

**ZONING AND PLATTING COMMISSION
HILL COUNTRY ROADWAY
SITE PLAN REVIEW SHEET**

CASE NUMBER: SPC-2016-0453C **ZAP COMMISSION DATE:** December 5, 2017

PROJECT NAME: Westlake Residential

ADDRESS: 800 N Capitol of Texas Hwy

DISTRICT: 10

WATERSHED: Bee Creek (Water Supply Rural)

AREA: 19.96 acres/11.01 acres limits of construction

APPLICANT: 360 Development
6300 Bee Cave Rd
Austin, Texas 78746

AGENT: Lawrence Hanrahan, P.E.
Civile, LLC
8200 Mopac, Ste 250
Austin, Texas 787596

CASE MANAGER: Christine Barton-Holmes, CNUa, LEED AP (512) 974-2788
christine.barton-holmes@austintexas.gov

EXISTING ZONING: PUD

PROPOSED USE: The applicant proposes to construct commercial multi-family with associated improvement within the Low Intensity Zone of the Loop 360 Hill Country Roadway Corridor.

REQUEST: The site is located within the Low Intensity Zone of the Loop 360 Hill Country Roadway Corridor, and must be presented to the Zoning and Platting Commission for approval, a Hill Country Roadway Ordinance requirement.

WAIVER REQUEST: There are no waiver requests with this application.

SUMMARY STAFF RECOMMENDATION FOR HCRC SITE PLAN: Staff recommends approval of this Hill Country Roadway site plan. The site plan complies with all other applicable requirements of the Land Development Code including all Hill Country Roadway Corridor development regulations. All comments have been cleared.

ZONING AND PLATTING COMMISSION ACTION: Postponed from the November 7, 2017 meeting.

LEGAL DESCRIPTION: Lot 1 and Lot 5, Block A of the Rob Roy 360 Subdivision (200100089)

EXIST. ZONING: PUD

ALLOWED F.A.R.: NA

ALLOWED HEIGHT: 35'

MAX. BLDG. COVERAGE: NA

MAX. IMPERV. CVRG.: 20.8%

MIN. REQ. HC NATURAL AREA: 36,640 sf

REQUIRED PARKING: 134

PROPOSED USE: Condominiums

PROPOSED F.A.R.: .2179:1

PROPOSED HEIGHT: 35'

PROPOSED BLDG. CVRG: 87,912 (12%)

PROPOSED IMP. CVRG.: 145,936 sf (19.91)

PROVIDED: 44,790 sf

PROPOSED PARKING: 150

SUMMARY COMMENTS ON SITE PLAN:

Land Use: This site is part of the Davenport West PUD plan, which was approved per Ordinance 89020-B, 010719-115, 0101719-28, 021205-17, 20050825-040, 20070322-059, and 20140306-033. The project is comprised of 67 residential units, and complies with the PUD. The applicant will use building materials that are compatible with the Hill Country environment, and the site plan will comply with all requirements of the Land Development Code prior to its release.

Environmental: This site is located in the Bee Creek watershed, and is subject to Water Supply Rural Watershed regulations. All environmental comments have been addressed and cleared.

Transportation: Access to the proposed site will be taken from Capitol of Texas Highway North. The site plan will comply with all transportation requirements prior to release.

SURROUNDING CONDITIONS:

North: Single-family residential (PUD and SF-1)

East: Capitol of Texas Hwy, then preserve

West: Preserve and single-family (SF-2 and ETJ)

South: Single-family and office (SF-2 and LO)

Street

Capitol of Texas Hwy

R.O.W.

380'

Surfacing

140' (split)

Classification

Highway

NEIGHBORHOOD ORGANIZATION:

Austin Neighborhoods Council
 Bat Conservation International, Inc.
 Bike Austin
 City of Rollingwood
 Davenport Ranch Neighborhood Association
 Lake Austin Collective
 Preservation Austin
 Rob Roy Homeowners Association, Inc.
 Save Our Springs Alliance
 SEL Texas
 Sierra Club
 The Island on Westlake Owners Assn.
 Travis County Natural Resources

UNIT NAME	HEIGHT	NUMBER OF BEDS	NUMBER OF BATHS	DEN/STUDY	NUMBER OF UNITS	UNIT AREA	TOTAL AREA	UNIT FOOTPRINT	IMPERVIOUS AREA
UNIT A	2 STORY	1	1.5	NO	3	1,220	3,860	628	1884
UNIT B	2 STORY	3	2.5	YES	17	2,170	36,890	1451	24667
UNIT D	3 STORY	3	3.5	YES	16	2,312	36,992	1012	16192
UNIT E	2 STORY	3	2.5	YES	7	2,366	16,562	1442	10094
UNIT F	2/3 SPLIT Game	3	3.5	YES	7	2,709	18,963	1421	9947
UNIT G	2/3 SPLIT Gar Dn	3	3.5	YES	17	2,740	46,580	1296	22032
TOTAL					67		159,647		84816
AVERAGE UNIT AREA							2,383		

LAND AREA	
TOTAL UNIT AREA (ABOVE)	84816
ROADWAY	57826
MAILBOX AND GATE	600
CLUB HOUSE	558
POOL DECK	1938
TOTAL AREA	145738
	3.35 ACRES

Building	Unit Square Ft.	Footprint (sf)	Foundation	Height	Stories
A1	1220	628	Concrete Slab	24'-2"	2
A3	1220	628	Concrete Slab	24'-2"	2
A5	1220	628	Concrete Slab	24'-2"	2
B1	2170	1451	Concrete Slab	24'-1"	2
B2	2170	1451	Concrete Slab	24'-1"	2
B3	2170	1451	Concrete Slab	24'-1"	2
B5	2170	1451	Concrete Slab	24'-1"	2
B6	2170	1451	Concrete Slab	24'-1"	2
B7	2170	1451	Concrete Slab	24'-1"	2
B8	2170	1451	Concrete Slab	24'-1"	2
B9	2170	1451	Concrete Slab	24'-1"	2
B17 *	2170	1451	Concrete Slab	24'-1"	2
B19	2170	1451	Concrete Slab	24'-1"	2
B21	2170	1451	Concrete Slab	24'-1"	2
B23 *	2170	1451	Concrete Slab	24'-1"	2
B24	2170	1451	Concrete Slab	24'-1"	2
B25	2170	1451	Concrete Slab	24'-1"	2
B27	2170	1451	Concrete Slab	24'-1"	2
B29	2170	1451	Concrete Slab	24'-1"	2
B31	2170	1451	Concrete Slab	24'-1"	2
D3	2312	1012	Concrete Slab	32'-9"	2
D4	2312	1012	Concrete Slab	32'-9"	2
D8	2312	1012	Concrete Slab	32'-9"	2
D9	2312	1012	Concrete Slab	32'-9"	2
D10	2312	1012	Concrete Slab	32'-9"	2
TOTAL	52110	31611			

Building	Unit Square Ft.	Footprint (sf)	Foundation	Height	Stories
D11	2312	1012	Concrete Slab	32'-9"	2
D12	2312	1012	Concrete Slab	32'-9"	2
D13	2312	1012	Concrete Slab	32'-9"	2
D14	2312	1012	Concrete Slab	32'-9"	2
D15	2312	1012	Concrete Slab	32'-9"	2
D16	2312	1012	Concrete Slab	32'-9"	2
D17	2312	1012	Concrete Slab	32'-9"	2
D18	2312	1012	Concrete Slab	32'-9"	2
D19	2312	1012	Concrete Slab	32'-9"	2
D20	2312	1012	Concrete Slab	32'-9"	2
D37	2312	1012	Concrete Slab	32'-9"	2
E1	2366	1442	Concrete Slab	24'	2
E3	2366	1442	Concrete Slab	24'	2
E4	2366	1442	Concrete Slab	24'	2
E5	2366	1442	Concrete Slab	24'	2
E6	2366	1442	Concrete Slab	24'	2
E9	2366	1442	Concrete Slab	24'	2
E12	2366	1442	Concrete Slab	24'	2
F1 *	2709	1421	Concrete Slab	35'-1"	2
F3 *	2709	1421	Concrete Slab	35'-1"	2
F4 *	2709	1421	Concrete Slab	35'-1"	2
F5 *	2709	1421	Concrete Slab	35'-1"	2
F6 *	2709	1421	Concrete Slab	35'-1"	2
F7 *	2709	1421	Concrete Slab	35'-1"	2
F8 *	2709	1421	Concrete Slab	35'-1"	2
TOTAL	60957	31173			

Building	Unit Square Ft.	Footprint (sf)	Foundation	Height	Stories
G1	2740	1296	Concrete Slab	34'-1"	2/3 Split
G2	2740	1296	Concrete Slab	34'-1"	2/3 Split
G3	2740	1296	Concrete Slab	34'-1"	2/3 Split
G4	2740	1296	Concrete Slab	34'-1"	2/3 Split
G5	2740	1296	Concrete Slab	34'-1"	2/3 Split
G6	2740	1296	Concrete Slab	34'-1"	2/3 Split
G7	2740	1296	Concrete Slab	34'-1"	2/3 Split
G8	2740	1296	Concrete Slab	34'-1"	2/3 Split
G9	2740	1296	Concrete Slab	34'-1"	2/3 Split
G10	2740	1296	Concrete Slab	34'-1"	2/3 Split
G11	2740	1296	Concrete Slab	34'-1"	2/3 Split
G12	2740	1296	Concrete Slab	34'-1"	2/3 Split
G13	2740	1296	Concrete Slab	34'-1"	2/3 Split
G14	2740	1296	Concrete Slab	34'-1"	2/3 Split
G15	2740	1296	Concrete Slab	34'-1"	2/3 Split
G16	2740	1296	Concrete Slab	34'-1"	2/3 Split
G17	2740	1296	Concrete Slab	34'-1"	2/3 Split
TOTAL	46580	22032			

GENERAL NOTES:
1) SITE PLAN COMPONENTS. ALL BUILDING AND STRUCTURAL IMPROVEMENTS SHOWN HEREON ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. CIVILE LLC IS NOT RESPONSIBLE OR LIABLE FOR THE DESIGN OF BUILDING AND STRUCTURAL IMPROVEMENTS BY OTHERS.
2) STRUCTURAL COMPONENTS. ALL STRUCTURAL DESIGN IS THE RESPONSIBILITY OF THE OWNER'S STRUCTURAL ENGINEER.
3) ALL FINAL STRUCTURAL DETAILS (INCLUDING FRENCH DRAINS, EXPANSION JOINTS, WATER STOPS, ETC) SHALL BE PROVIDED BY THE OWNER'S STRUCTURAL ENGINEER. ALL STRUCTURAL DETAILS SHALL MEET THE CITY OF AUSTIN SPECIFICATIONS.
4) RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT, MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, SHALL BE ENGINEERED PER IBC 2009 AND WILL REQUIRE A SEPARATE PERMIT. ALL RETAINING WALLS IN AN EASEMENT OR R.O.W. REGARDLESS OF HEIGHT, SHALL BE REVIEWED ACCORDING TO COA TRANSPORTATION CRITERIA MANUAL, CHAPTER 11.
5) APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. COMPLIANCE WITH ACCESSIBILITY STANDARDS SUCH AS THE 2010 STANDARDS FOR ACCESSIBLE DESIGN OR THE 2012 TEXAS ACCESSIBILITY STANDARDS WAS NOT VERIFIED. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY STANDARDS.

NOTES:
1) ALL FINAL STRUCTURAL DETAILS (INCLUDING FRENCH DRAINS, WALLS, EXPANSION JOINTS, WATER STOPS, ETC) SHALL BE PROVIDED BY THE OWNER'S STRUCTURAL ENGINEER. ALL STRUCTURAL DETAILS SHALL MEET THE CITY OF AUSTIN SPECIFICATIONS.
2) THE TOPS OF ALL SITE WALLS DIRECTLY ADJACENT TO VEHICULAR TRAFFIC SHALL BE A MINIMUM OF 18" ABOVE FINISHED GRADE AND SHALL BE DESIGNED ASSUMING A VEHICULAR IMPACT LOAD.
3) THE TOPS OF ALL SITE WALLS NOT DIRECTLY ADJACENT TO VEHICULAR TRAFFIC SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
4) ALL PROPOSED SITE WALLS WITH A HEIGHT GREATER THAN 4 FEET SHALL INCLUDE A MINIMUM 4" HIGH HANDRAIL ATTACHED TO THE TOP OF THE PROPOSED WALL. SEE GENERAL DETAIL SHEET FOR HANDRAIL DETAIL.
5) RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT, MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, SHALL BE ENGINEERED PER IBC 2009 AND WILL REQUIRE A SEPARATE PERMIT. ALL RETAINING WALLS IN AN EASEMENT OR R.O.W. REGARDLESS OF HEIGHT, SHALL BE REVIEWED ACCORDING TO COA TRANSPORTATION CRITERIA MANUAL, CHAPTER 11.
6) PAVEMENT MATERIAL, THICKNESS, SUBBASE, JOINTING AND SPECIFICATIONS SHOULD BE IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL ENGINEER'S REQUIREMENTS. REFER TO THE PROJECT GEOTECHNICAL REPORT.
7) UNLESS INDICATED ON THE PLAN AS "RAMP WITH HAND RAILS", ALL ADA ACCESSIBLE WALKING ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE NO GREATER THAN 5%. ADA ROUTES SHALL HAVE A CROSS SLOPE NO GREATER THAN 2%. ADA LANDINGS AREAS SHALL HAVE NO SLOPES GREATER THAN 2% IN ANY DIRECTION. ADA ROUTES INDICATED AS "RAMPS WITH RAILS" SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8% WITH A MAXIMUM RUNNING DISTANCE OF 30 FEET.
8) NO CUT/FILL IN EXCESS OF 4' IS PROPOSED.
9) ALL BUILDING ROOF RUNOFF SHALL BE GUTTERED AND DOWN-SPOUTED AND CONVEYED OVERLAND TO THE PROPOSED STORM SEWER OR OFFSITE CHANNEL.

COMPATIBILITY STANDARD NOTES:
1) ALL EXTERIOR LIGHTING WILL BE HOODED OR SHIELDED FROM VIEW OF ADJACENT PROPERTY. [SECTION 25-2-1084].
2) ALL DUMPSTERS AND ANY PERMANENTLY PLACED REFUSE RECEPTACLES WILL BE LOCATED AT A MINIMUM OF (20) FEET FROM A PROPERTY USED AS SF-3 OR MORE RESTRICTIVE. [SECTION 25-2-1087]
3) THE USE OF HIGHLY REFLECTIVE SURFACES, SUCH AS A REFLECTIVE GLASS AND REFLECTIVE METAL ROOFS, WHOSE PITCH IS IS MORE THAN A RUN OF SEVEN (7) TO A RISE OF TWELVE (12) WILL BE PROHIBITED. [SECTION 25-2-1087]
4) THE NOISE OF MECHANICAL EQUIPMENT WILL NOT EXCEED 70 DBA AT THE PROPERTY LINE ADJACENT TO RESIDENTIAL USES. [SECTION 25-2-1087]

Gross Square Footage = 159,126 gsf				
Building Type	No. of Units	Unit type	Parking Required	Total of parking
Type A	3	1 bedroom	2.0	6
Type B	17	3 bedroom	2.0	34
Type D	16	3 Bedroom	2.0	32
Type E	7	3 Bedroom	2.0	14
Type F	7	3 Bedroom	2.0	14
Type G	17	3 Bedroom	2.0	34
	67	Total Building Parking Required		134
Accessible	1 (VAN)		3	
		Total Parking Required		134

Parking Provided		
Standard		19
Garage		128
Tandem		0
Parallel		0
Accessible	1 (VAN)	3
Total		150
Bicycle	Bicycle Spaces Required 8	Bicycle Spaces Provided 10

EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED IN THE GO, LR, GR, CS, OR CS-1 ZONING DISTRICTS, WHEN ADJACENT TO AN SF-5 OR MORE RESTRICTIVE ZONING DISTRICT. [SECTION 25-2-585]
ALL ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY THE UTILITY TO BE OTHERWISE LOCATED. [SECTION 25-2-1125]
APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

PAVEMENT MATERIAL, THICKNESS, SUBBASE, JOINTING AND SPECIFICATIONS SHOULD BE IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL ENGINEER'S REQUIREMENTS. REFER TO THE PROJECT GEOTECHNICAL REPORT.
ALL EMERGENCY ACCESS ROADWAYS & FIRE LANES, INCLUDING PERVAH/DECORATIVE PAVING, SHALL BE ENGINEERED & INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) & A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.

EXAMPLES OF FULLY SHIELDED LIGHT FIXTURES

FULLY SHIELDED AND FULL CUT-OFF LIGHT FIXTURES REQUIRED. OUTDOOR LIGHTING APPLICATIONS SHALL BE ILLUMINATED BY FIXTURES THAT ARE BOTH FULLY SHIELDED AND FULL CUT-OFF.

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ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

SITE PLAN APPROVAL SHEET OF 92
FILE NUMBER: SPC-2016-0453C APPLICATION DATE: 09/28/2016
APPROVED BY COMMISSION ON N/A
UNDER SECTION: 142 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
C. BARTON-HOLMES
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2_D02__

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ZONING: PUB_SF-2
REV. 1 _____ CORR. 1 _____
REV. 2 _____ CORR. 2 _____
REV. 3 _____ CORR. 3 _____
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.
SPC-2016-0453C

APPENDIX Q-2: IMPERVIOUS COVER

Allowable Impervious Cover:		
Impervious Cover Allowed at	x WQ/TZ	0.00 Acres
Impervious Cover Allowed at	x NSA	0.00 Acres
Deduction for Perimeter Roadway		0 Acres
Total Impervious Cover	152,458.80 sf	3.50 Acres

3.5 acres allowed for a multi-family project on Lot 1-A (PUD Ordinance No. 20140306-033, Part 4, f.)

Allowable Impervious Cover Breakdown By Slope Category:		
Total Acreage 15-15%	4.588 x 10%	0.459 Acres

Proposed Total Impervious Cover:		
Impervious Cover in WQ/TZ	0 Acres	0%
Impervious Cover in Uplands Zone	3.35 Acres	22%
Total Proposed Impervious Cover	3.35 Acres	

Proposed Impervious Cover on Slopes:		
Buildings and Other Impervious Cover (Acres)	Driveways/Roadways Impervious Cover (Acres)	% of Category Total (Acres)
0-15%	1.544	1.162 41% 2.706
15-25%	0.478	0.173 14% 0.651
25-35%	0	0 0% 0
Over 35%	0	0 0% 0
Total Gross Site Area	16.823 Acres	
Total Net Site Area	9.07 Acres	

APPENDIX Q-1: NET SITE AREA

Total Gross Site Area:	3.14 Acres
Site Deductions:	
Critical Water Quality Zone (CWQZ)	0.00 Acres
Water Quality Transition Zone (WQ/TZ)	0.00 Acres
Wastewater Irrigation Areas	2.00 Acres
Deduction Subtotal	2.00 Acres
Upland Area (Gross Less Total Deductions)	1.14 Acres

Net Site Area Calculations:		
Area of Uplands With Slopes 0-15%	1.416 x 100%	1.42 Acres
Area of Uplands With Slopes 15-25%	1.07 x 40%	0.43 Acres
Area of Uplands With Slopes 25-35%	0.51 x 20%	0.10 Acres
Area of Uplands With Slopes Over 35%	0.15 x 0%	0.00 Acres
Net Site Area Total		1.94 Acres

APPENDIX Q-2: IMPERVIOUS COVER

Allowable Impervious Cover:		
Impervious Cover Allowed at	0% x WQ/TZ	0.00 Acres
Impervious Cover Allowed at	40% x NSA	0.78 Acres
Deduction for Perimeter Roadway		0 Acres
Total Impervious Cover	33,872.26 sf	0.78 Acres

Allowable Impervious Cover Breakdown By Slope Category:		
Total Acreage 15-15%	1.066 x 10%	0.107 Acres

Proposed Total Impervious Cover:		
Impervious Cover in WQ/TZ	0 Acres	0%
Impervious Cover in Uplands Zone	0 Acres	0%
Total Proposed Impervious Cover	0 Acres	

Proposed Impervious Cover on Slopes:				
Slope	Buildings and Other Impervious Cover (Acres)	Driveways/Roadways Impervious Cover (Acres)	% of Category	Total (Acres)
0-15%			0%	0
15-25%			0%	0
25-35%			0%	0
Over 35%			0%	0
Total Gross Site Area	3.14 Acres			
Total Net Site Area	1.94 Acres			

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Type E	7	3 Bedroom	2.0	14
Type F	7	3 Bedroom	2.0	14
Type G	17	3 Bedroom	2.0	34
	67	Total Building Parking Required		134
Accessible	1 (VAN)		3	
		Total Parking Required		134

Parking Provided		
Standard		19
Garage		128
Tandem		0
Parallel		0
Accessible	1 (VAN)	3
Total		150
Bicycle	Bicycle Spaces Required 8	Bicycle Spaces Provided 10

EXTERIOR LIGHTING ABOVE THE SECOND FLOOR IS PROHIBITED IN THE GO, LR, GR, CS, OR CS-1 ZONING DISTRICTS, WHEN ADJACENT TO AN SF-5 OR MORE RESTRICTIVE ZONING DISTRICT. [SECTION 25-2-585]
ALL ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY THE UTILITY TO BE OTHERWISE LOCATED. [SECTION 25-2-1125]
APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

PAVEMENT MATERIAL, THICKNESS, SUBBASE, JOINTING AND SPECIFICATIONS SHOULD BE IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL ENGINEER'S REQUIREMENTS. REFER TO THE PROJECT GEOTECHNICAL REPORT.
ALL EMERGENCY ACCESS ROADWAYS & FIRE LANES, INCLUDING PERVAH/DECORATIVE PAVING, SHALL BE ENGINEERED & INSTALLED AS REQUIRED TO SUPPORT THE AXLE LOADS OF EMERGENCY VEHICLES. A LOAD CAPACITY SUFFICIENT TO MEET THE REQUIREMENTS FOR HS-20 LOADING (16 KIPS/WHEEL) & A TOTAL VEHICLE LIVE LOAD OF 80,000 POUNDS IS CONSIDERED COMPLIANT WITH THIS REQUIREMENT.

EXAMPLES OF FULLY SHIELDED LIGHT FIXTURES

FULLY SHIELDED AND FULL CUT-OFF LIGHT FIXTURES REQUIRED. OUTDOOR LIGHTING APPLICATIONS SHALL BE ILLUMINATED BY FIXTURES THAT ARE BOTH FULLY SHIELDED AND FULL CUT-OFF.

CASE NO: SPC-2016-0453C

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

SITE PLAN APPROVAL SHEET OF 92
FILE NUMBER: SPC-2016-0453C APPLICATION DATE: 09/28/2016
APPROVED BY COMMISSION ON N/A
UNDER SECTION: 142 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
C. BARTON-HOLMES
EXPIRATION DATE(25-5-81, LDC) CASE MANAGER
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2_D02__

Director, Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: ZONING: PUB_SF-2
REV. 1 _____ CORR. 1 _____
REV. 2 _____ CORR. 2 _____
REV. 3 _____ CORR. 3 _____
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.
SPC-2016-0453C

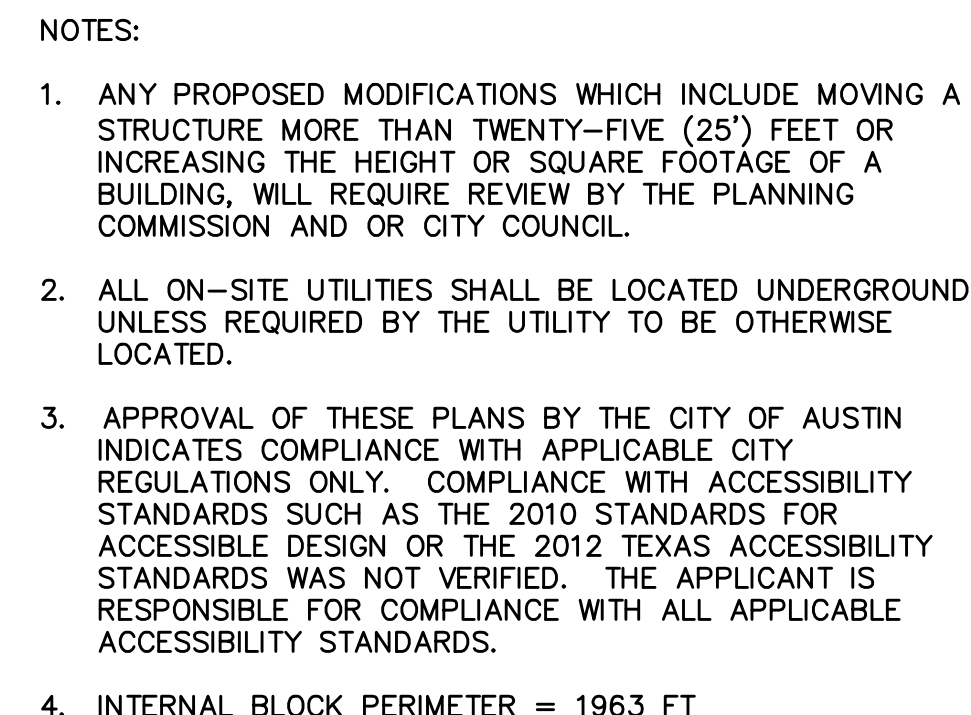
APPENDIX Q-2: IMPERVIOUS COVER

Allowable Impervious Cover:		
Impervious Cover Allowed at	0% x WQ/TZ	0.00 Acres
Impervious Cover Allowed at	40% x NSA	0.78 Acres
Deduction for Perimeter Roadway		0 Acres
Total Impervious Cover	33,872.26 sf	0.78 Acres



Allowable Impervious Cover Breakdown By Slope Category:		
Total Acreage 15-15%	1.066 x 10%	0.107 Acres

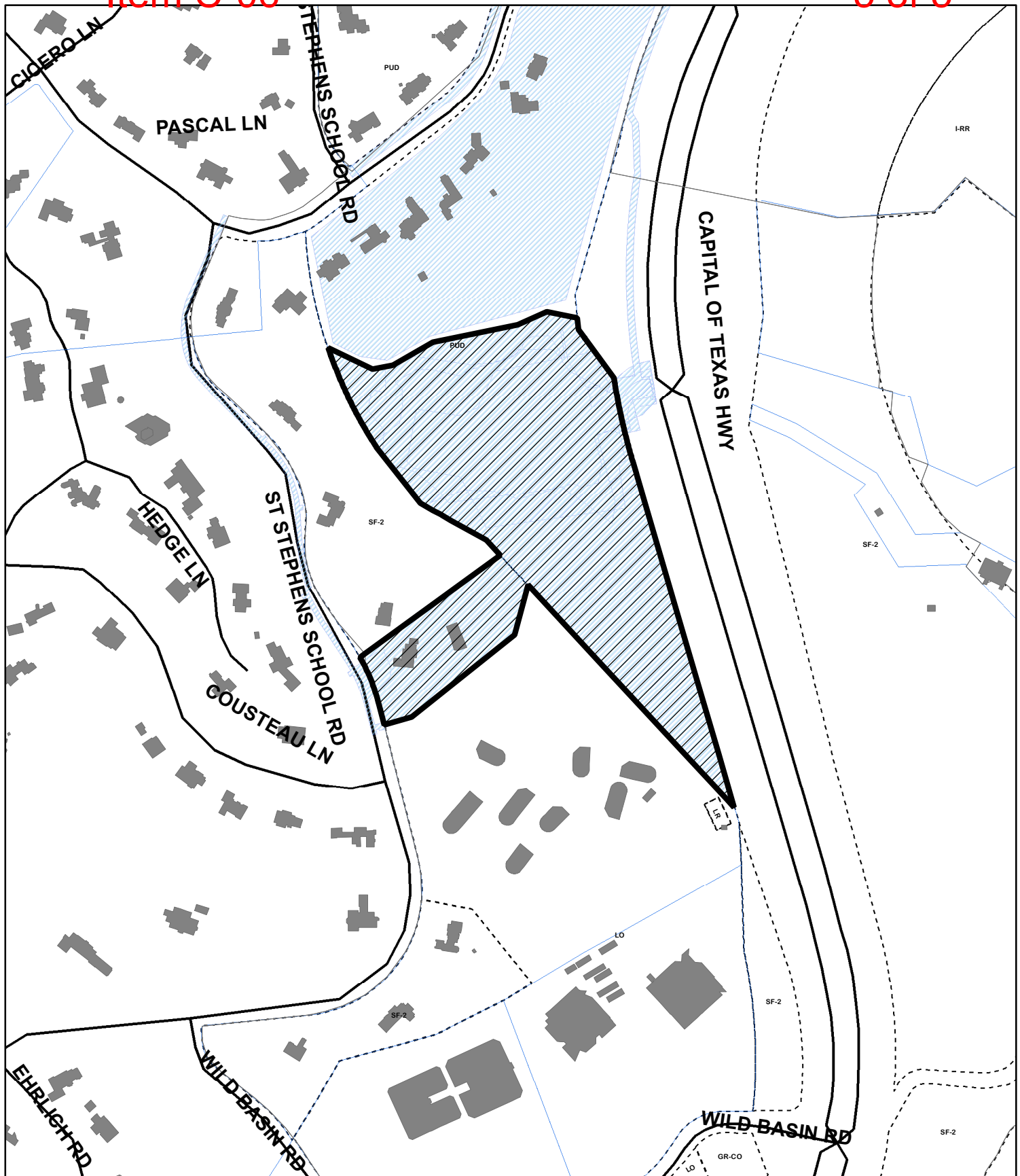
Proposed Total Impervious Cover:		
Impervious Cover in WQ/TZ	0 Acres	0%
Impervious Cover in Uplands Zone	0 Acres	0%
Total Proposed Impervious Cover	0 Acres	

Proposed Impervious Cover on Slopes:		
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
CASE NO: SPC-2016-0453C	
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.	
SITE PLAN APPROVAL	SHEET <u>OF</u> <u>82</u>
FILE NUMBER: SPC-2016-0453C	APPLICATION DATE: 08/28/2016
APPROVED BY: <u>CORINNE GIL</u>	<u>N/A</u>
UNDER SECTION: 142 OF CHAPTER 25-5	OF THE CITY OF AUSTIN CODE
C. BARTON-HOLMES	
EXPIRATION DATE(25-5-1, IDC)	CASE MANAGER
PROJECT EXPIRATION DATE (ORD #970905-A)	<u>DWP2_D02__</u>
Director, Planning and Development Review Department	
RELEASED FOR GENERAL COMPLIANCE: ZONING: PUD, SF-2	
REV. 1	CORR. 1
REV. 2	CORR. 2
REV. 3	CORR. 3
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.	
SPC-2016-04	

CIVILE, LLC 9200 N. MOPAC EXPY SUITE 250 AUSTIN, TX 78759 OFFICE: 512-402-6878 FAX: 512-402-6947		CIVILE 		SPC-2016-0453C WESTLAKE RESIDENTIAL																																																		
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27 OF 92																																																						



SITE PLAN



 SUBJECT TRACT
 ZONING BOUNDARY

0 200 400 800 Feet

CASE#: SPC-2016-0453C
 ADDRESS: 800 N Capitol of Texas Hwy
 CASE NAME: Westlake Residential
 MANAGER: Christine Barton-Holmes



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

OPERATOR: Christine Barton-Holmes