



NOTIFICATIONS

CASE#: C15-2017-0053
LOCATION: 2303 Quarry Rd



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY



1" = 167'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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CITY OF AUSTIN

Development Services Department

One Texas Center | Phone: 512.978.4000
505 Barton Springs Road, Austin, Texas 78704

**Board of Adjustment
General/Parking Variance Application**

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _	ROW # _	Tax # _
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Section 1: Applicant Statement

Street Address: 2303 Quarry Road

Subdivision Legal Description:

W 52.5 FT OF LOT 5 BLK 2 WESTFIELD A

Lot(s): 5 Block(s): 2

Outlot: Division:

Zoning District: SF3

I/We JESSICA OZMUN on behalf of myself/ourselves as authorized agent for EDUCM INC C/O GREG JACOBSON affirm that on

Month August , Day 25 , Year 2017 , hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

- Erect Attach Complete Remodel Maintain Other:

Type of Structure: GARAGE ON PERMITTED SLAB FOUNDATION

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-2-515 - REAR YARD OF THROUGH LOT

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

There is a permitted oncrete slab where we are requesting that a garage to be built. Due to through yard setbacks and protected trees, this is the only place on the lot that covered parking can be utilized.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

The amount of protected trees on the lot, do not allow for covered parking anywhere else on the lot.

b) The hardship is not general to the area in which the property is located because:

The neighborhood is an older well established neighborhood all with existing carports or garages and this lot has many protected trees that do not allow for covered parking in any other area.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Many homes in this neighborhood have pre-existing detached garages or carports. There has been as least one variance case in this neighborhood to allow for a detached garage within the set back. Allowing for a detached garage on this lot will help to keep the character of the neighborhood.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Jessica Ozmun Digitally signed by Jessica Ozmun
Date: 2017.08.25 02:59:53 -05'00' Date: 08/25/2017

Applicant Name (typed or printed): Jessica Ozmun

Applicant Mailing Address: 5303 Beechmoor DR

City: Austin State: TX Zip: 78723

Phone (will be public information): (512) 971-2694

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ Date: _____

Owner Name (typed or printed): _____

Owner Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: Jessica Ozmun

Agent Mailing Address: 5303 Beechmoor DR

City: Austin State: TX Zip: 78723

Phone (will be public information): (512) 971-2694

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

We are looking to protect and maintain the character of the neighborhood by adding a detached garage and preserve the protected trees.

PROJECT DESIGNERS:
DUNCAN WHITE & GZA DESIGN STUDIO
124 W 30TH STREET, suite 305
NYC, NY
10001
512-636-8840
DUNCAN.W.WHITE@GMAIL.COM
GANGELIN@GMAIL.COM

ARCHITECT OF RECORD:
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New York 10038
phone 212.964.6070 fax 212.964.6072
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Dennis R. Rust
TO THE LIEN HOLDER AND / OR OWNERS OF THE PREMISES SURVEYED AND TO AMERIPOINT TITLE
I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE OF THE PROPERTY LEGALLY DESCRIBED HEREON AND THAT THERE ARE NO BOUNDARY LINE CONFLICTS, ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS, OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND CERTIFIES ONLY TO THE LEGAL DESCRIPTION AND EASEMENTS SHOWN ON THE REFERENCED TITLE COMMITMENT.

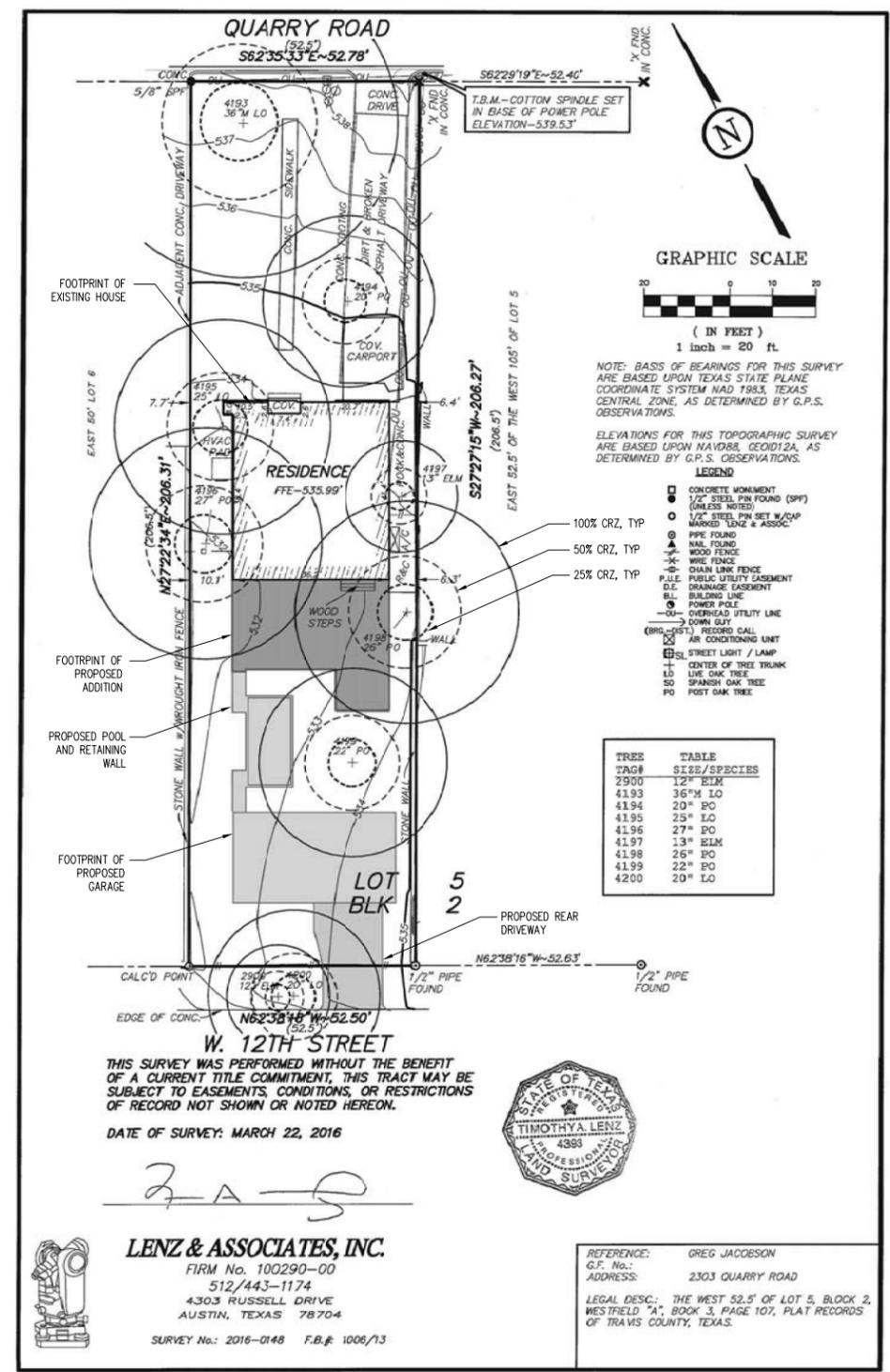
RESTRICTIONS
SUBJECT TO RESTRICTIONS IN VOL. 489, PG. 461.
SUBJECT TO BUILDING SETBACK LINES IN VOL. 489, PG. 461.
SUBJECT TO AN EASEMENT GRANTED TO THE CITY OF AUSTIN IN VOL. 1503, PG. 524, VOL. 1524, PG. 399, VOL. 1526, PG. 310, VOL. 3139, PG. 33.

LEGAL DESCRIPTION
BEIGN THE WEST 52.5 FEET OF LOT 5, BLOCK 2, OF WESTFIELD "A", AN ADDITION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN BOOK 3, PAGE 107, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

 ALLSTAR Land Surveying 9020 ANDERSON MILL RD AUSTIN, TEXAS 78729 (512) 249-8149 PHONE (512) 331-5217 FAX WWW.ALLSTARLANDSURVEYING.COM	F.I.R.M. MAP INFORMATION THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN, AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS F.I.R.M. MAP NO. 4845C0205 E PANEL: 0205 E DATED: JUNE 16, 1993 THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THE PROPERTY WILL OR WILL NOT FLOOD CONTACT YOUR LOCAL FLOOD PLAN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.	ADDRESS LAURA A. LEE AND JOHN M. LEE 2303 QUARRY ROAD AUSTIN, TRAVIS COUNTY, TEXAS
	SURVEY DATE: JULY 25, 2007 TITLE CO.: AMERIPOINT TITLE D.F. NO.: 210071266 JOB NO.: A0751007	FIELD BY: HENRY MARTINEZ 97/242007 CALC. BY: JEREMY WARREN 97/252007 DRAWN BY: DAMIAN SMITH 97/252007 CHECKED BY: DAMIAN SMITH 97/252007 RPLS CHECK: DENNIS RUST 97/242007

REVISION	7	
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NO. DATE DESCRIPTION		
STATUS PERMIT SET		
PROJECT NUMBER	1401	
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DATE	03/15/17	
SCALE	AS NOTED	
DRAWN BY	DW & GA	
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SURVEYS
SHEET NUMBER
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\\sclient\SLand Projects 3\WESTFIELD A - W 52.5 LOT 5 BLK A\dw\MS TREE TOPO 2016-0148.DWG. 3/29/2016 1:46:48 PM. XPMUser

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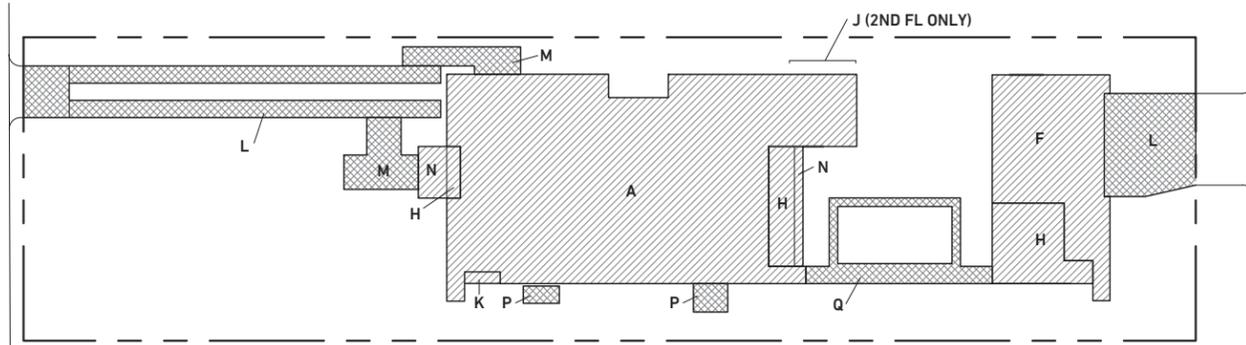
AREA DESCRIPTION	EXIST (SQ FT)	NEW (SQ FT)	TOTAL (SQ FT)
A. FIRST FLOOR CONDITIONED AREA	1,385	798	2,183
B. SECOND FLOOR CONDITIONED AREA	0	1,957	1,957
C. THIRD FLOOR CONDITIONED AREA	0	1,852	1,852
D. BASEMENT	0	0	0
E. ATTACHED COVERED PARKING	0	0	0
F. DETACHED COVERED PARKING	0	548	548
G. COVERED WOOD DECKS	0	0	0
H. COVERED PATIO	0	291	291
I. COVERED PORCH	0	0	0
J. BALCONY	0	154	154
K. OTHER (MISC OVERHANGS)	0	50	50
TOTAL BUILDING AREA (TBA)	1,385	5,650	7,035
TOTAL BUILDING COVERAGE (TBC)	1,385	1,687	3,072
L. DRIVEWAY**	416	285	701
M. SIDEWALKS	150	0	150
N. UNCOVERED PATIO	0	100	100
O. UNCOVERED WOOD DECKS	0	0	0
P. AC PADS AND OTHER CONCRETE FLATWORK	18	28	46
Q. OTHER (POOL COPING, RETAINING WALLS)	0	171	171
TOTAL IMPERVIOUS COVER*	1,969	2,271	4,240
R. POOL	0	200	200
S. SPA	0	0	0

BUILDING COVERAGE INFORMATION	
LOT AREA (SQ FT):	10,841
EXISTING BUILDING COVERAGE (SQ FT):	1,385
EXISTING COVERAGE % OF LOT =	13%
FINAL BUILDING COVERAGE (SQ FT):	3,072
EXISTING COVERAGE % OF LOT =	28%

IMPERVIOUS COVER INFORMATION	
EXISTING IMPERVIOUS COVERAGE (SQ FT):	1,969
EXISTING COVERAGE % OF LOT:	18%
FINAL IMPERVIOUS COVERAGE (SQ FT):	4,240
FINAL COVERAGE % OF LOT:	39%

* TOTAL IMPERVIOUS COVER IN FRONT YARD IS 10.6%
** EXISTING FRONT ASPHALT DRIVEWAY TO BE REPLACED WITH DRIVE RIBBONS OF LESSER TOTAL IMPERVIOUS AREA.

KEY:
 BUILDING COVERAGE
 IMPERVIOUS COVERAGE



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DATE 03/15/17

SCALE AS NOTED

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COVERAGE ANALYSIS

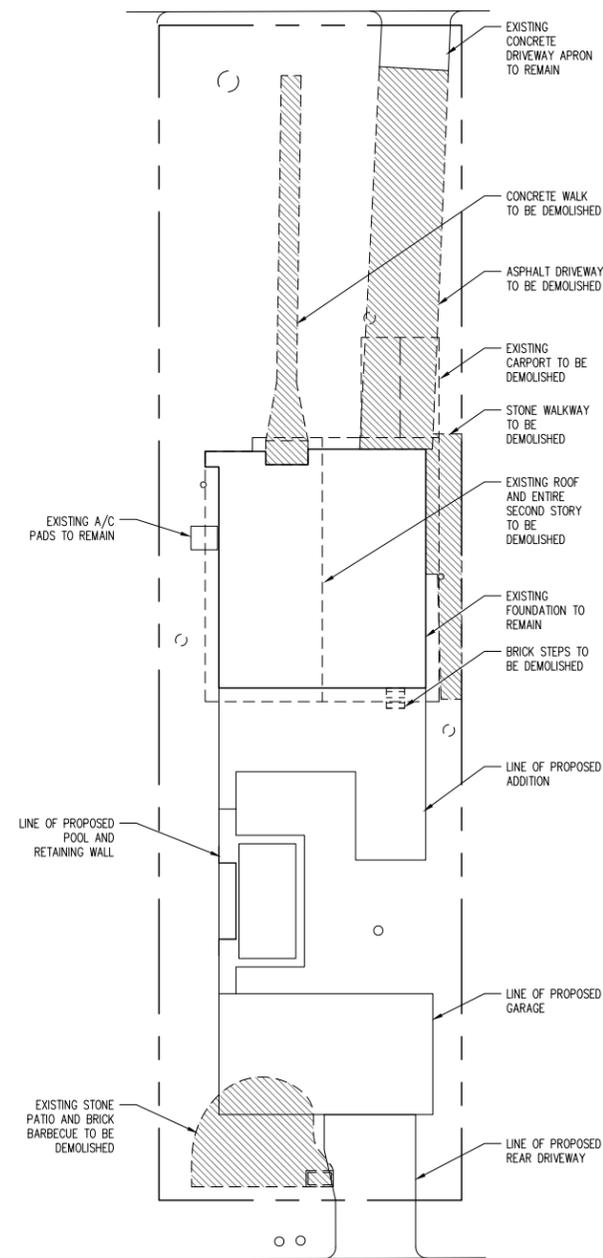
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PROJECT DESIGNERS:
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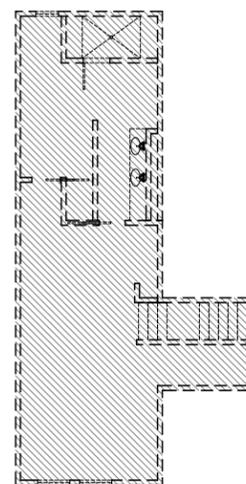
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DEMOLITION KEY:
 DEMOLISH



3 DEMO SITE PLAN 1/32" = 1'-0"

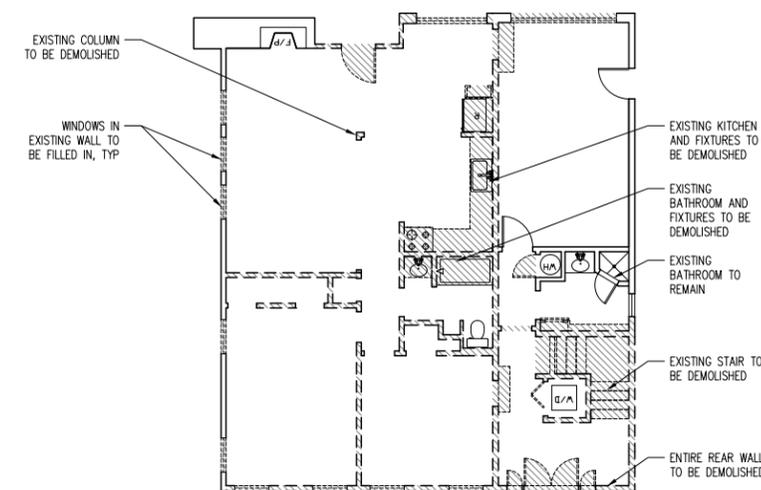
NOTE:
 ENTIRE EXISTING SECOND STORY AND ROOF TO BE DEMOLISHED



2 DEMO PLAN - 2ND FL 1/16" = 1'-0"



4 DEMO DIAGRAM: REAR VIEW NTS



1 DEMO PLAN - 1ST FL 1/16" = 1'-0"

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DEMO PLANS

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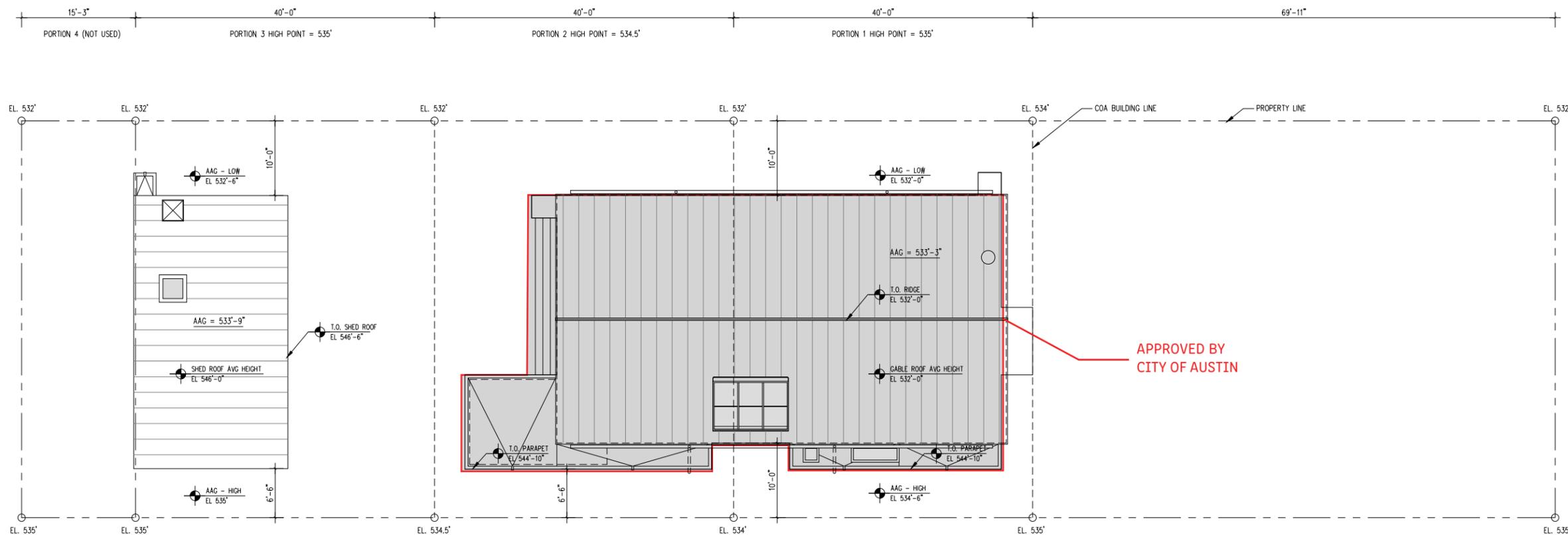
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TITLE
SITE PLAN

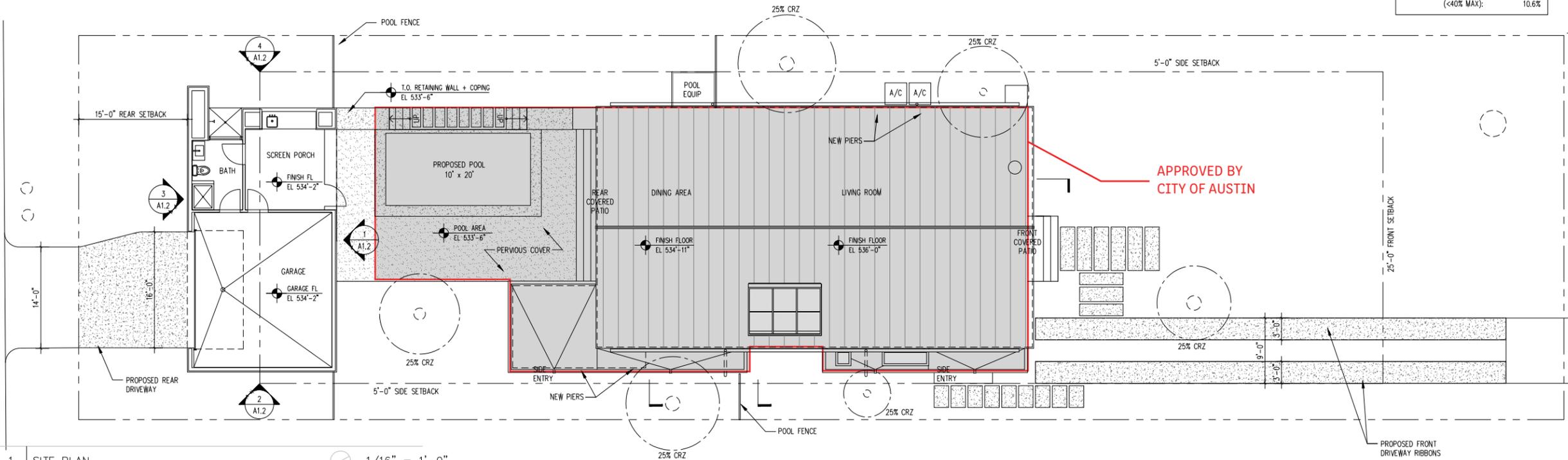
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2 SITE PLAN 1/16" = 1'-0"

NOTE: FRONT YARD IS COMPLIANT WITH WEST AUSTIN NEIGHBORHOOD GROUP NEIGHBORHOOD PLAN IMPERVIOUS COVERAGE REQUIREMENTS

FRONT YARD TOTAL AREA:	1,324 SQ FT
FRONT YARD TOTAL IMPERVIOUS COVERAGE:	140 SQ FT
FRONT YARD PERCENTAGE OF IMPERVIOUS COVERAGE (<40% MAX):	10.6%

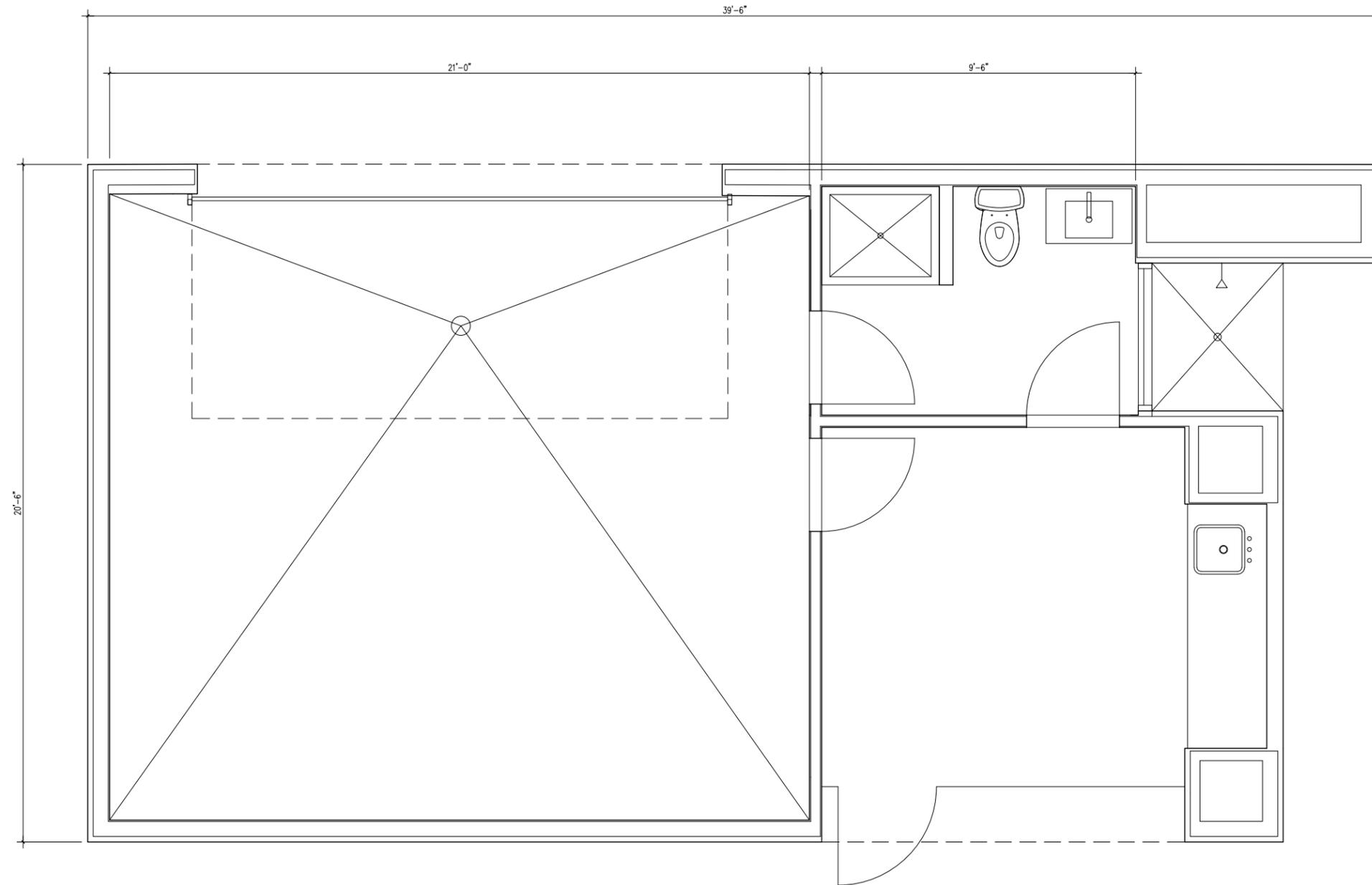


1 SITE PLAN 1/16" = 1'-0"

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1 GARAGE NORTH ELEVATION

1/4" = 1'-0"

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TITLE

FLOOR PLAN

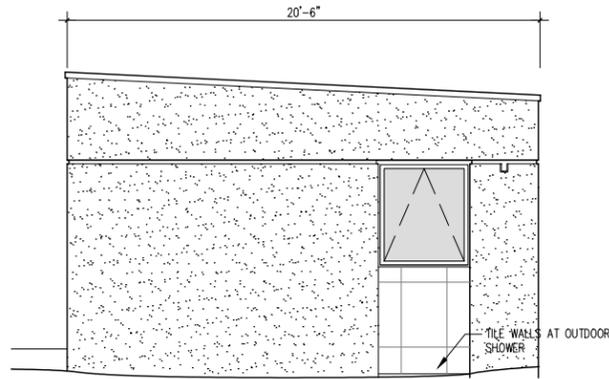
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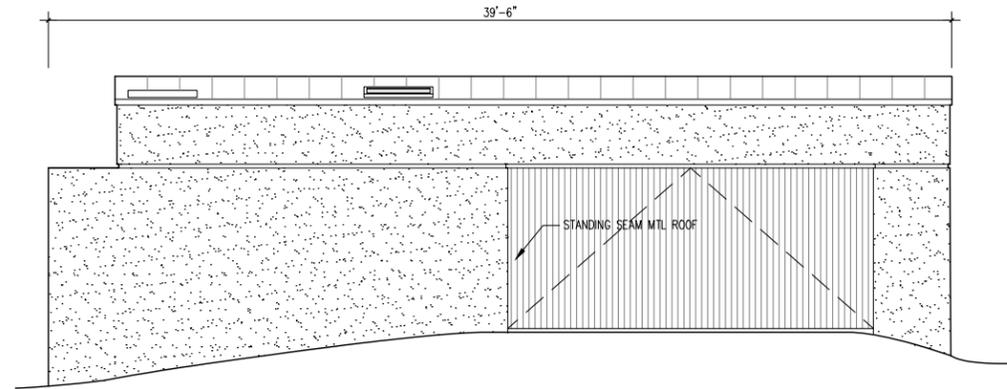
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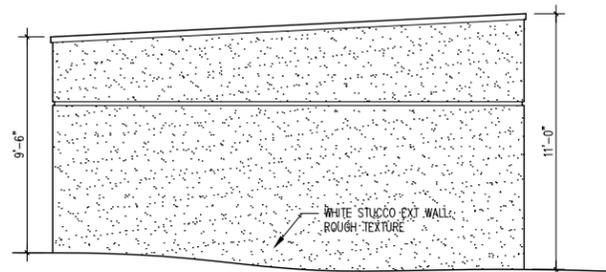
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 the signature and the date of each alteration, with a specific description of the
 alteration.



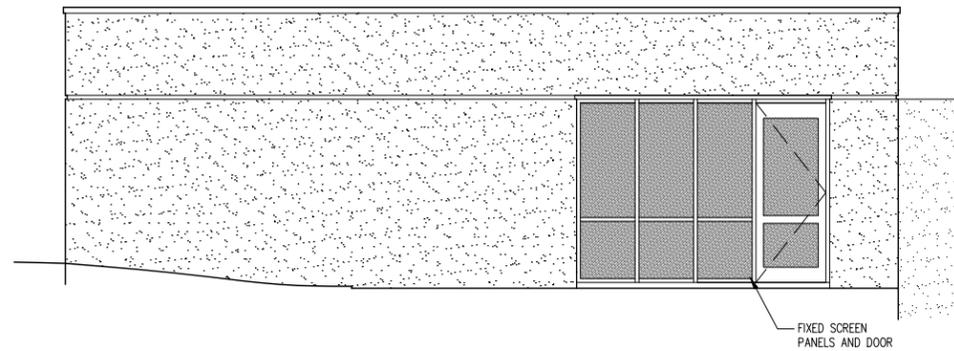
4 GARAGE NORTH ELEVATION 1/8" = 1'-0"



3 GARAGE NORTH ELEVATION 1/8" = 1'-0"



2 GARAGE NORTH ELEVATION 1/8" = 1'-0"



1 GARAGE NORTH ELEVATION 1/8" = 1'-0"

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ELEVATIONS

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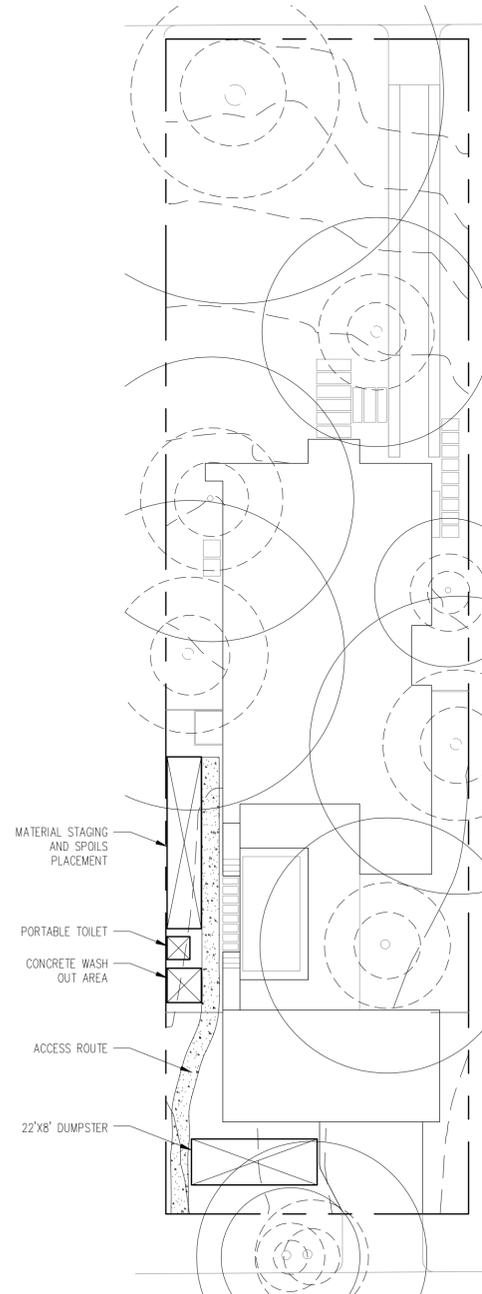
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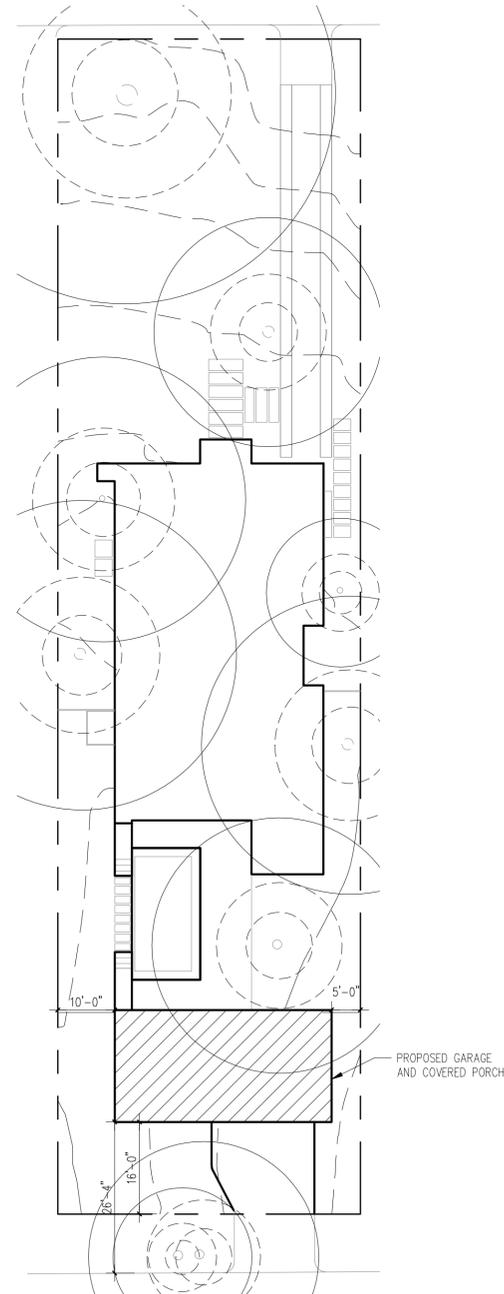
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 person shall be held responsible for the same. The seal of the architect shall not be used
 for any other purpose and the date of such alteration, and a specific description of that
 alteration.

DIAGRAM NOTE: CURRENTLY
 PERMITTED CONCRETE
 PARKING PAD TO BE
 CONVERTED TO GARAGE AND
 COVERED PORCH

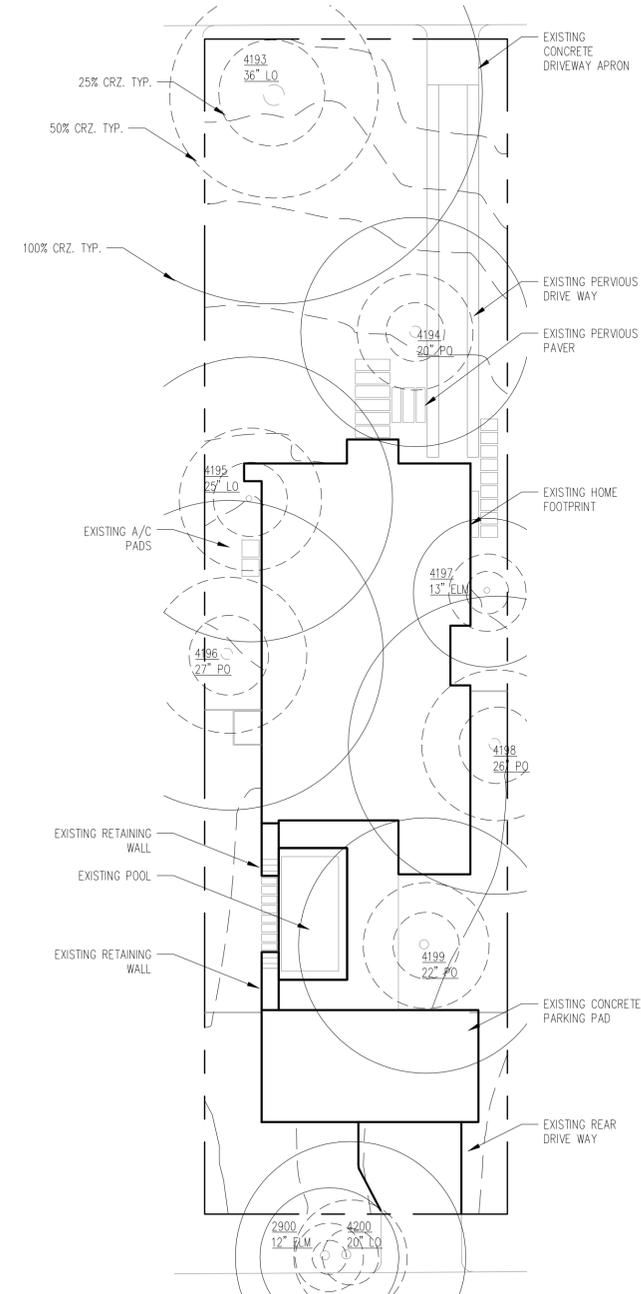
DIAGRAM NOTE:
 EXISTING=PERMITTED BUT
 NOT YET CONSTRUCTED.
 LABELED AS SUCH FOR
 APPLICATION CONSISTENCY



3 PROPOSED CONSTRUCTION PLANNING DIAGRAM



2 PROPOSED VARIANCE DIAGRAM 1/32" = 1'-0"



1 SITE DIAGRAM AS CURRENTLY PERMITTED 1/32" = 1'-0"

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TITLE
 SITE DIAGRAMS

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