

NOTE:
1. FIRE TAPS BY OTHERS.

CONSTRUCTION AREAS	PROPOSED (SQFT)	ALLOWED (SQFT)
LIMITS OF CONSTRUCTION	2,596	3,000
NEW CONSTRUCTION	992	1,000

PROJECT DESCRIPTION
AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A TWO STORY ADDITION AT THE REAR
LEGAL DESCRIPTION
THE NORTH 5' OF LOT 22 & ALL OF LOT 23 & THE SOUTH 23' OF LOT 24, BLK. 6; HYDE PARK, ADDITION TWO

ZONING	
ZONING	MF-4-HD-NCCD-NP & SF-3-HD-NCCD-NP
LAND USE	MULTI-FAMILY RESIDENTIAL
LOT AREA	6,332 SQFT

TYPE OF CONSTRUCTION
TYPE V-B

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	1,650	1,928	
SECOND FLOOR CONDITIONED	0	813	
TOTAL ZONING SQ FT (GROSS FLOOR AREA)	1,650 (0.26:1)	2,741 (0.43:1)	3,106 (0.5:1 MF-4, 0.4:1 SF-3)
COVERED PARKING (GARAGE OR CARPORT)	0	0	
COVERED PATIO, DECK OR PORCH	35	143	
COVERED BALCONY	0	0	
BUILDING SQ FT (FLOOR AREA)	1,685	2,883	7,000
# OF BLDG FLOORS	1	2	
# OF UNITS	5	4	
# PARKING SPACES	4	6	

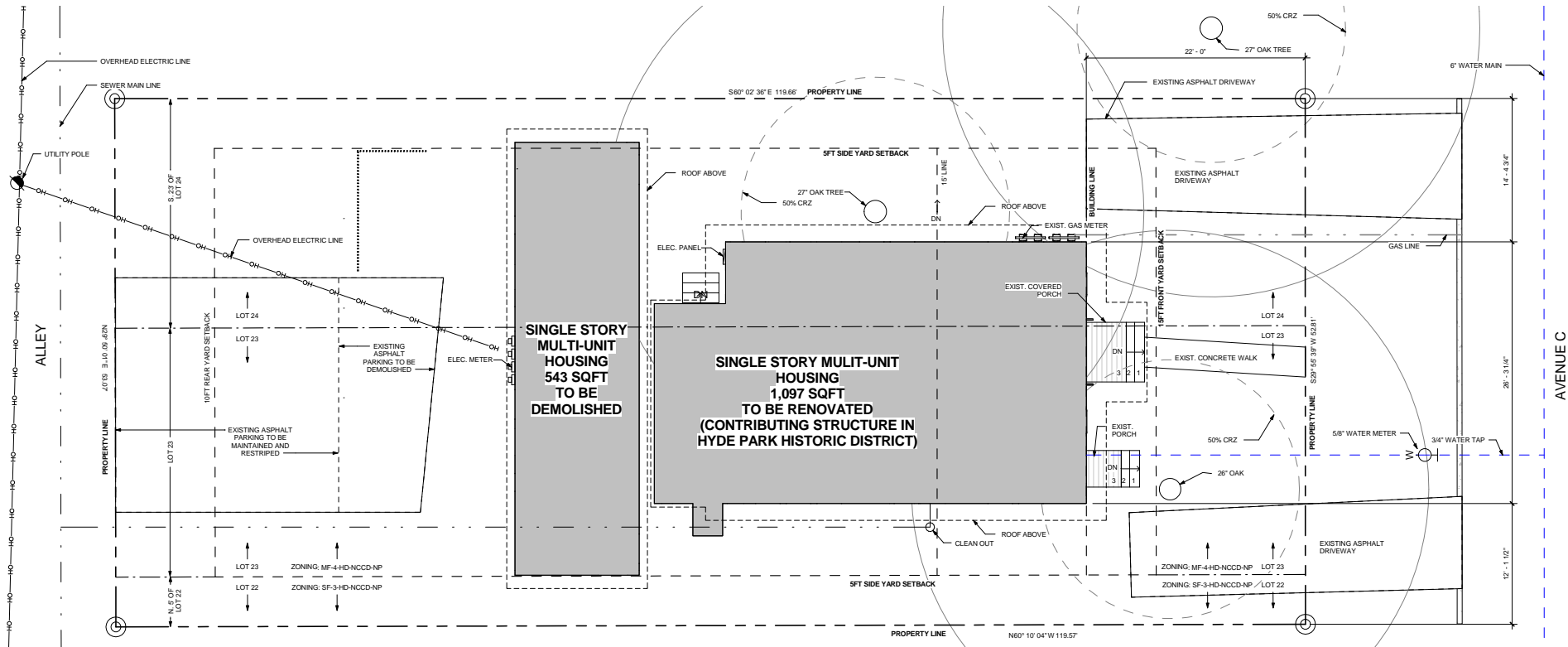
SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOV'TD	1,097	1097	
EXISTING ADDITION TO BE REPLACED	543	-	
NEW ADDITION	-	834	
EXISTING COVERED AREA	35	35	
NEW COVERED AREA	-	122	
BUILDING COVER SQ FT	1,675	2,088	
PARKING	1,111	1,308	
PAVED WALKWAYS	49	116	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	20	24	
AC PADS	0	36	
TOTAL IMPERVIOUS COVER	2,855 (50%)	3,512 (55.5%)	3,710 (60% MF-4, 45% SF-3)

PARKING SUMMARY	
PARKING RATIO REQ'D PER UNIT	1.5 SPACES 2 SPACES
1 BR	
2 BR	
# SPACES	6.5 SPACES
ADA SPACES REQUIRED	1 SPACE
20% URBAN CORE REDUCTION	-1.3 SPACES
TOTAL REQUIRED (NORMAL + ADA)	6 SPACES = (6.5-1.3)

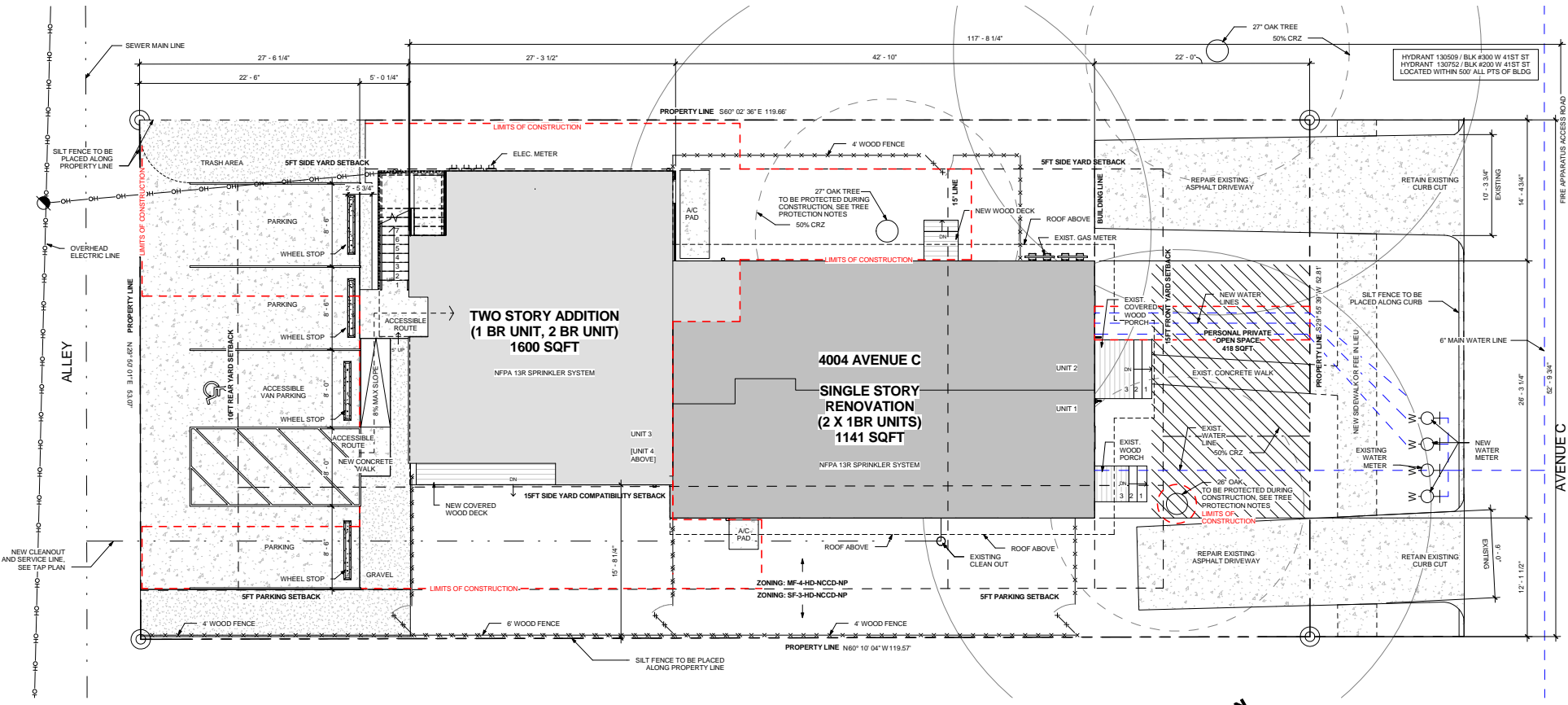
KEY	
	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

TREE PROTECTION NOTES
THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION
PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.
NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

GENERAL NOTES - SITE PLAN
1 SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 7/7/2016.
2 ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.
3 CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
4 TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
5 FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
6 FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTURE
7 NFPA 13R SPRINKLER SYSTEM FOR STRUCTURE



2 SITE PLAN - EXISTING
Scale: 1/8" = 1'-0"



1 SITE PLAN - PROPOSED
Scale: 1/8" = 1'-0"

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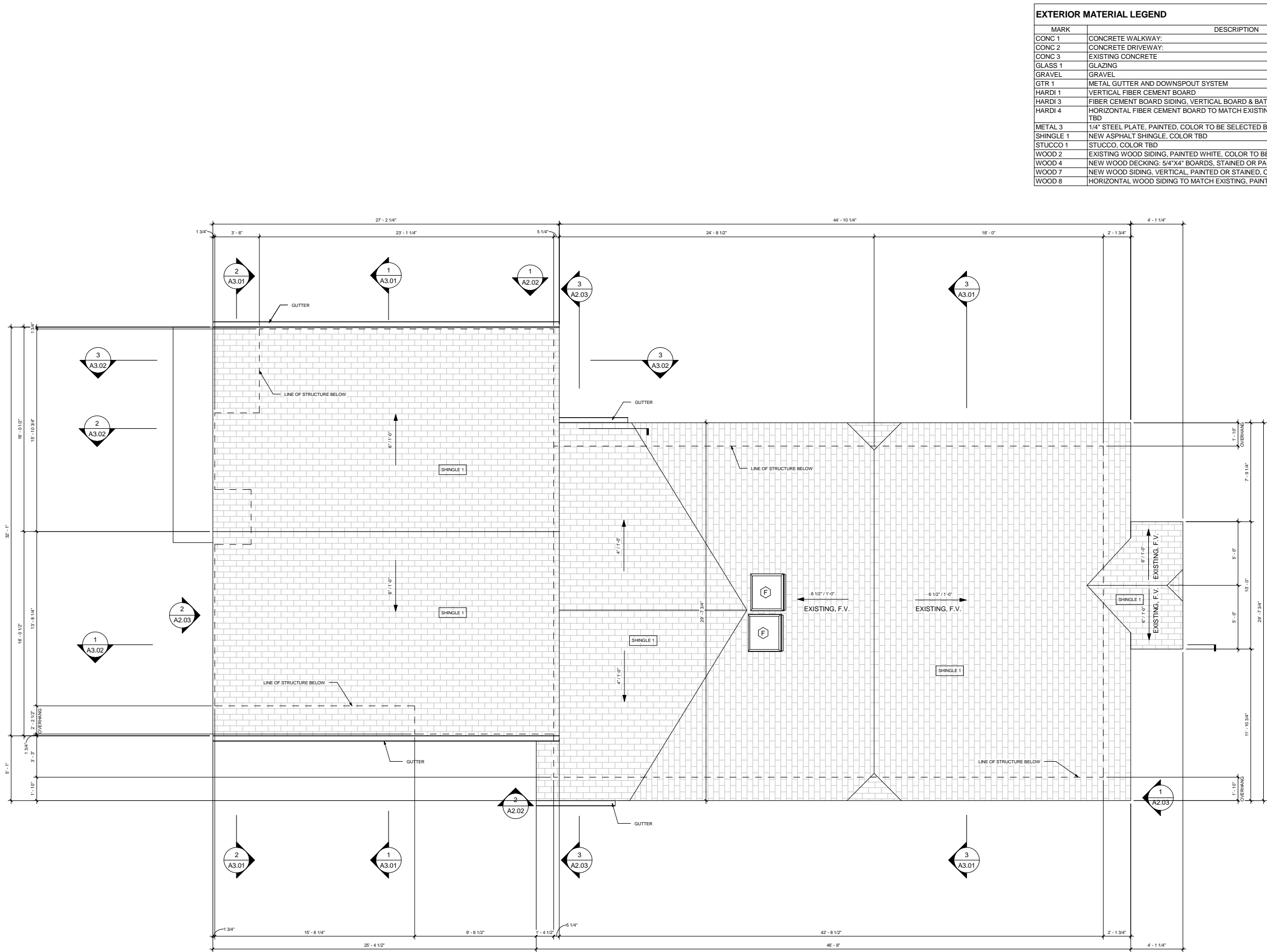
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1 ROOF PLAN
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
CONC 1	CONCRETE WALKWAY:
CONC 2	CONCRETE DRIVEWAY:
CONC 3	EXISTING CONCRETE
GLASS 1	GLAZING
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	VERTICAL FIBER CEMENT BOARD
HARDI 3	FIBER CEMENT BOARD SIDING, VERTICAL BOARD & BATTEN, PAINTED, COLOR TBD
HARDI 4	HORIZONTAL FIBER CEMENT BOARD TO MATCH EXISTING WOOD SIDING, PAINTED, COLOR TBD
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
SHINGLE 1	NEW ASPHALT SHINGLE, COLOR TBD
STUCCO 1	STUCCO, COLOR TBD
WOOD 2	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING: 5/4"x4" BOARDS, STAINED OR PAINTED
WOOD 7	NEW WOOD SIDING, VERTICAL, PAINTED OR STAINED, COLOR TBD
WOOD 8	HORIZONTAL WOOD SIDING TO MATCH EXISTING, PAINTED, COLOR TBD

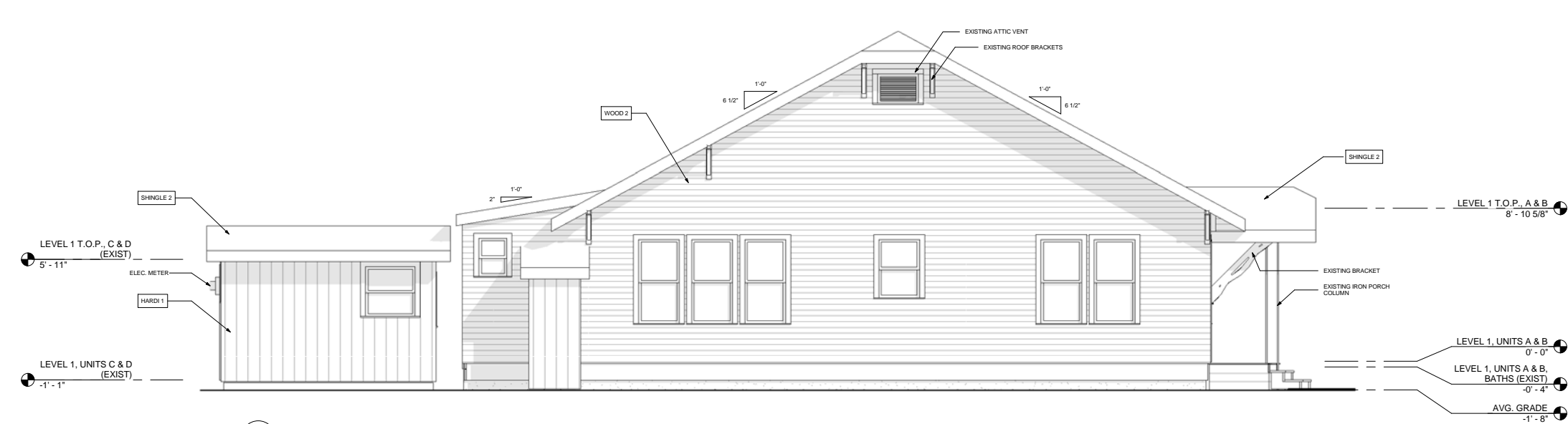
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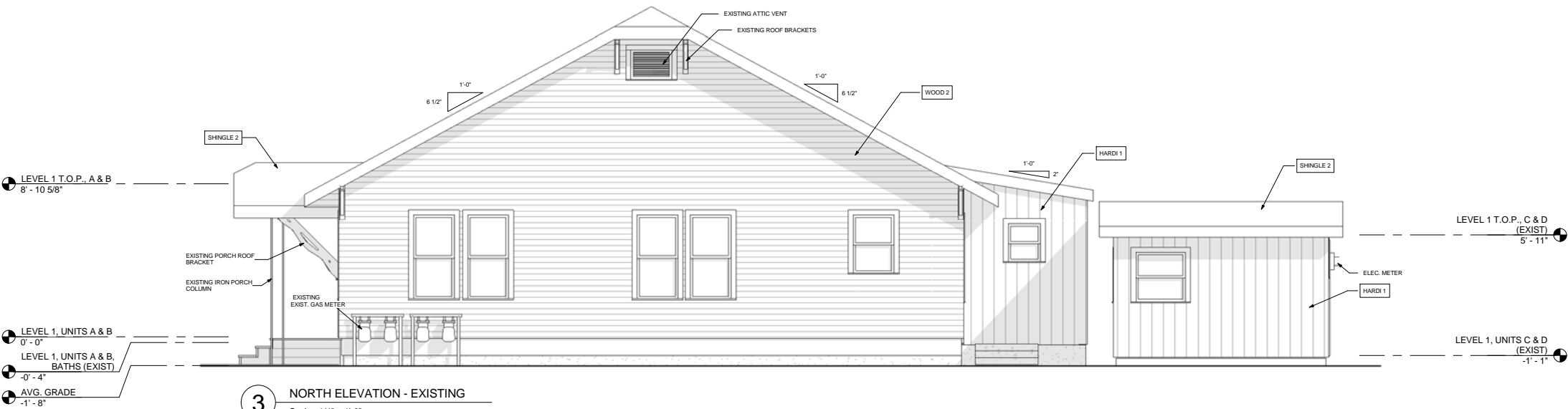
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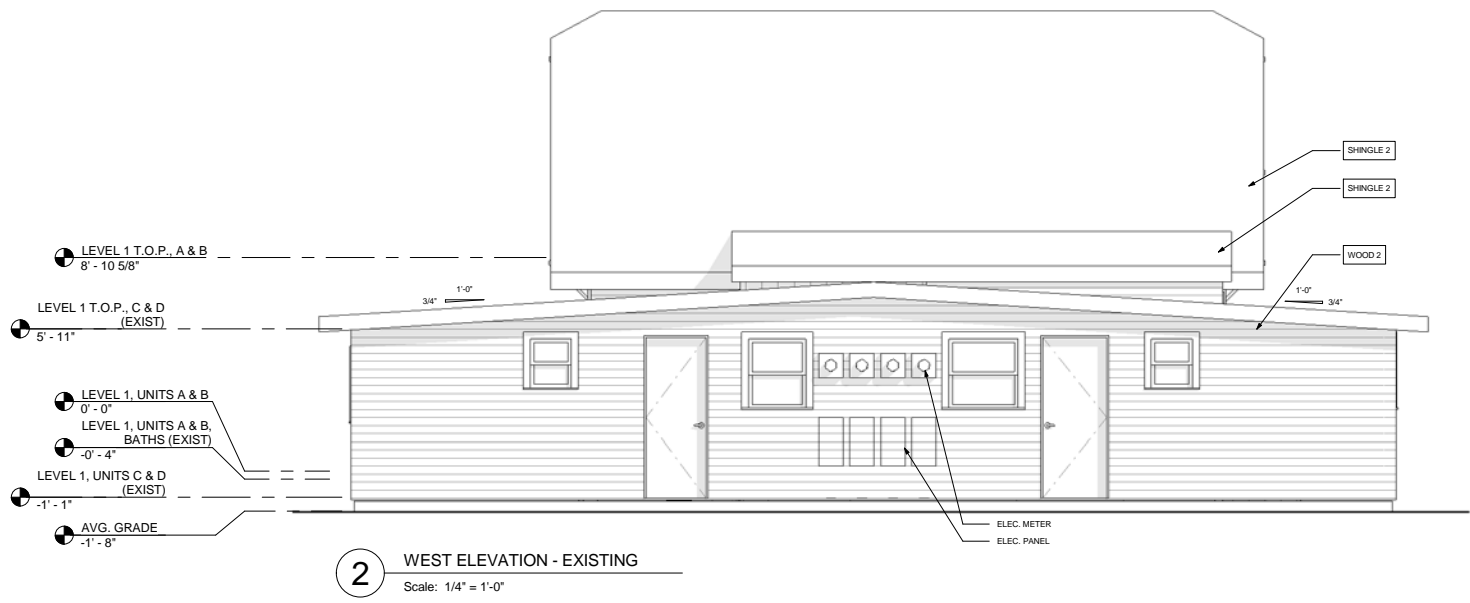
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4 SOUTH ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



3 NORTH ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



2 WEST ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



1 EAST ELEVATION - EXISTING
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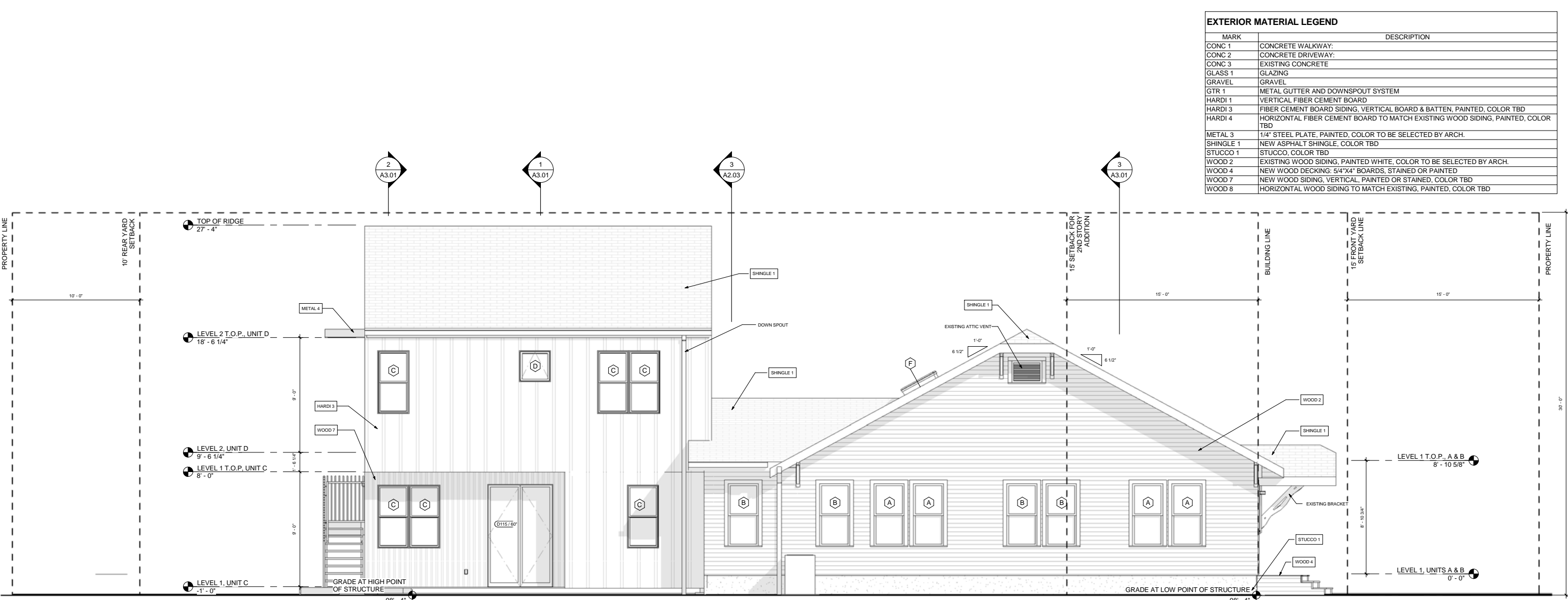
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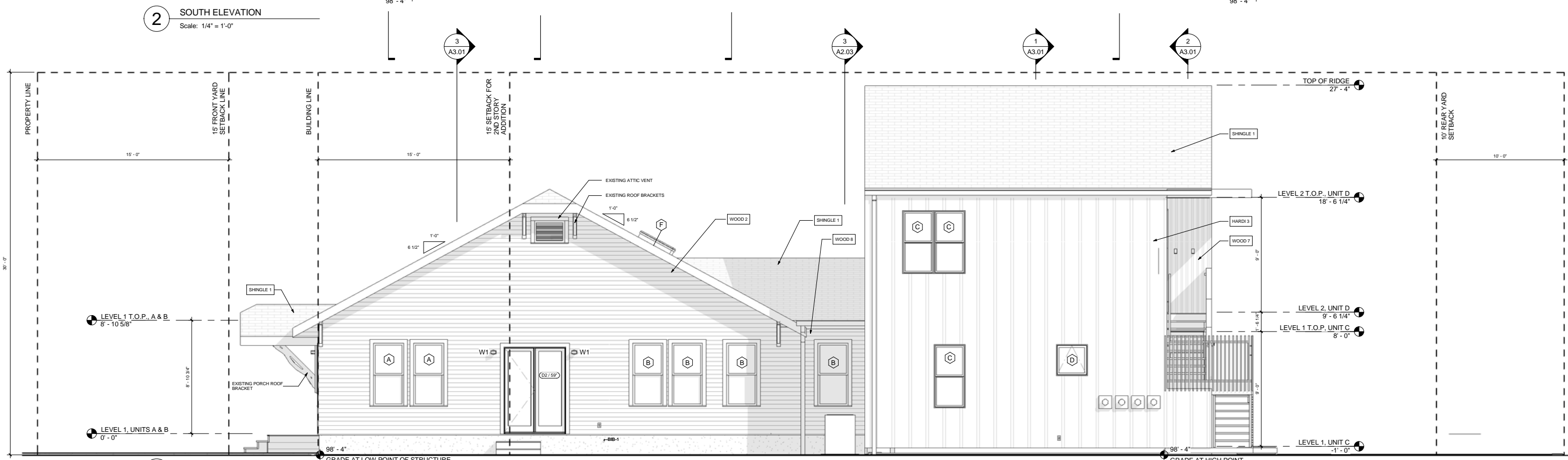
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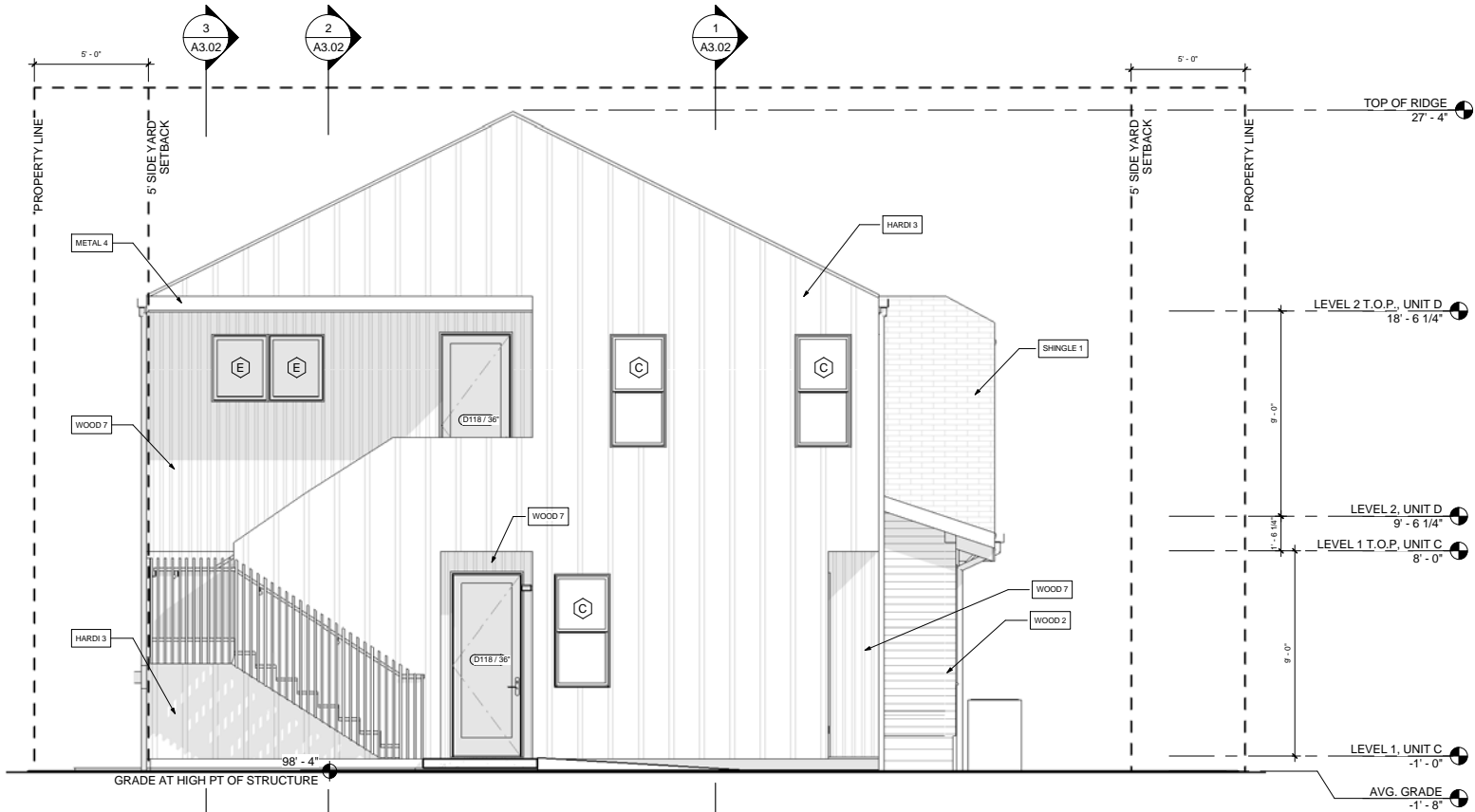
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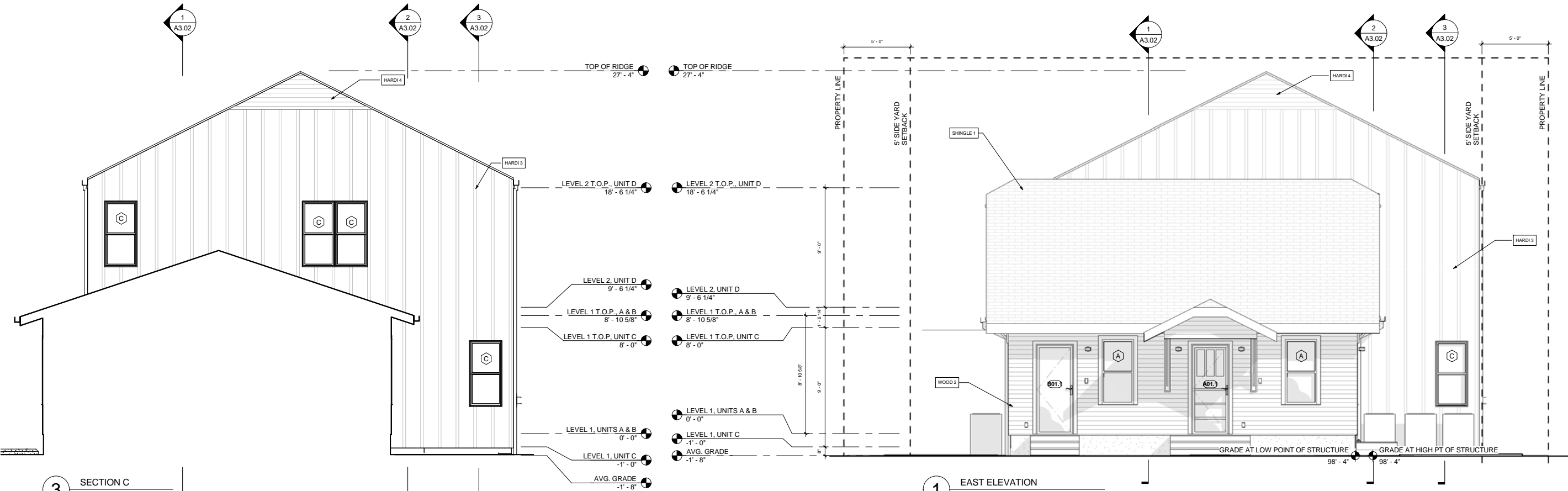
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2 WEST ELEVATION
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3 SECTION C
Scale: 1/4" = 1'-0"

1 EAST ELEVATION
Scale: 1/4" = 1'-0"