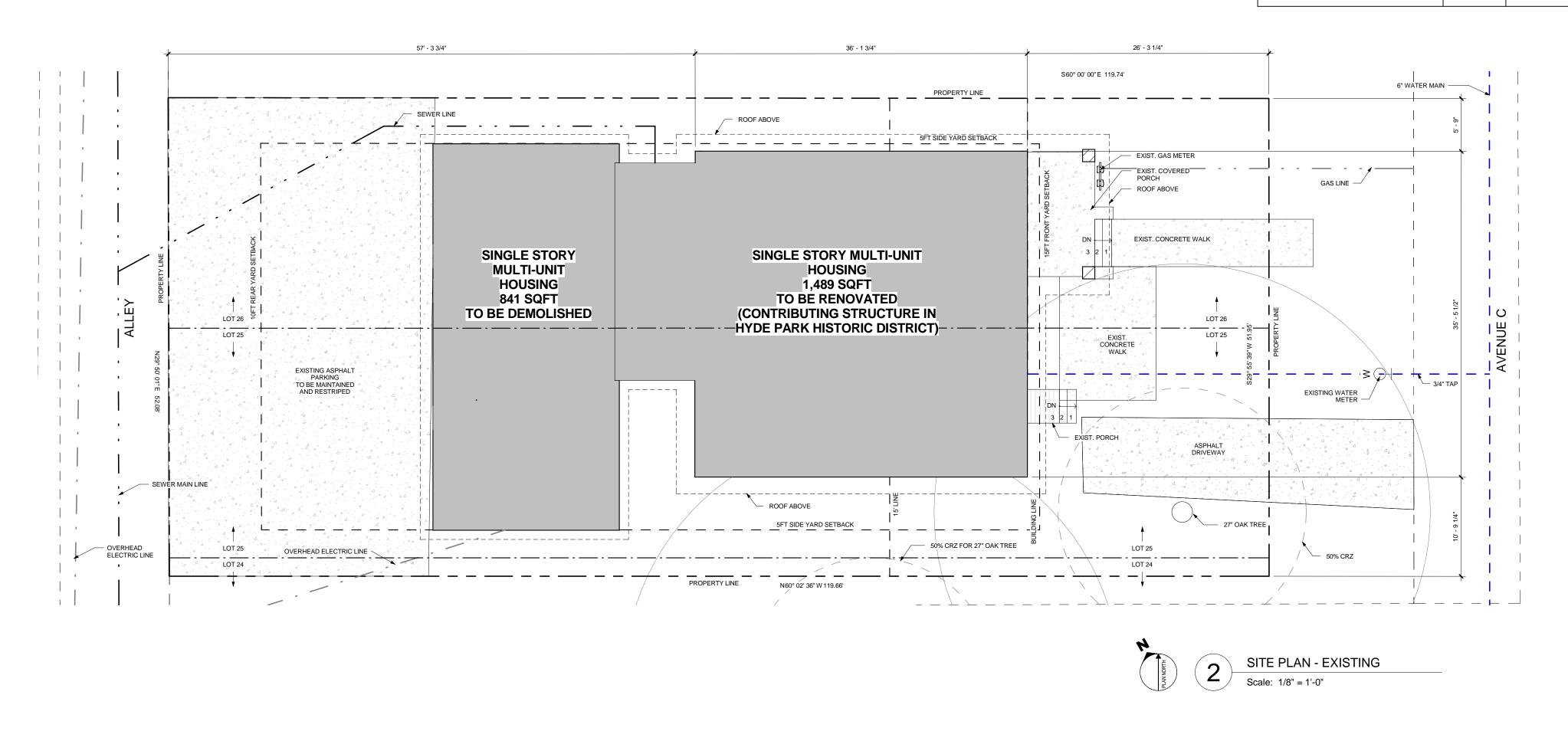


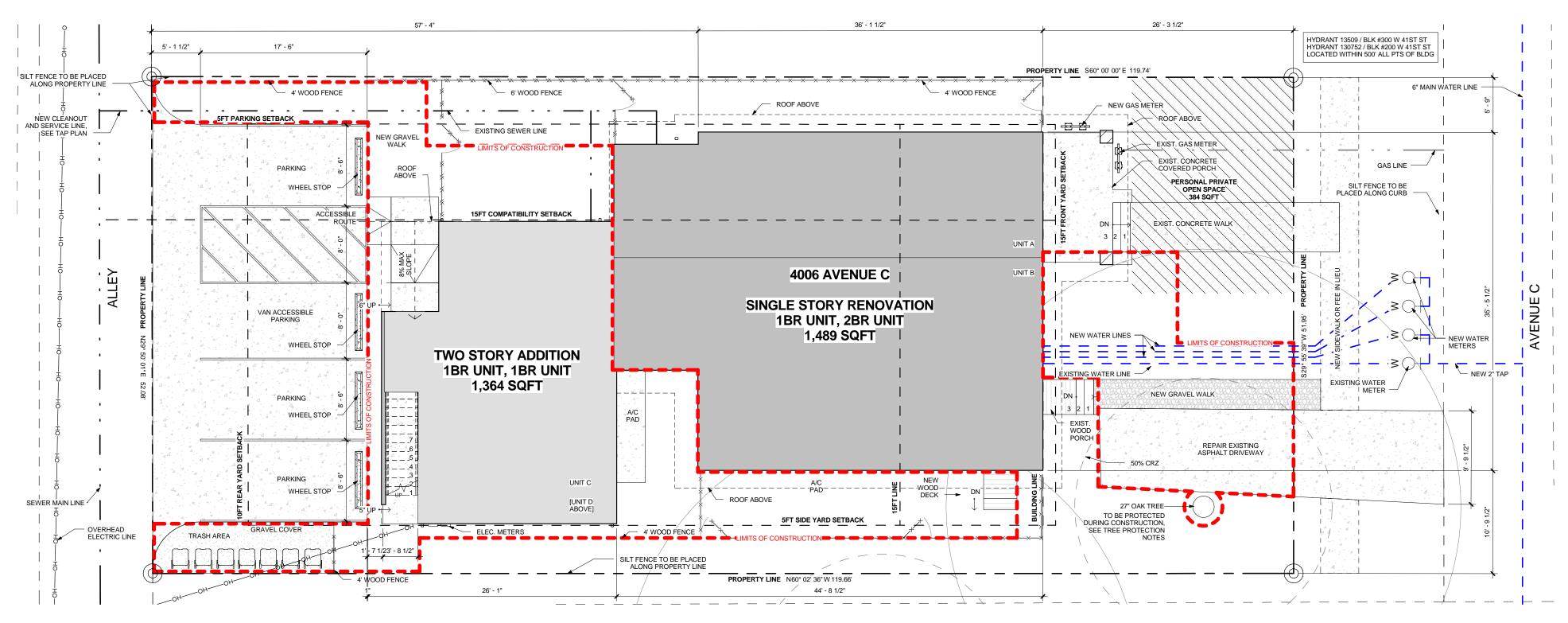


EXTERIOR MATERIAL LEGEND

MARK	DESCRIPTION		
CONC 1	CONCRETE WALKWAY:		
CONC 2	CONCRETE DRIVEWAY:		
CONC 3	EXISTING CONCRETE		
GLASS 1	GLAZING		
GRAVEL	GRAVEL		
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM		
HARDI 1	VERTICAL FIBER CEMENT BOARD		
HARDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE		
METAL 1	STANDING SEAM METAL ROOF		
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.		
STUCCO 1	STUCCO		
WOOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.		
WOOD 4	NEW WOOD DECKING: 5/4"X4" BOARDS, STAINED OR PAINTED		
WOOD 7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH		
WOOD 8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.		

BLBS BUBS OUGHTBARN/DELINEATE STUDIO	
ARCHITECT: TB/DS THOUGHTBARN/DELINEATE STUDIO 916 SPRINGDALE RD BUILDING 5 / SUITE 102 AUSTIN, TX 78702 : 512 522 3511	
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4004 AVENUE C 4004 Avenue C 4004 Avenue C Austin, TX 78751	
NUMBER DATE DESCRIPTION Image: Im	
DATE 6/1/17 PAGE NUMBER A2.03	





NOTE: 1. FIRE TAPS BY OTHERS.

CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,234	3,000
NEW CONSTRUCTION	889	1,000

SITE PLAN - PROPOSED Scale: 1/8" = 1'-0"

PROJECT DESCRIPTION

AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR, WITH REPAIR/UPGRADE TO EXISTING PARKING.

LEGAL DESCRIPTION

THE NORTH 2' OF LOT 24 & LOTS 25 & 26, BLK. 6, HYDE PARK, ADDITION TWO

ZONING	
ZONING	MF-4-HD-NCCD-NP
LAND USE	MULTI-FAMILY RESIDENTIAL
LOT AREA	6,228.7 SQFT

TYPE OF CONSTRUCTION

TYPE V-B

r			
BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED SECOND FLOOR CONDITIONED TOTAL ZONING SQ FT (GROSS FLOOR AREA)	2,330 0 2,330 (0.37:1)	2,157 696 2,853 (0.46:1)	3,114 (0.5:1)
COVERED PARKING (GARAGE OR CARPORT) COVERED PATIO, DECK OR PORCH COVERED BALCONY BUILDING SQ FT (FLOOR AREA)	0 114 0 2,444	0 225 0 3,078	7,000
# OF BLDG FLOORS # OF UNITS # PARKING SPACES	1 5 4	2 4 5	
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVTED EXISTING ADDITION TO BE REPLACED NEW ADDITION EXISTING COVERED AREA NEW COVERED AREA BUILDING COVER SQ FT PARKING PAVED WALKWAYS UNCOVERED PATIOS UNCOVERED PATIOS UNCOVERED WOOD DECKS (50%) AC PADS TOTAL IMPERVIOUS COVER	1,489 841 - 114 - 2,444 1,818 88 0 10 153 4,513 (73%)	1,489 - 668 - 111 2,268 1,129 111 0 18 36 3,562 (57.0%)	3,737 (60%)
PARKING SUMMARY			
PARKING RATIO REQ'D PER UNIT - 1 BR - 2 BR	1.5 SPAC 2 SPAC	-	
# SPACES ADA SPACES REQUIRED	6.5 SPACES 1 SPACE		
20% URBAN CORE REDUCTION	-1.3 SPACES		
EXISTING SPACES EXISTING REQUIRED SPACES GRANDFATHERED DEFICIENCY	6 SPACES 6.5 SPACES 0.92 RATIO		
TOTAL REQUIRED (NORMAL + ADA)	JIRED (NORMAL + ADA) 5 SPACES = (6.5-1.3)*0.92		3)*0.92
KEY			

KEY

—————————————————————————————————————
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PROPERTY LINE
4' WOOD FENCE
6' WOOD FENCE
UTILITY: OVERHEAD ELECTRIC
UTILITY: SEWER/ WASTEWATER
UTILITY: WATER
UTILITY: GAS
UTILITY POLE
WATER METER

TREE PROTECTION NOTES

THE FOLLOWING REQUIRMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ). IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE. NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES. ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

GENERAL NOTES - SITE PLAN

1 SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 7/7/2016.

2 ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.

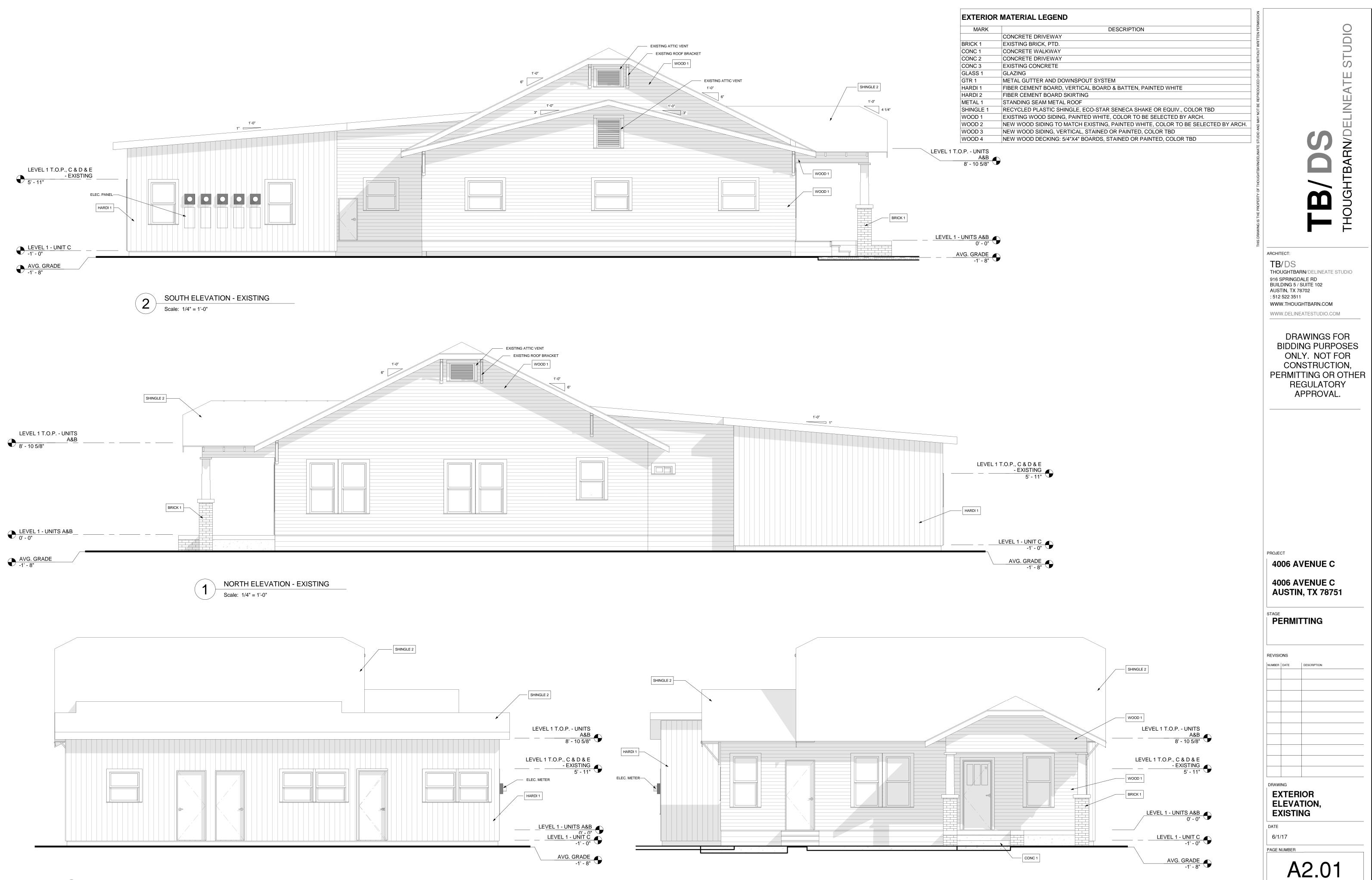
- 3 CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
 FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
- 6 FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF
- STRUCTURE

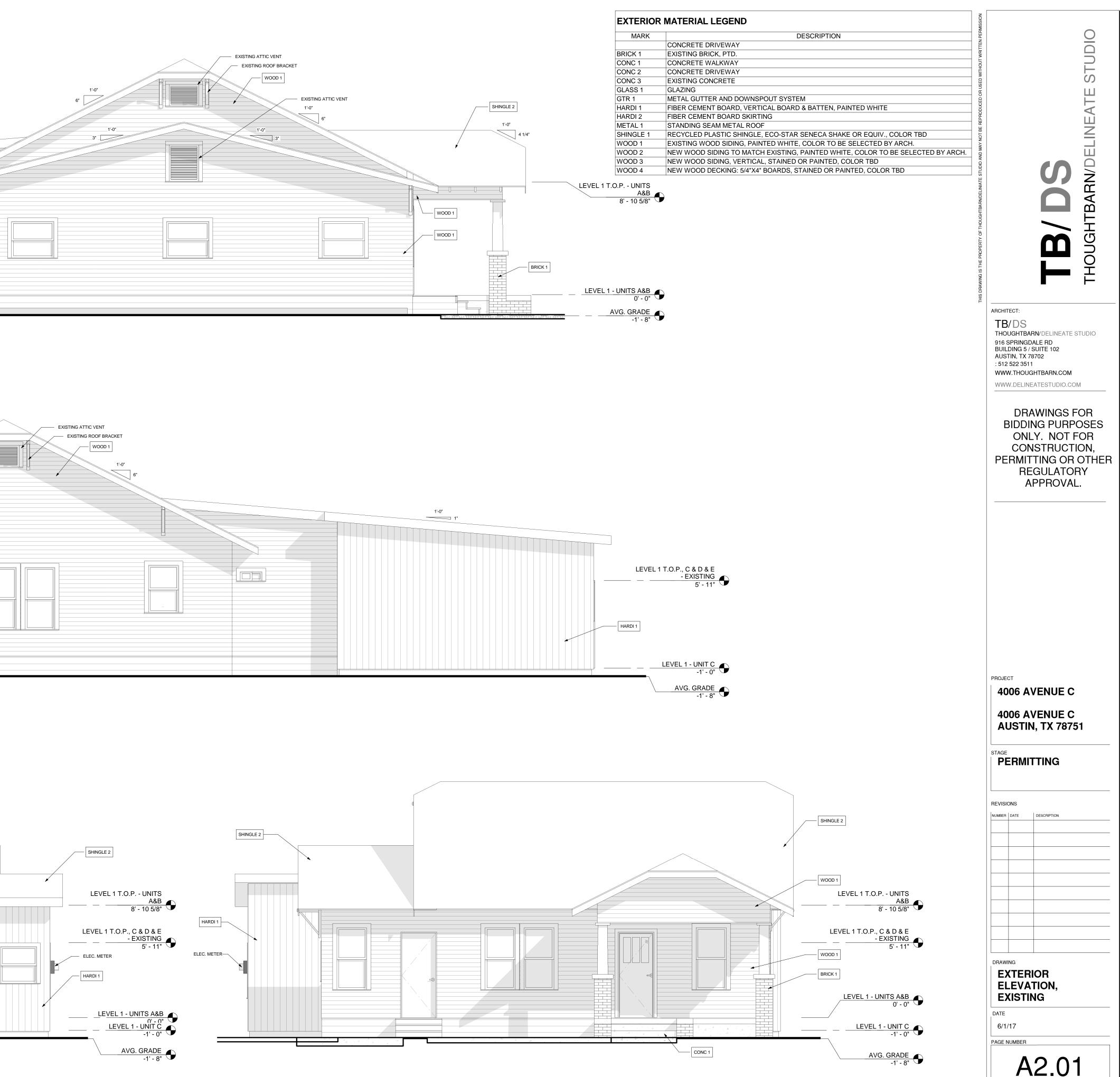
 7
 NFPA 13R SPRINKLER SYSTEM FOR STRUCTURE

		THOUGHTBARN/DELINEATE STUDIO	
916 SPRINGD BUILDING 5 / S AUSTIN, TX 78 : 512 522 3511 WWW.THOUG WWW.DELINE DRA BIDDII ONL	SUITE 102 3702	FOR POSES FOR	
PERMIT RE	TING OR GULATO PPROVA	OTHER RY	
4006 AV	VENUE C VENUE C I, TX 787	;	
TAGE PERMIT EVISIONS JMBER DATE			
DRAWING SITE PL	-AN		
6/1/17 AGE NUMBER	0.0	1	



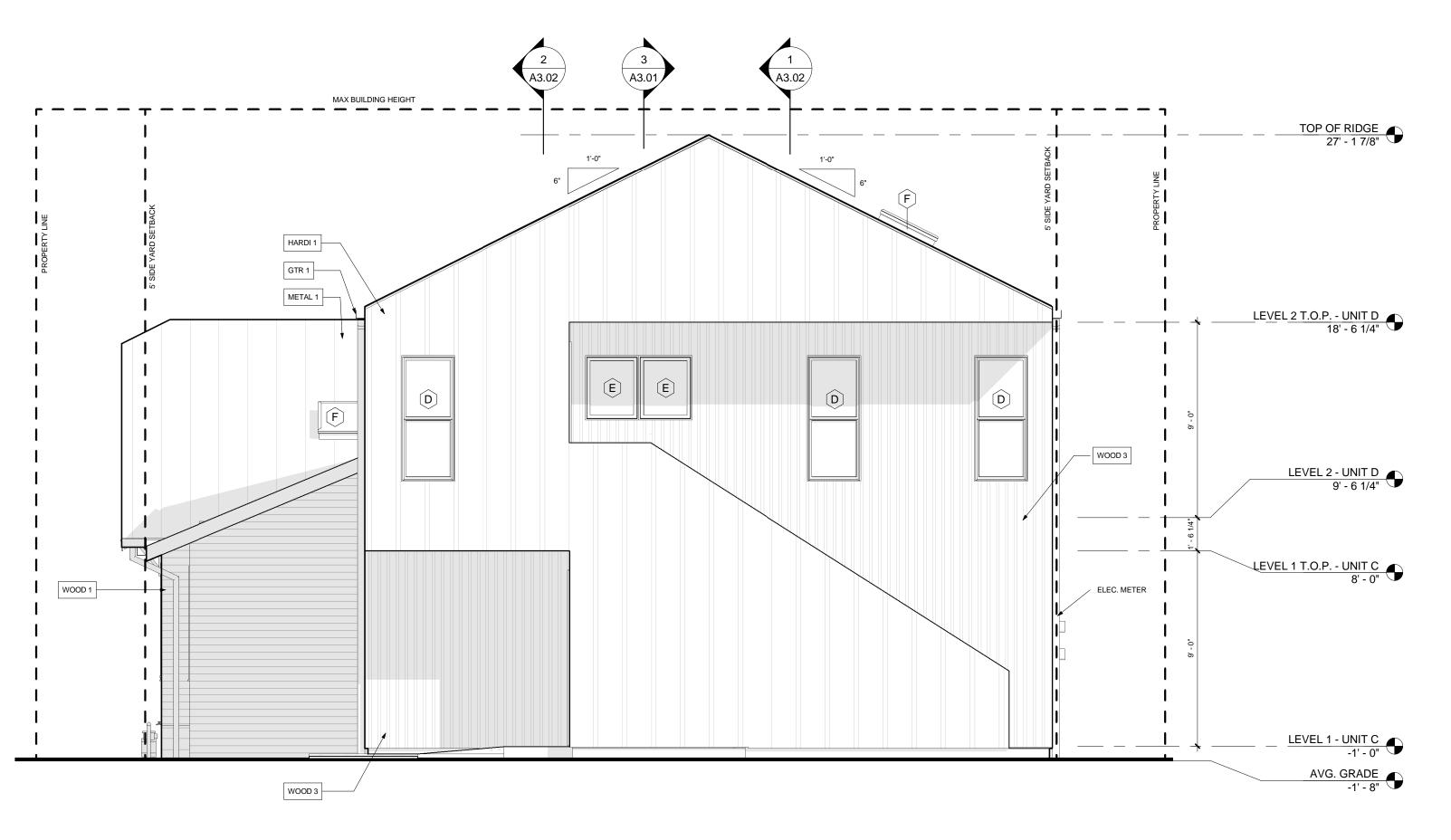
WEST ELEVATION - EXISTING Scale: 1/4" = 1'-0"

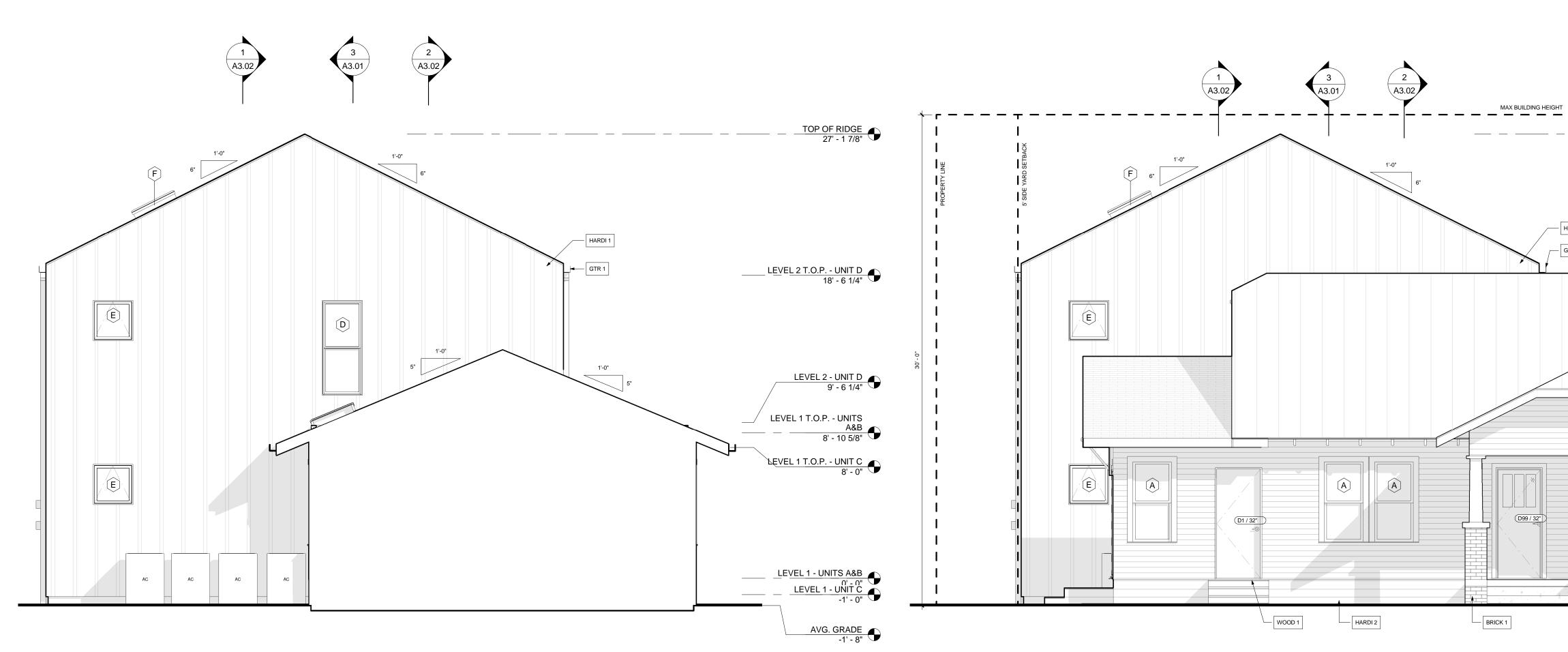


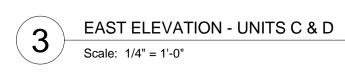




EAST ELEVATION - EXISTING Scale: 1/4" = 1'-0"



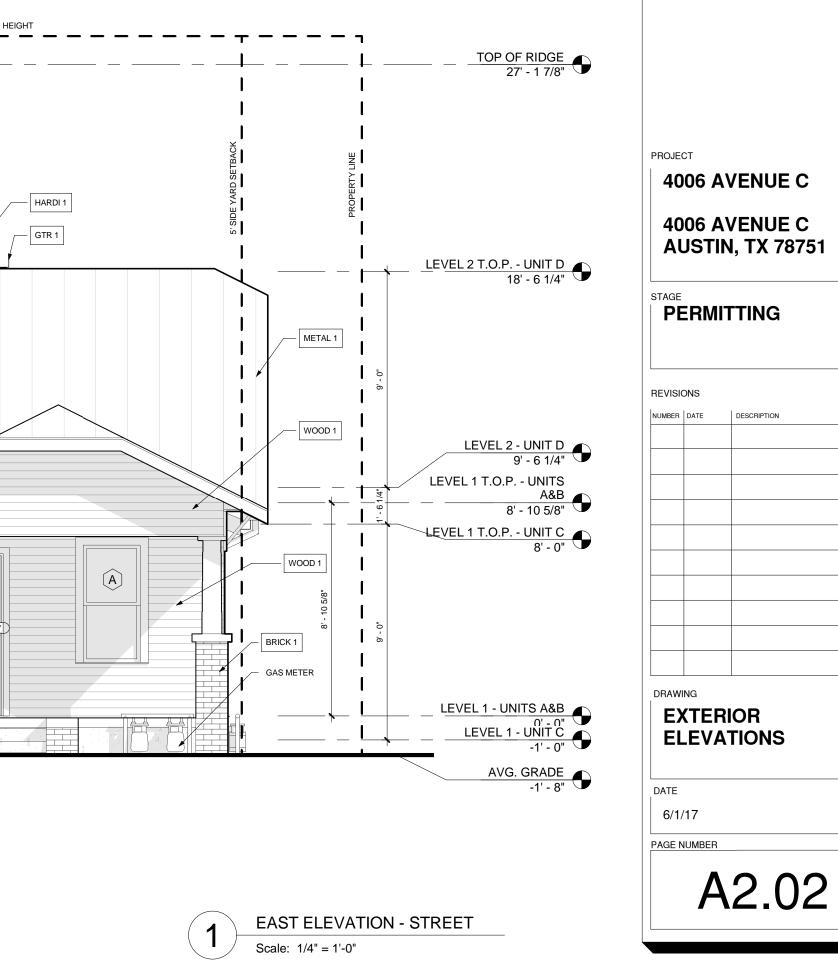




2 WEST ELEVAT Scale: 1/4" = 1'-0" WEST ELEVATION

EXTERIOR MATERIAL LEGEND

MARK	DESCRIPTION	
	CONCRETE DRIVEWAY	
BRICK 1	EXISTING BRICK, PTD.	STUDIO AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERI
CONC 1	CONCRETE WALKWAY	
CONC 2	CONCRETE DRIVEWAY	
CONC 3	EXISTING CONCRETE	
GLASS 1	GLAZING	И вг
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM	GED
HARDI 1	FIBER CEMENT BOARD, VERTICAL BOARD & BATTEN, PAINTED WHITE	
HARDI 2	FIBER CEMENT BOARD SKIRTING	
METAL 1	STANDING SEAM METAL ROOF	
SHINGLE 1	RECYCLED PLASTIC SHINGLE, ECO-STAR SENECA SHAKE OR EQUIV., COLOR TBD	
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	MAY I
WOOD 2	NEW WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	
WOOD 3	NEW WOOD SIDING, VERTICAL, STAINED OR PAINTED, COLOR TBD	
WOOD 4	NEW WOOD DECKING: 5/4"X4" BOARDS, STAINED OR PAINTED, COLOR TBD	
		THIS DRAWING IS THE PROPERITY OF THOUGHTBARINDELINATE THOUGHTBARINDELINATE
		ARCHITECT: TB/DS THOUGHTBARN/DELINEATE STUDIO 016 SPRINCDALE PD



Scale: 1/4" = 1'-0"

STUDIO

916 SPRINGDALE RD BUILDING 5 / SUITE 102 AUSTIN, TX 78702

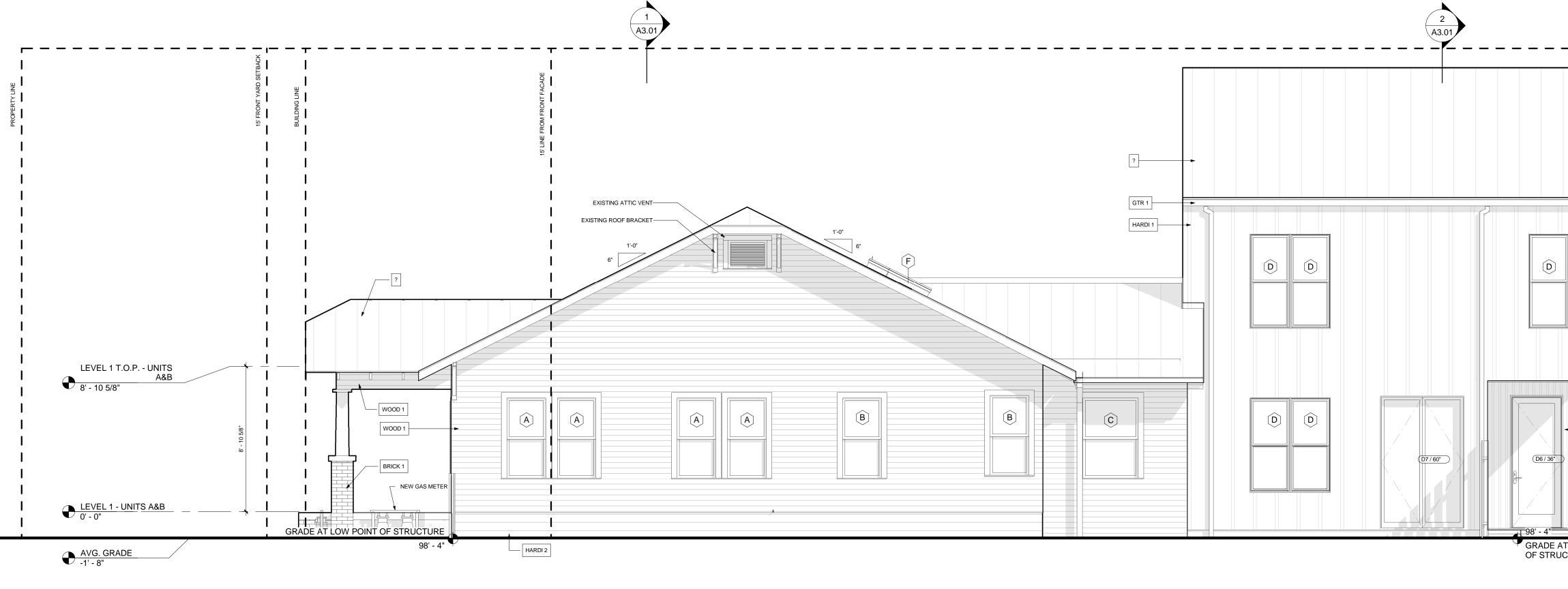
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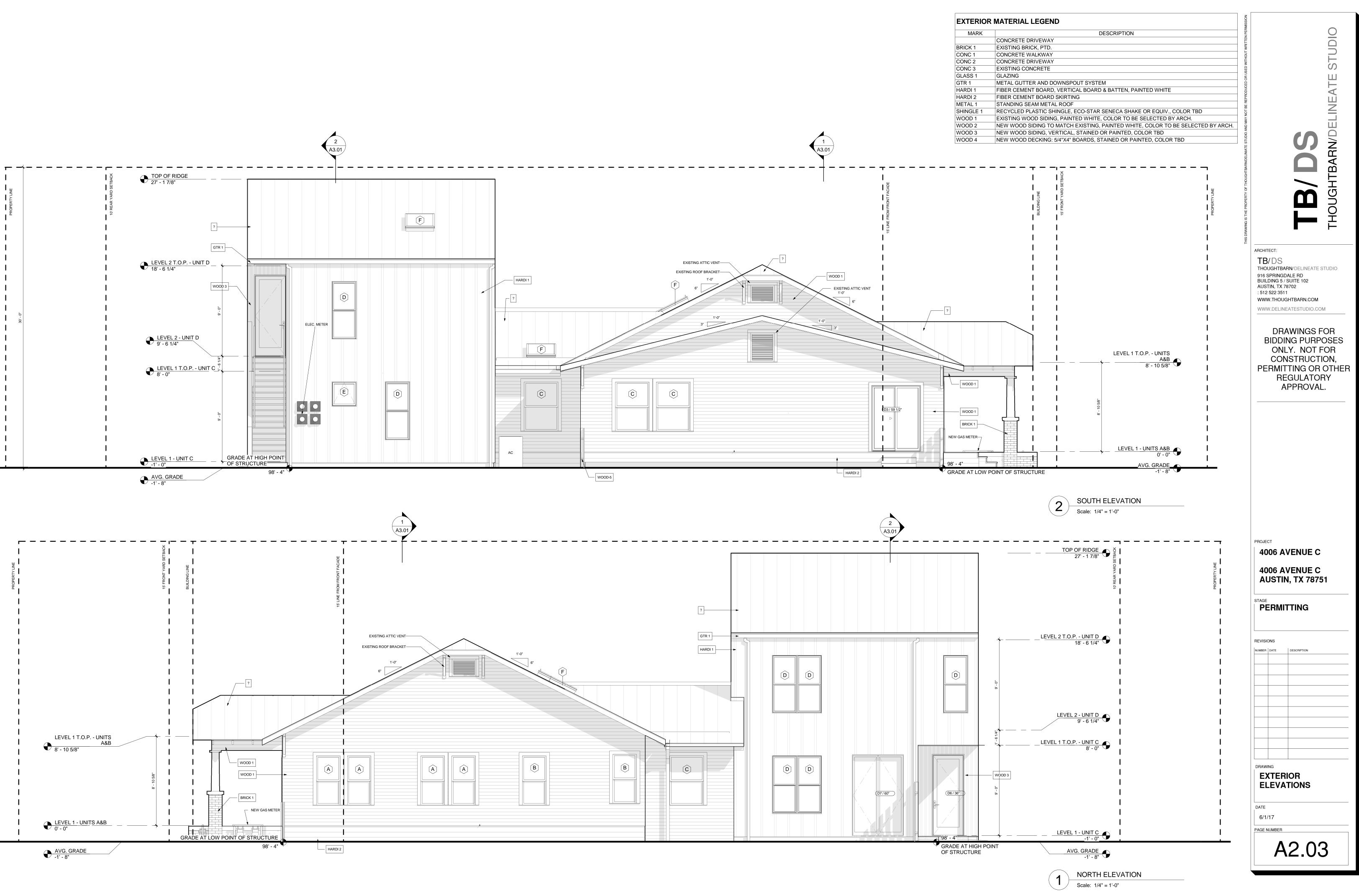
DRAWINGS FOR **BIDDING PURPOSES**

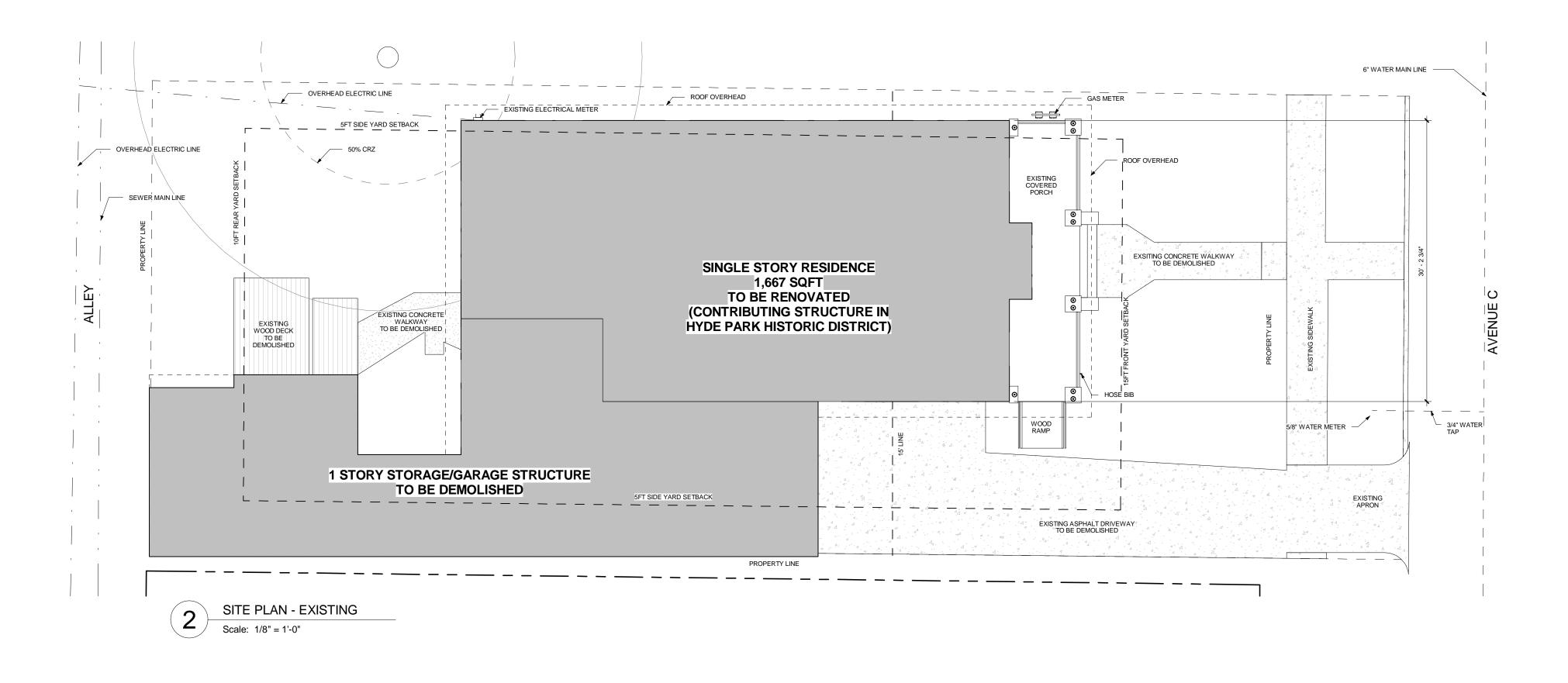
ONLY. NOT FOR CONSTRUCTION,

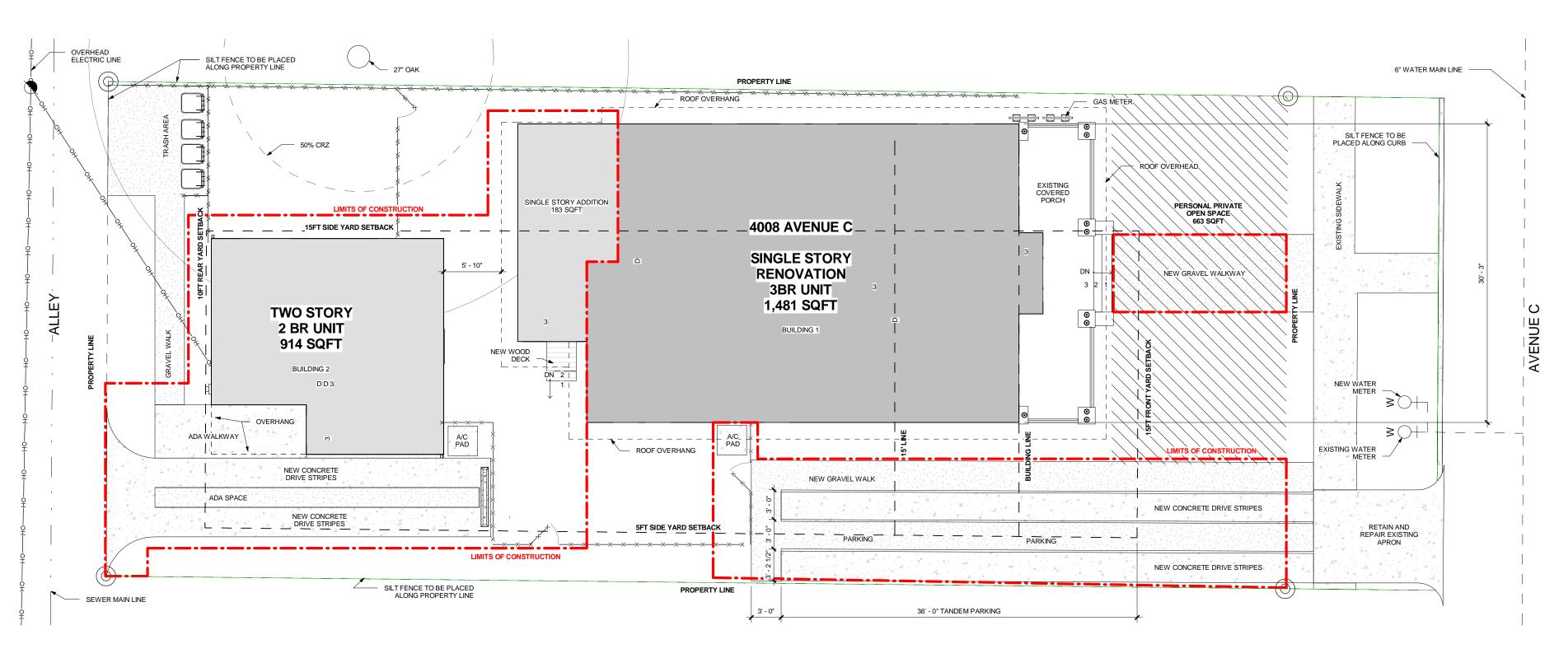
PERMITTING OR OTHER REGULATORY APPROVAL.

: 512 522 3511









SITE PLAN - PROPOSED Scale: 1/8" = 1'-0" NOTE: 1. FIRE TAPS BY OTHERS.

THERS.

CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,547	3,000
NEW CONSTRUCTION	963	1,000

PROJECT DESCRIPTION

AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR

LEGAL DESCRIPTION			
LOTS 27 & 28, BLK. 6; HYDE PARK, ADDITION TWO			
ZONING			
ZONING	MF-4-HD-NCCD-NP		
LAND USE	MULTI-FAMILY RESIDENTIAL		
LOT AREA	5,964.8 SQFT		

TYPE OF CONSTRUCTION

Y	Ρ	E	V	-В	

Г	1		
BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED SECOND FLOOR CONDITIONED TOTAL ZONING SQ FT (GROSS FLOOR AREA)	1,667 0 1,667 (0.28:1)	1,951 449 2,385 (0.40:1)	2,982 (0.5:1)
COVERED PARKING (GARAGE OR CARPORT) COVERED PATIO, DECK OR PORCH COVERED BALCONY BUILDING SQ FT (FLOOR AREA)	703 228 0 2,598	0 276 0 2,676	7,000
# OF BLDG FLOORS # OF UNITS # PARKING SPACES	1 5 4	2 2 5	
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED EXISTING ADDITION TO BE REPLACED NEW ADDITION EXISTING COVERED AREA NEW COVERED AREA BUILDING COVER SQ FT	1,296 990 - 931 - 3,217	1,298 198 465 228 48 2,237	
PARKING PAVED WALKWAYS UNCOVERED PATIOS UNCOVERED WOOD DECKS (50%) AC PADS	598 150 0 75 9	564 34 0 6 18	
TOTAL IMPERVIOUS COVER	4,049 (68%)	3,453 (58%)	3,579 (60%)
PARKING SUMMARY			
PARKING RATIO REQ'D PER UNIT - 3 BR - 2 BR	2 SPAC 1.5 SPAC		
# SPACES ADA SPACES REQUIRED	4 SPAC 1 SPAC		
20% URBAN CORE REDUCTION	-0.8 SPAC	ES	
EXISTING SPACES EXISTING REQUIRED SPACES GRANDFATHERED DEFICIENCY	2 SPAC 2 SPAC 0 RAT	ES	
TOTAL REQUIRED (NORMAL + ADA)	4 SPAC	ES	

KEY

	PROPERTY LINE
	4' WOOD FENCE
× × × × × ×	6' WOOD FENCE
——ОН——ОН——ОН	UTILITY: OVERHEAD ELECTRIC
· · · ·	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
w 	WATER METER

TREE PROTECTION NOTES

THE FOLLOWING REQUIRMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION

PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ). IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.

NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.

ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

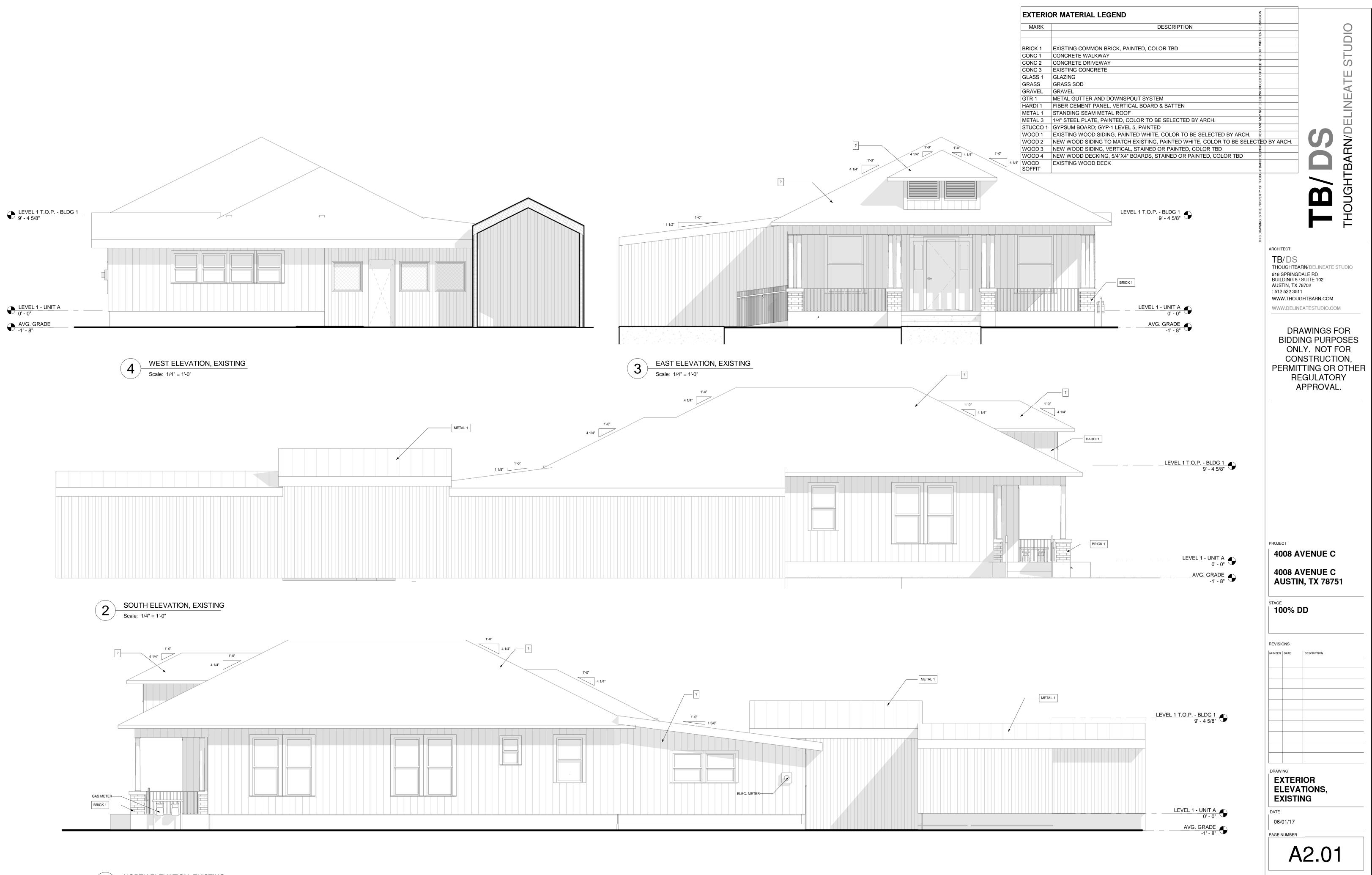
GENERAL NOTES - SITE PLAN

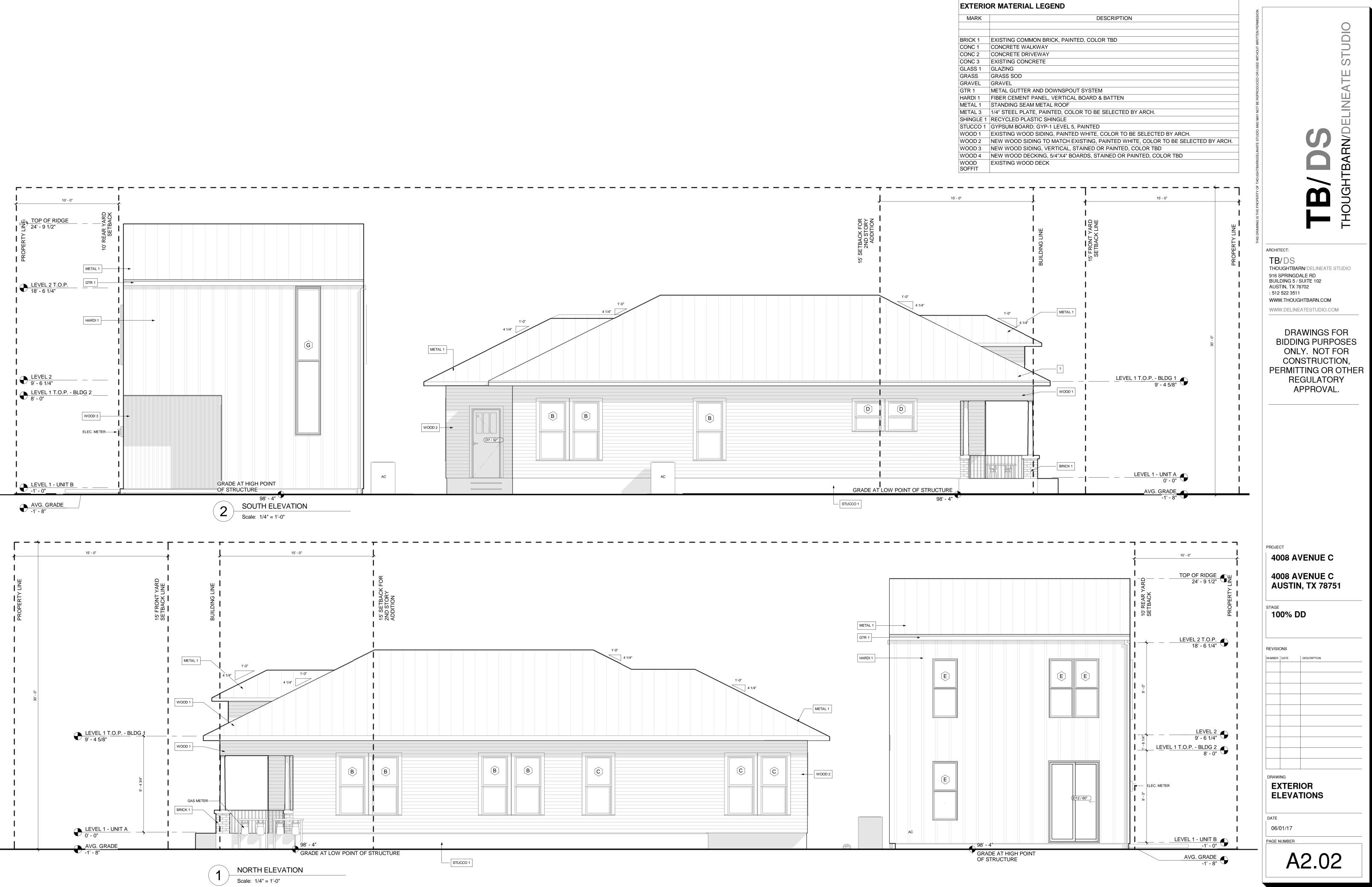
CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 8/26/2015.ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE
SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.

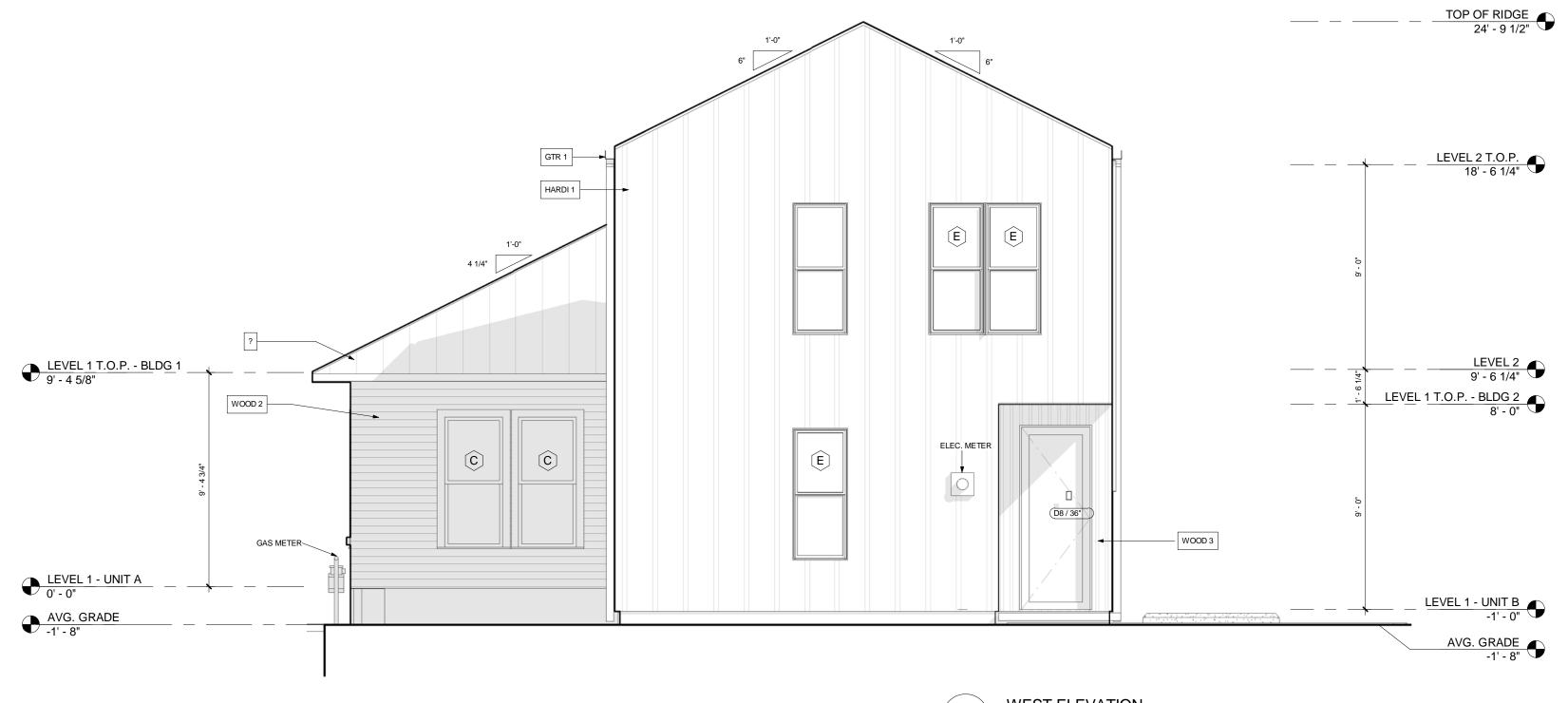
IIS DRAWING IS THE PROPERTY OF THOUGHTBARN/DELINIATE STUDIO AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSI

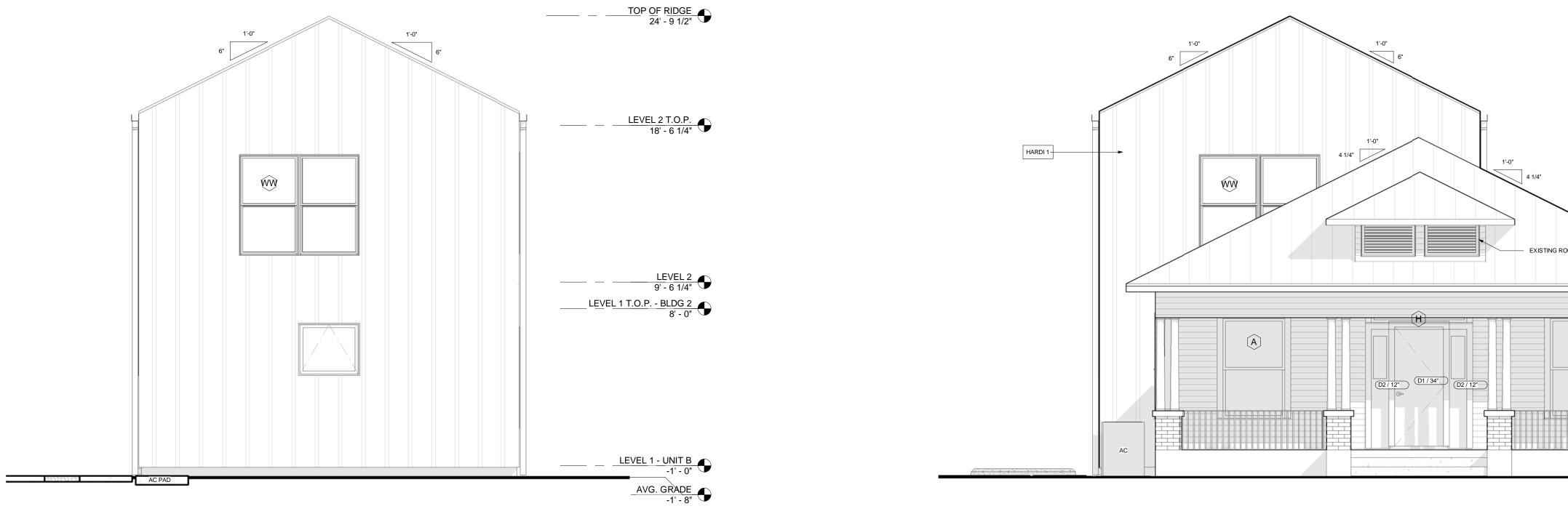
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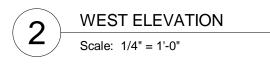








3 EAST ELEVATION - BLDG 2 Scale: 1/4" = 1'-0"





 EAST ELEVATION

 Scale: 1/4" = 1'-0"

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CONSTRUCTION PERMITTION	CONC 2	CONCRETE DRIVEWAY	
CONSTRUCTION PERMITTION	GLASS 1	GLAZING	
CONSTRUCTION PERMITTION	GRAVEL	GRAVEL	
CONSTRUCTION PERMITTION	HARDI 1	FIBER CEMENT PANEL, VERTICAL BOARD & BATTEN	
CONSTRUCTION PERMITTION	METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.	
CONSTRUCTION PERMITTION			
CONSTRUCTION PERMITTION	WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	
CONSTRUCTION PERMITTION	WOOD 3	NEW WOOD SIDING, VERTICAL, STAINED OR PAINTED, COLOR TBD	
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ONLY. NOT FOR CONSTRUCTION, PERMITTING OR OTH REGULATORY APPROVAL. POLET 4008 AVENUE C 100% DD REVERSE EVENT: EVEL 1: 0.2 - BLOO1 EVEL 1:			
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LEVEL 2 T.O.P. 18'-6 1/4'			
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LEVEL 2 T.O.P. 18'-6 1/4'			
LEVEL 2 T.O.P. 18'-6 1/4'			
LEVEL 2 T.O.P. 18'-6 1/4'		<u>TOP OF RIDGE</u> 24' - 9 1/2"	
LEVEL 2 T.O.P. 18' - 61/4' 18' - 61/4' STACE 100% DD REVISIONS REVISIONS REVISIONS UPUEL 1 T.O.P BLDG 1 REVISIONS IEVEL 1 T.O.P BLDG 2 Revisions 8' - 0'' Revisions IEVEL 1 T.O.P BLDG 2 Revisions IEVEL 1 - UNITA Revisions			
LEVEL 2 T.O.P. 18'- 6 1/4' 18'- 6 1/4' 100% DD 100% D			
LEVEL 2 T.O.P. 18 - 6 1/4			
LEVEL 1 T.O.P BLOG 1 9' - 4 5/8' 9' - 4			
		<u>LEVEL 2 I.O.P.</u> 18' - 6 1/4"	
METAL1 Image: Level 1 T.O.P BLDG 1 9' - 4 5/8' 9' - 0' 8' - 0' 8' - 0' 8' - 0' 8' - 0' 8' - 0' 9' - 4 5/8' Image: Date data 9' - 0' 8' - 0' 9' - 0' 8' - 0' 9' - 0' 8' - 0' 9' - 0' 8' - 0' 9' - 0' 8' - 0' 9'			
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Image: Wood 1 Image: Wood 1 Image: BRICK 1 Image: BRICK 1 Image: Gas meter Image: BRICK 1 Image: Level 1 - UNIT A Image: BRICK 1 Image: Level 1 - U			
Image: Second		LEVEL 1 T.O.P BLDG 2 8' - 0"	
BRICK 1 BRICK 1 LEVEL 1 - UNIT A GAS METER LEVEL 1 - UNIT B -1' - 0" Arg. GRADE -1' - 8" DATE 06/01/17		WOOD 1	
BRICK 1 BRICK 1 LEVEL 1 - UNIT A GAS METER LEVEL 1 - UNIT B -1' - 0" Arg. GRADE -1' - 8" DATE 06/01/17		13/4-	
BRICK1 GAS METER GAS METER LEVEL 1 - UNIT A LEVEL 1 - UNIT B -1' - 0" AVG. GRADE -1' - 8" O DRAWING EXTERIOR ELEVATIONS DATE 06/01/17 PAGE NUMBER		, , , , , , , , , , , , , , , , , , ,	
GAS METER GAS METER - LEVEL 1 - UNIT A O' - O'' LEVEL 1 - UNIT B -1' - 0'' -1' - 8'' O ATE 06/01/17 PAGE NUMBER			
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