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THOUGHTBARN/DELINEATE STUDIO  
916 SPRINGDALE RD  
BUILDING 5 / SUITE 102  
AUSTIN, TX 78702  
: 512 522 3511  
WWW.THOUGHTBARN.COM  
WWW.DELINEATESTUDIO.COM

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OR CONSTRUCTION.  
BART WHATLEY  
#17672

PROJECT  
**4004 AVENUE C**

**4004 Avenue C**  
**Austin, TX 78751**

STAGE  
**DESIGN PHASE**

REVISIONS

NUM	DATE	DESCRIPTION

DRAWING  
**COVER**

DATE  
09/08/2016

PAGE NUMBER

ALL-1





SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



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STAGE  
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REVISIONS		
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DRAWING  
PHOTOS

DATE  
09/08/2016

PAGE NUMBER

P4004





WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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PROJECT  
4006 AVENUE C  
  
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AUSTIN, TX 78751

STAGE  
DESIGN PHASE

REVISIONS		
NUM	DATE	DESCRIPTION

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09/08/2016

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P4006





REAR ELEVATION



SOUTH SIDE ELEVATION



FRONT ELEVATION

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#17672

PROJECT  
**4008 AVENUE C**  
  
**4008 AVENUE C**  
**AUSTIN, TX 78751**

STAGE  
**DESIGN PHASE**

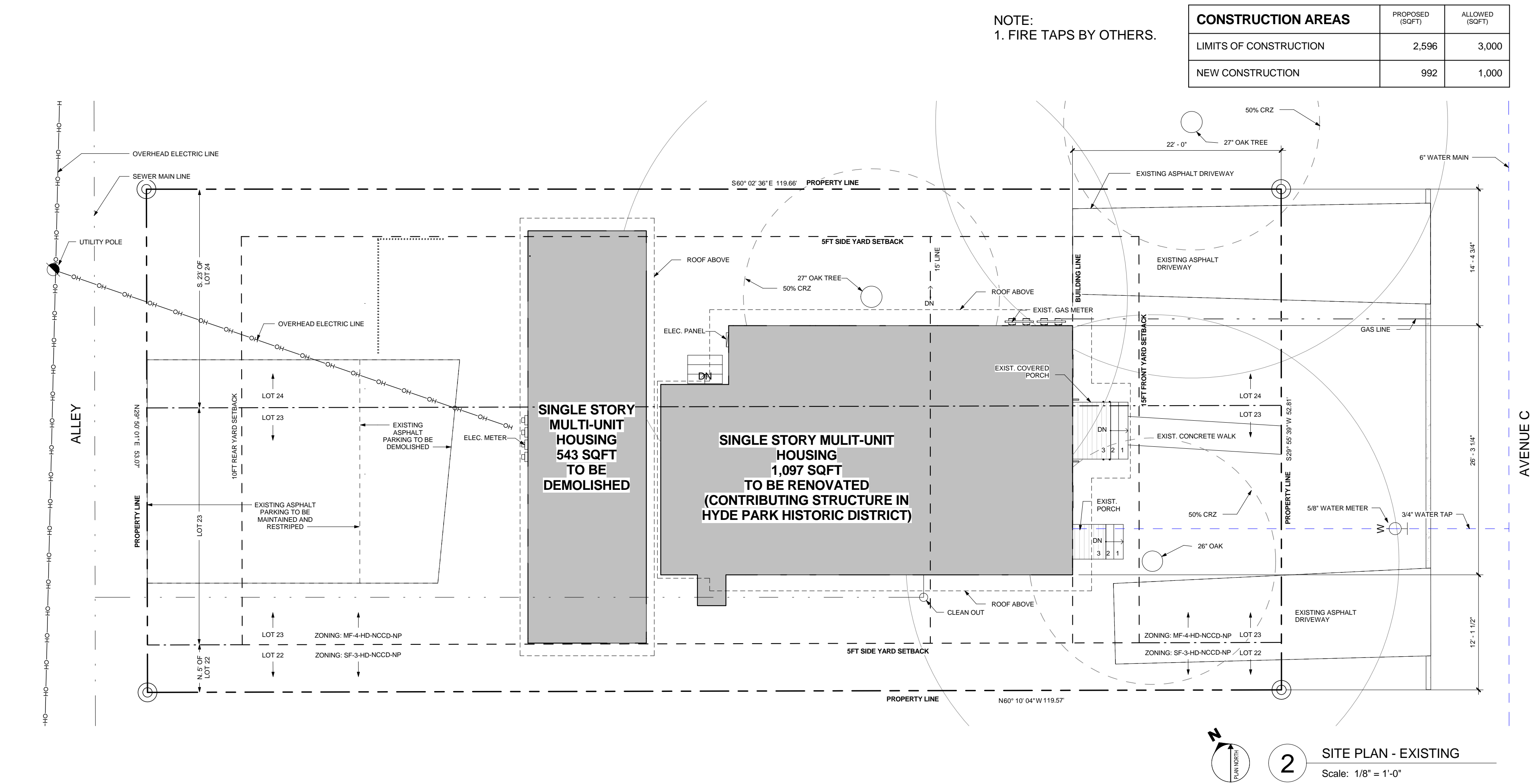
REVISIONS		
NUM	DATE	DESCRIPTION

DRAWING  
**PHOTOS**

DATE  
09/08/2016

PAGE NUMBER





CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,596	3,000
NEW CONSTRUCTION	992	1,000

PROJECT DESCRIPTION	
AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR	
LEGAL DESCRIPTION	
THE NORTH 5' OF LOT 22 & ALL OF LOT 23 & THE SOUTH 23' OF LOT 24, BLK. 6; HYDE PARK, ADDITION TWO	
ZONING	
ZONING	MF-4-HD-NCCD-NP & SF-3-HD-NCCD-NP
LAND USE	MULTI-FAMILY RESIDENTIAL
LOT AREA	6,332 SQFT
TYPE OF CONSTRUCTION	
TYPE V-B	

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	1,650	1,928	
SECOND FLOOR CONDITIONED	0	813	
TOTAL ZONING SQ FT (GROSS FLOOR AREA)	1,650 (0.26:1)	2,741 (0.43:1)	3,106 (0.5:1 MF-4, 0.4:1 SF-3)
COVERED PARKING (GARAGE OR CARPORT)	0	0	
COVERED PATIO, DECK OR PORCH	35	143	
COVERED BALCONY	0	0	
BUILDING SQ FT (FLOOR AREA)	1,685	2,883	7,000
# OF BLDG FLOORS	1	2	
# OF UNITS	5	4	
# PARKING SPACES	4	6	

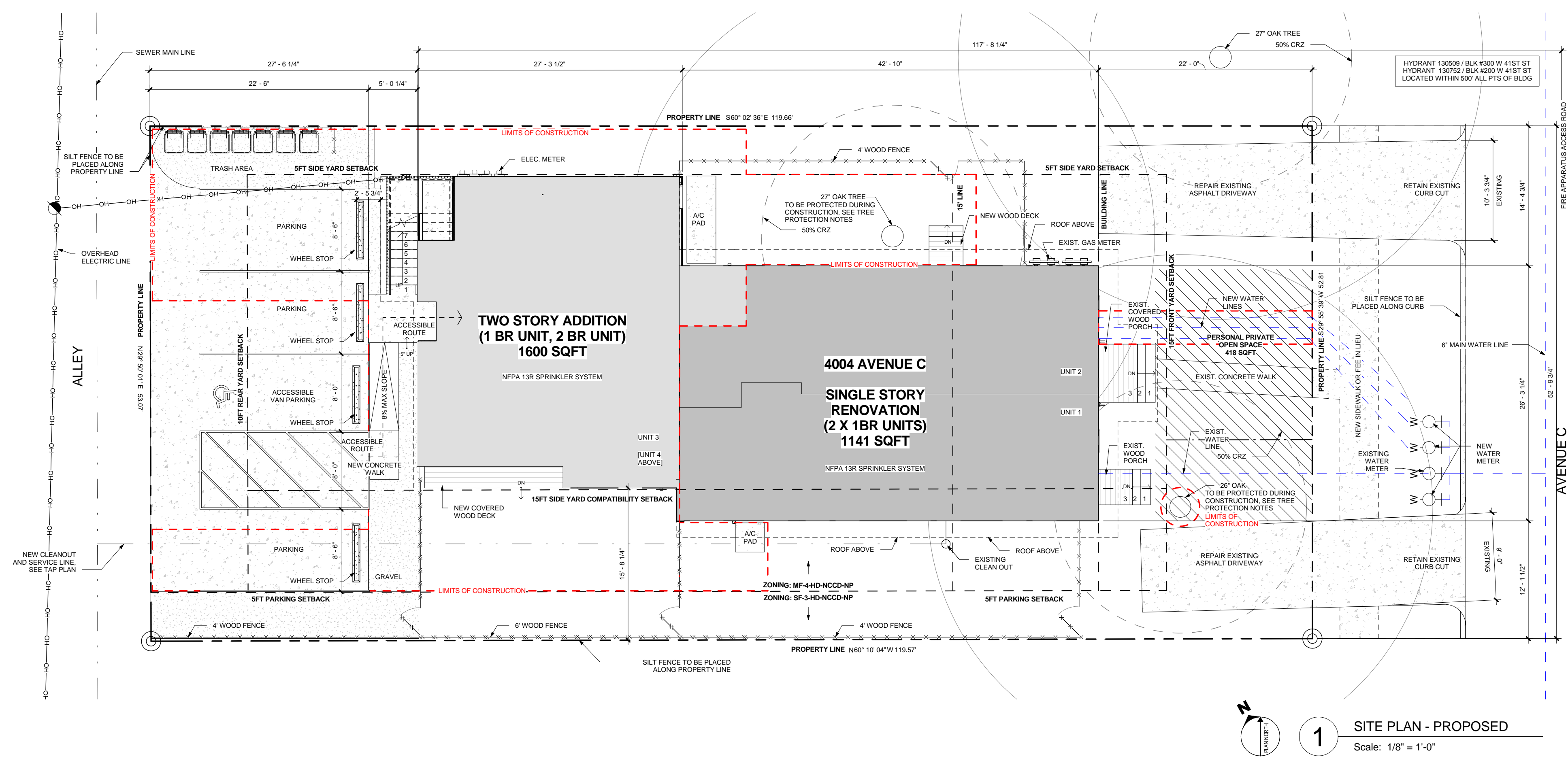
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED	1,097	1097	
EXISTING ADDITION TO BE REPLACED	543	834	
NEW ADDITION	-	35	
EXISTING COVERED AREA	35	122	
NEW COVERED AREA	-	122	
BUILDING COVER SQ FT	1,675	2,088	
PARKING	1,111	1,308	
PAVED WALKWAYS	49	116	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	20	24	
AC PADS	0	36	
TOTAL IMPERVIOUS COVER	2,855 (50%)	3,512 (55.5%)	3,710 (60% MF-4, 45% SF-3)

PARKING SUMMARY	
PARKING RATIO REQ'D PER UNIT	
1 BR	1.5 SPACES
2 BR	2 SPACES
# SPACES	6.5 SPACES
ADA SPACES REQUIRED	1 SPACE
20% URBAN CORE REDUCTION	-1.3 SPACES
TOTAL REQUIRED (NORMAL + ADA)	6 SPACES = (6.5-1.3)

KEY	
	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

TREE PROTECTION NOTES	
THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION	
PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).	
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.	
NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.	
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.	

GENERAL NOTES - SITE PLAN	
1 SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 7/7/2016.	
2 ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.	
3 CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.	
4 TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.	
5 FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE	
6 FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTURE	
7 NFPA 13R SPRINKLER SYSTEM FOR STRUCTURE	



1 SITE PLAN - PROPOSED  
Scale: 1/8" = 1'-0"

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PROJECT  
**4004 AVENUE C**  
**4004 Avenue C**  
Austin, TX 78751

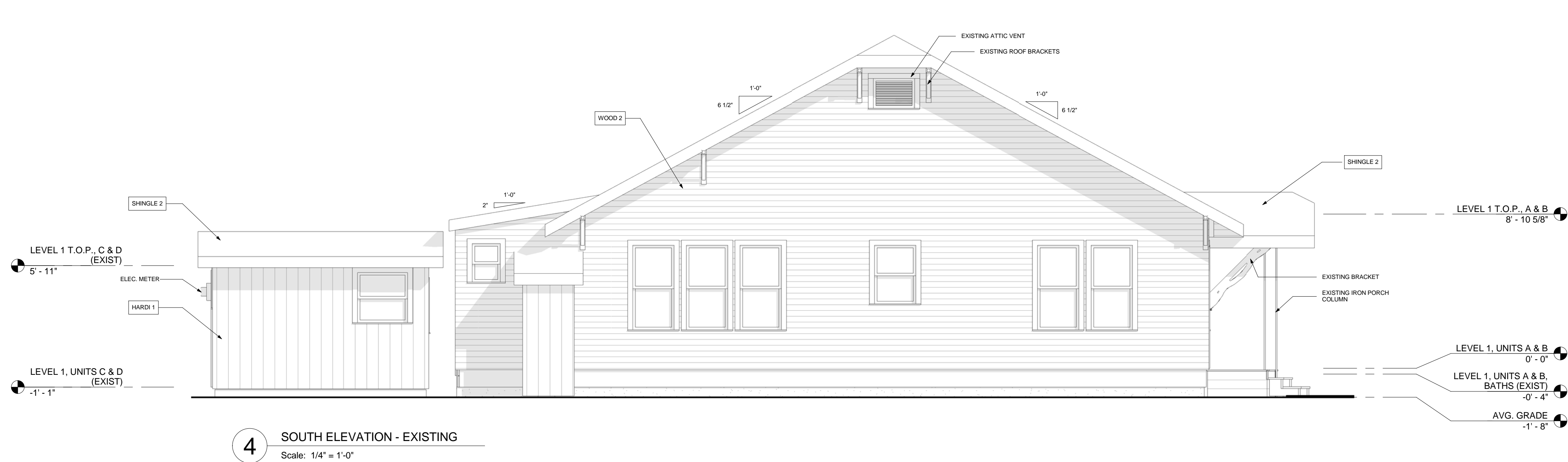
STAGE  
**PERMITTING**

REVISIONS		
NUMBER	DATE	DESCRIPTION

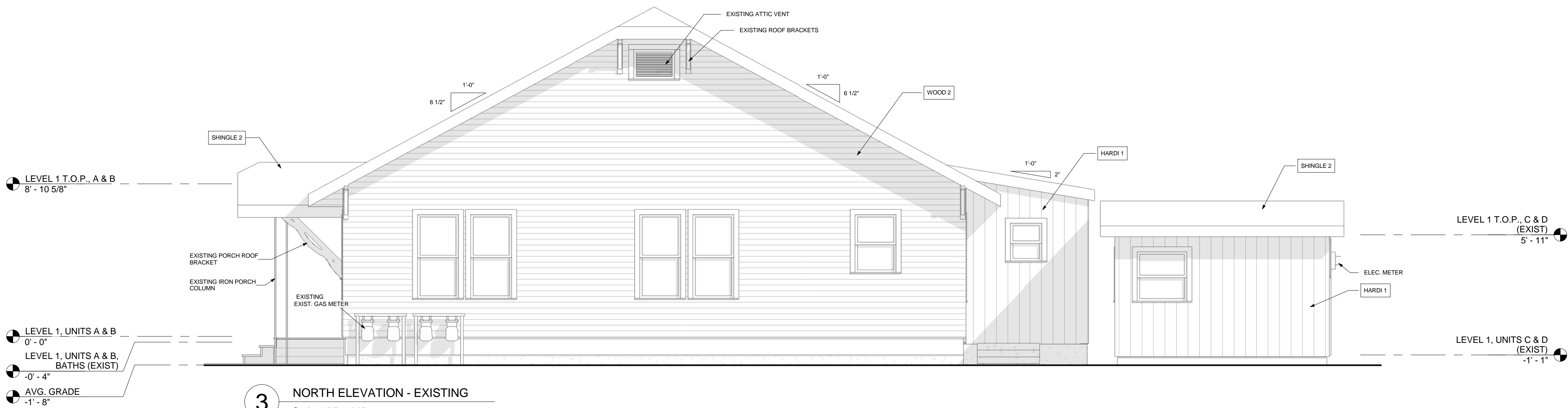
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**SITE PLAN**

DATE  
6/1/17

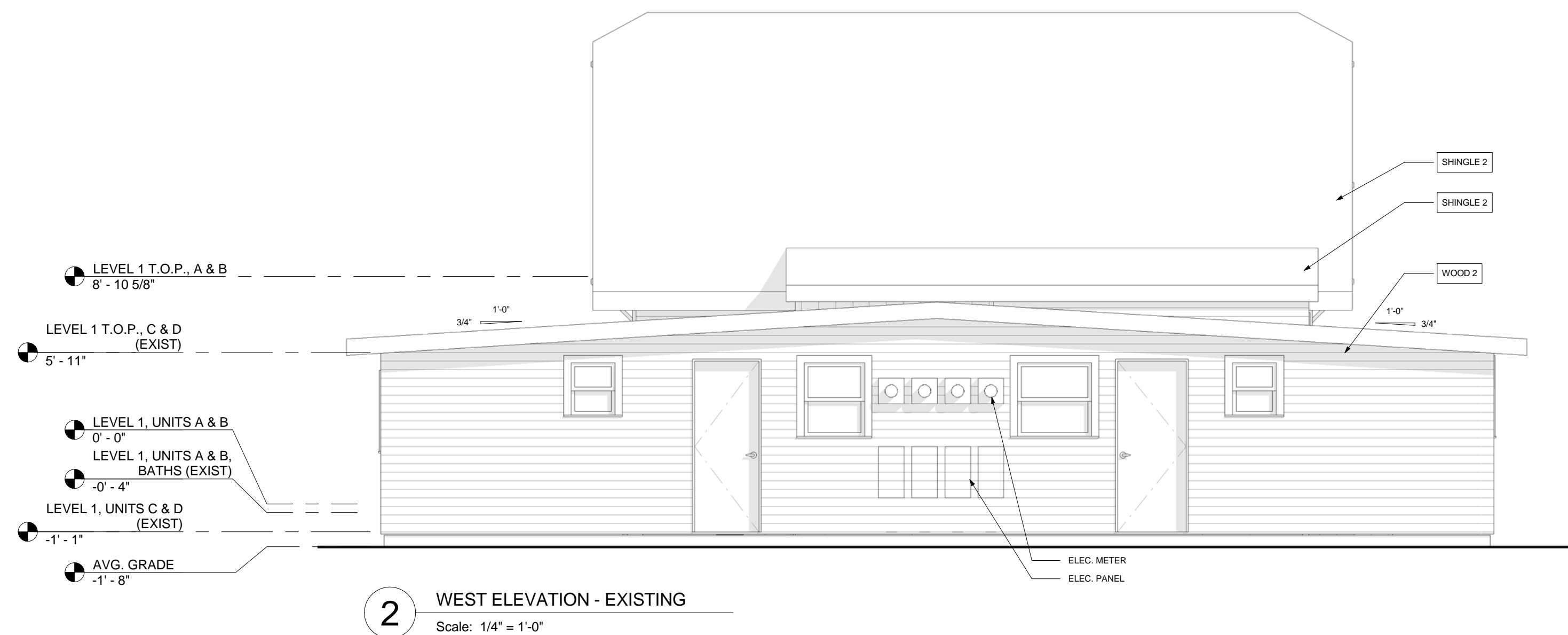
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**A0.01**



4 SOUTH ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



3 NORTH ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



2 WEST ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



1 EAST ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
CONC 1	CONCRETE WALKWAY:
CONC 2	CONCRETE DRIVEWAY:
CONC 3	EXISTING CONCRETE
GLASS 1	GLAZING
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	VERTICAL FIBER CEMENT BOARD
HARDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE
METAL 1	STANDING SEAM METAL ROOF
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
STUCCO 1	STUCCO
WOOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED
WOOD 7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH
WOOD 8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.

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PROJECT

**4004 AVENUE C**

**4004 Avenue C**  
Austin, TX 78751

STAGE

**PERMITTING**

REVISIONS

NUMBER	DATE	DESCRIPTION

DRAWING

**EXTERIOR  
ELEVATIONS,  
EXISTING**

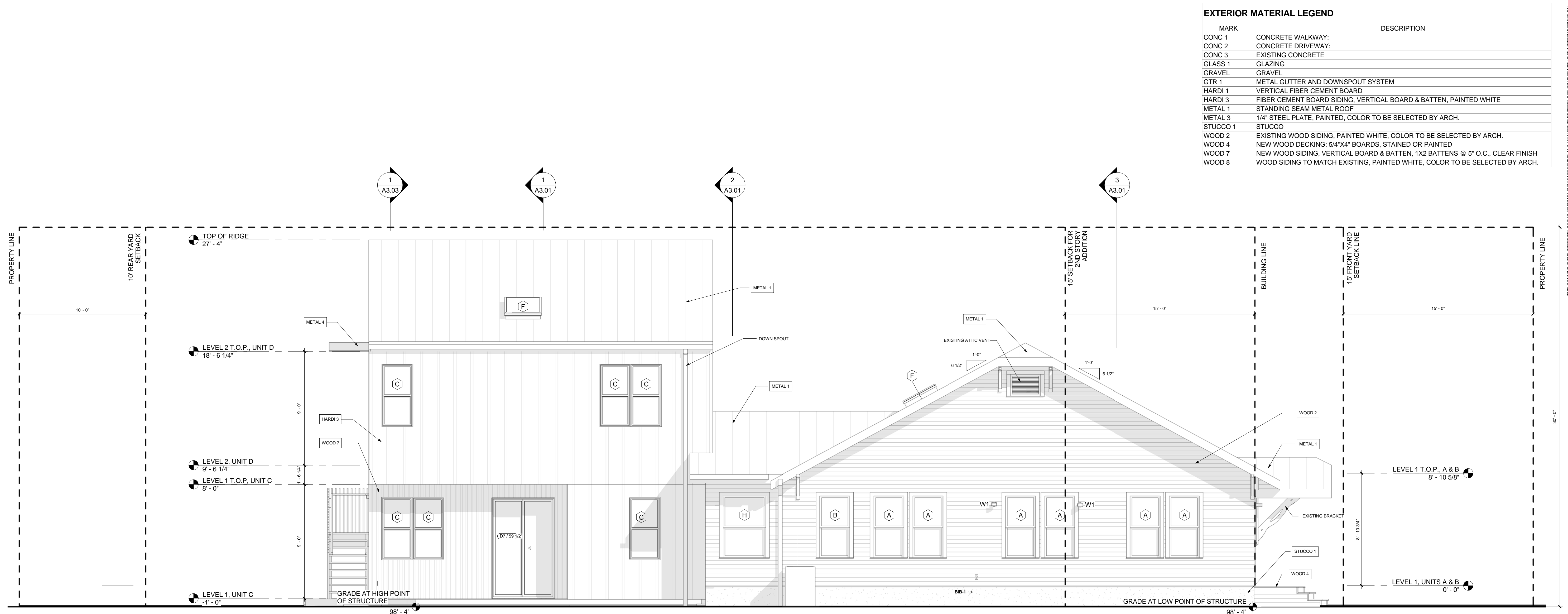
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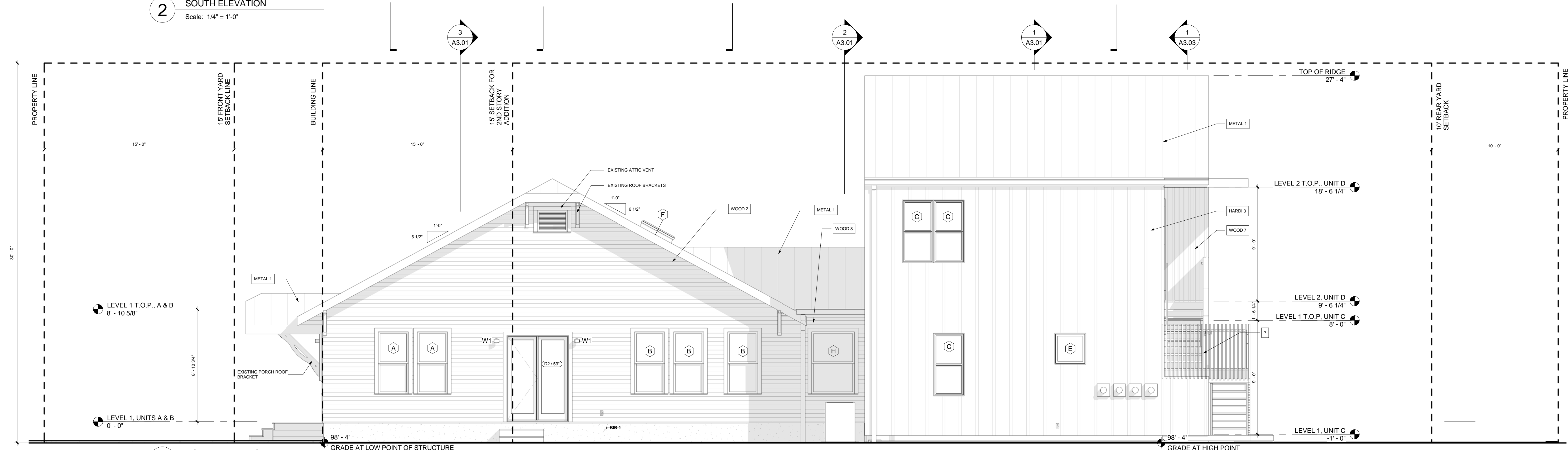
PAGE NUMBER

**A2.01**





2 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND		
MARK	DESCRIPTION	
CONC 1	CONCRETE WALKWAY:	
CONC 2	CONCRETE DRIVEWAY:	
CONC 3	EXISTING CONCRETE	
GLASS 1	GLAZING	
GRAVEL	GRAVEL	
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM	
HARDI 1	VERTICAL FIBER CEMENT BOARD	
HARDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE	
METAL 1	STANDING SEAM METAL ROOF	
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.	
STUCCO 1	STUCCO	
WOOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED	
WOOD 7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH	
WOOD 8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.	

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STAGE

PERMITTING

REVISIONS

NUMBER	DATE	DESCRIPTION

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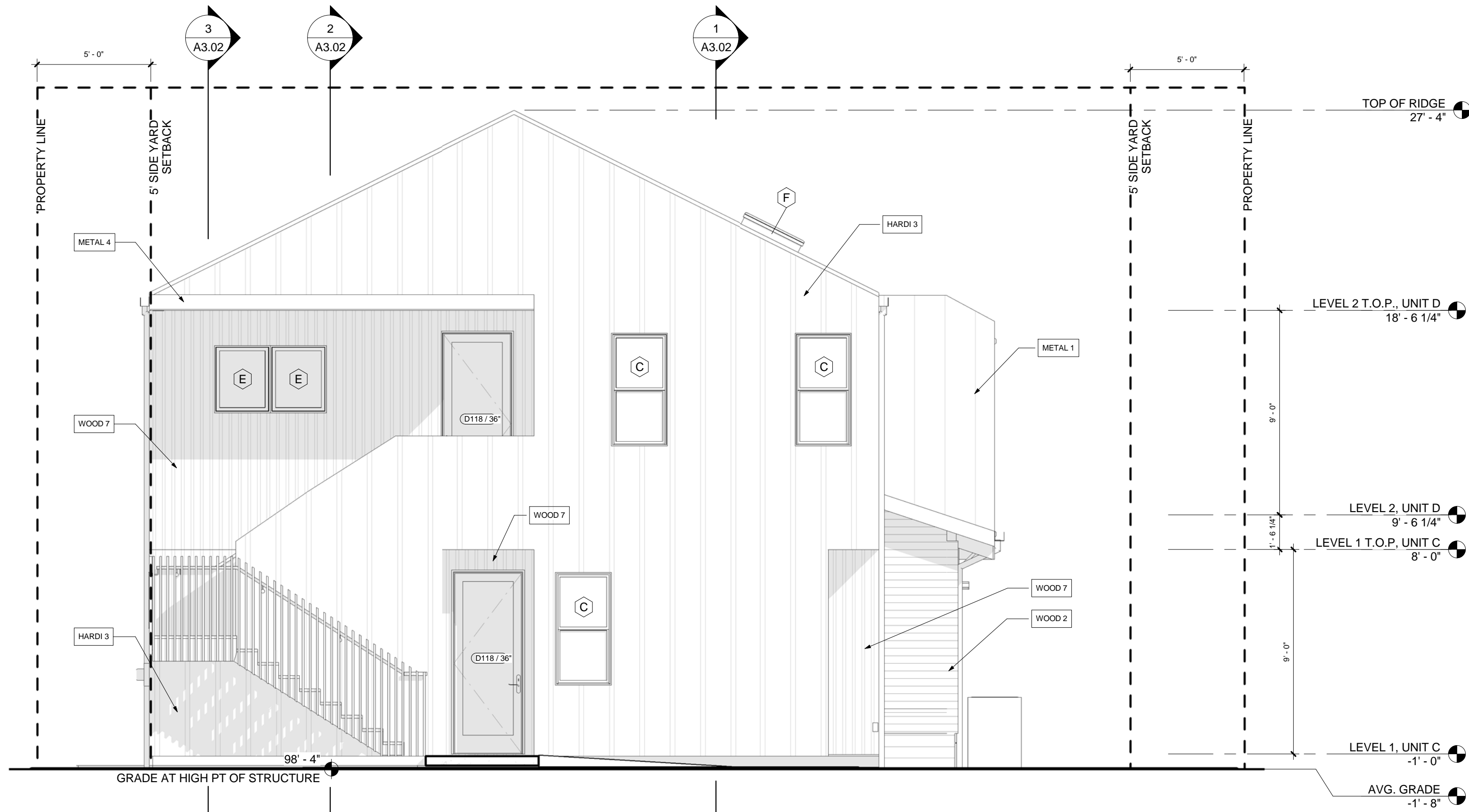
EXTERIOR  
ELEVATIONS

DATE

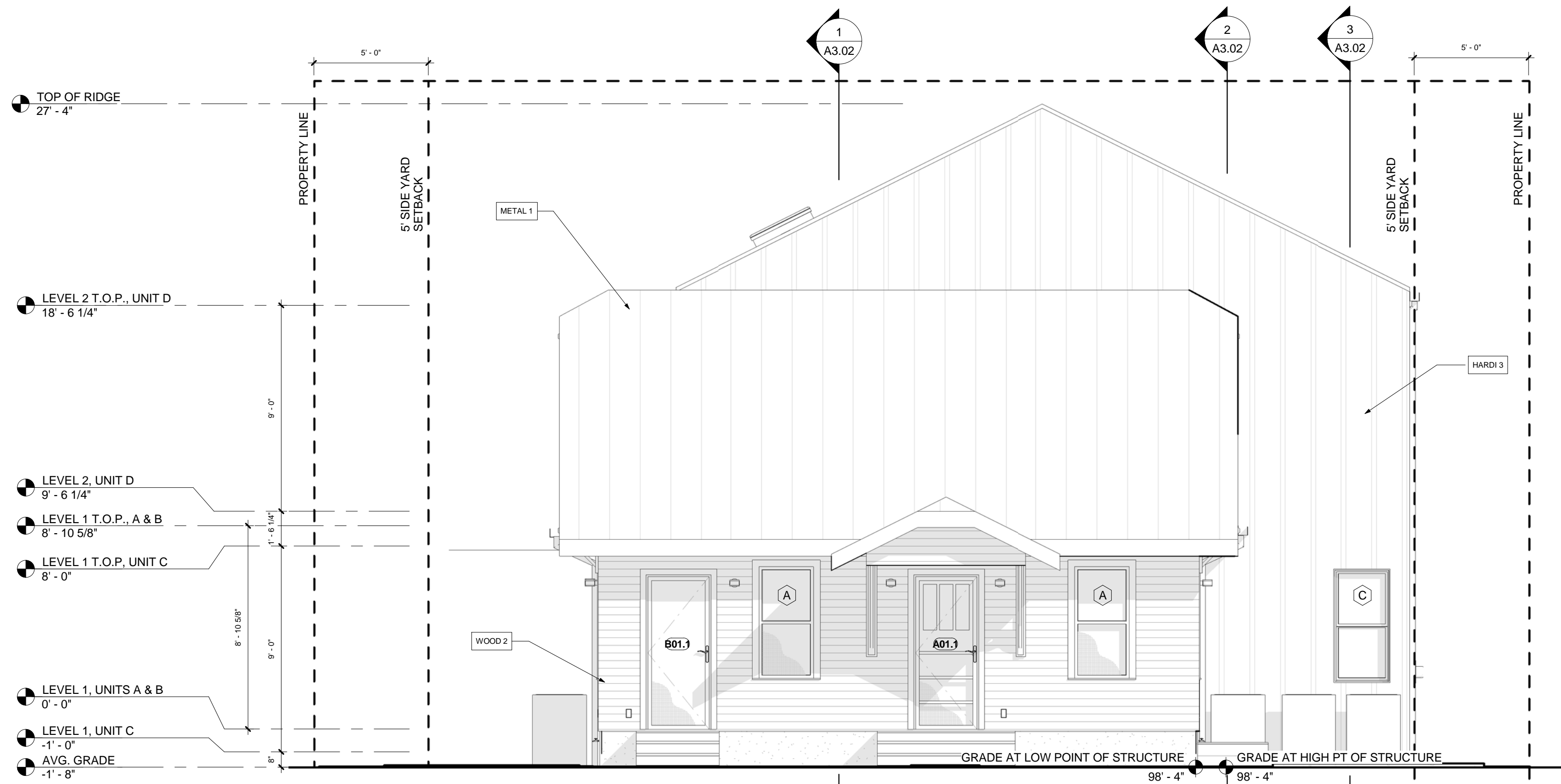
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A2.02



2 WEST ELEVATION  
Scale: 1/4" = 1'-0"



1 EAST ELEVATION  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
CONC 1	CONCRETE WALKWAY:
CONC 2	CONCRETE DRIVEWAY:
CONC 3	EXISTING CONCRETE
GLASS 1	GLAZING
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	VERTICAL FIBER CEMENT BOARD
HARDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED WHITE
METAL 1	STANDING SEAM METAL ROOF
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
STUCCO 1	STUCCO
WOOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED
WOOD 7	NEW WOOD SIDING, VERTICAL BOARD & BATTEN, 1X2 BATTENS @ 5" O.C., CLEAR FINISH
WOOD 8	WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.

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STAGE  
**PERMITTING**

REVISIONS		
NUMBER	DATE	DESCRIPTION

DRAWING  
**EXTERIOR  
ELEVATIONS**

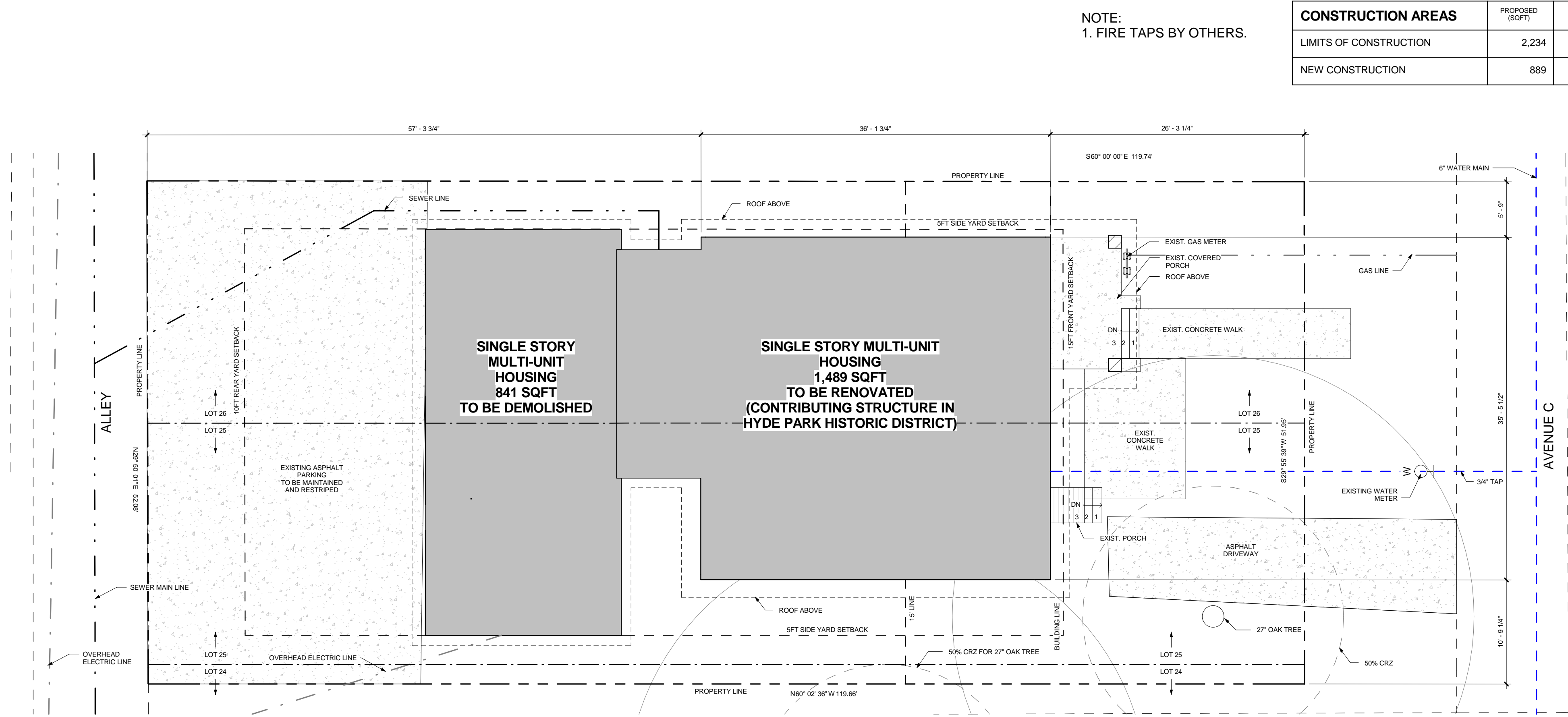
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**A2.03**

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THOUGHTBARN/DELINEATE STUDIO





CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,234	3,000
NEW CONSTRUCTION	889	1,000

PROJECT DESCRIPTION
AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR, WITH REPAIR/UPGRADE TO EXISTING PARKING.
LEGAL DESCRIPTION
THE NORTH 2' OF LOT 24 & LOTS 25 & 26, BLK. 6, HYDE PARK, ADDITION TWO

ZONING	
ZONING	MF-4-HD-NCCD-NP
LAND USE	MULTI-FAMILY RESIDENTIAL
LOT AREA	6,228.7 SQFT

TYPE OF CONSTRUCTION
TYPE V-B

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	2,330	2,157	
SECOND FLOOR CONDITIONED	0	696	
TOTAL ZONING SQ FT (GROSS FLOOR AREA)	2,330 (0.37:1)	2,853 (0.46:1)	3,114 (0.5:1)
COVERED PARKING (GARAGE OR CARPORT)	0	0	
COVERED PATIO, DECK OR PORCH	114	225	
COVERED BALCONY	0	0	
BUILDING SQ FT (FLOOR AREA)	2,444	3,078	7,000
# OF BLDG FLOORS	1	2	
# OF UNITS	5	4	
# PARKING SPACES	4	5	

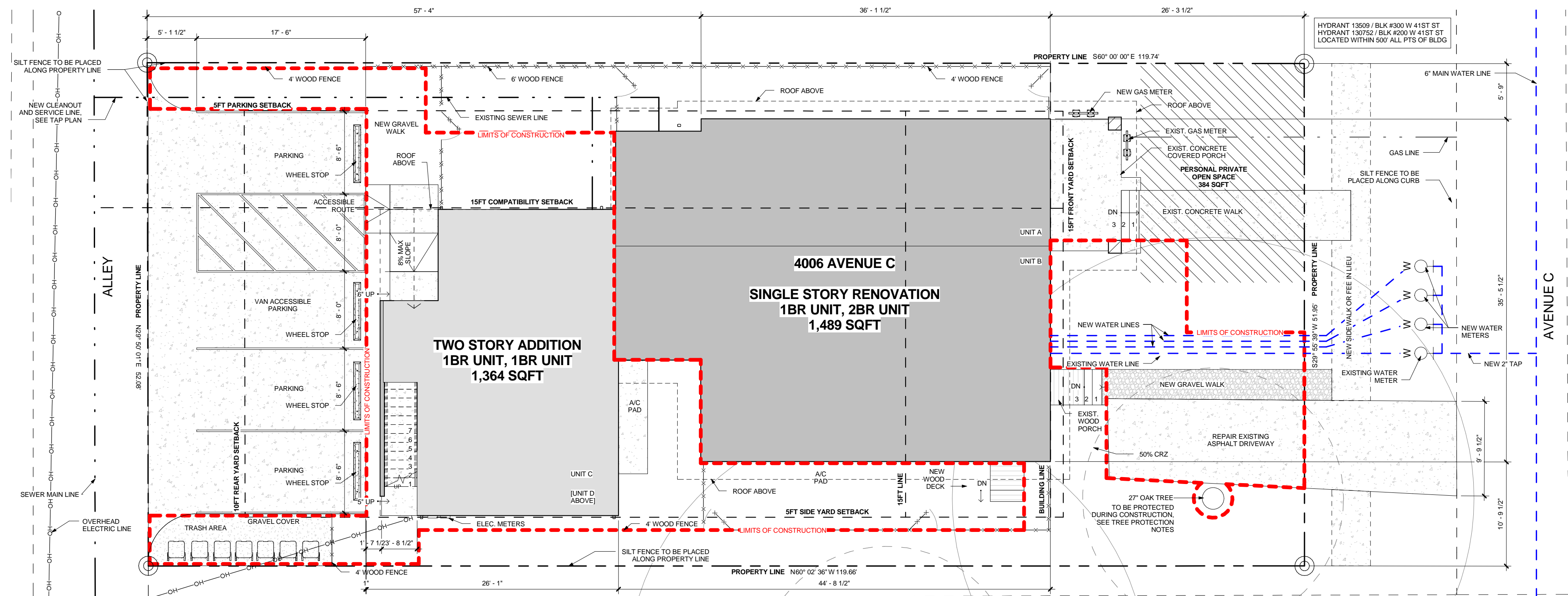
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED	1,489	1,489	
EXISTING ADDITION TO BE REPLACED	841	-	
NEW ADDITION	-	668	
EXISTING COVERED AREA	114	-	
NEW COVERED AREA	-	111	
BUILDING COVER SQ FT	2,444	2,268	
PARKING	1,818	1,129	
PAVED WALKWAYS	88	111	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	10	18	
AC PADS	153	36	
TOTAL IMPERVIOUS COVER	4,513 (73%)	3,562 (57.0%)	3,737 (60%)

PARKING SUMMARY	
PARKING RATIO REQ'D PER UNIT	
- 1 BR	1.5 SPACES
- 2 BR	2 SPACES
# SPACES	6.5 SPACES
ADA SPACES REQUIRED	1 SPACE
20% URBAN CORE REDUCTION	-1.3 SPACES
EXISTING SPACES	6 SPACES
EXISTING REQUIRED SPACES	6.5 SPACES
GRANDFATHERED DEFICIENCY	0.92 RATIO
TOTAL REQUIRED (NORMAL + ADA)	5 SPACES = (6.5-1.3)*0.92

KEY	
	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

TREE PROTECTION NOTES
THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION
PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.
NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

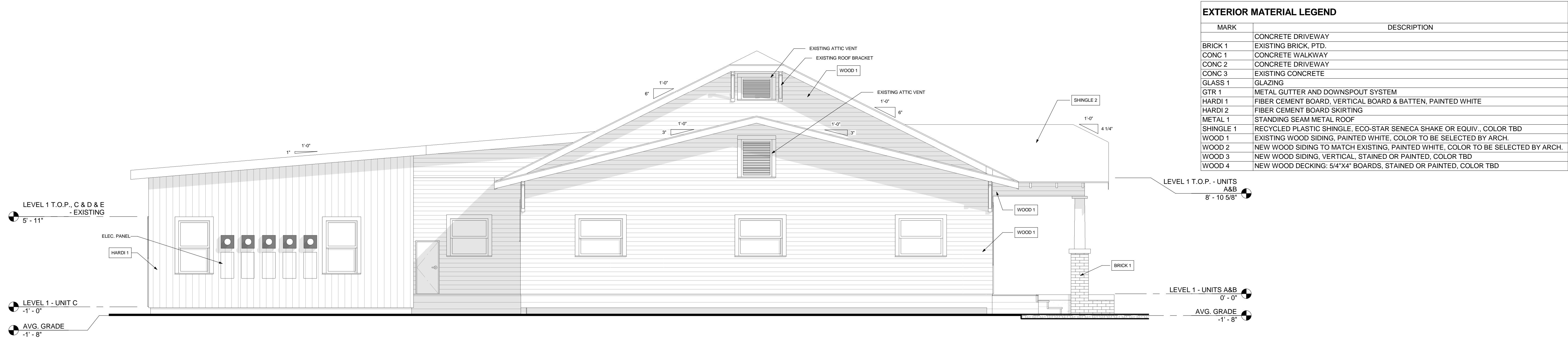
GENERAL NOTES - SITE PLAN
1 SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 7/7/2016.
2 ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.
3 CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
4 TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
5 FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
6 FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTURE
7 NFPA 13R SPRINKLER SYSTEM FOR STRUCTURE



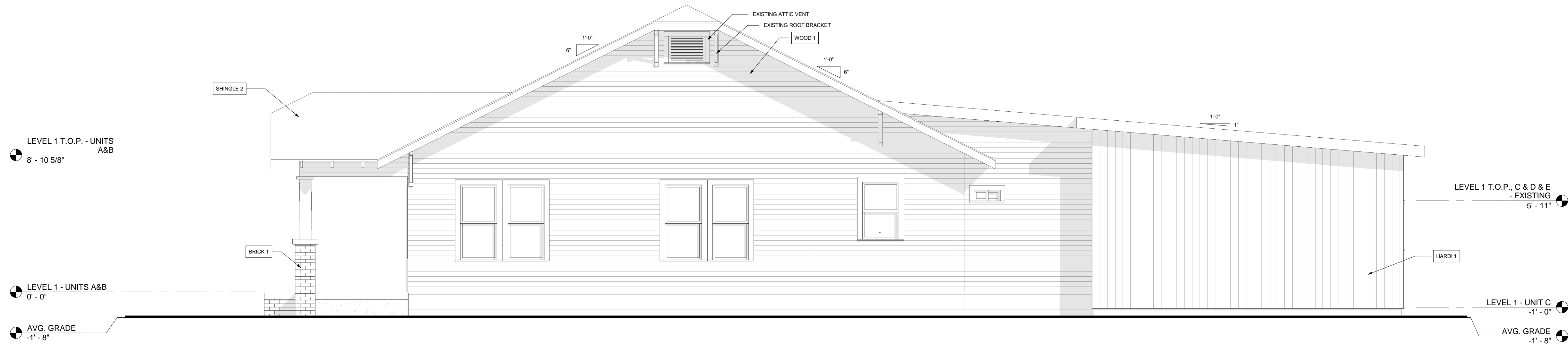
1 SITE PLAN - PROPOSED  
Scale: 1/8" = 1'-0"

REVISIONS		
NUMBER	DATE	DESCRIPTION
</		

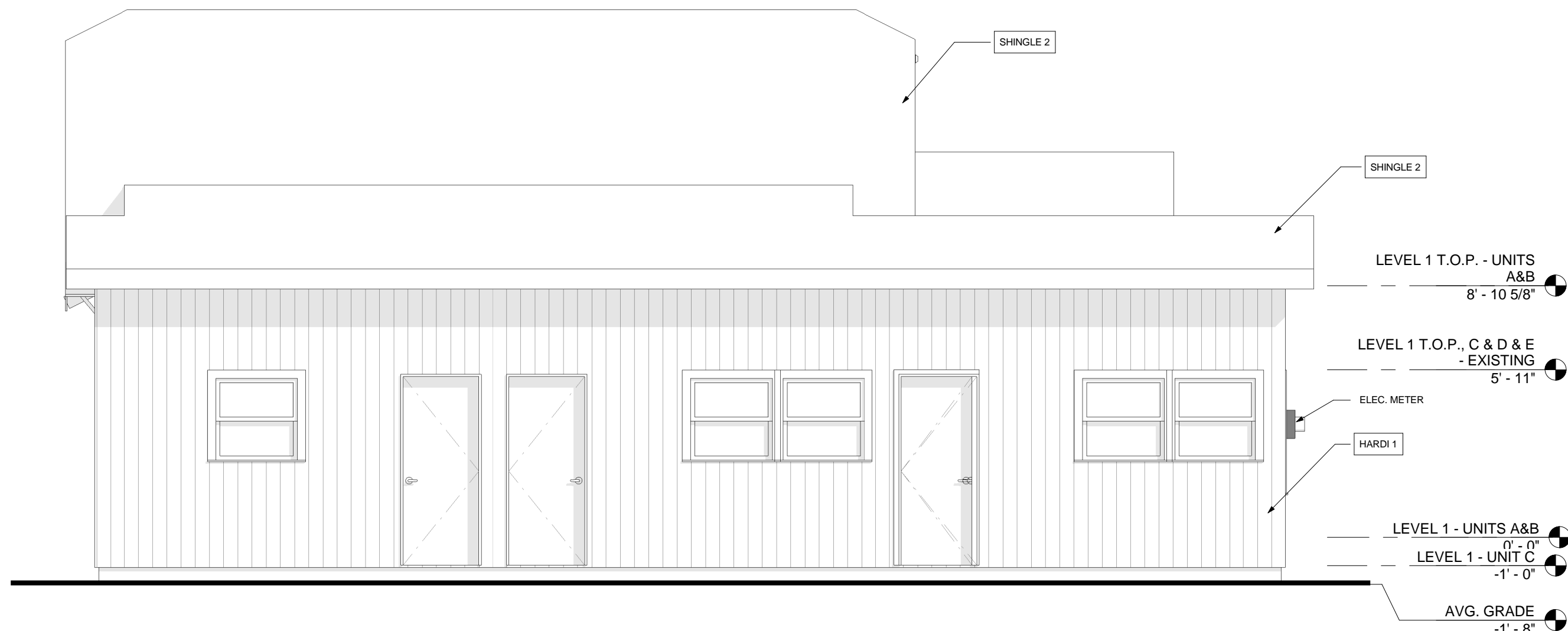




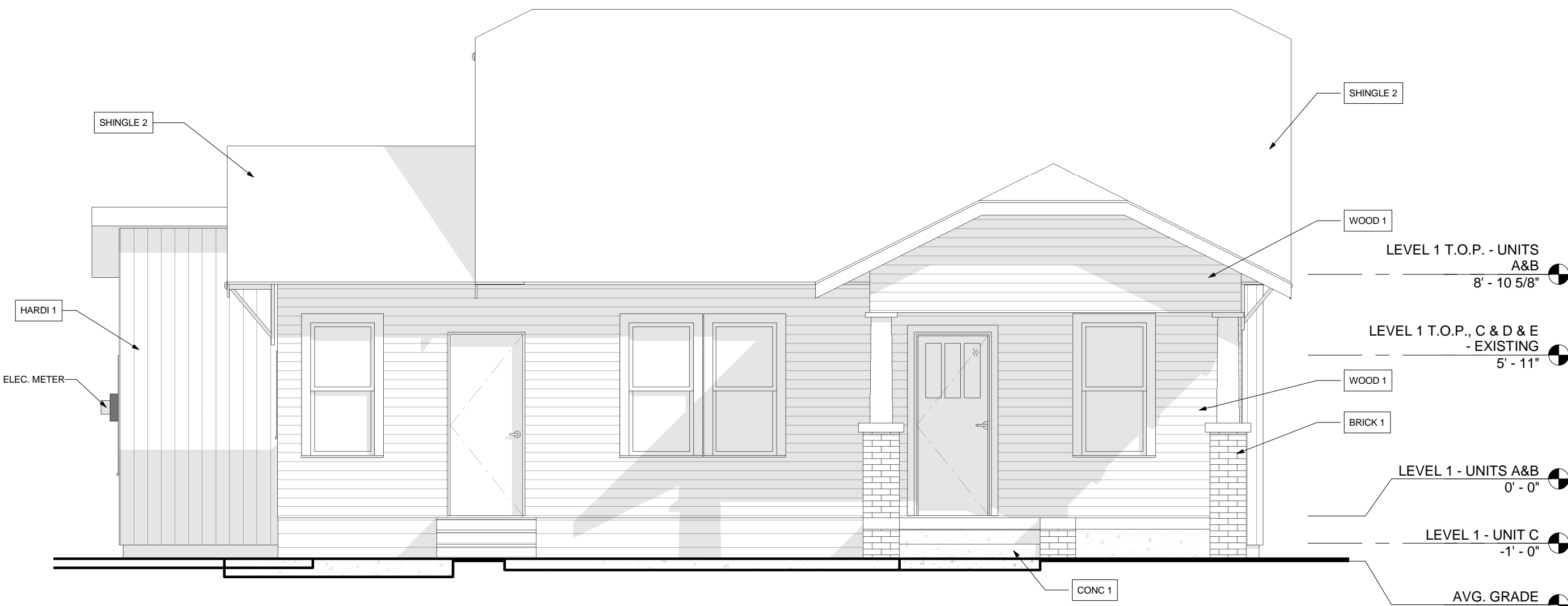
2 SOUTH ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



4 WEST ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



3 EAST ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
	CONCRETE DRIVEWAY
BRICK 1	EXISTING BRICK, PTD.
CONC 1	CONCRETE WALKWAY
CONC 2	CONCRETE DRIVEWAY
CONC 3	EXISTING CONCRETE
GLASS 1	GLAZING
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	FIBER CEMENT BOARD, VERTICAL BOARD & BATTEN, PAINTED WHITE
HARDI 2	FIBER CEMENT BOARD SKIRTING
METAL 1	STANDING SEAM METAL ROOF
SHINGLE 1	RECYCLED PLASTIC SHINGLE, ECO-STAR SENECA SHAKE OR EQUIV., COLOR TBD
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 2	NEW WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 3	NEW WOOD SIDING, VERTICAL, STAINED OR PAINTED, COLOR TBD
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD

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PROJECT  
**4006 AVENUE C**  
**4006 AVENUE C**  
**AUSTIN, TX 78751**

STAGE  
**PERMITTING**

REVISIONS		
NUMBER	DATE	DESCRIPTION

DRAWING  
**EXTERIOR  
ELEVATION,  
EXISTING**

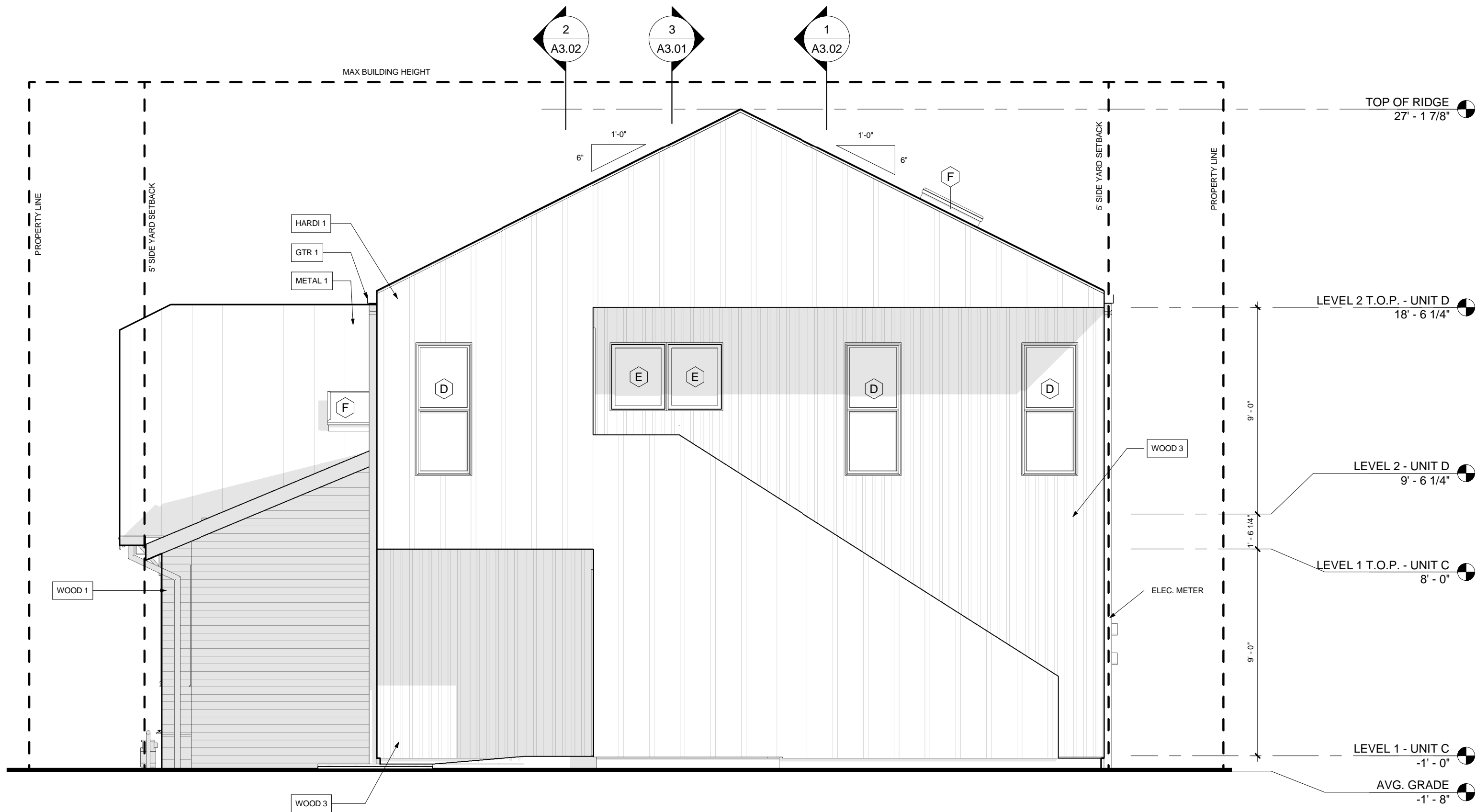
DATE  
6/1/17

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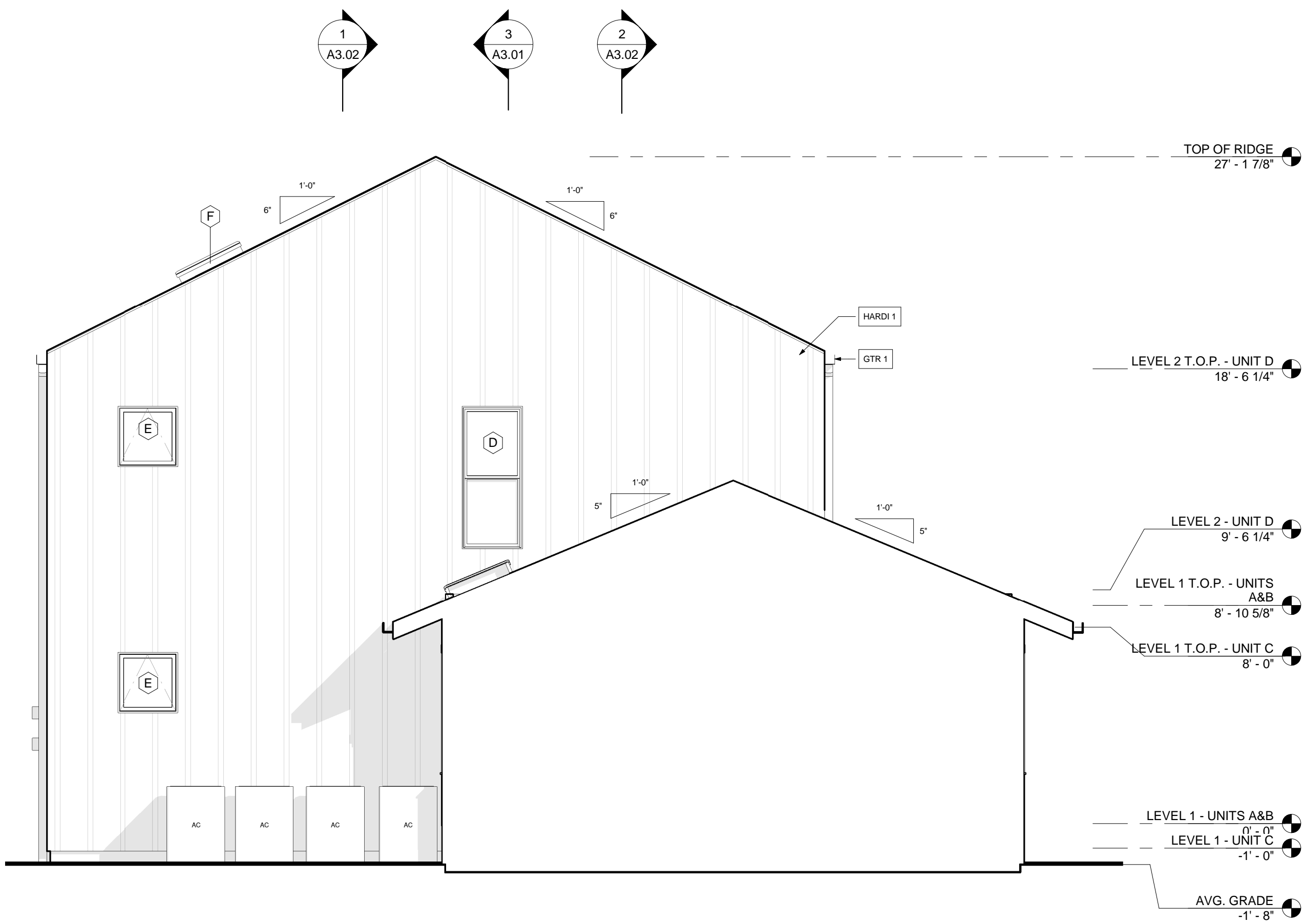
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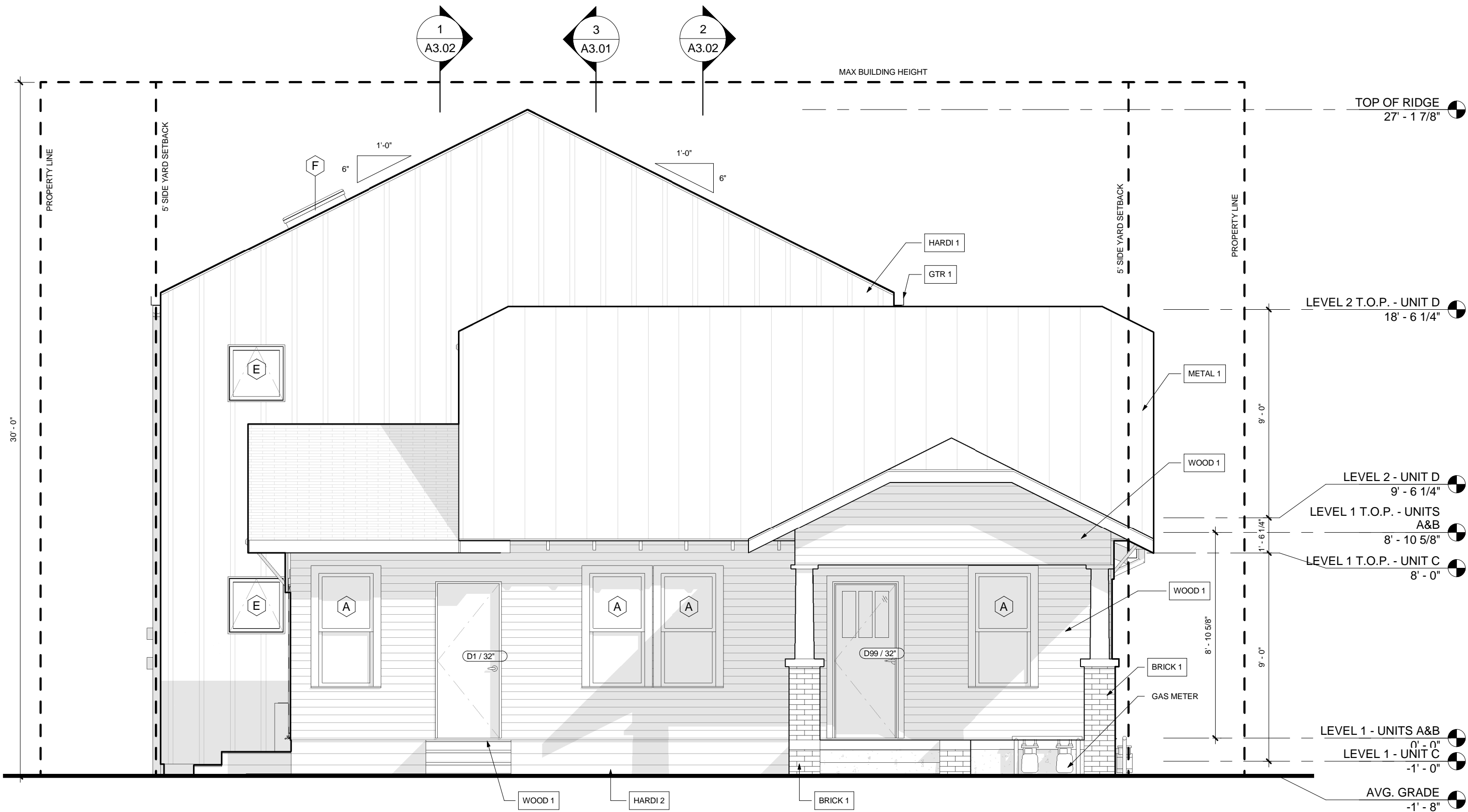


2 WEST ELEVATION  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
CONCRETE DRIVEWAY	
BRICK 1	EXISTING BRICK, PTD.
CONC 1	CONCRETE WALKWAY
CONC 2	CONCRETE DRIVEWAY
CONC 3	EXISTING CONCRETE
GLASS 1	GLAZING
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	FIBER CEMENT BOARD, VERTICAL BOARD & BATTEN, PAINTED WHITE
HARDI 2	FIBER CEMENT BOARD SKIRTING
METAL 1	STANDING SEAM METAL ROOF
SHINGLE 1	RECYCLED PLASTIC SHINGLE, ECO-STAR SENECA SHAKE OR EQUIV., COLOR TBD
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 2	NEW WOOD SIDING TO MATCH EXISTING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 3	NEW WOOD SIDING, VERTICAL, STAINED OR PAINTED, COLOR TBD
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD



3 EAST ELEVATION - UNITS C & D  
Scale: 1/4" = 1'-0"



1 EAST ELEVATION - STREET  
Scale: 1/4" = 1'-0"

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**AUSTIN, TX 78751**

STAGE  
**PERMITTING**

REVISIONS		
NUMBER	DATE	DESCRIPTION

DRAWING  
**EXTERIOR  
ELEVATIONS**

DATE  
6/1/17

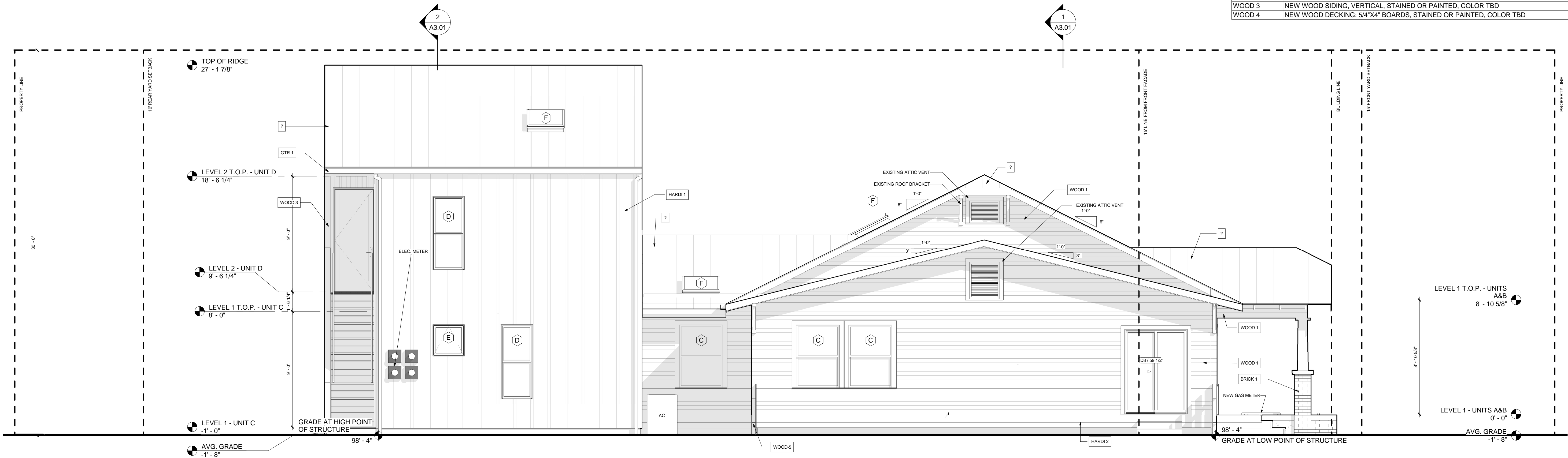
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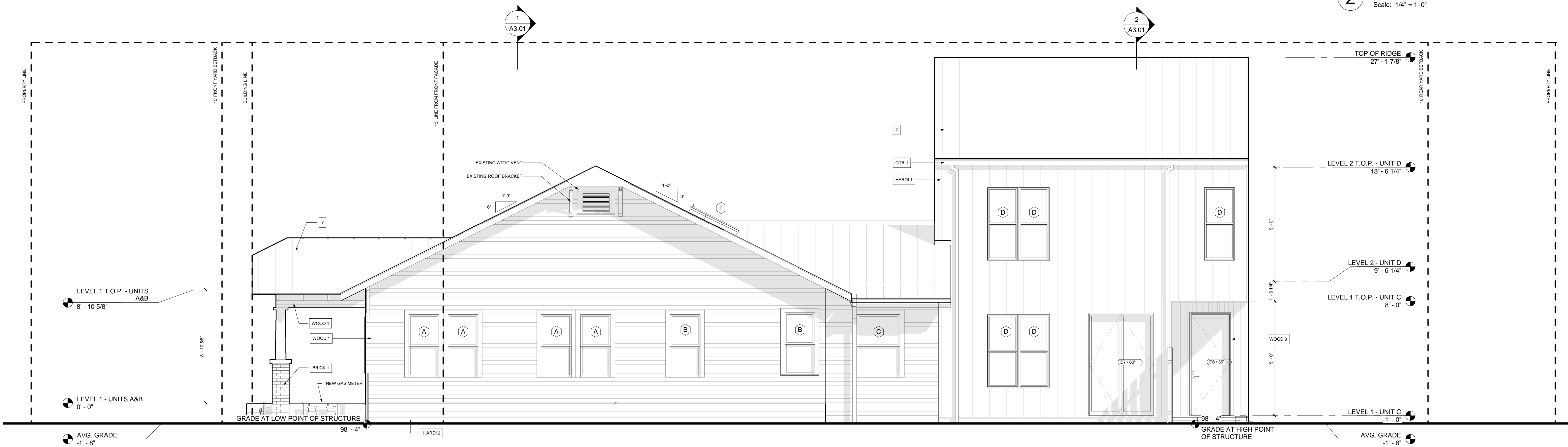
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EXTERIOR MATERIAL LEGEND		
MARK	DESCRIPTION	
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BRICK 1	EXISTING BRICK, PTD.	
CONC 1	CONCRETE WALKWAY	
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GLASS 1	GLAZING	
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM	
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WOOD 3	NEW WOOD SIDING, VERTICAL, STAINED OR PAINTED, COLOR TBD	
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD	



2 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION  
Scale: 1/4" = 1'-0"

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**4006 AVENUE C**  
**AUSTIN, TX 78751**

STAGE

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PROJECT

4008 AVENUE C

4008 AVENUE C  
AUSTIN, TX 78751

STAGE

100% DD

REVISIONS

NUMBER	DATE	DESCRIPTION

DRAWING

SITE PLAN

DATE

06/01/17

PAGE NUMBER

A0.01

NOTE:  
1. FIRE TAPS BY OTHERS.

CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,547	3,000
NEW CONSTRUCTION	963	1,000

#### PROJECT DESCRIPTION

AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR

#### LEGAL DESCRIPTION

LOTS 27 & 28, BLK. 6; HYDE PARK, ADDITION TWO

#### ZONING

ZONING	MF-4-HD-NCCD-NP
LAND USE	MULTI-FAMILY RESIDENTIAL
LOT AREA	5,964.8 SQFT

#### TYPE OF CONSTRUCTION

TYPE V-B

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	1,667	1,951	
SECOND FLOOR CONDITIONED	0	449	
TOTAL ZONING SQ FT (GROSS FLOOR AREA)	1,667 (0.28:1)	2,385 (0.40:1)	2,982 (0.5:1)
COVERED PARKING (GARAGE OR CARPORT)	703	0	
COVERED PATIO, DECK OR PORCH	228	276	
COVERED BALCONY	0	0	
BUILDING SQ FT (FLOOR AREA)	2,598	2,676	7,000
# OF BLDG FLOORS	1	2	
# OF UNITS	5	2	
# PARKING SPACES	4	5	

SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED	1,296	1,298	
EXISTING ADDITION TO BE REPLACED	990	198	
NEW ADDITION	-	465	
EXISTING COVERED AREA	931	228	
NEW COVERED AREA	-	48	
BUILDING COVER SQ FT	3,217	2,237	
PARKING	598	564	
PAVED WALKWAYS	150	34	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	75	6	
AC PADS	9	18	
TOTAL IMPERVIOUS COVER	4,049 (68%)	3,453 (58%)	3,579 (60%)

#### PARKING SUMMARY

PARKING RATIO REQ'D PER UNIT  
- 3 BR  
- 2 BR

2 SPACES  
1.5 SPACES

# SPACES

4 SPACES

ADA SPACES REQUIRED

1 SPACE

20% URBAN CORE REDUCTION

-0.8 SPACES

EXISTING SPACES

2 SPACES

EXISTING REQUIRED SPACES

2 SPACES

GRANDFATHERED DEFICIENCY

0 RATIO

TOTAL REQUIRED (NORMAL + ADA)

4 SPACES

#### KEY

	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

#### TREE PROTECTION NOTES

THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION

PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).

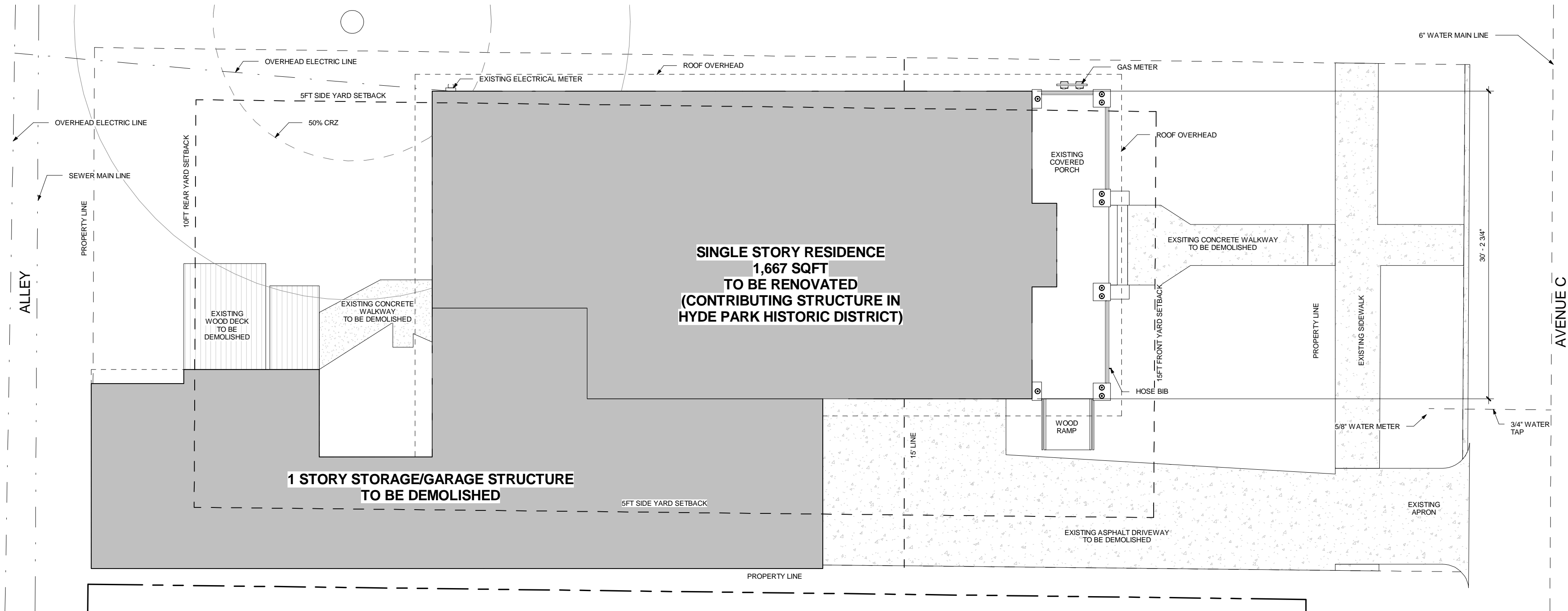
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.

NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.

ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

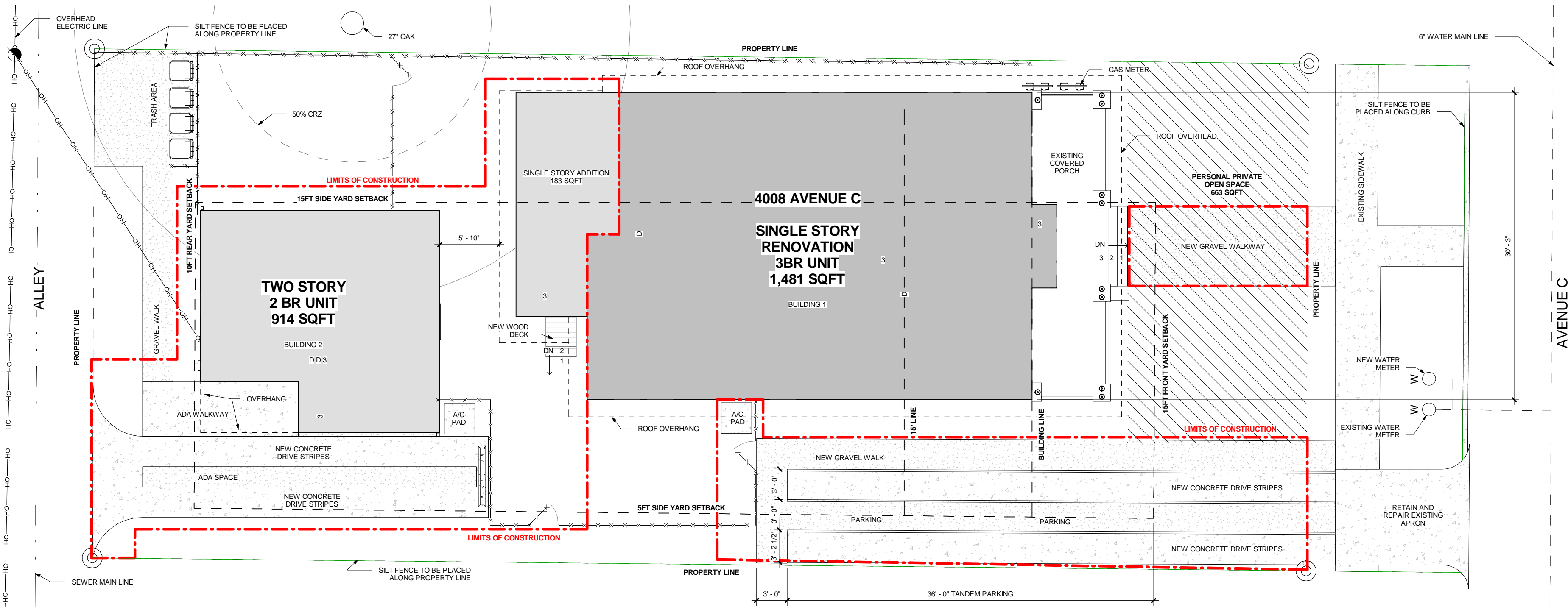
#### GENERAL NOTES - SITE PLAN

- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 8/26/2015.
- ONLY TREES 6" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.



#### 2 SITE PLAN - EXISTING

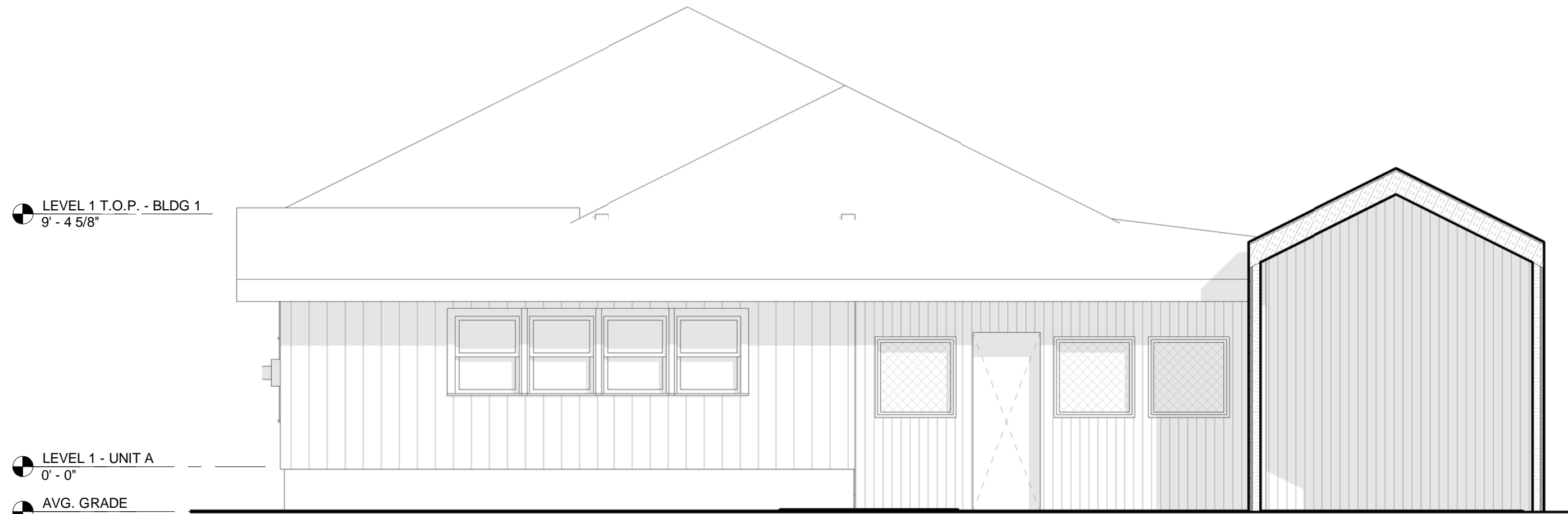
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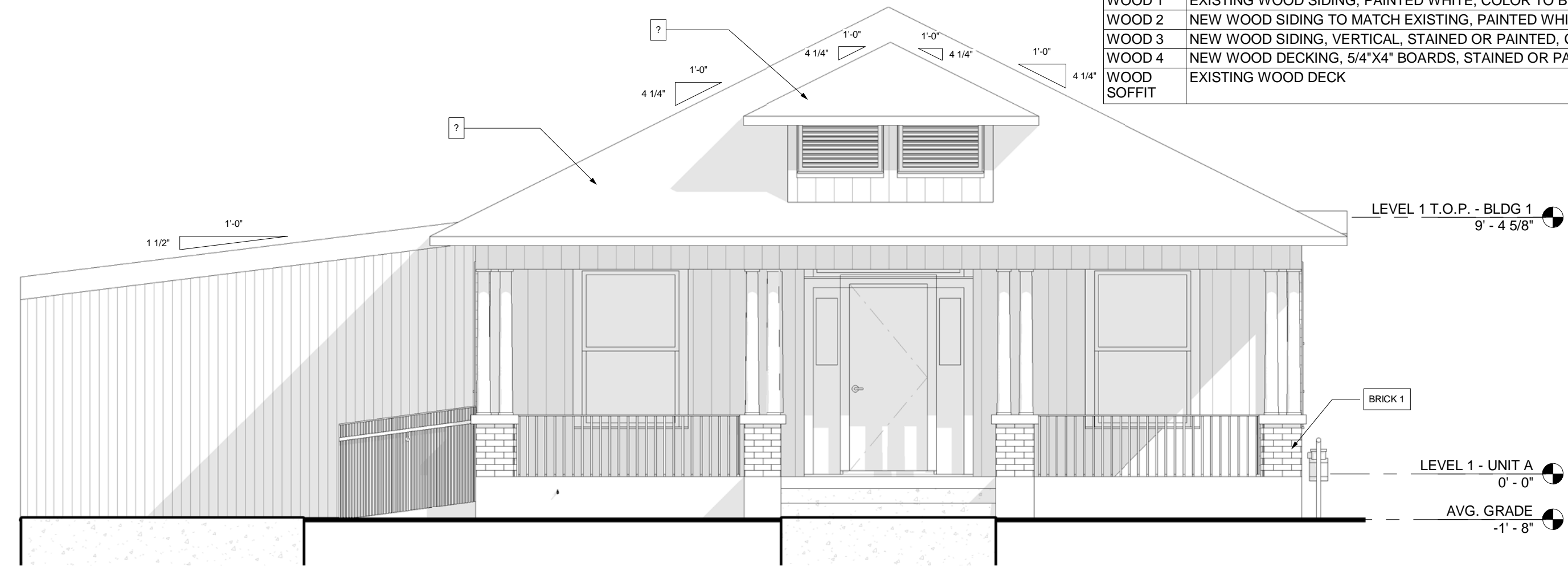
#### 1 SITE PLAN - PROPOSED

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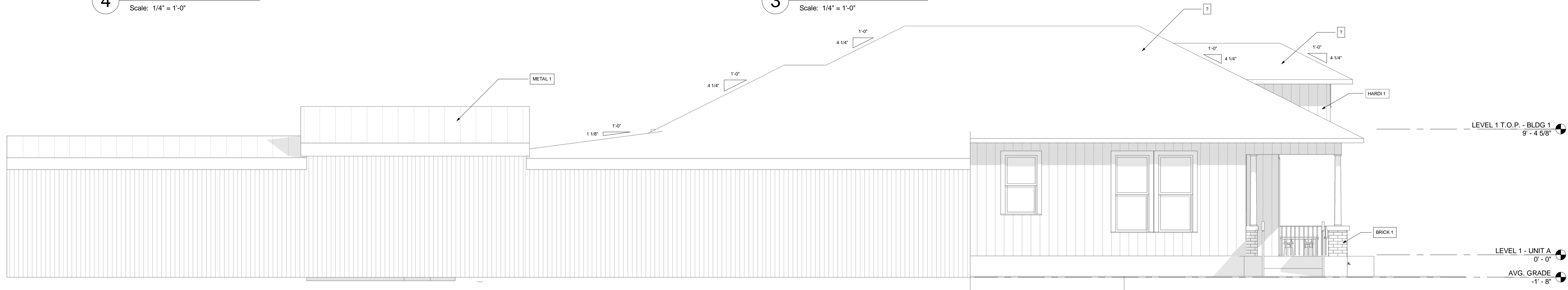




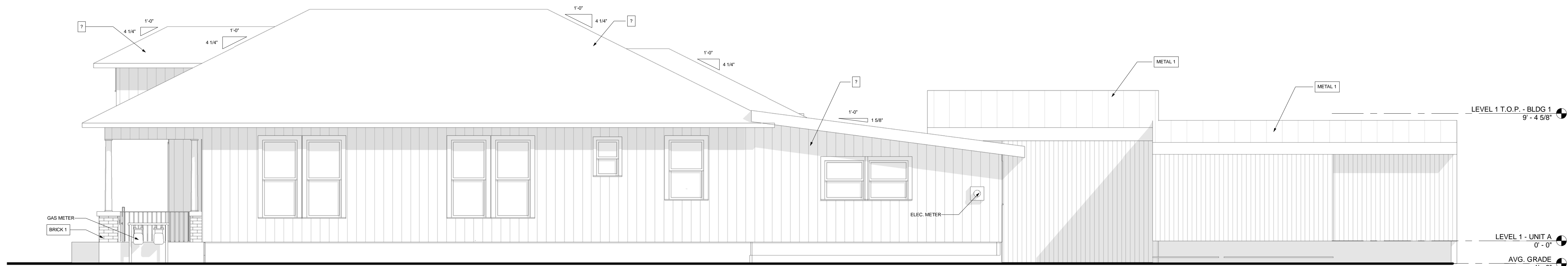
4 WEST ELEVATION, EXISTING  
Scale: 1/4" = 1'-0"



3 EAST ELEVATION, EXISTING  
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION, EXISTING  
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION, EXISTING  
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#### EXTERIOR MATERIAL LEGEND

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GRASS	GRASS SOD
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	FIBER CEMENT PANEL, VERTICAL BOARD & BATTEN
METAL 1	STANDING SEAM METAL ROOF
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WOOD SOFFIT	EXISTING WOOD DECK

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STAGE  
**100% DD**

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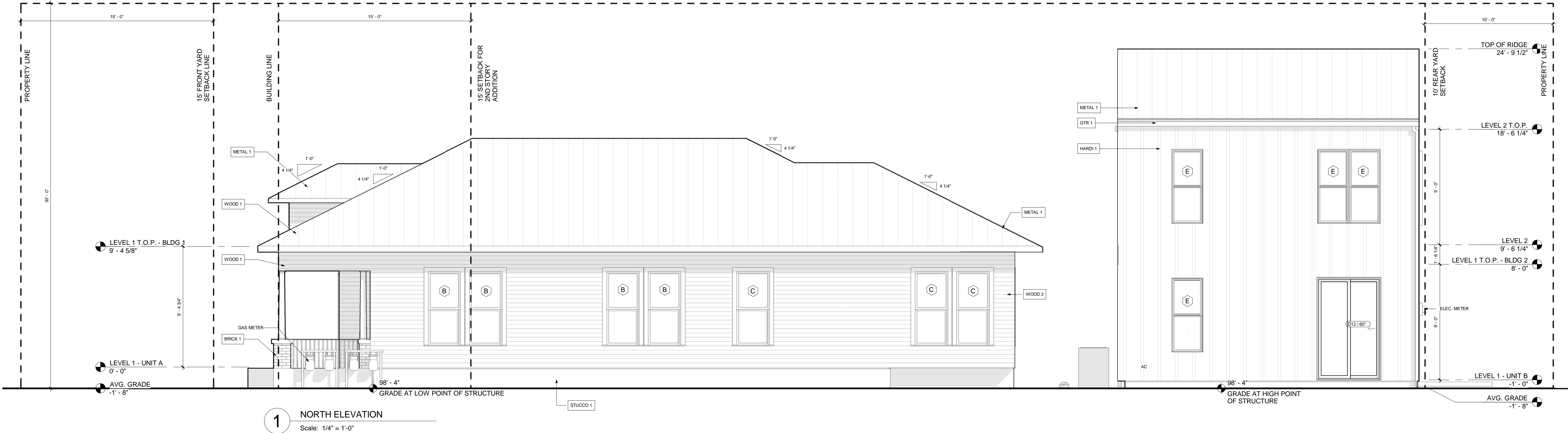
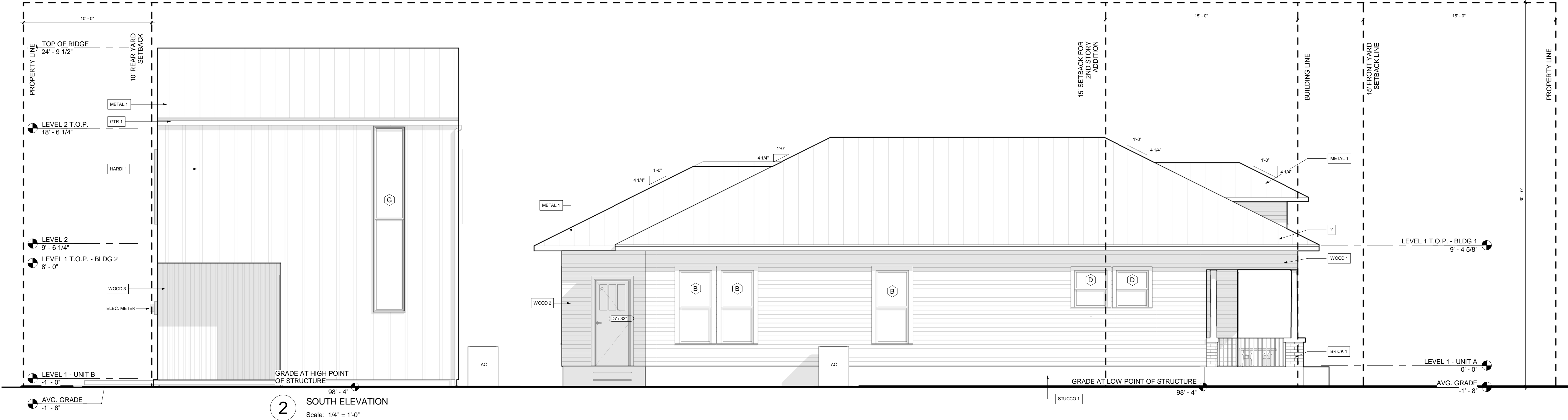
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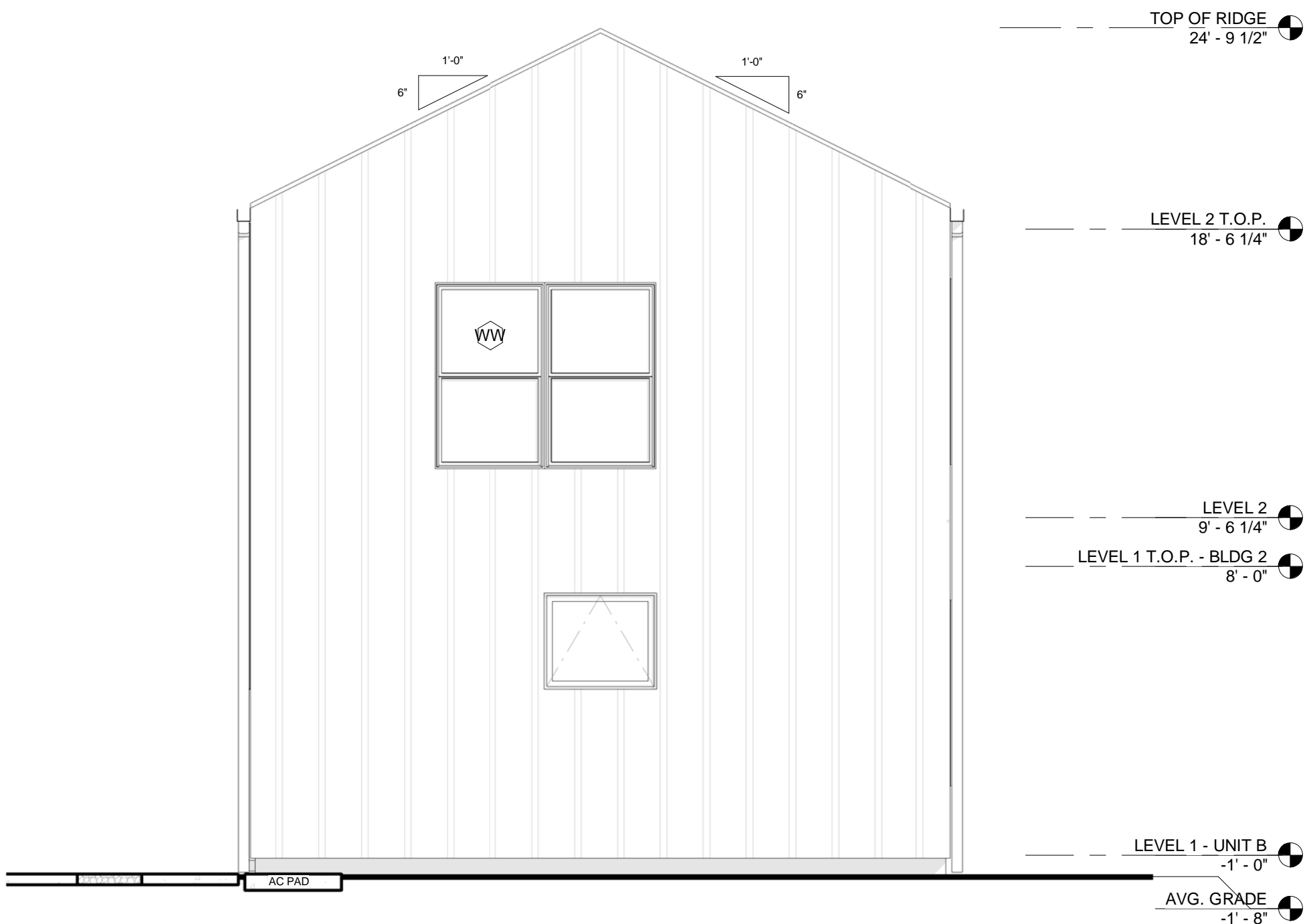
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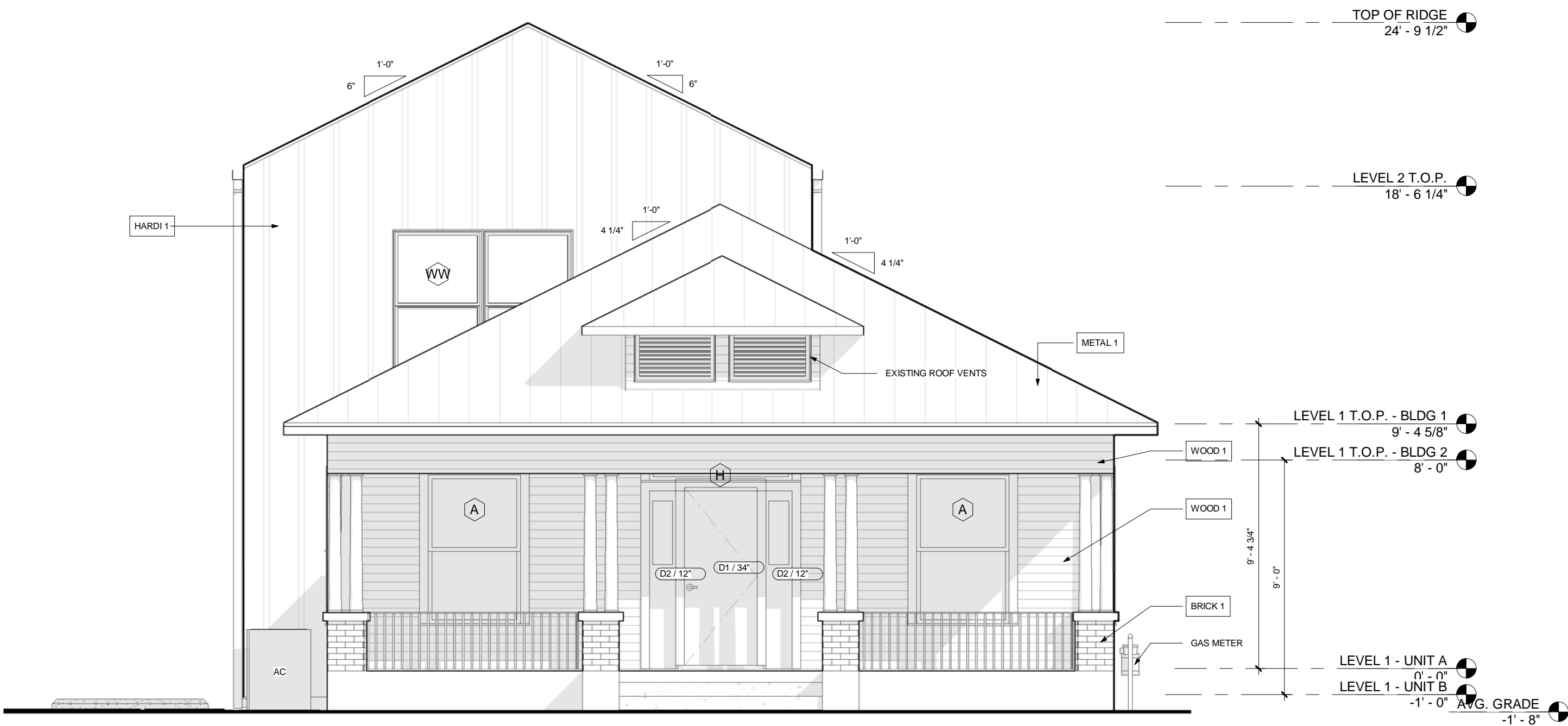
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