



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704, (512) 978-4000

Residential Interior Remodel Permit Application

To complete this form electronically: Open with
Internet Explorer, then [Click Here to Save and continue.](#)

Property Information

Project Address: 808 Baylor St.	Tax Parcel ID#: 106932
Legal Description: N55 FT OF LOT 10-12 BLK A OLT 2 DIV 2 RAYMOND SUBD	Fees from Escrow? ☐ Y ☒ N Escrow Account Row ID:
Zoning District: MF-4-HD-NP	Lot Size (sq ft): 8495
Neighborhood Plan Area (if applicable): OLD WEST MULTI-FAMILY	Historic District (if applicable): Castle Hill

Required Reviews

Is project participating in S.M.A.R.T. Housing? ☐ Y ☒ N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? ☐ Y ☒ N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? ☐ Y ☒ N (If yes, approval through Aviation is required if project proposes exterior modifications)	
Is this property within 200 feet of a hazardous pipeline? ☐ Y ☒ N (If yes, Fire review is required)	
Does this site have a septic system? ☐ Y ☒ N (If yes, OSSF review is required)	
Is this property within 150 feet of the 100 year floodplain? ☐ Y ☒ N (Proximity to floodplain may require additional review time)	
Is there a protected sized tree on this lot or adjacent lot(s)? ☐ Y ☒ N (Only select "yes" if construction is needed outside the building envelope, such as utility trenching for a new bathroom.)	

Description of Work

Is Total Remodeled Floor Area > 5,000 Sq Ft? ☐ Y ☒ N (If yes, construction material recycling is required per LDC 25-11-39)				
Land Use: ☒ Single-Family Residential ☐ Duplex Residential ☐ Two-Family Residential ☐ Other: _____				
Is a "change of use" within the scope of this project? ☐ Y ☒ N If yes, what is the existing use? _____				
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☒ Y ☐ N (Note: Removal of all or part of a structure requires a Demolition Permit Application)				
# baths existing: 2	# baths upon completion: 2	# bedrooms existing: 1	# bedrooms upon completion: 1	Total Remodeled Floor Area: 822

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary)

Remod of the 1st floor bath, laundry, living, and storage space of existing Guest House

Trades Permits Required: ☒ Electric ☒ Plumbing ☒ Mechanical (HVAC) ☐ Concrete (R.O.W.)
(circle as applicable)



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One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Demolition Permit Application

Application Type: ☐ Commercial ☐ Residential

Fee Paid: \$ _____ Submission Date: _____

For Office Use Only – Permit Information

BP- _____ PR- _____ LHD_NRD_HDP- _____ Ca. _____

Referred By: _____ NRHD/LHD: _____

☐ Release Permit

☐ Do Not Release Permit

☐ HLC Review- _____

Historic Preservation Office

Date

IMPORTANT: Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/departments/historic-preservation>).

To complete this form electronically: Open with Internet Explorer, then Click Here to Save and continue.

Submittal Requirements

- ☒ 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page, **OR** a **NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- ☒ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☒ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- ☒ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- ☒ 5. Review Fee (see [fee schedule](#) for applicable fees)

Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

Property Information

Address: 808 Baylor St.
City: Austin Zip: 78703
Current Use: Residential

Demolition Type

☐ Total ☒ Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:

Portion of East, West and south walls for new windows/doors

Demolition Contractor Information

Company: Wilmington-Gordon
Address: 1209 W. 49th St
City: Austin Zip: 78756
Phone: 512-454-7070

Structural Information

Square Feet: 0 (openings for new windows/doors only)
Building Materials: wood framing and associated construction
Foundation Type: concrete slab
Estimated Cost of Demolition: \$2,000

808 BAYLOR, GUEST HOUSE INTERIOR REMODEL

AUSTIN, TEXAS 78703

CULMO RESIDENCE

808 BAYLOR ST

LEGAL DESCRIPTION:
N55 FT OF LOT 10-12 BLK A LOT 2
DIV Z RAYMOND SUBDIVISION

ZONING
MF-4-HD-NP

PROJECT DIRECTORY

OWNER
Matthew and Katy Culmo
808 Baylor St
Austin, TX 78703

ARCHITECT
Mell Lawrence Architects
913 W. Gibson Street
Austin, TX 78704
E: mell@melllawrencearchitects.com
T: 512.441.4669

INTERIOR DESIGN
Kimberly Renner
The Renner Project
3018 N Lamar Blvd
Austin, TX 78705
E: ktr@therennerproject.com
T: 512.524.1334

GENERAL CONTRACTOR
Wilmington Gordon
T: 512.454.7070

STRUCTURAL ENGINEER
Architectural Engineers Collaborative
Karina Tribble
T: 512.472.2111

GEOTECHNICAL ENGINEER
ECS Texas, LLP
2120 Denton Dr, Ste 105,
Austin TX 78758
T: 512-837-8005
C: 512-571-1152
F: 512-837-8221
www.ecslimited.com

LANDSCAPE ARCHITECT
Jackson Broussard
E: jackson@sprout-austin.com

DRAWING INDEX

Sheet # Sheet Name

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AD-101 LEVEL 1 DEMOLITION PLAN
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A-103 ELECTRICAL PLAN
A-204 EXTERIOR ELEVATIONS
A-301 WINDOW TYPES
S100 GENERAL NOTES
S101 GENERAL NOTES
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S300 CONCRETE TYPICAL DETAILS
S310 FOUNDATION DETAILS
S400 MASONRY TYPICAL DETAILS
S500 STEEL TYPICAL DETAILS
S600 WOOD TYPICAL DETAILS
S610 SUPERSTRUCTURE DETAILS

MELL
LAWRENCE
ARCHITECTS

913 W GIBSON ST
AUSTIN, TX 78704
T: 512 . 441 . 4669
T: 512 . 441 . 9125



Michael Lawrence
Professional Engineer
State of Texas
License No. 10332
Expiry Date: May 31, 2017

Professional Engineer
State of Texas
License No. 10332
Expiry Date: May 31, 2017

REVISIONS

DG

DRAWN BY:

31 MAY, 2017

SHEET DATE

PERMIT SET

ISSUE NAME

FLOOR PLAN-DEMO

SHEET TITLE

G101

GENERAL NOTES AND DESIGN INFORMATION

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL "CONTRACT DOCUMENTS", FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION (AS) FROM THE ARCHITECT, BY FIRST WRITING DOWN HIS/HER QUESTIONS AND "SENDING (E., BY FAX) A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.
- ALL WORK NOTED "BY OTHERS" OR "N.T.C." IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR OR HIS/HER SUBCONTRACTORS, AND IS NOT TO BE PART OF THE CONTRACT SUM.
- ALL CONSTRUCTION IS TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS (CITY, STATE AND NATIONAL).
- CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT OWNER'S SITE AND PROPERTY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND PERMITS NECESSARY TO COMPLETE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS.
- PROVIDE FIRESTOPPING IN THE FOLLOWING LOCATIONS:
A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, LEVELS.
B. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND CEILINGS.
HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP
COVE, CEILINGS, ETC.
C. IN CONCEALED SPACES AT STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
D. AT OPENINGS AROUND VENTS, PIPES, CHIMNEYS AND FIRE PLACES, AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS.
- PROTECT ALL TREES WHICH ARE TO REMAIN (RE: SITE PLAN).
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE HAND SECTIONS AND DETAILS.
- SUBMIT TO THE ARCHITECT FOR REVIEW (PRIOR TO CONSTRUCTION) ALL REQUIRED SHOP DRAWINGS, SAMPLES AND PRODUCT INFORMATION AS CALLED FOR BY THE PROJECT SPECIFICATIONS (RE: DIVISION "I").
- REFER TO OWNER'S LEGAL PLAT SURVEY FOR FURTHER INFORMATION REGARDING "IRON RODS FOUND" AND "BASE CORNERS".
- REFER TO OWNER'S SURVEY REGARDING SPECIAL FLOOD HAZARD AREAS (BY FEMA) AND OTHER FLOOD PLAN INFORMATION NOT DESCRIBED IN THE SITE PLAN DRAWING.
- DESIGN SPECIFICATIONS ARE AN INTEGRAL PART OF THESE DRAWINGS.

STANDARD ABBREVIATIONS

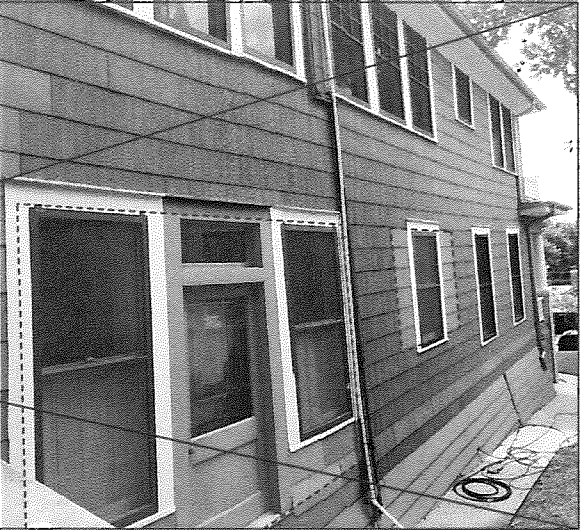
A.F.F. ABOVE FINISH FLOOR	FLUOR. FLUORESCENT	PNT. PAINT
ADDN. ADDITIONAL	F.R. FIRE RETARDANT	P.T. PRESSURE TREATED
A.H.U. AIR HANDLING UNIT	FTG. FOOTING	P.V.C. POLYVINYL CHLORIDE
ALUM. ALUMINUM	FURN. FURNISHING	PR. PAPER
A.B. ANCHOR BOLT	F.V. FIELD VERIFY	Q.T. QUARRY TILE
APPROX. APPROXIMATE	F.F. FINISHED FLOOR	QTR. QUARTER
ARCH. ARCHITECT, ARCHITECTURAL	GA. GAUGE	R. RADIUS, RISER
BM. BEAM	GALV. GALVANIZED	R.D. ROOF DRAIN
BRG. BEARING	GEN. GENERAL	RE. REFER
BLKG. BLOCKING	GL. GLASS, GLAZED	REF. REFERENCE
BD. BOARD	GYP. BD. GYPSUM BOARD	RENF. REINFORCEMENT
BLDG. BUILDING	H.B. HOSE BIBB	REQD. REQUIRED
BL. BUILDING LINE	HC. HANDICAP	RM. ROOM
B. BRICK	H.C. HOLLOW CORE	R.O. ROUGH OPENING
B.O.S. BOTTOM OF STEEL	HD. HEAD	R.H. RIDGE HEIGHT
CAB. CABINET	HDW. HARDWARE	SC. SCALE
CANT. CANTILEVER	HORIZ. HORIZONTAL	S.C. SOLID CORE
CPT. CARPET	HOL. HOLLOW	SCHED. SCHEDULE
CLG. CEILING	H.M. HOLLOW METAL	S.D. SOAP DISPENSER
C.L. CENTERLINE	HT. HEIGHT	SECT. SECTION
C.T. CERAMIC TILE	H.H. HEAD HEIGHT	SHT. SHEET
COL. COLUMN	I.D. INSIDE DIAMETER	SHTG. SHEATHING
CONC. CONCRETE	INSUL. INSULATE; INSULATION	SIM. SIMILAR
C.M.U. CONCRETE MASONRY UNIT	JAN. JANITOR	SP. SPACE
COND. CONDENSOR	JST. JOIST	SPEC. SPECIFICATIONS
C.J. CONTROL JOINT	JNT. JOINT	S/S. STAINLESS STEEL
CONT. CONTINUOUS	LAM. LAMINATE	S.S. SERVICE SINK
CONTR. CONTRACTOR	LAV. LAVATORY	S.S.D. SEE STRUCTURAL DRAWINGS
CIRC. CIRCUITS	L.G. LONG	STD. STANDARD
DET. DETAIL	L.T. LIGHT	STL. STEEL
DIA. DIAMETER	MAS. MASONRY	STRUC. STRUCTURAL
DIM. DIMENSION	MAX. MAXIMUM	SUSP. SUSPENDED
DISP. DISPENSOR	MATL. MATERIAL	TB. TACKBOARD
D.F. DRINKING FOUNTAIN	MECH. MECHANICAL	T.B. TOWEL BAR
DN. DOWN	MET. METAL	T.D. TOWEL DISPENSER
D.S. DOWNSPOUT	MFR. MANUFACTURER	TEL. TELEPHONE
DWG. DRAWING	MIN. MINIMUM	THLD. THRESHOLD
(E). EXISTING	MIR. MIRROR	TOIL. TOILET
EA. EACH	MISC. MISCELLANEOUS	T.P.H. TOILET PAPER HOLDER
E.J. EXPANSION JOINT	M.O. MASONRY OPENING	T.R. TOWEL RECEPTACLE
ELEC. ELECTRICAL	MTD. MOUNTED	TYP. TYPICAL
ELEV. ELEVATION	(N). NEW	T.O.W. TOP OF WALL
ENAME. ENAMEL	N.I.C. NOT IN CONTRACT	T.O.S. TOP OF STEEL
ENVR. ENVIRONMENT	N.V. NAKIN VENDOR	U.N.O. UNLESS NOTED OTHERWISE
EQUIP. EQUIPMENT	NOM. NOMINAL	V.C.T. VINYL COMPOSITION TILE
EA. EACH WAY	O.C. ON CENTER	V.T.R. VERTICAL THRU THE ROOF
EXP. EXPANSION	O.D. OUTSIDE DIAMETER	VEST. VESTIBULE
EXT. EXTENSION	OFF. OFFICE	W. WITH
EXH. EXHAUST FAN	OPNG. OPENING	WD. WOOD
F.D. FLOOR DRAIN	OPP. OPPOSITE	WND. WINDOW
FND. FOUNDATION	O.T.O. OUT TO OUT	W.H. WATER HEATER
FG. FIRE EXTINGUISHER CASE	PC. PIECE	W/R. WATER RESISTANT
F. FINISH	PL. PLATE	W.W.M. WELDED WIRE MESH
FIX. FIXTURE	P.LAM. PLASTIC LAMINATE	
FLEX. FLEXIBLE	PLUMB. PLUMBING	
FL. FLOOR	PNLG. PANELING	
	POLY. POLYETHYLENE	



MAIN HOUSE - EAST - BAYLOR STREET



MAIN HOUSE - NORTH - WEST 9TH STREET



MAIN HOUSE - SOUTH-SIDEYARD



MAIN HOUSE - WEST-COURTYARD



GUEST HOUSE - NORTH - WEST 9TH STREET



GUEST HOUSE - EAST-COURTYARD



GUEST HOUSE - NORTHWEST-SIDEYARD

DASHED LINE INDICATES
AREA TO BE DEMOLISHED



CULMO RESIDENCE
808 BAYLOR ST

MELL
LAWRENCE
ARCHITECTS
313 W GIBSON ST
AUSTIN, TX 78704
T: 512.441.4669
T: 512.441.9125



REVISIONS

DG

DRAWN BY:

31 MAY, 2017

SHEET DATE

PERMIT SET

ISSUE NAME

Site Photos

SHEET TITLE

WEST 9TH STREET

CULMO RESIDENCE

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REVISIONS:

DG

DRAWN BY:

31 MAY, 2017

SHEET DATE

PERMIT SET

ISSUE NAME:

ARCHITECTURAL SITE PLA

SHEET TITLE

PROPERTY ADDRESS:
808 BAYLOR ST.
AUSTIN, TX 78703

LEGAL DESCRIPTION:
N55 FT OF LOT 10-12 BLK A LOT 2
DIV Z RAYMOND SUBDIVISION

ZONING
MF-4-HD-NP

BAYLOR STREET

LOT 9
WIGGINGTON
VOL. 7987 PG. 553

LOT 10

806 BAYLOR

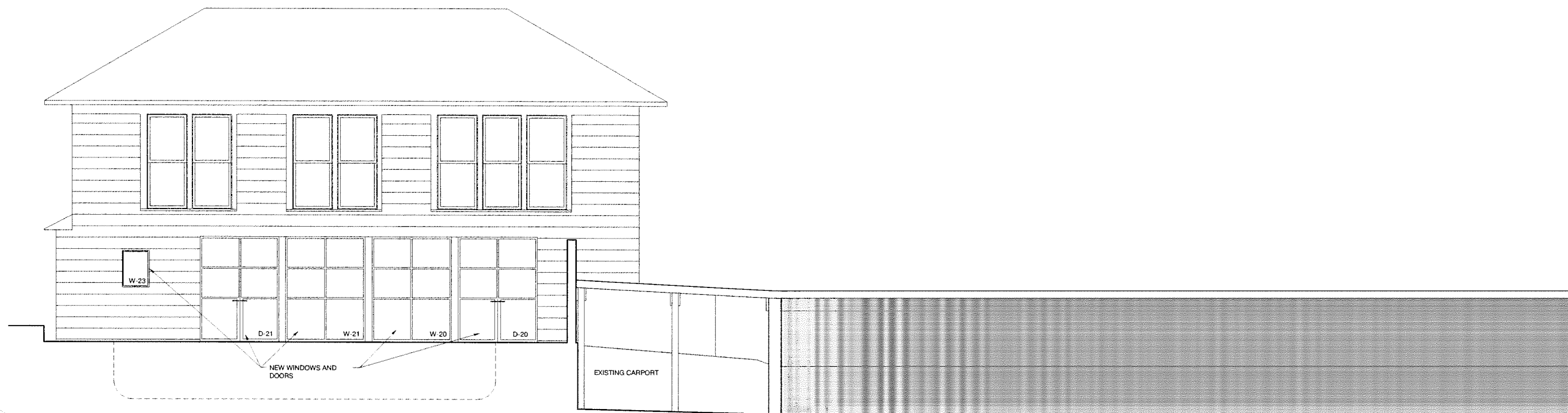
LOT 11

VOL. 7618 PG. 165
WITTLIFF

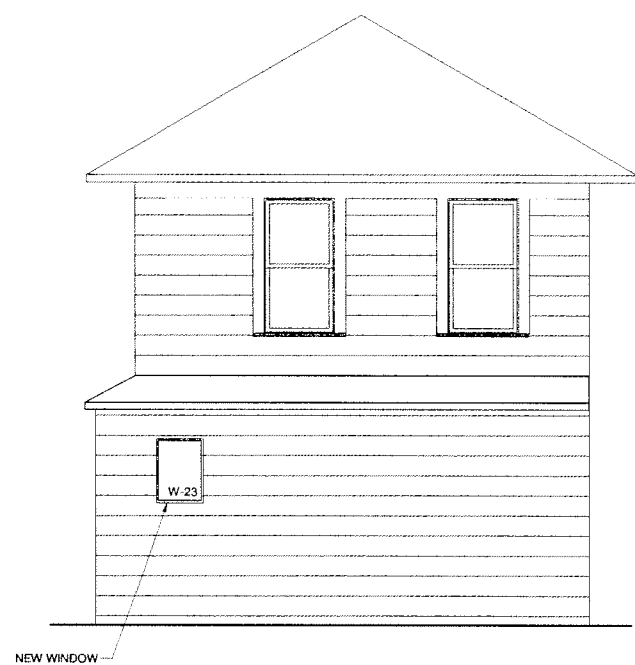
LOT 12



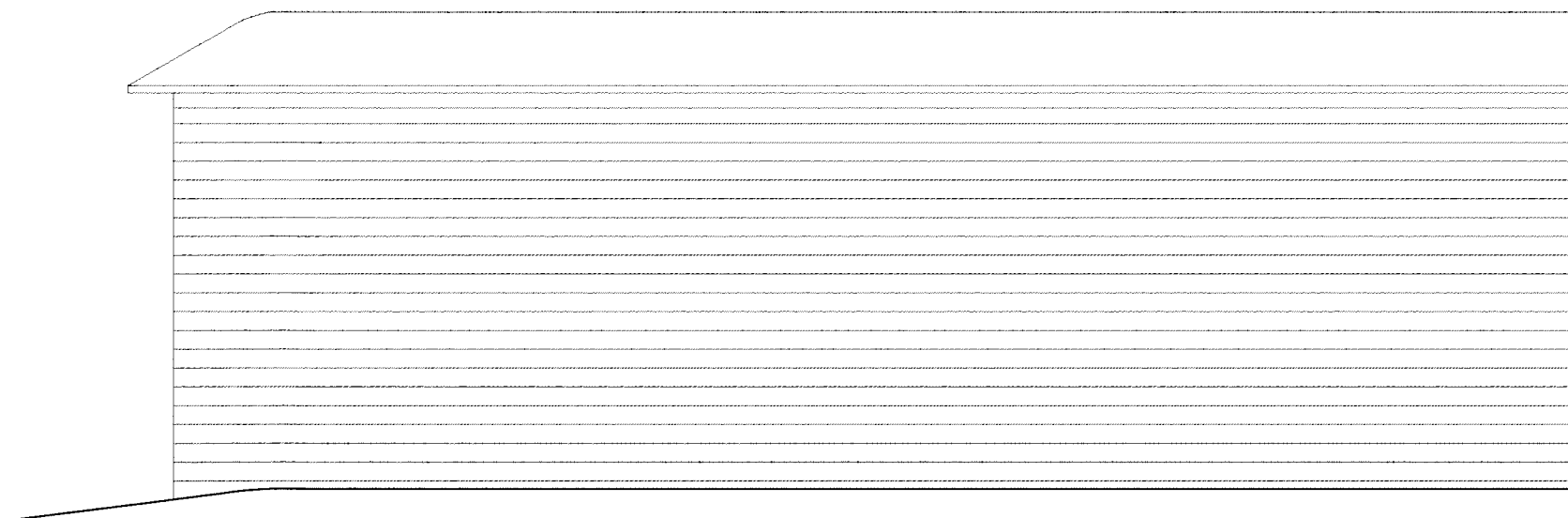
1
ARCHITECTURAL SITE PLAN
Scale: 3/16" = 1'-0"



2 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



5 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



4

MELL
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T: 512.441.9125



Notes:
Contractor and Subcontractors are responsible for confirming and complying with all applicable codes and regulations for construction materials, methods, techniques, and practices, or for obtaining necessary permits and approvals from the appropriate authorities.

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DG

DRAWN BY:

31 MAY, 2017

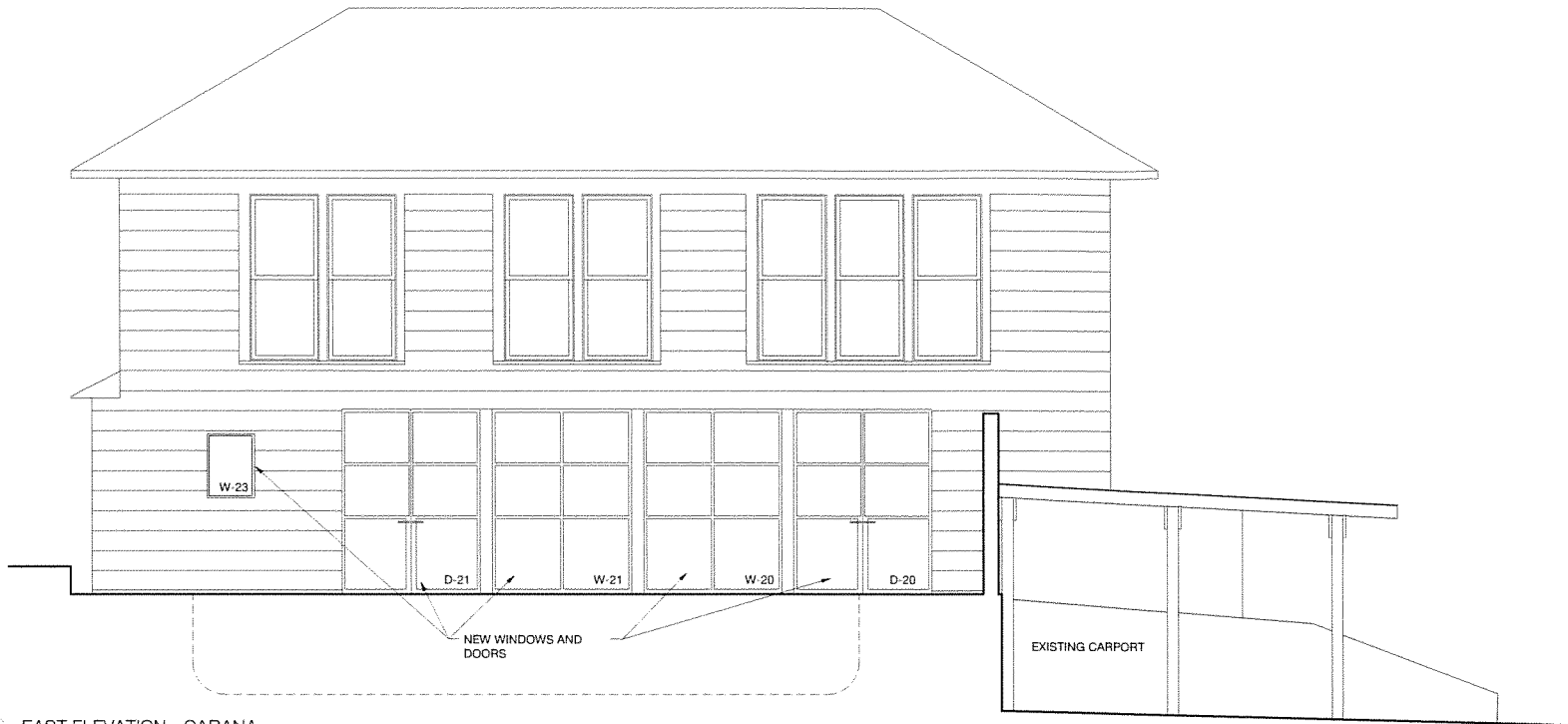
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PERMIT SET

ISSUE NAME:

ELEVATION

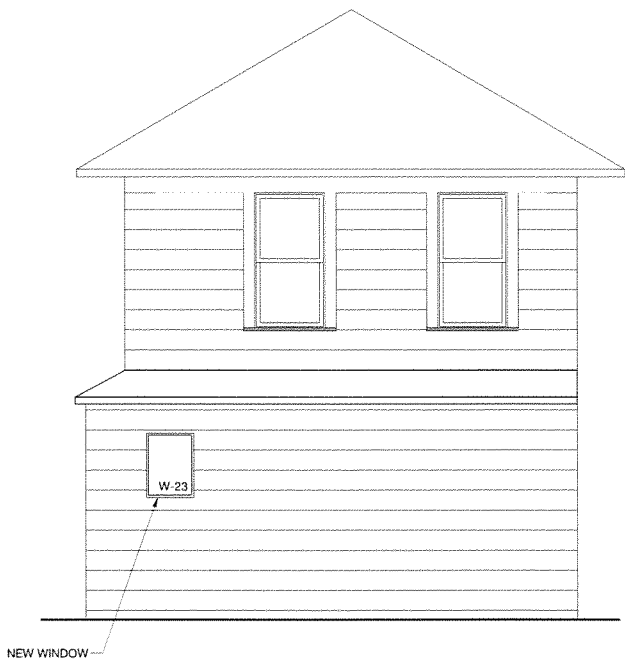
SHEET TITLE



2 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



3 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



5 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



4 EAST ELEVATION - CABANA
Scale: 1/4" = 1'-0"



Notes:
Contractor and Subcontractors are responsible for confirming and obtaining all necessary permits and approvals. The Architect is not responsible for construction details, materials, workmanship, or for the performance or the safety of the construction or products used in the project construction. Contractor and all Subcontractors are responsible for their code compliance.
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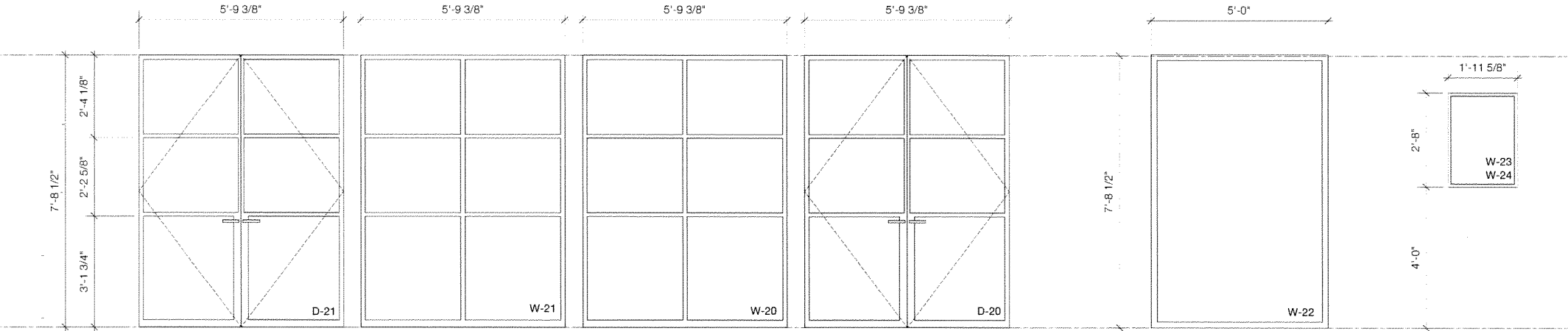
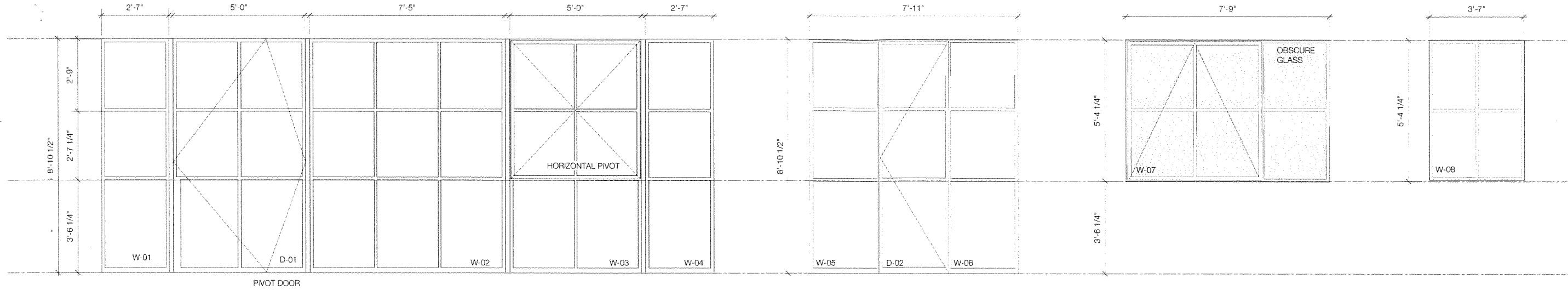
SHEET DATE:

PERMIT SET

ISSUE NAME:

EXTERIOR WINDOW
& DOOR TYPES

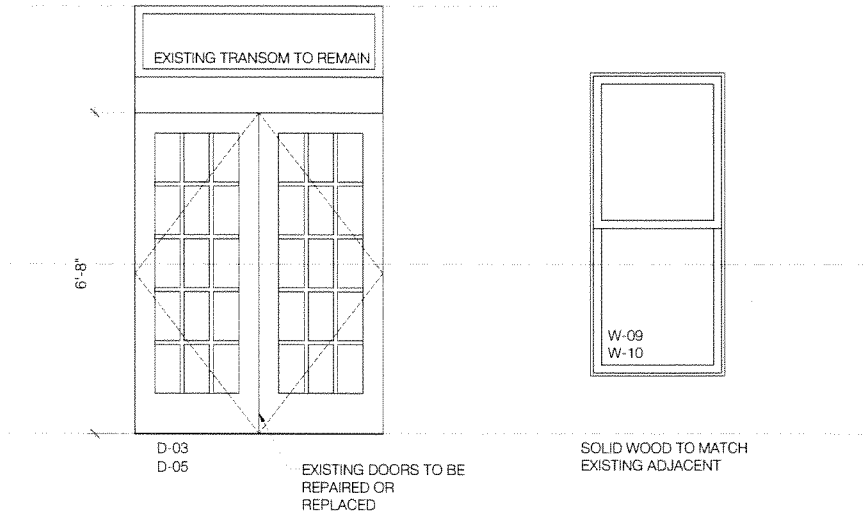
SHEET TITLE



1 EXTERIOR STEEL WINDOW & DOOR TYPES
Scale: 1/2" = 1'-0"

GENERAL NOTES

1. STEEL WINDOWS SHALL BE THERMALLY BROKEN SYSTEM
2. GLAZING SHALL BE 1" SOLARBAN 60 W/ LOW-E COATING, TYP. OF NEW
3. PROVIDE SAFETY GLASS WHERE REQ'D



3 EXTERIOR WOOD WINDOW TYPES
Scale: 1/2" = 1'-0"