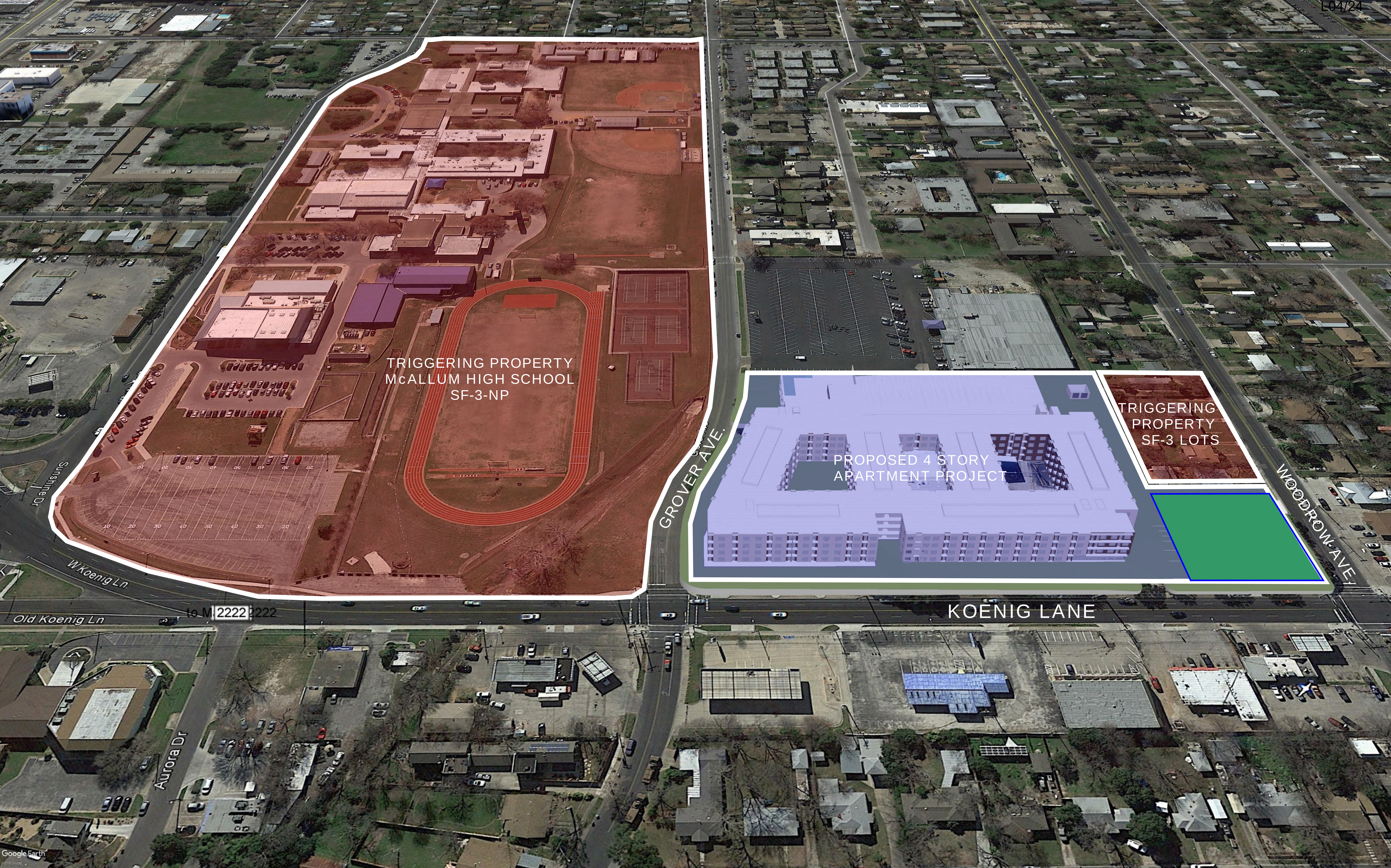




TRIGGERING PROPERTY
McALLUM HIGH SCHOOL
SF-3-NP

PROPOSED 4 STORY
APARTMENT PROJECT

TRIGGERING
PROPERTY
SF-3 LOTS

GROVER AVE.

WOODROW AVE.

KOENIG LANE

to M 2222 2222

W Koenig Ln

2222

Woodrow Ave

Grover Ave

PROPOSED PROJECT

SF-3 LOTS

65'

PROPOSED PROJECT'

159'

105'

TRIGGERING
SF3 LOT

530'

Grover Ave



GROVER AVE. LOOKING
TOWARDS KOENIG LANE



GROVER AVE.

KOENIG LANE

GROVER AVE.

KOENIG LANE











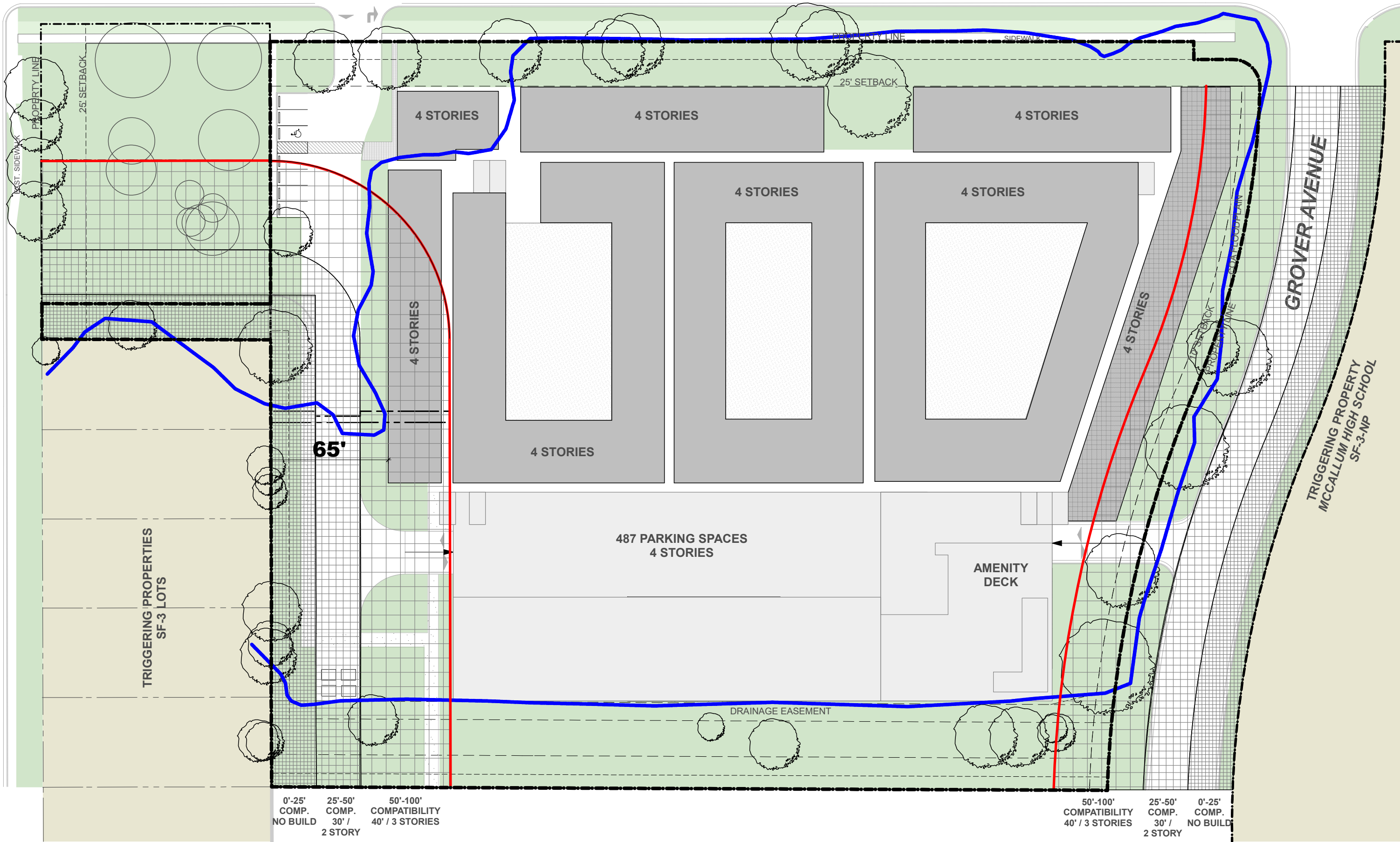
KOENIG LANE

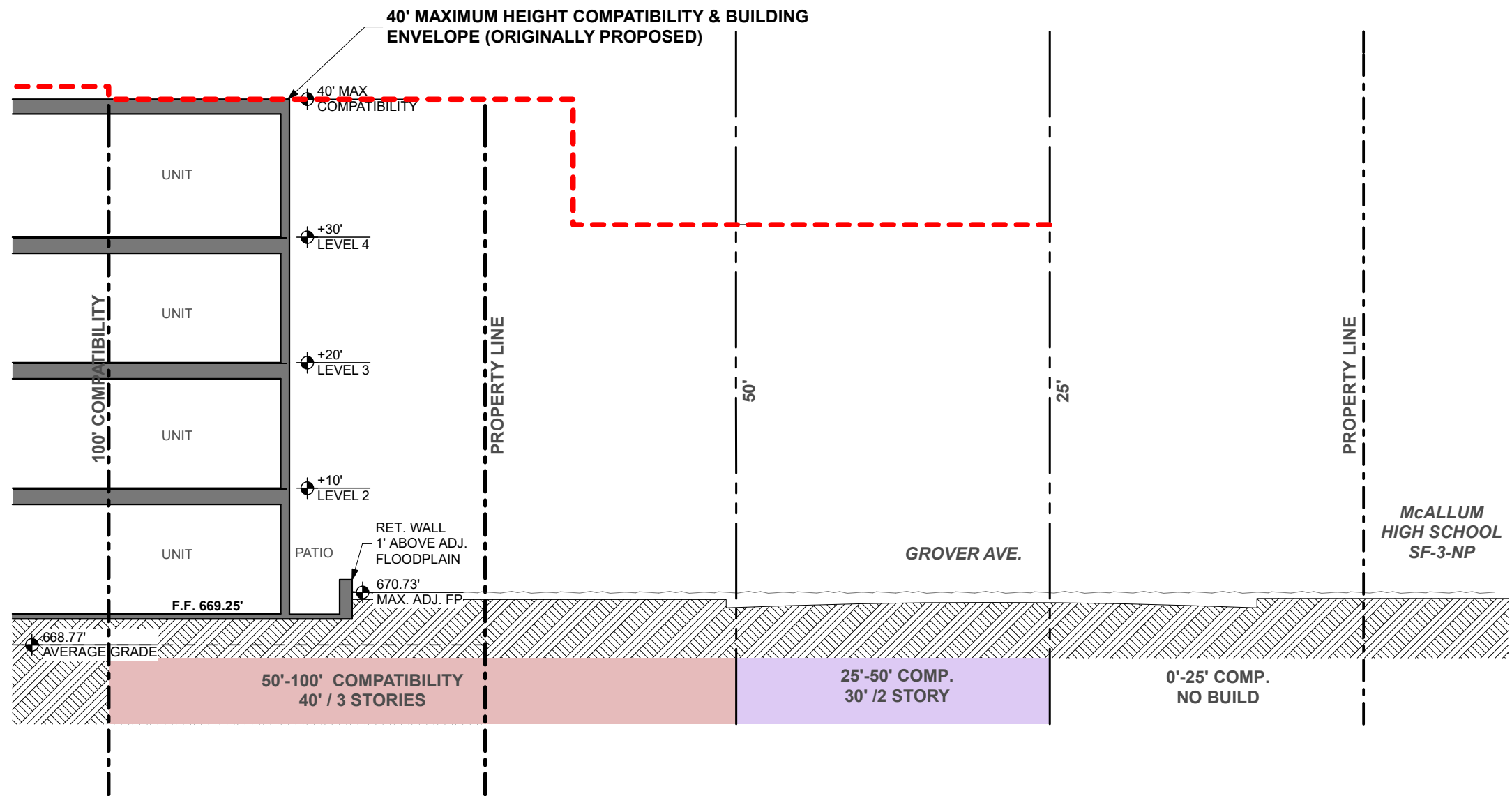
KOENIG LANE

WOODROW AVE.
Woodrow Ave

WOODROW AVENUE

KOENIG LANE

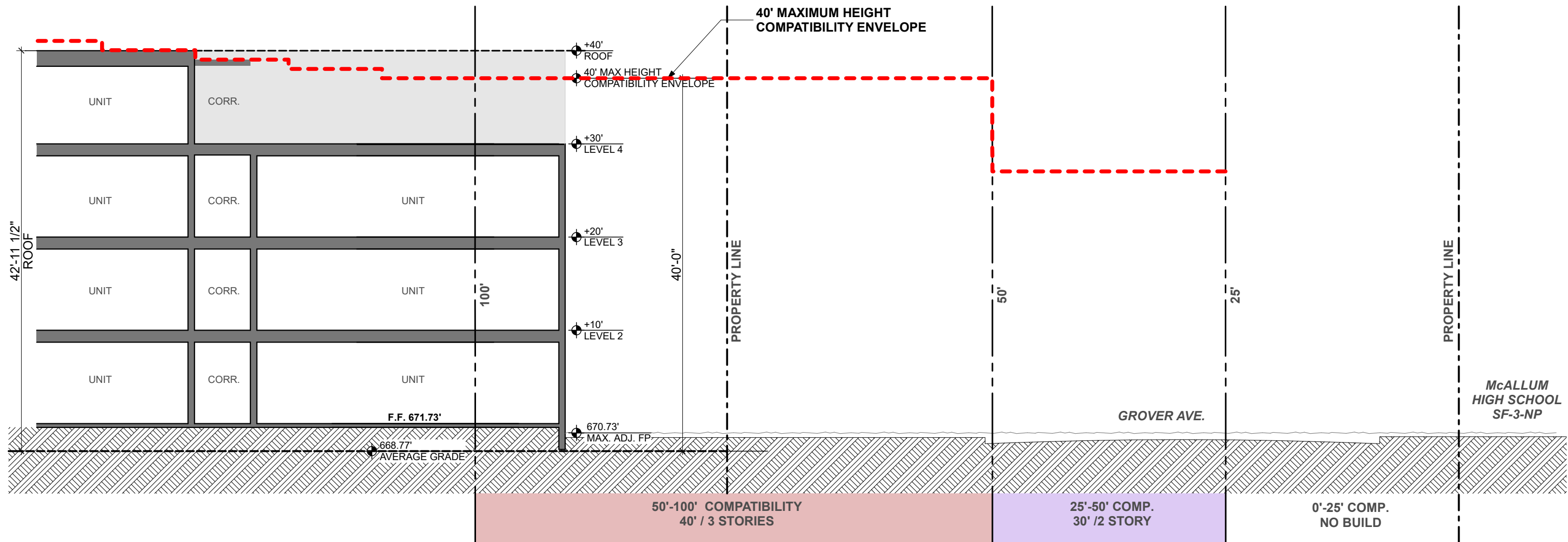




ORIGINALLY PROPOSED COMPATIBILITY - GROVER AVE

SCALE : 1" = 25'

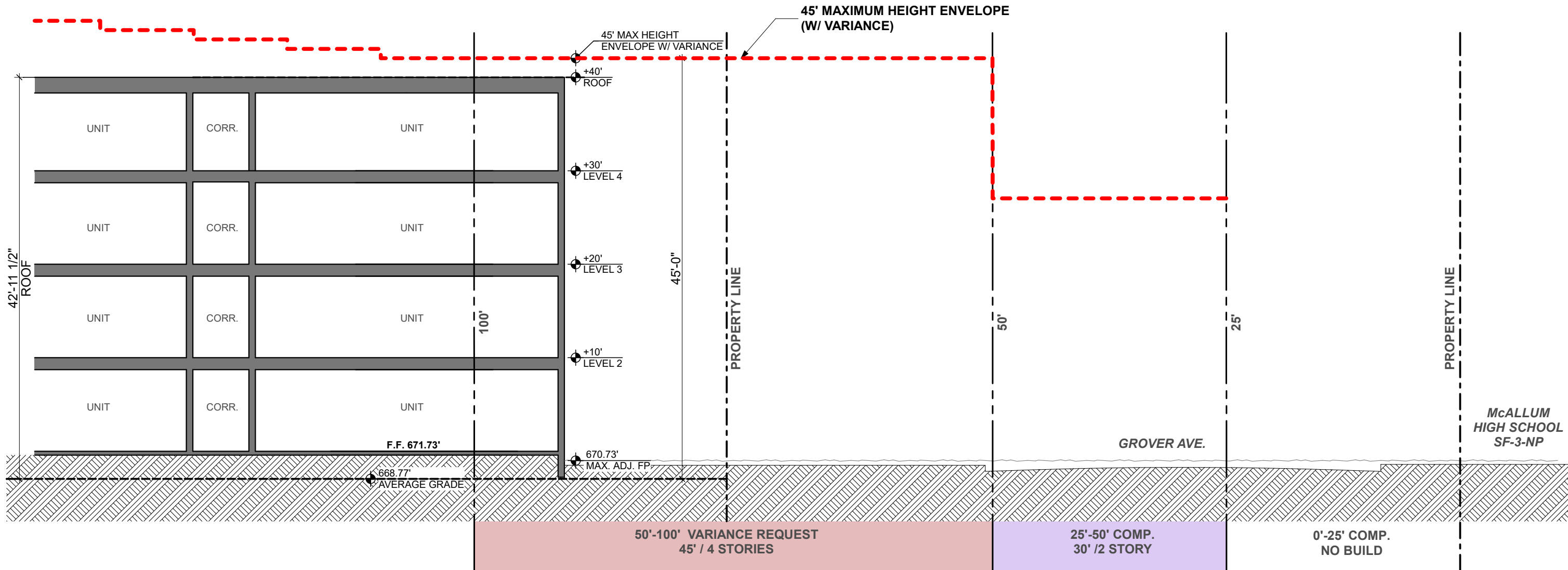
1



EXISTING COMPATIBILITY - GROVER AVE

SCALE : 1" = 25'

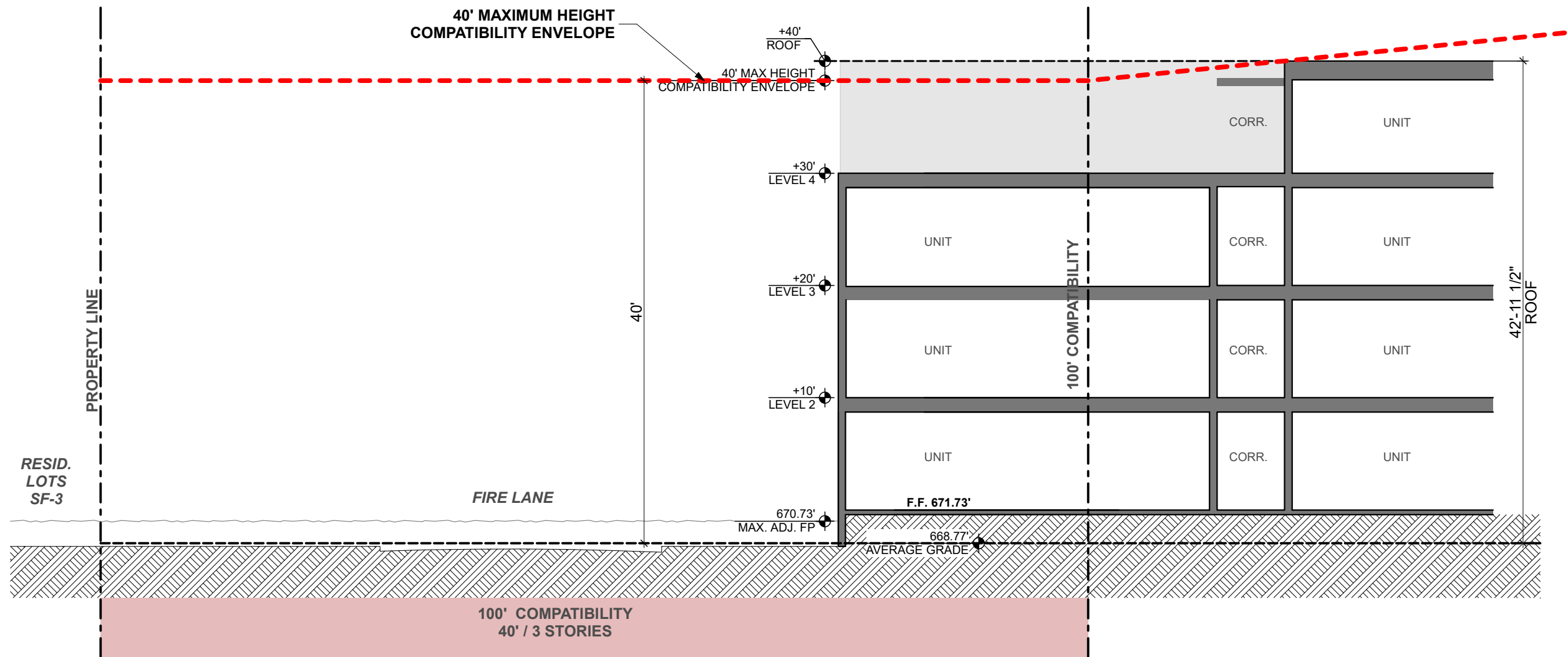
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PROPOSED COMPATIBILITY - GROVER AVE

SCALE : 1" = 25'

1

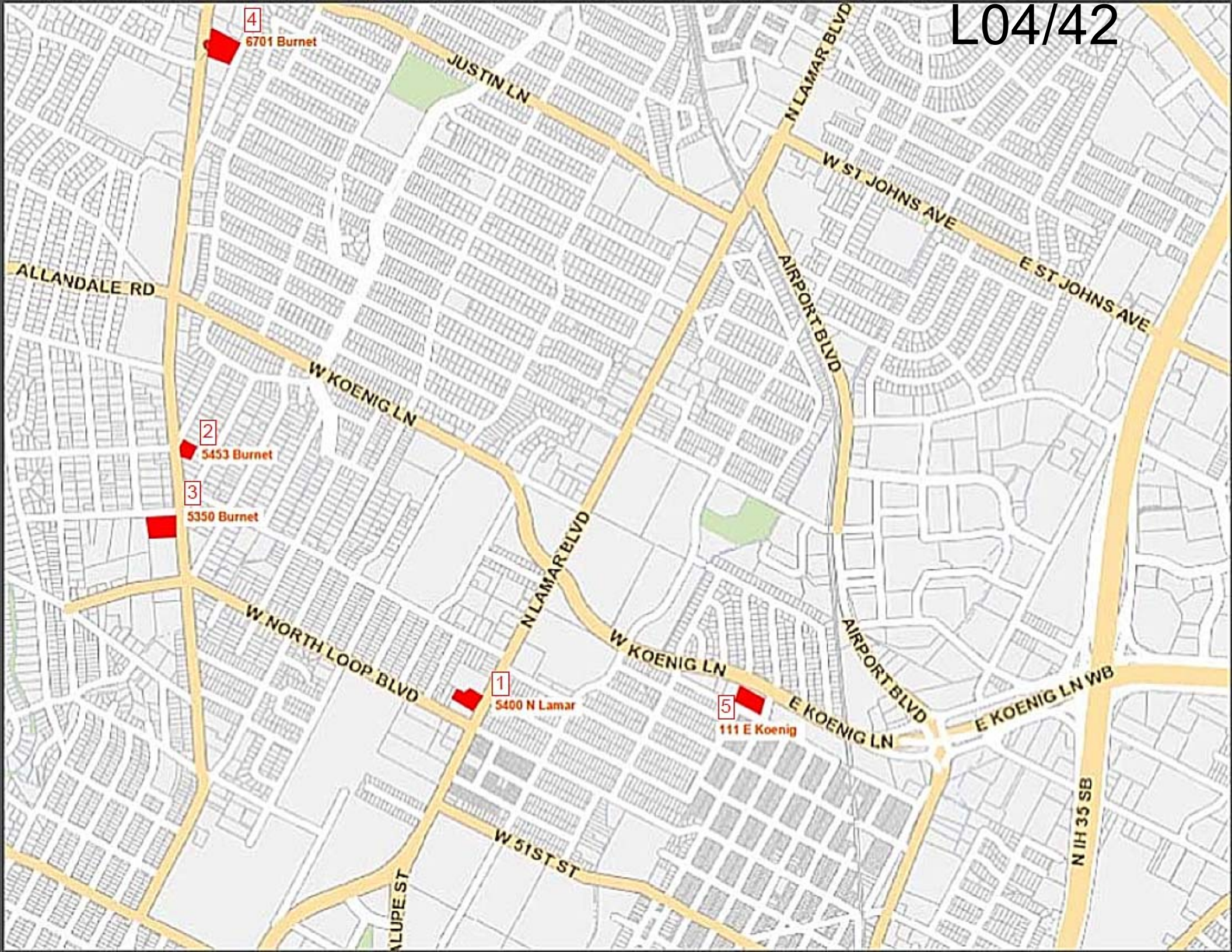


EXISTING COMPATIBILITY - WOODROW AVE

SCALE : 1" = 25'

1





Development Standards Peer Apartments (Koenig Lane, North Lamar, Burnet Road)

		Address	Total Units	Acreage	Density (u/ac)	Height	Stories
1.	Camden Lamar Heights	5400 North Lamar	314	4.65	68	60' (mostly 40')	3, 4 & 5 (mostly 4)
2.	Burnet Flats	5453 Burnet Road	179	2.31	77	30'/40'/50'	3, 4 & 5
3.	AMLI 5350	5350 Burnet Road	175	2.38	74	37'/47'	3 & 4 (mostly 4)
4.	Burnet Marketplace	6701 Burnet Road	343	3.9	88	50'/60'	4 & 5 (mostly 5)
5.	West Koenig Flats	111 E Koenig Lane	210	2.37	89	40'/40+'	3 & 4

AVG	79
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Development Standards – Proposed Apartments 1301 Koenig Lane

	Property	Address	Total Units	Acreage	Density (u/ac)	Height	Stories
	1301 Koenig	1301 Koenig Lane	391	5.415	72	40'	4

Re: Board of Adjustment Case C15-2017-0018, 1301 West Koenig Lane

The Brentwood Neighborhood Association voted on April 5, 2017 to support these specific variance requests pertaining to the redevelopment at 1301 West Koenig Lane:

1. The compatibility setback on the Grover frontage, which is across the street from the McCallum High School (zoned SF-3, which is triggering the setback). No waivers are supported for the Woodrow frontage.
2. We support the height variance to 45' because of flooding concerns expressed by City of Austin Staff.
3. We support the variance to build higher fencing along the boundary with the single-family housing on Woodrow.

A handwritten signature in black ink, appearing to read "Bill Spiesman".

Bill Spiesman
President

PUBLIC HEARING INFORMATION

Although applicants and/or their agent(s) are expected to attend a public hearing, **you are not required to attend**. However, if you do attend, you have the opportunity to speak **FOR** or **AGAINST** the proposed application. You may also contact a neighborhood or environmental organization that has expressed an interest in an application affecting your neighborhood.

During a public hearing, the board or commission may postpone or continue an application's hearing to a later date, or recommend approval or denial of the application. If the board or commission announces a specific date and time for a postponement or continuation that is not later than 60 days from the announcement, no further notice will be sent.

A board or commission's decision may be appealed by a person with standing to appeal, or an interested party that is identified as a person who can appeal the decision. The body holding a public hearing on an appeal will determine whether a person has standing to appeal the decision.

An interested party is defined as a person who is the applicant or record owner of the subject property, or who communicates an interest to a board or commission by:

- delivering a written statement to the board or commission before or during the public hearing that generally identifies the issues of concern (*it may be delivered to the contact person listed on a notice*); or
- appearing and speaking for the record at the public hearing; and:

- occupies a primary residence that is within 500 feet of the subject property or proposed development;
- is the record owner of property within 500 feet of the subject property or proposed development; or
- is an officer of an environmental or neighborhood organization that has an interest in or whose declared boundaries are within 500 feet of the subject property or proposed development.

A notice of appeal must be filed with the director of the responsible department no later than 10 days after the decision. An appeal form may be available from the responsible department.

For additional information on the City of Austin's land development process, visit our web site: www.austintexas.gov/devservices

Written comments must be submitted to the contact person listed on the notice before or at a public hearing. Your comments should include the name of the board or commission, or Council; the scheduled date of the public hearing; the Case Number; and the contact person listed on the notice. **All comments received will become part of the public record of this case.**

Case Number: C15-2017-0018, 1301 W. Koenig Lane

Contact: Leane Heldenfels, 512-974-2202, leane.heldenfels@austintexas.gov

Public Hearing: Board of Adjustment, April 10th, 2017

Jennifer Sanders
Your Name (please print)

☐ I am in favor
☒ I object

1301 Alamo Rd Austin, TX 78757
Your address(es) affected by this application

Jennifer Sanders 4/10/17
Signature Date

Daytime Telephone: (512) 795-8487

Comments: I'm concerned about an

apartment complex being built
if that is what is being proposed
Due the traffic and additional
congestion this will bring to
the area.

Comments must be returned by noon the day of the hearing to be seen by the Board at this hearing. They may be sent via:

Mail: City of Austin-Development Services Department/ 1st Floor

Leane Heldenfels

P. O. Box 1088

Austin, TX 78767-1088

(Note: mailed comments must be postmarked by the Wed prior to the hearing to be received timely)

Fax: (512) 974-6305

Email: leane.heldenfels@austintexas.gov