

TARRY TRAIL RESIDENCE

2900 TARRY TRAIL | AUSTIN, TX | 78703

mfa
900 EAST 6TH STREET
SUITE 100
AUSTIN, TX 78702
TEL: 512.432.5137
www.mfarchitecture.com

LEGAL INFORMATION:

LOT 1 OF TARRY TRAIL

AREA CALCULATIONS:

LOT SIZE = 40,702.43 SF (1.1189 ACRES)
COA BUILDING COVERAGE = 6,927 SF
(ALLOWABLE = 19,512.97 SF)
COA IMPERVIOUS COVER = 14,383 SF
(ALLOWABLE = 21,952.09)

GENERAL NOTES:

1. THESE DRAWINGS ARE INTENDED TO COMPLIMENT A SEPARATE SPECIFICATION BOOKLET LABELED "SPECIFICATIONS FOR TARRY TRAIL RESIDENCE" WITH THE SAME DATE AS THIS DRAWING SET.
2. THESE CONSTRUCTION DOCUMENTS CONSIST OF ALL DOCUMENTS LISTED ON SHEET A0.00 AND THE INFORMATION ENCLOSED WITHIN.
3. CONTRACTOR SHALL VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOB SITE. USE DIMENSIONS INDICATED, DO NOT SCALE DRAWINGS.
4. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR ACTUAL JOB CONDITIONS WHICH WILL EFFECT THE EXECUTION OF THE WORK AS INTENDED.
5. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS.
6. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY STANDARDS, OSHA, AND THE BEST TRADE PRACTICES.
7. ALL INTERIOR SURFACES TO BE 1/2" GYPSUM WALL BOARD UNLESS OTHERWISE NOTED.

GENERAL CONDITIONS:

1. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
2. THE CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND WILL BE EXPECTED TO COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES AND/OR ALL WORK ILLUSTRATED OR IMPLIED BY THE NOTES AND DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

SHEET LIST

NUMBER	NAME
ARCHITECTURE	
A0.0	COVER + SCHEDULES
A0.1	GENERAL
A0.2	DEMO PLAN
A1.0	PILOT PLAN
A1.1	FLOOR PLAN - GARAGE LEVEL
A1.2	FLOOR PLAN - ADDITION
A1.3	ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
STRUCTURAL	
S-1	FOUNDATION AND FLOOR FRAMING PLANS
S-2	CEILING AND ROOF FRAMING PLAN
S-2.1	BRACED WALL PLAN AND GENERAL NOTES
S-3	FOUNDATION DETAILS
S-4	FRAMING DETAILS



WINDOW SCHEDULE:

KEY	LOCATION	DESCRIPTION	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	INSTALL WIDTH	INSTALL HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS
A	EXERCISE ROOM	Aluminum Thermally Insulated Windows	1'-10"	8'-0"	1'-9 1/2"	2'-0"	7'-11 1/2"		SAFETY GLAZING
B	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
C	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
D	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
E	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
F	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
G	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
H	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
I	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
J	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		
K	EXERCISE ROOM	Aluminum Thermally Insulated Windows	3'-2"	6'-0"	3'-1 1/2"	2'-0"	7'-11 1/2"		

DOOR SCHEDULE:

KEY	LOCATION	ROUGH WIDTH	ROUGH HEIGHT	DOOR TYPE	LOCKSET	COMMENTS
1	GARAGE	3'-0"	7'-0"	EXTERIOR SOLID PANEL	ENTRANCE W/DOORBOLT	
2	STORAGE	3'-0"	7'-0"	WOOD		RELIEF EXISTING
3	EXISTING STORAGE	3'-0"	8'-0"	WOOD		RELIEF EXISTING
4	EXISTING STORAGE	3'-0"	8'-0"	WOOD		RELIEF EXISTING
5	POOL BATHROOM	3'-0"	7'-0"	SOLID PANEL	PRIVACY FLUSH PULL	RELIEF EXISTING DOOR IF POSSIBLE
6	EXERCISE ROOM	3'-0"	8'-0"	WALGRAU ALUM. & GLASS EXTERIOR DOOR	ENTRANCE W/DOORBOLT	SAFETY GLAZING
10	GARAGE	8'-0"	8'-0"		AUTOMATIC OPERATOR	OVERHEAD GARAGE DOOR
11	GARAGE	20'-0"	8'-0"	WOOD	AUTOMATIC OPERATOR	DOUBLE OVERHEAD GARAGE DOOR
12	MECH	2'-10"	6'-0"	WOOD		
13	STORAGE	3'-0"	7'-0"	WOOD		RELIEF EXISTING

SHEET INFORMATION

COVER +
SCHEDULES

A0.0

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PROJECT TITLE

2900 TARRY TRAIL
2900 TARRY TRAIL | AUSTIN, TX

SEAL



RESPONS:

PROJECT NUMBER:

16137

DATE:

09/27/2017

PHASE:

PERMIT

DRAWING TITLE:

COVER +

SCHEDULES

EASTING POOL TO BE DRAINED AND FILLED

ROOF STRUCTURE TO REMAIN THIS SIDE--
OF ROOF RIDGE

EXISTING RIDGE OF ROOF
ROOF STRUCTURE TO REMAIN THIS SIDE
OF ROOF RIDGE
WINDOW TO BE FILLED

EXISTING DOOR TO BE RELOCATED

LIMESTONE STEPS AND LANDSCAPING TO BE REMOVED

WOOD WALL TO BE REMOVED

EXIST. POWDER

GARAGE LEVEL

PARTIAL WOOD WALL TO BE REMOVED

~~---EASTING DOOR TO BE RELOCATED~~

GARAGE LEVEL

LINE OF ROOF TO BE REMOVED ABOVE--

---EXISTING DOOR TO BE RELOCATED

STONE FIREPLACE AT TOP
TO BE REMOVED.
CONCRETE RETAINING WALL
BELOW TO REMAIN

EXISTING CAPPORT

PATIO AND STAIRS TO BE REMOVED-

STONE WALL AT TOP
TO BE REMOVED.
CONCRETE RETAINING WALL
BELOW TO REMAIN

GAGE LEVER

**CONCRETE STAIR TO BE REMOVED
AND RECONFIGURED**



---EXISTING DOOR TO BE REMOVED

ROOF FROM THIS LINE TO HOUSE TO BE REMOVED.
ROOF STRUCTURE FROM LINE OVER CARPORT TO REMAIN
WITH NEW STANDING SEAM METAL ROOF TO BE ADDED

A21

EXISTING HOUSE TO REMAIN AS IS

EATING HOUSE TO REMAIN AS

TO BE DEMO'D	TO REMAIN	MAIN STRUCTURE TO REMAIN
---		

MATT FAJKUS ARCHITECTURE, LLC

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These broad findings and specifications on the property of the 1990s indicate that any one study could provide a lot of useful input for understanding the behavior of growth.



REVISIONS

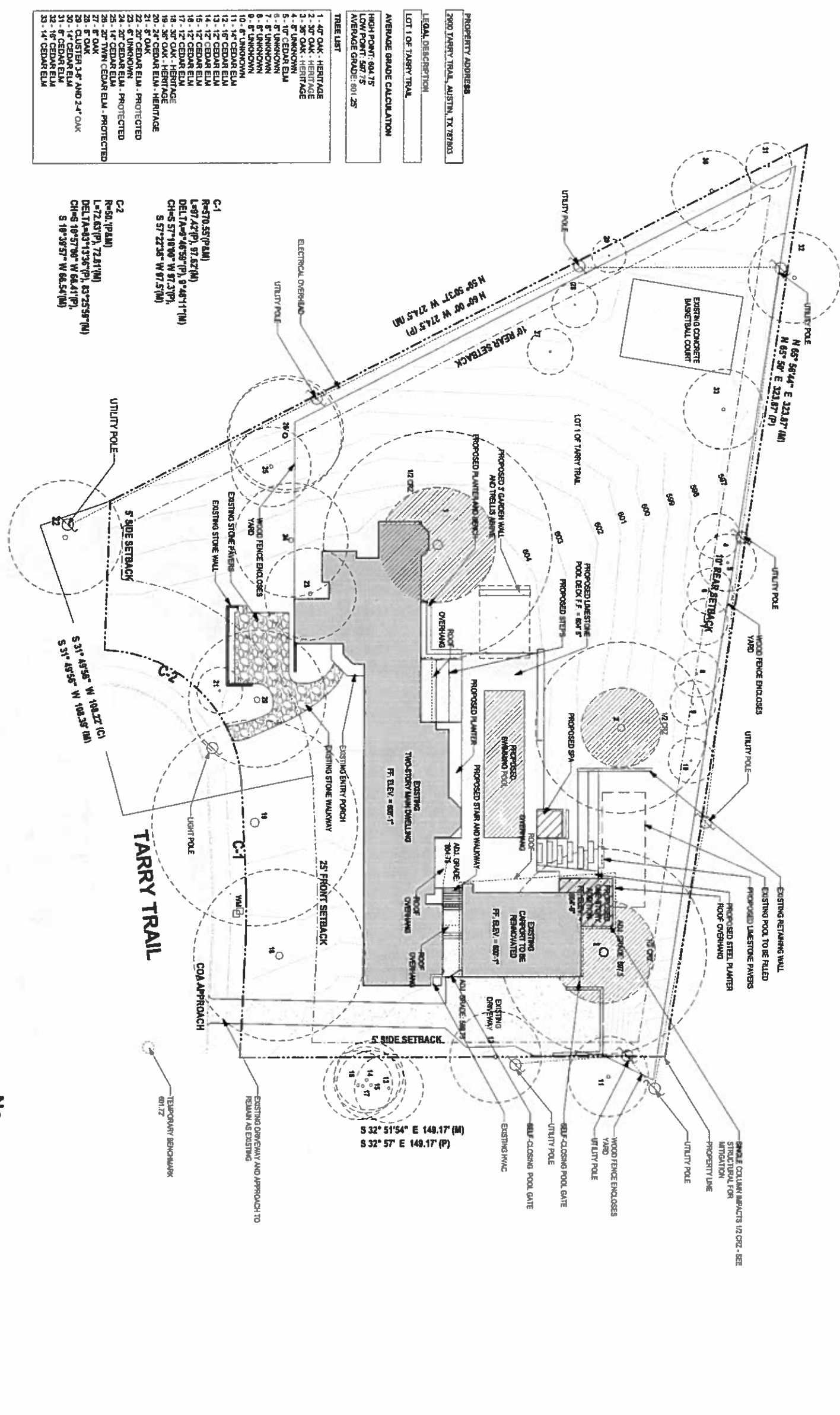
SHEET INFORMATION

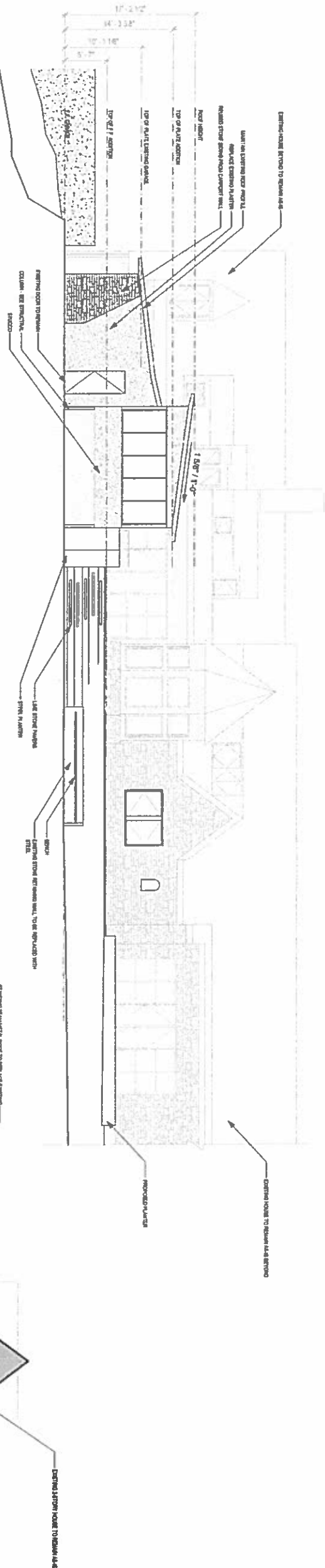
A0.2

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DEMOPLAN

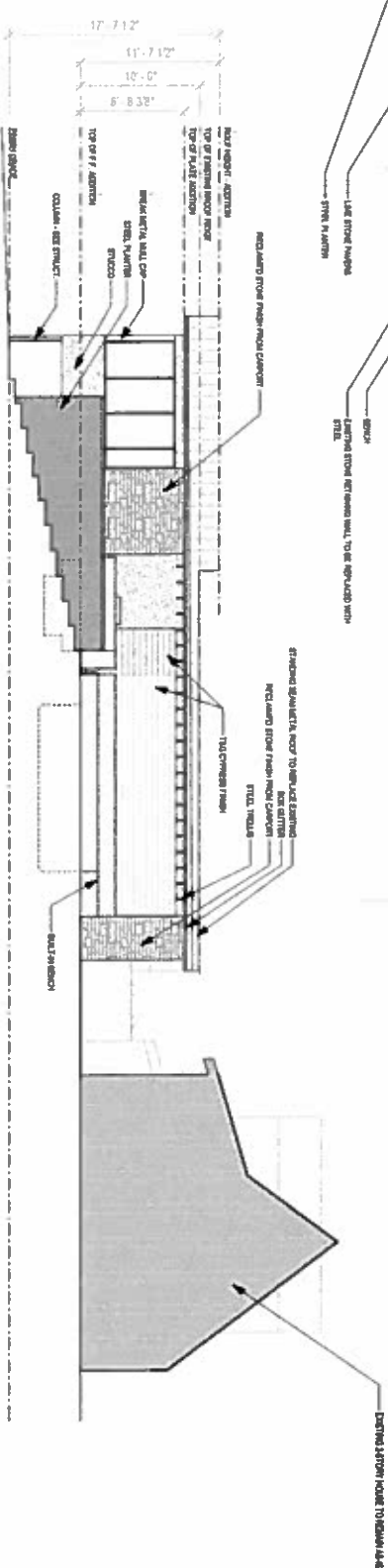
$$\frac{1}{8} = 12.5\%$$



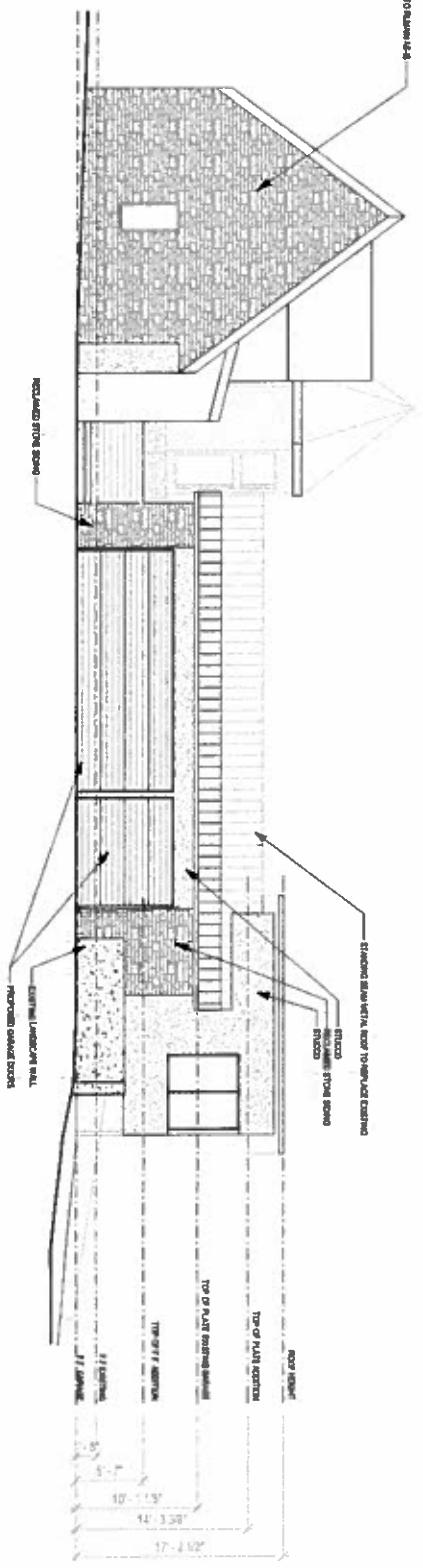
1 PROPOSED - NORTH ELEVATION

1/16" = 1'-0"



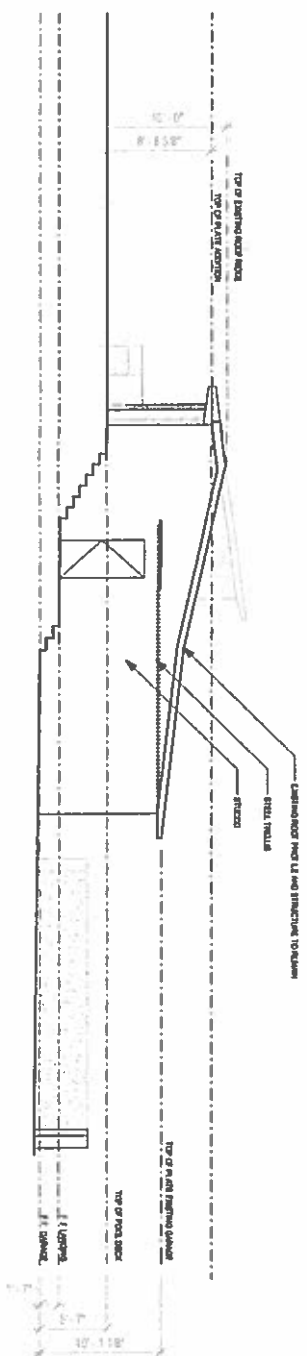
2 PROPOSED - WEST ELEVATION

1/16" = 1'-0"



3 PROPOSED - EAST ELEVATION

1/16" = 1'-0"



4 PROPOSED - SOUTH ELEVATION

1/16" = 1'-0"

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SEAL

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SHEET INFORMATION

REVISIONS:

PROJECT NUMBER:
16137

DATE:
09/27/2017

PHASE:
PERMIT

DRAWING TITLE:
EXTERIOR
ELEVATIONS

A2.1

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