

- LEGEND**
- CALCULATED POINT
 - 1/2" IRON PIPE FOUND
 - 1/2" ROD FOUND
 - X - WIRE FENCE
 - 8 - CHAIN LINK FENCE
 - // - WOOD FENCE
 - () RECORD INFORMATION
 - ⚡ UTILITY POLE
 - OH OVERHEAD UTILITY LINE(S)
 - ⊠ WATER METER
 - ⊙ CLEAN OUT
 - ON INSIDE OF SUBJECT BOUNDARY
 - OFF OUTSIDE OF SUBJECT BOUNDARY

RESTRICTIONS:
SUBJECT TO RESTRICTIONS AS PER PLAT IN VOL. 246, PG. 251.

SUBDIVISION: WASHINGTON HEIGHTS

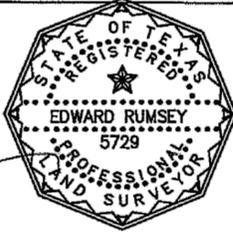
LOTS: 5, 6, & 7 BLOCK: 4 VOLUME 246 PAGE 251 DEED RECORDS

COUNTY: TRAVIS STATE OF TEXAS STREET ADDRESS 812 THERESA AVENUE

CITY: AUSTIN REFERENCE NAME JASEN TRAUTWEIN

SIGNED BY: _____

[Signature]



THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS
F.I.R.M. MAP NO.: 48453C0445H
PANEL: 0445H
DATED: 9-26-2008
THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

SURVEY DATE	OCTOBER 29, 2015	
TITLE CO.	INDEPENDENCE TITLE CO.	
G.F. NO.	1512598-DRP	
JOB NO.	A1012215	
FILED BY	JONATHAN MOHR	10/28/2015
CALC. BY	CHRIS ZOTTER	10/29/2015
DRAWN BY	DAMIAN SMITH	10/29/2015
RPLS CHECK	EDWARD RUMSEY	10/29/2015

ALLSTAR
Land surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPLS FIRM NO. 10135000

TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED AND TO:
INDEPENDENCE TITLE COMPANY
I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON AND THAT THERE ARE NO BOUNDARY LINE CONFLICTS, ENCROACHMENTS OVERLAPPING OF IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND CERTIFIES ONLY TO THE LEGAL DESCRIPTION AND EASEMENTS SHOWN ON THE REFERENCED TITLE COMMITMENT; THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

1 SURVEY
FULL SIZE SCALE: 1" = 15'
HALF SIZE SCALE: 1" = 30'

JOSEPH BUILDERS

RD/D
Rodenberg Design Development
Ryan Rodenberg
512.796.5995
rodenberg@gmail.com

812 THERESA - LOT 5
AUSTIN, TEXAS 78703

DRAWN BY: RR

CONTACT: RR

DATE: 3/17/17

JOB #: 17.03

SURVEY

A0.2

GENERAL NOTES:

- FLOORING:
 FIRST FLOOR: SEALED CONCRETE
 SECOND FLOOR: 3/4" T & G WOOD THROUGHOUT.
 BATHROOMS, LAUNDRY: TILE: x; PORCELAIN TILE ON HARDIBACKER OVER 3/4" T&G PLYWOOD DECK.
- ALL WALLS; 2X4; PLUMBING WALLS; 2X6. INSULATE EXTERIOR WALLS R-19 MIN.
- FORM INSULATE ROOF, R-38 MIN.
- ALL DOOR HAVE A 96" HEIGHT

NOTES:

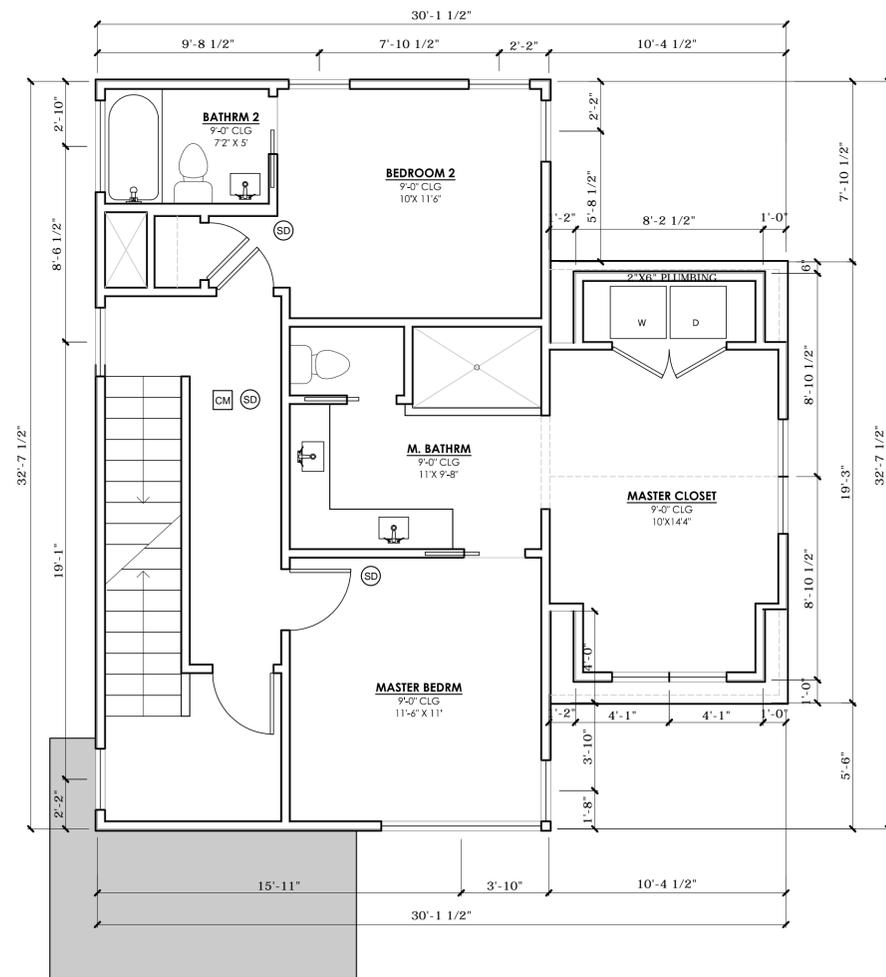
- (SD) SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R314
- (CM) CARBON MONOXIDE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R315

PLAN NOTES:

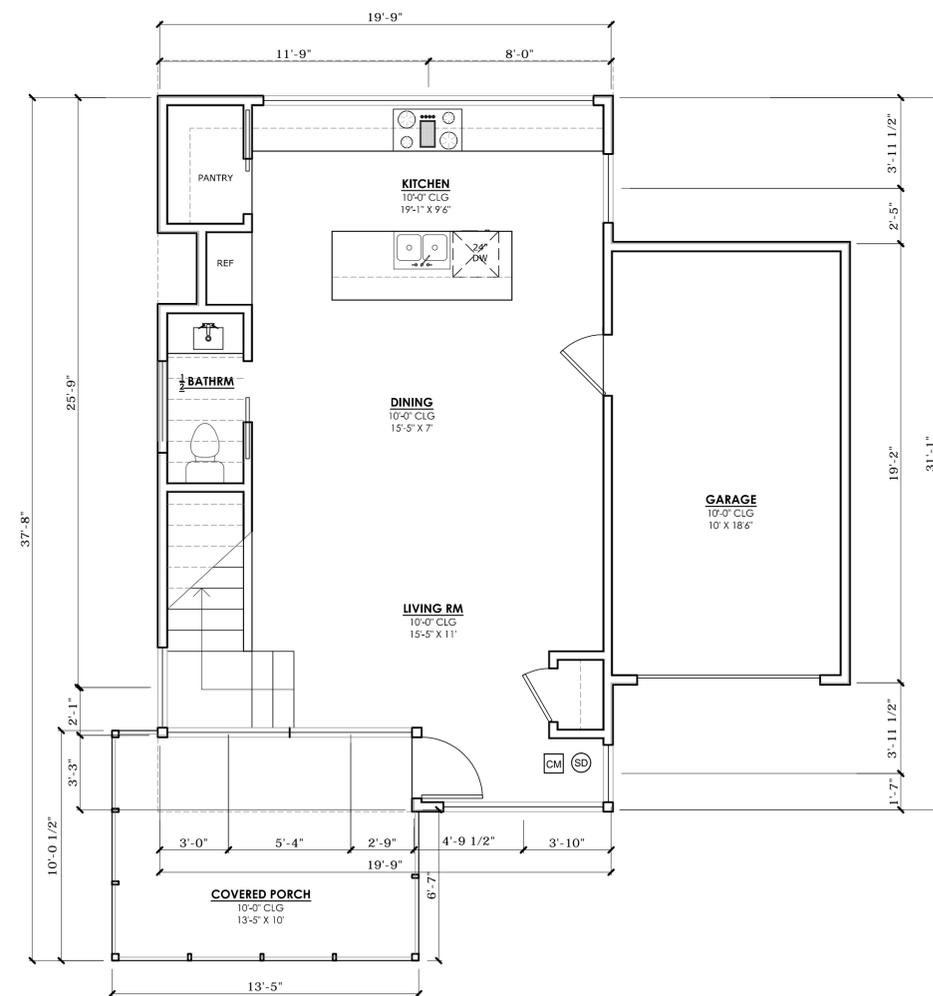
1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC R310.1, R311.2, R312.2.
2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012 IRC R311.5.1, R311.7, R312.1.
3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE TO COMPLY WITH ALL VISIBILITY STANDARDS UNDER CITY CODE SEC. 25-12-243, R320. VISIBILITY ITEMS ARE REFERENCED ON FLOOR PLANS.

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2 PRIMARY - SECOND FLOOR PLAN
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 PRIMARY - FIRST FLOOR PLAN
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

812 THERESA - LOT 5
 AUSTIN, TEXAS 78703

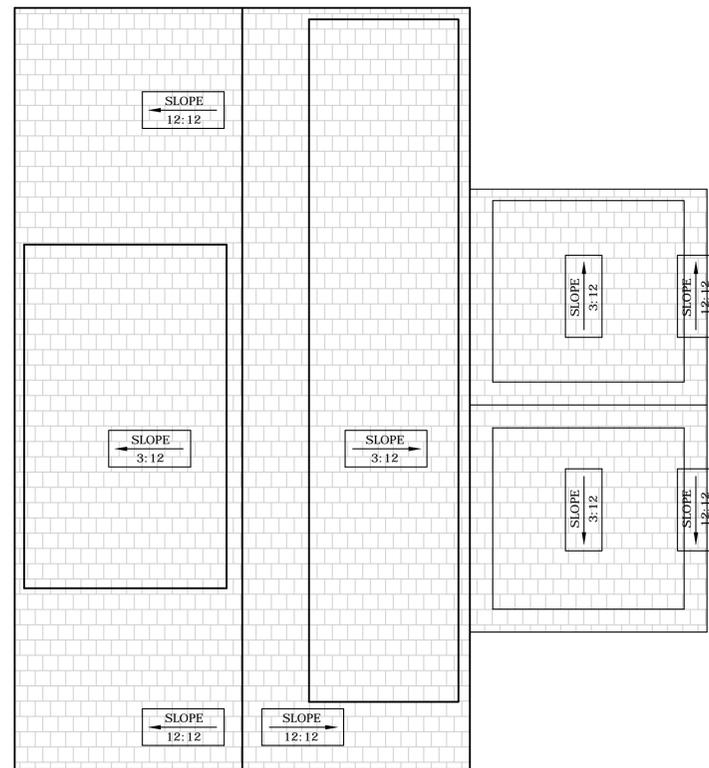
DRAWN BY: RR
 CONTACT: RR
 DATE: 3/17/17
 JOB #: 17.03

PRIMARY - FLOOR PLANS

A2.0

GENERAL NOTES:

1. DIMENSIONS INDICATED ARE HORIZONTAL PLAN DIMENSIONS.
2. REFER TO REFLECTED CEILING PLAN FOR EXTENT OF SOFFITS.
3. ROOF VENT LOCATIONS ARE NOT SHOWN. COORDINATE WITH OTHER TRADES FOR EXACT LOCATION OF ALL ROOF PENETRATIONS CENTERED IN METAL ROOF PANEL SYMMETRICAL WITH STANDING SEAMS AT 12" O.C., AND COORDINATE WITH RAFTERS AT 16" O.C.
4. ROOF ASSEMBLY: METAL ROOF SYSTEM, MBCI "BATTENLOK HS" OR APPROVED EQUAL, MINIMUM 24 GAUGE PERFORMED, GALVALUME, LARGE BATTEN, VERTICAL LEG, CONCEALED FASTENER, STANDING SEAM METAL ROOF SYSTEM, CONTINUOUSLY LOCKED, MECHANICALLY SEALED ROOF PANEL SYSTEM.
5. BREATHABLE, HIGH TEMP METAL ROOF UNDERLAYMENT PER MANUFACTURER'S RECOMMENDATIONS TITANIUM UDL 50 OR SIMILAR. PROVIDE 1" UNDER-DECK VENTILATION / AIR SPACE WHEN USING POLYURETHANE FOAM INSULATION.
6. ALL ROOF PENETRATIONS, CURBS, FLUES, VENTS, VENT CAPS, HOODS, FAN HOUSINGS, ETC. SHALL BE FINISHED OR PAINTED TO MATCH ROOF.
7. PROVIDE FLEXIBLE PIPE FLASHINGS UNITS AT ALL PLUMBING, COOKTOP/RANGE, AND DRYER VENT PENETRATIONS THROUGH THE METAL ROOF.
8. ALL HARDWARE IN CONTACT WITH PRESERVATIVE PRESSURE TREATED (PPT) LUMBER SHALL BE STAINLESS STEEL, DOUBLE HOT DIPPED GALVANIZED, OR TRIPLE ZINC (ZMAX), INCLUDING STRUCTURAL METAL ANCHORS, ANGLES OR TIES, BOLTS, NAILS, LAG SCREWS AND SCREWS.



2 PRIMARY - ROOF PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

GENERAL NOTES:

- FLOORING:
FIRST FLOOR: SEALED CONCRETE
SECOND FLOOR: 5/8" T & G WOOD THROUGHOUT.
BATHROOMS, LAUNDRY: TILE: x; PORCELAIN TILE ON HARDIBACKER OVER 3/4" T&G PLYWOOD DECK.
- ALL WALLS: 2X4; PLUMBING WALLS: 2X6. INSULATE EXTERIOR WALLS R-19 MIN.
- FORM INSULATE ROOF, R-38 MIN.
- ALL DOOR HAVE A 96" HEIGHT

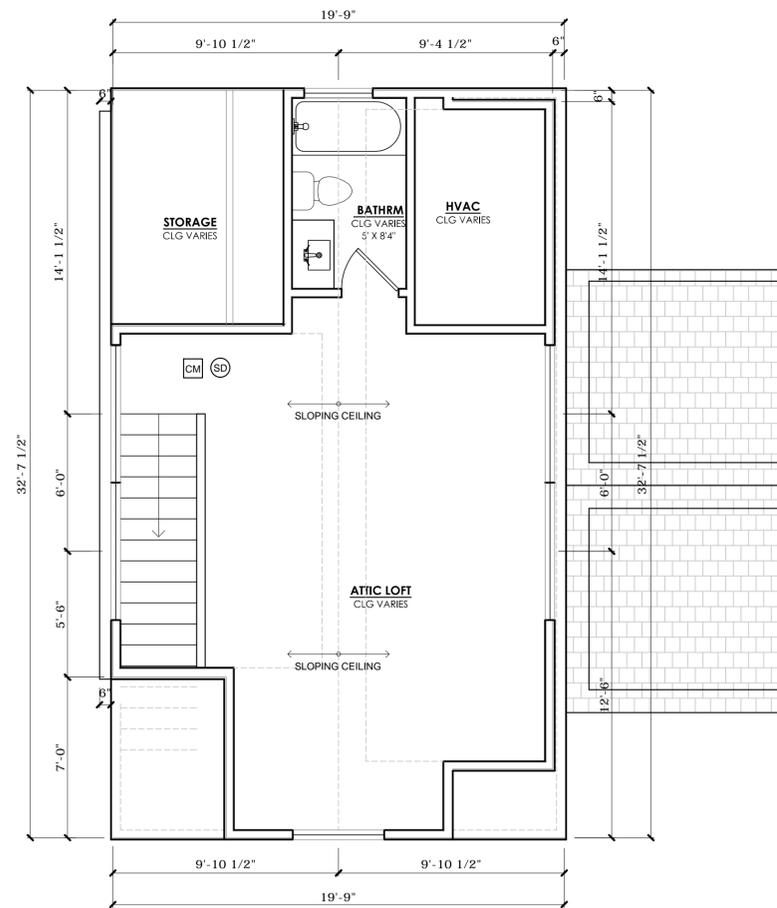
NOTES:

(SD) SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R314

(CM) CARBON MONOXIDE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R315

PLAN NOTES:

1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC R310.1, R311.2, R312.2.
2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012 IRC R311.5.1, R311.7, R312.1.
3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE TO COMPLY WITH ALL VISITABILITY STANDARDS UNDER CITY CODE SEC. 25-12-243, R320. VISITABILITY ITEMS ARE REFERENCED ON FLOOR PLANS.



1 PRIMARY - ATTIC FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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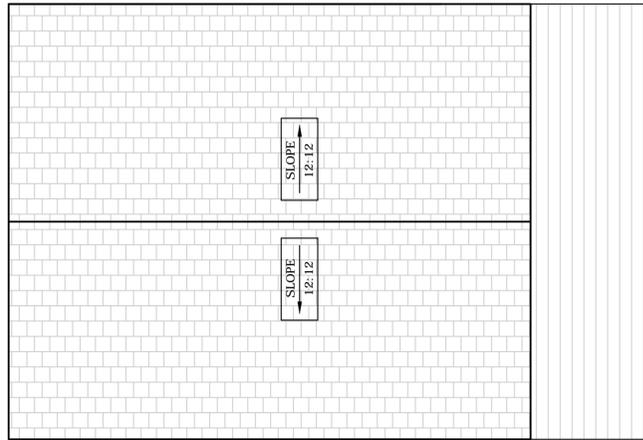
DATE: 3/17/17

JOB #: 17.03

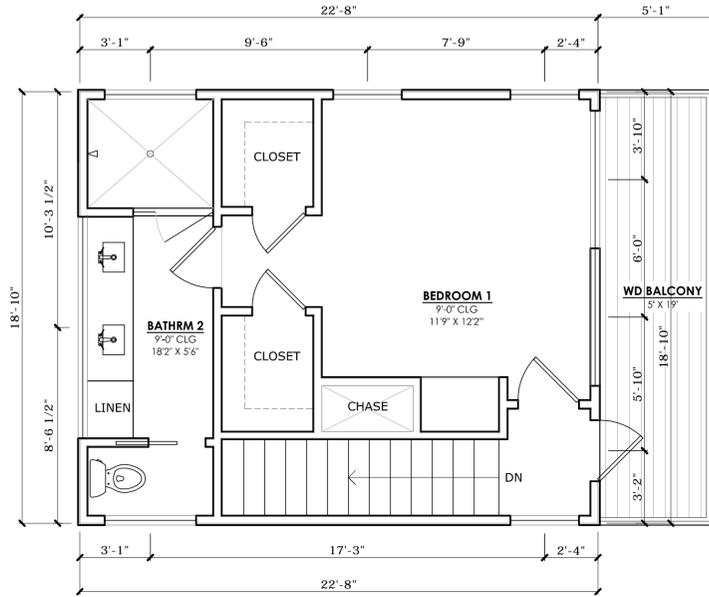
PRIMARY - FLOOR PLANS

A2.1

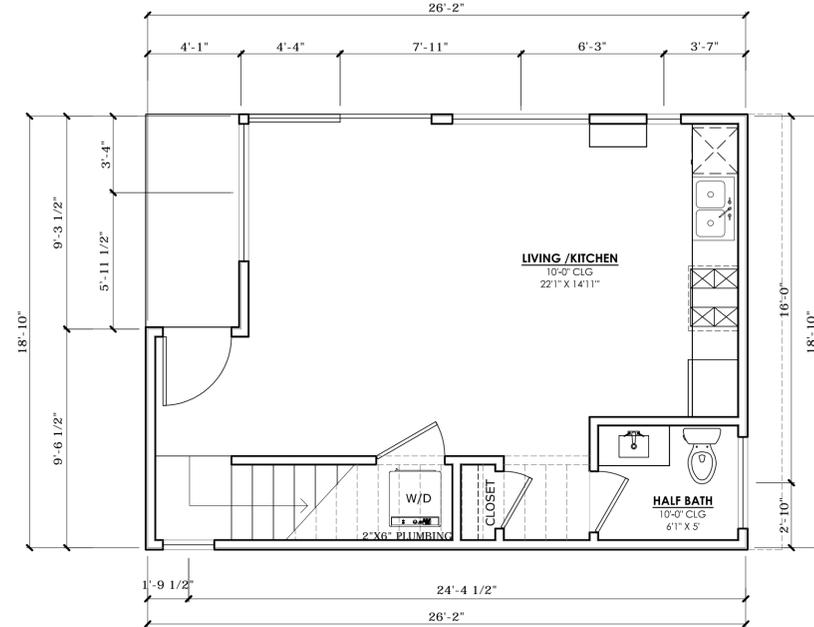
GENERAL NOTES:	PLAN NOTES:	NOTES:
<ul style="list-style-type: none"> - ALL WALLS: 2X4; LAUNDRY WALLS: 2X6. INSULATE EXTERIOR WALLS R-19 MIN. - FORM INSULATE ROOF, R-38 MIN. 	<ol style="list-style-type: none"> 1. ALL EGRESS WINDOWS AND DOORS TO COMPLY WITH 2012 IRC R310.1, R311.2, R312.2. 2. STAIRS, HANDRAILS, AND GUARDRAILS TO COMPLY WITH 2012 IRC R311.5.1, R311.7, R312.1. 3. FIRST FLOOR OF NEW CONSTRUCTION WITH ANY LIVING SPACE TO COMPLY WITH ALL VISIBILITY STANDARDS UNDER CITY CODE SEC. 25-12-243, R320. VISIBILITY ITEMS ARE REFERENCED ON FLOOR PLANS. 	<p>(SD) SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R314</p> <p>(CM) CARBON MONOXIDE DETECTOR INSTALLED IN ACCORDANCE WITH IRC 2012 R315</p>



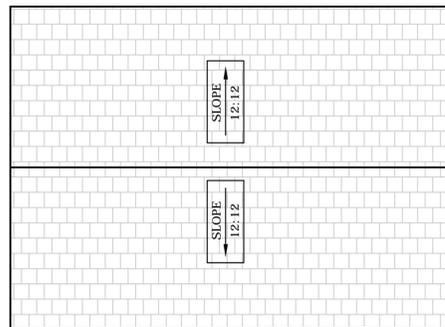
6 ADU - ROOF PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



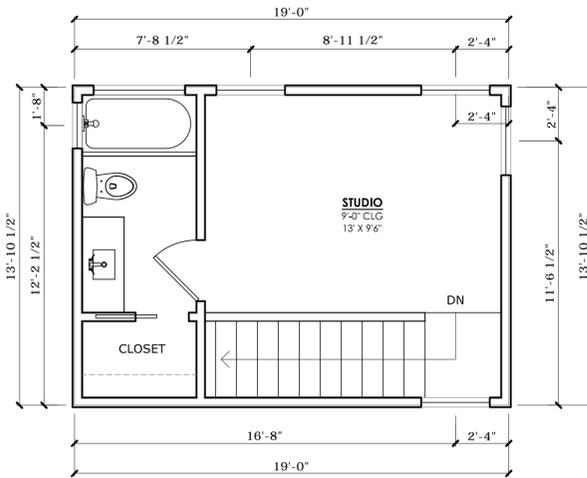
4 ADU - SECOND FLOOR
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



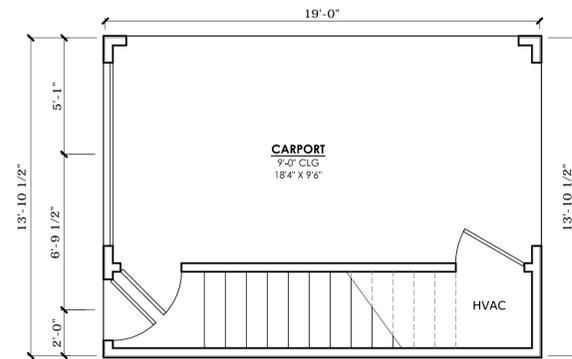
2 ADU - FIRST FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



5 CARPORT - ROOF PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



3 CARPORT - SECOND FLOOR
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 CARPORT - FIRST FLOOR PLAN
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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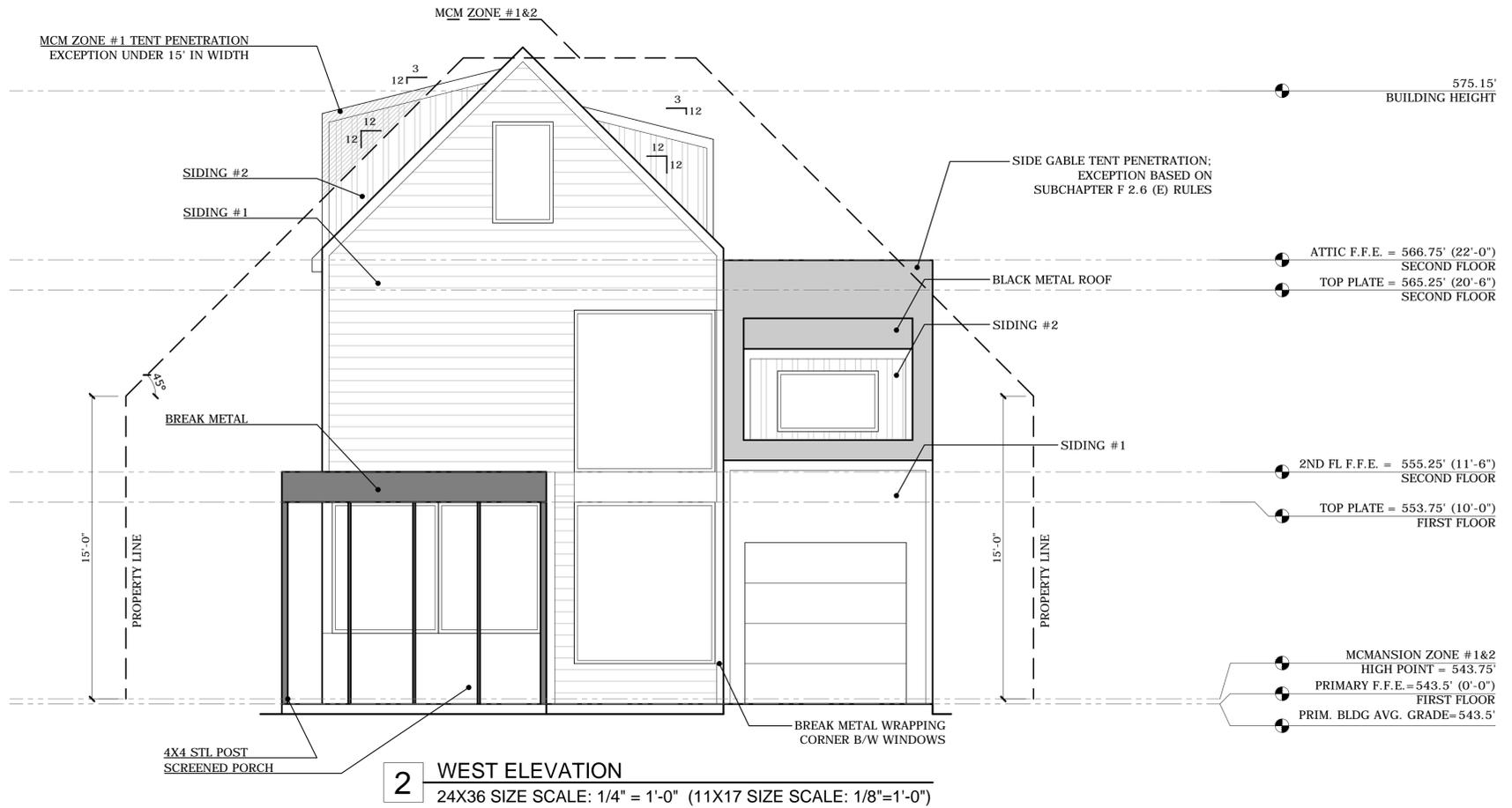
ADU - FLOOR PLANS

FINISH NOTES:
 - ALL SIDING, FASCIA, AND EXTERIOR ELEMENTS TO BE SMOOTH FINISH

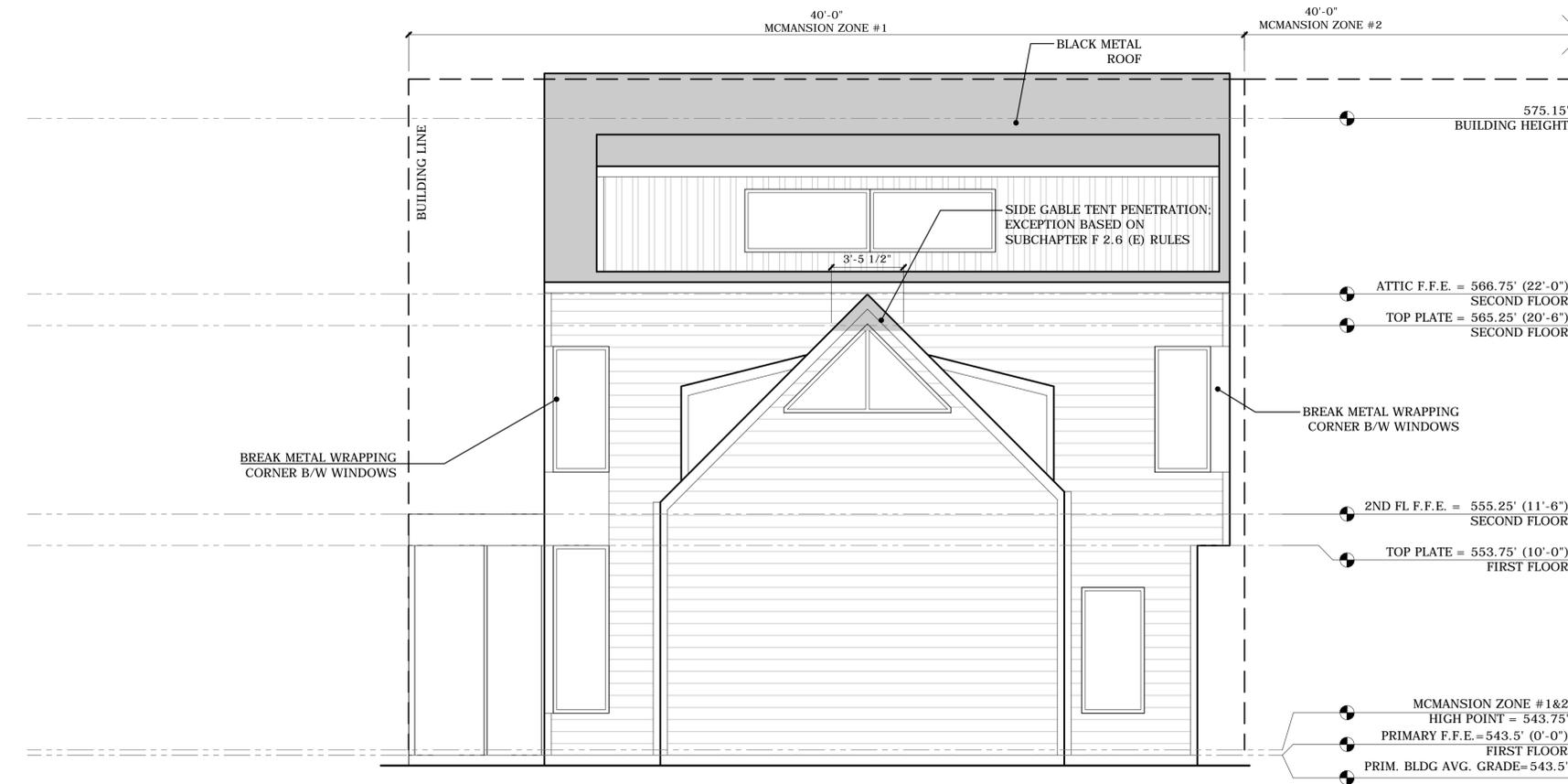
SIDING NOTES:
 - TYPE 1 SIDING: FIBER CEMENT BOARD AND BATTEN SIDING "HARDIE BOARD" BY JAMES HARDIE. COLOR TO BE SELECTED BY ARCHITECT. SMOOTH FINISH.
 - TYPE 2 SIDING: FIBER CEMENT BOARD AND BATTEN SIDING "HARDIE BOARD" BY JAMES HARDIE. COLOR TO BE SELECTED BY ARCHITECT. SMOOTH FINISH. 6" BATTEN SPACING

EXTERIOR PAINT COLORS:

BODY / TRIM	WHITE
PORCH / TRIM / RAILING	WHITE
SOFFIT FASCIA	WHITE
GARAGE DOOR	BLACK



2 WEST ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 NORTH ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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PRIMARY RESIDENCE ELEVATIONS

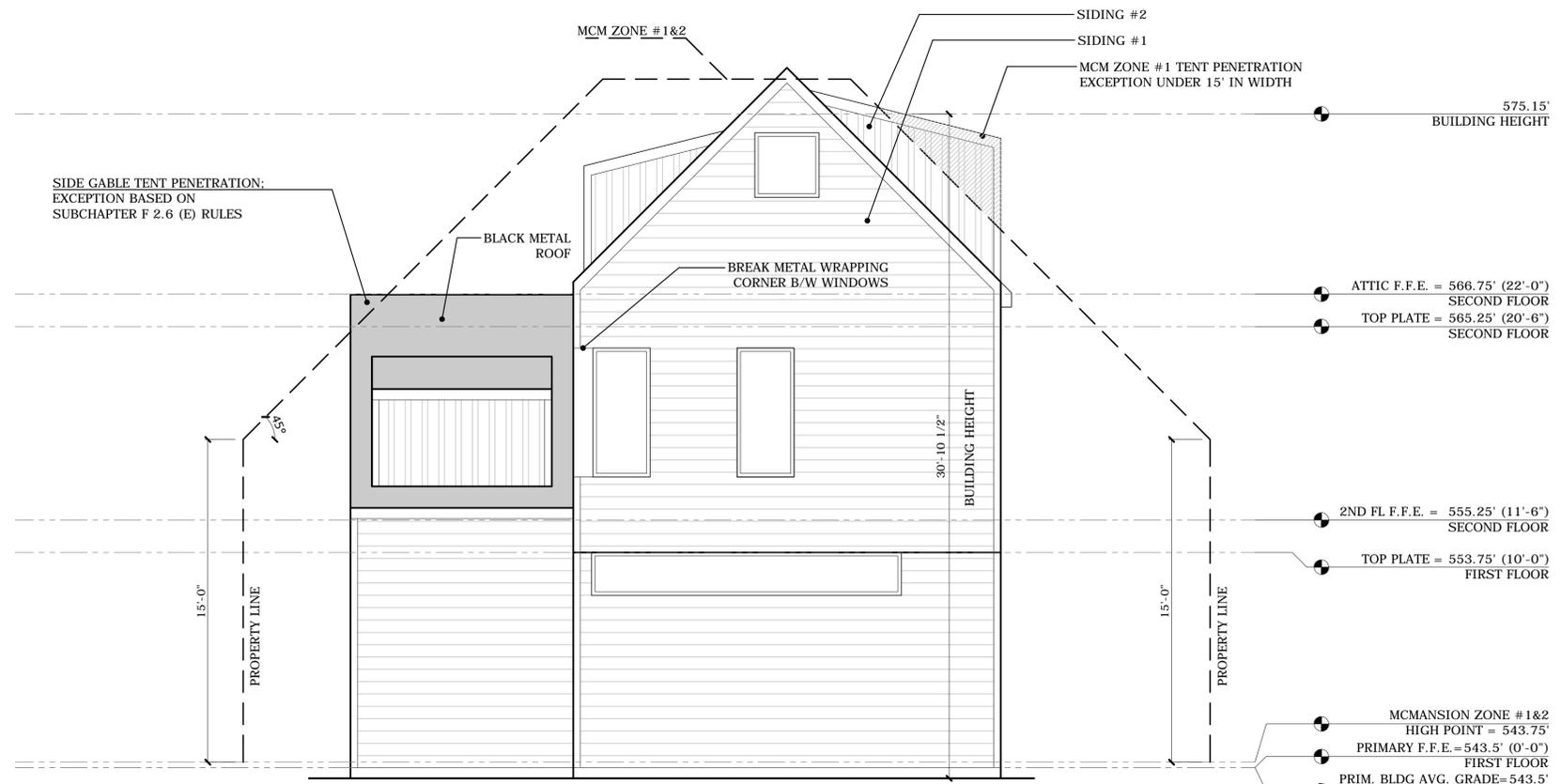
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FINISH NOTES:
 - ALL SIDING, FASCIA, AND EXTERIOR ELEMENTS TO BE SMOOTH FINISH

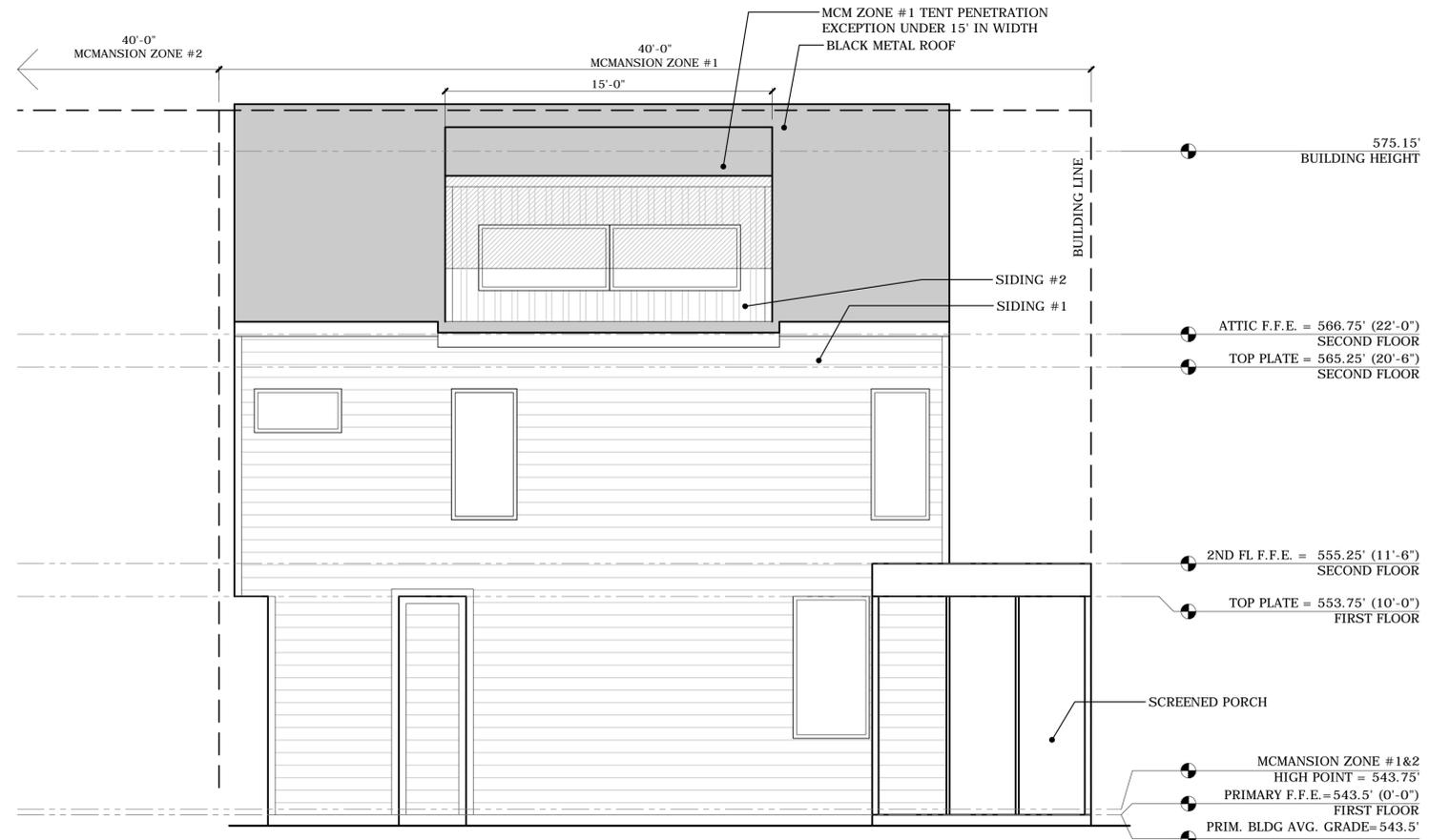
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EXTERIOR PAINT COLORS:

BODY / TRIM	WHITE
PORCH / TRIM / RAILING	WHITE
SOFFIT FASCIA	WHITE
GARAGE DOOR	BLACK



2 EAST ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 SOUTH ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

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PRIMARY RESIDENCE ELEVATIONS

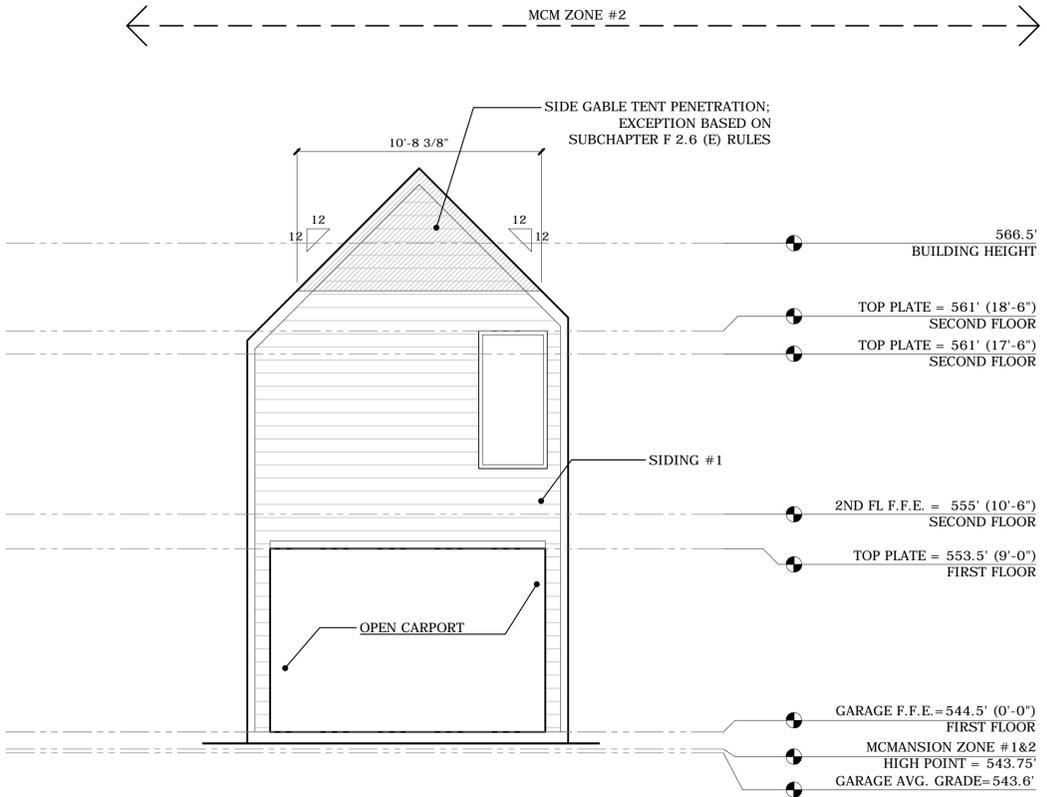
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FINISH NOTES:
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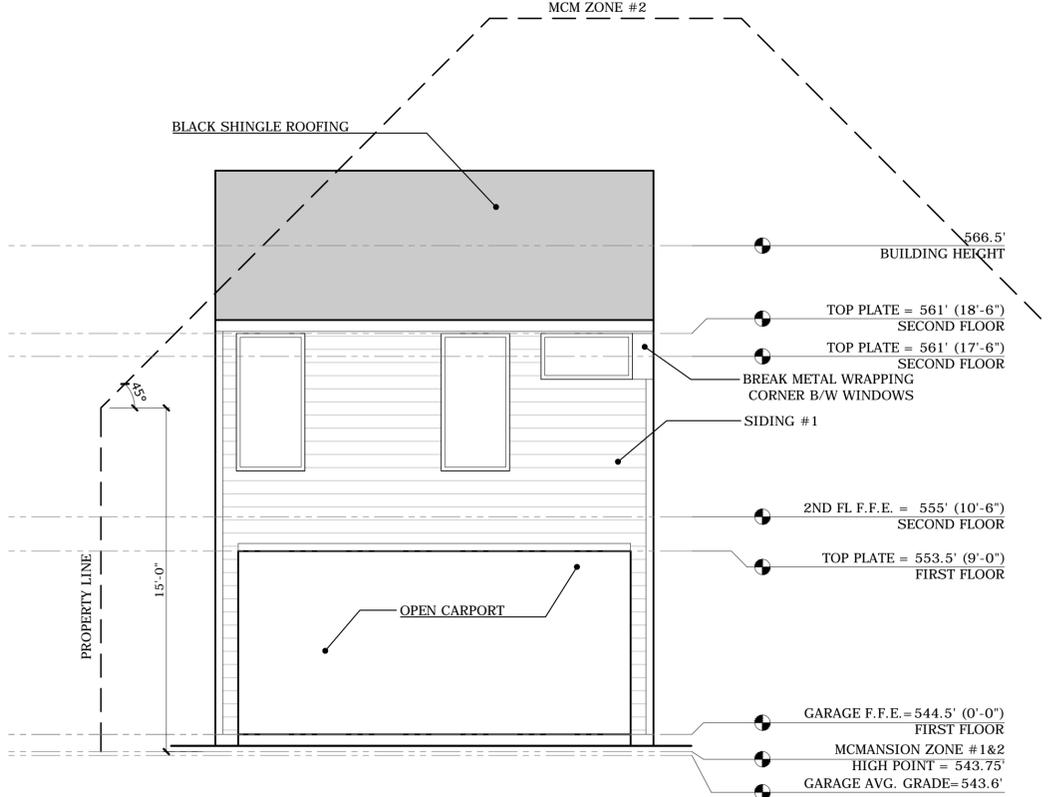
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EXTERIOR PAINT COLORS:

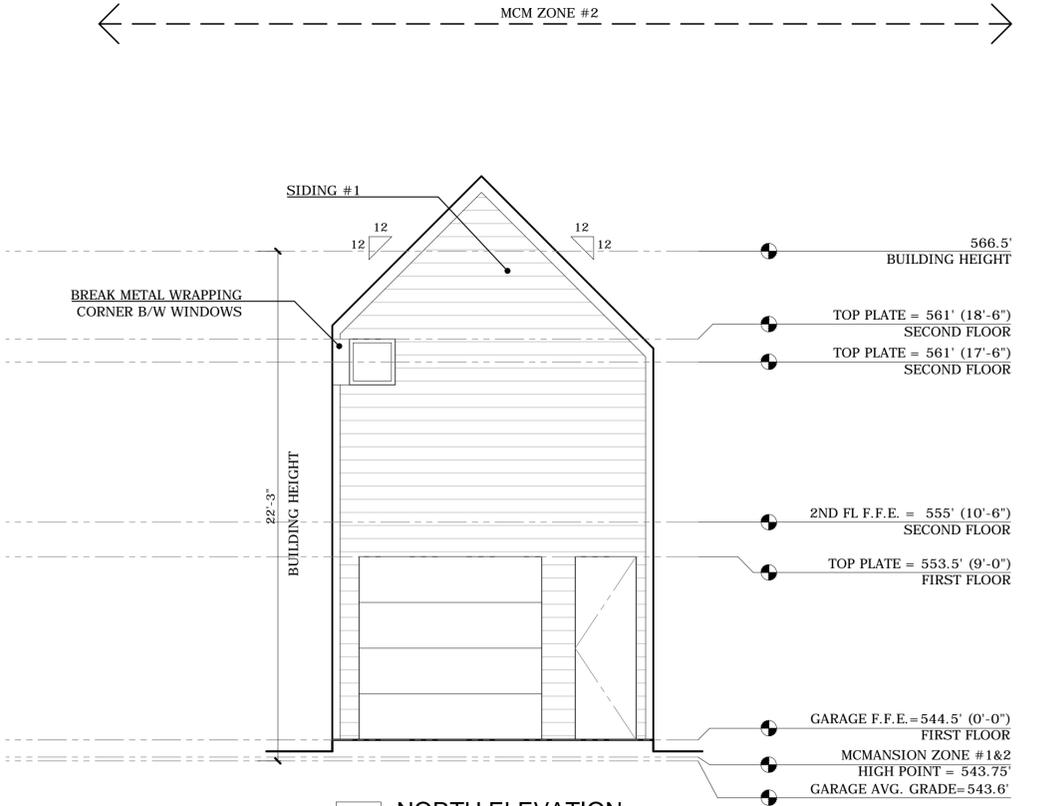
BODY / TRIM	WHITE
PORCH / TRIM / RAILING	WHITE
SOFFIT FASCIA	WHITE
GARAGE DOOR	BLACK



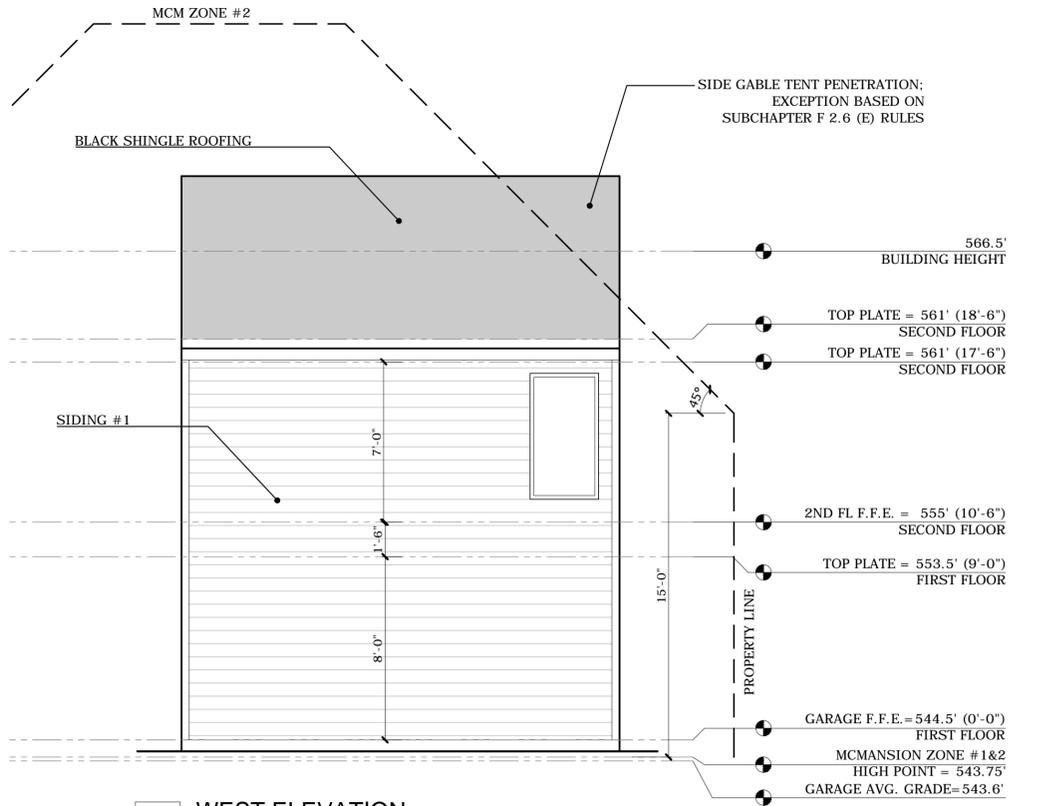
4 SOUTH ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



2 EAST ELEVATION
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3 NORTH ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



1 WEST ELEVATION
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GARAGE ELEVATIONS

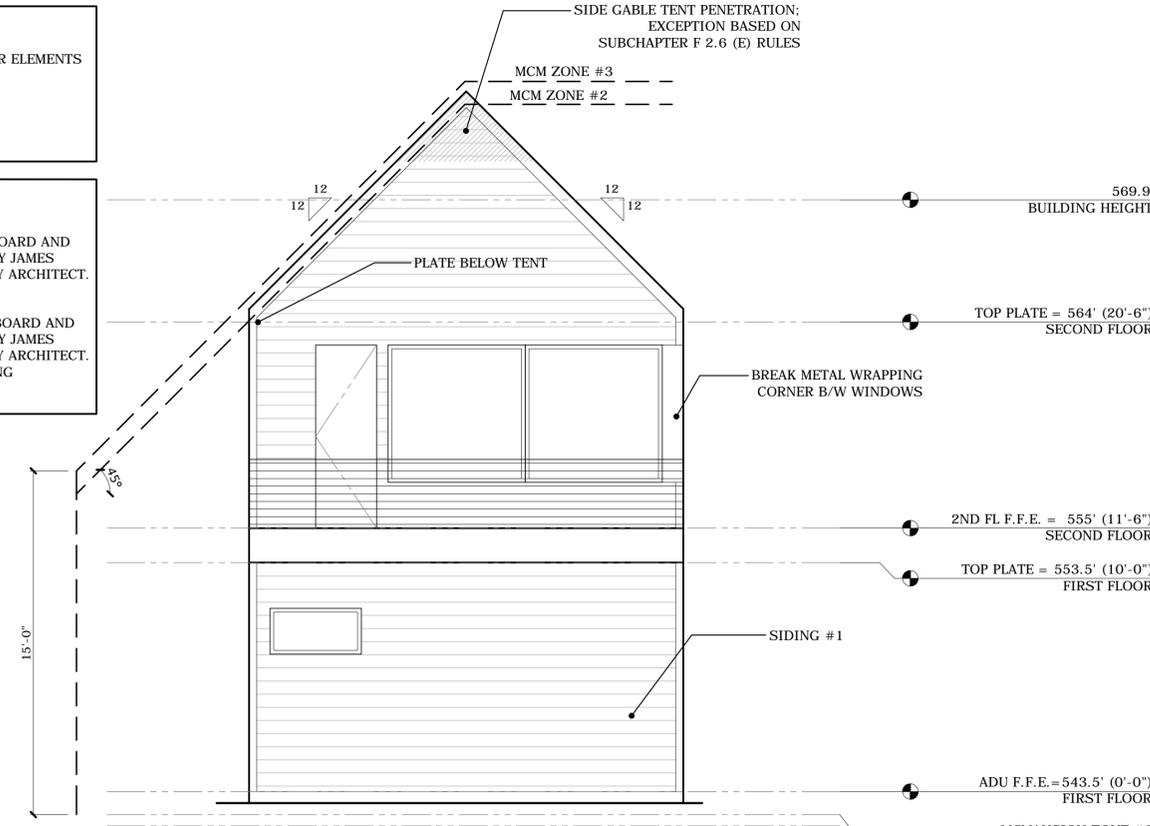
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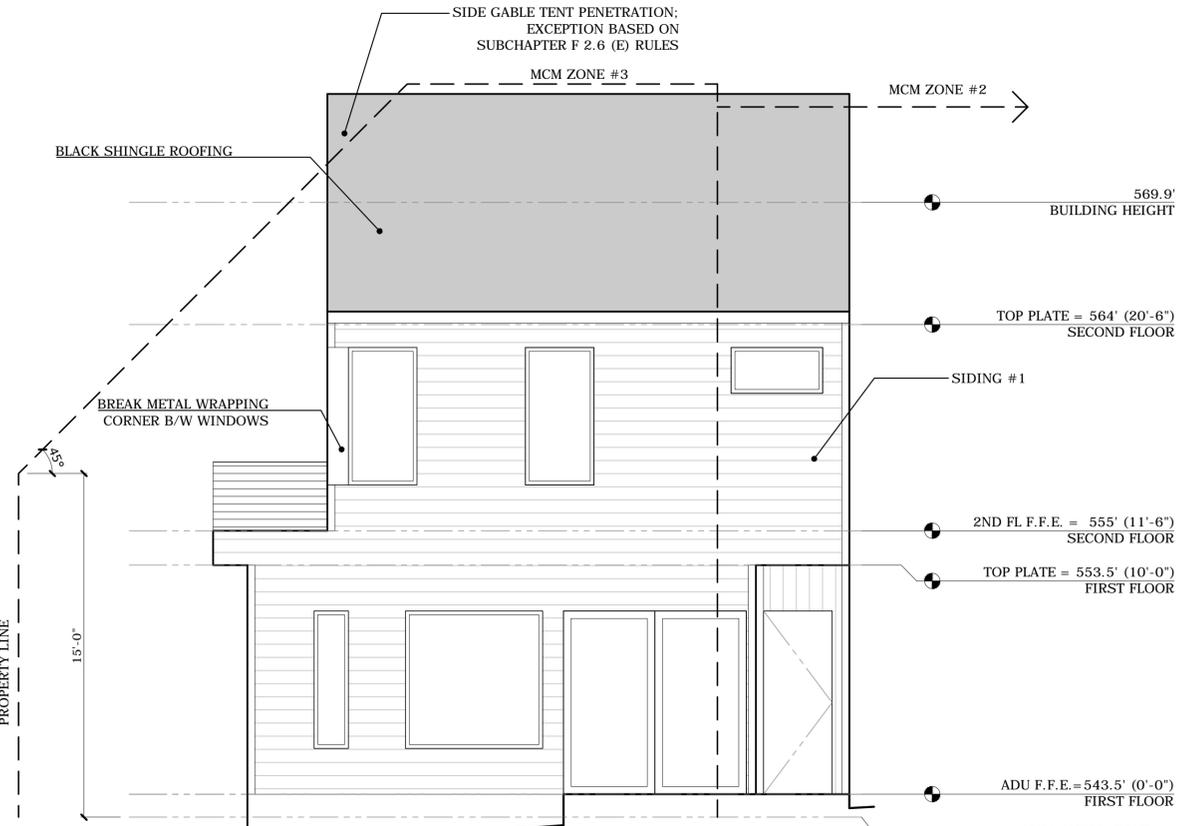
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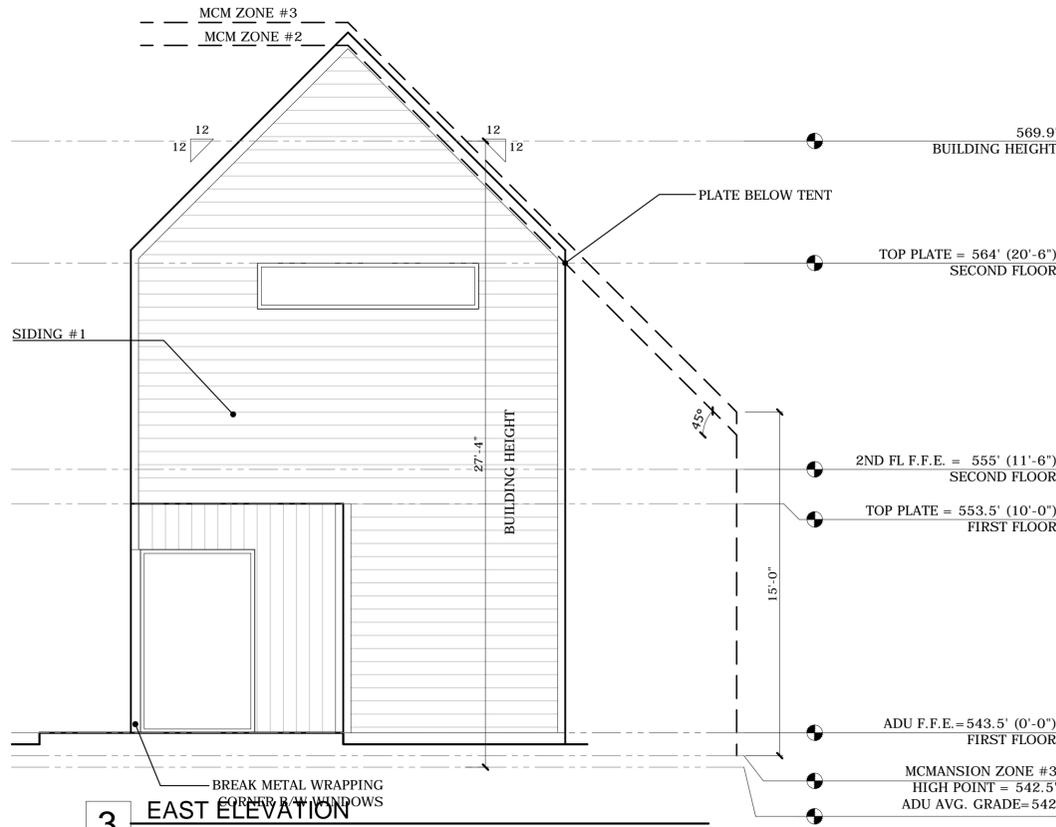
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PORCH / TRIM / RAILING	WHITE
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GARAGE DOOR	BLACK



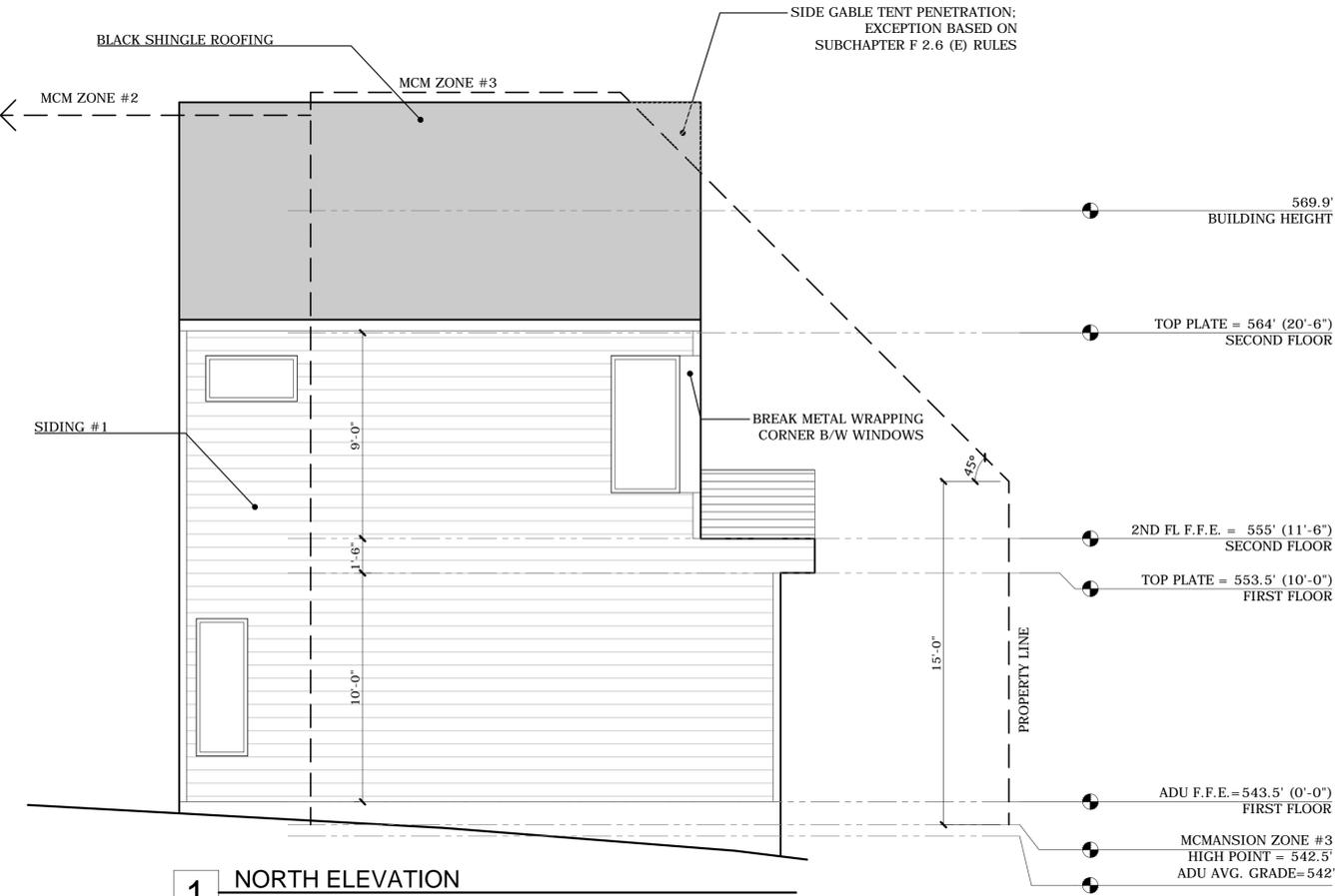
4 WEST ELEVATION
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2 SOUTH ELEVATION
 24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



3 EAST ELEVATION
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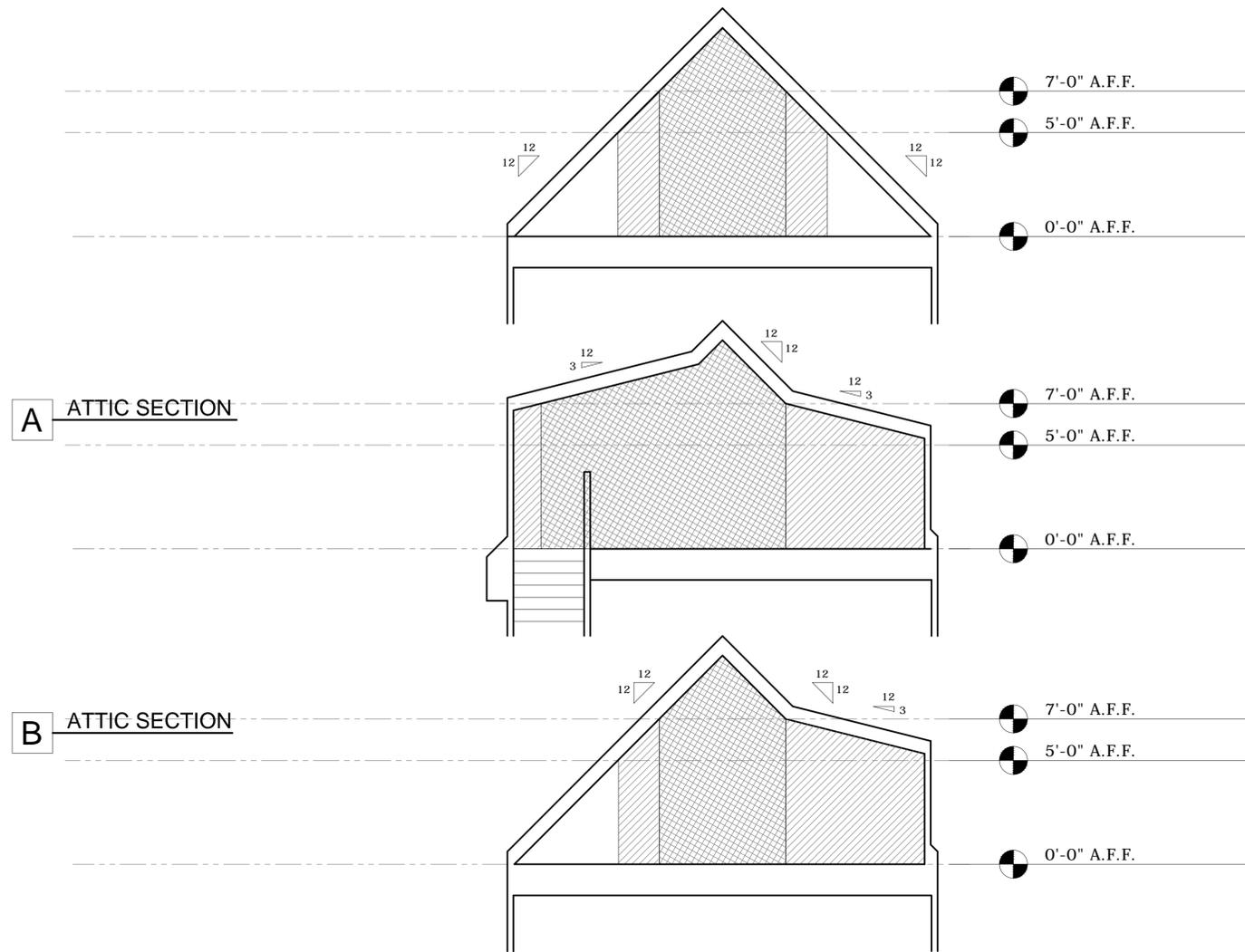
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ADU RESIDENCE ELEVATIONS

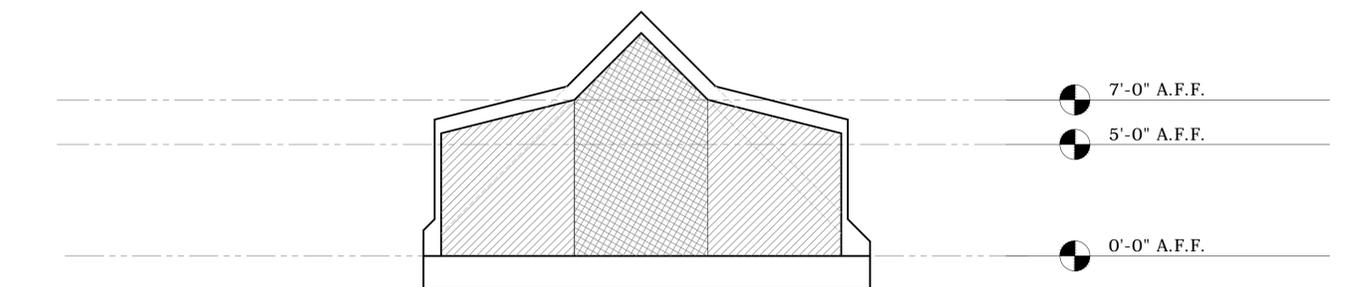
A3.3

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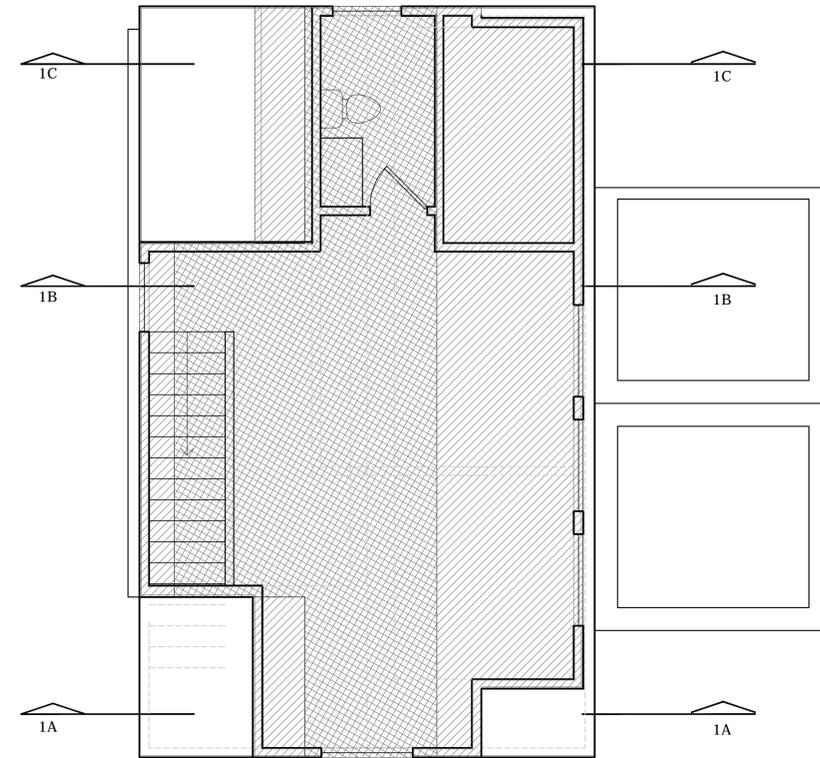
C ATTIC SECTION

2 ATTIC EXEMPTION
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")

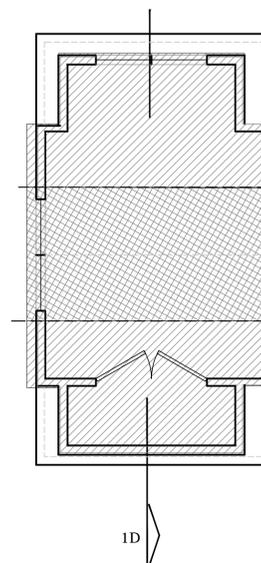


D ATTIC SECTION

1 GARAGE ATTIC EXEMPTION
24X36 SIZE SCALE: 1/4" = 1'-0" (11X17 SIZE SCALE: 1/8"=1'-0")



	AREA WITH CEILING HEIGHT 5'-0" OR LESS
	AREA WITH CEILING HEIGHT 7'-0" OR GREATER: 296 SF (50%)
	AREA WITH CEILING HEIGHT >5'-0-7'-0"= 300 SF (50%)
TOTAL ATTIC AREA = 596 SF (100%)	



	AREA WITH CEILING HEIGHT 5'-0" OR LESS
	AREA WITH CEILING HEIGHT 7'-0" OR GREATER: 65 SF (36%)
	AREA WITH CEILING HEIGHT >5'-0-7'-0"= 115 SF (64%)
TOTAL ATTIC AREA = 180 SF (100%)	

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ATTIC EXEMPTION

A4.0