



# CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Residential New Construction and Addition Permit Application

To complete this form electronically: Open with  
Internet Explorer, then [Click Here to Save and continue.](#)

### Property Information

Project Address: 1006 LORRAIN ST	Tax Parcel ID: 109223
Legal Description: LOT 17, BLK 3, SHELLY HEIGHTS NO. 2	
Zoning District: SF-3-NP	Lot Area (sq ft): 5267
Neighborhood Plan Area (if applicable): OLD WEST AUSTIN	Historic District (if applicable):

### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="radio"/> N (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input checked="" type="radio"/> N (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input checked="" type="radio"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="radio"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="radio"/> N (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="radio"/> N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="radio"/> N (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="radio"/> N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? <input checked="" type="radio"/> Y N (If yes, <a href="#">click here</a> for more information on the tree permit process.)	
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="radio"/> Y N	
Does this site currently have: water availability? <input checked="" type="radio"/> Y N wastewater availability? <input checked="" type="radio"/> Y N (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="radio"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="radio"/> N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="radio"/> N (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <input checked="" type="radio"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="radio"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="radio"/> Y N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input checked="" type="radio"/> N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="radio"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="radio"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

### Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input checked="" type="radio"/> N (If yes, construction material recycling is required per LDC 25-11-39)	
Existing Use: <input checked="" type="radio"/> vacant	single-family residential duplex residential two-family residential other: _____
Proposed Use: vacant	<input checked="" type="radio"/> single-family residential duplex residential two-family residential other: _____
Project Type: <input checked="" type="radio"/> new construction	addition addition/remodel other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <input checked="" type="radio"/> N (Note: Removal of all or part of a structure requires a demolition permit application.)	
# existing bedrooms:	# bedrooms upon completion: 4 # baths existing: # baths upon completion: 3.5
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) NEW 2-STORY SINGLE-FAMILY RESIDENCE W/ ATTACH GARPORT	
Trades Permits Required (Circle as applicable): <input checked="" type="radio"/> electric <input checked="" type="radio"/> plumbing <input checked="" type="radio"/> mechanical (HVAC) <input checked="" type="radio"/> concrete (R.O.W.)	

Job Valuation		
Total Job Valuation: \$ <u>0</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>0</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____ TOTAL: \$ <u>0</u>
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	
	Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	1594				1594 0.00	0.00
b) 2 <sup>nd</sup> Floor conditioned area	1327				1327 0.00	0.00
c) 3 <sup>rd</sup> Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)	192				192 0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	175				175 0.00	0.00
g) Other covered or roofed area	5				5 0.00	0.00
h) Uncovered wood decks	5				5 0.00	0.00
<b>Total Building Area</b> (total a through h)	3298 0.00	0.00	0.00	0.00	3298 0.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—		

Building Coverage Information	
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>1971</u>	% of lot size: <u>37.4</u>

Impervious Cover Information	
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>2333</u>	% of lot size: <u>44.3</u>

Setbacks	
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y <input checked="" type="radio"/> N	
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input checked="" type="radio"/> N	
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input checked="" type="radio"/> Y N	

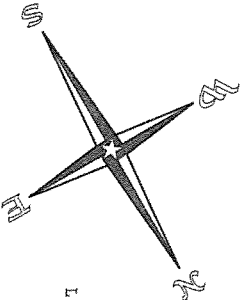
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>22</u> ft <u>9</u> in Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information	
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="radio"/> Y N	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="radio"/> Y N	
Width of approach (measured at property line): <u>10.0</u> ft Distance from intersection (for corner lots only): <u>N/A</u> ft	
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="radio"/> N	
(If yes, drainage review is required)	

# Legend

- 1/2" Iron Rod Found
- ipf 1/2" Iron Pipe Found
- 1/2" Iron Rod Set with plastic cap imprinted with "Holt Carson, Inc."
- \* Cotton Gin Spindle Found
- ▼ Mag Nail Set
- Wire Fence
- Wood Board Fence
- Overhead Utility Line
- (Record Bearing and Distance)



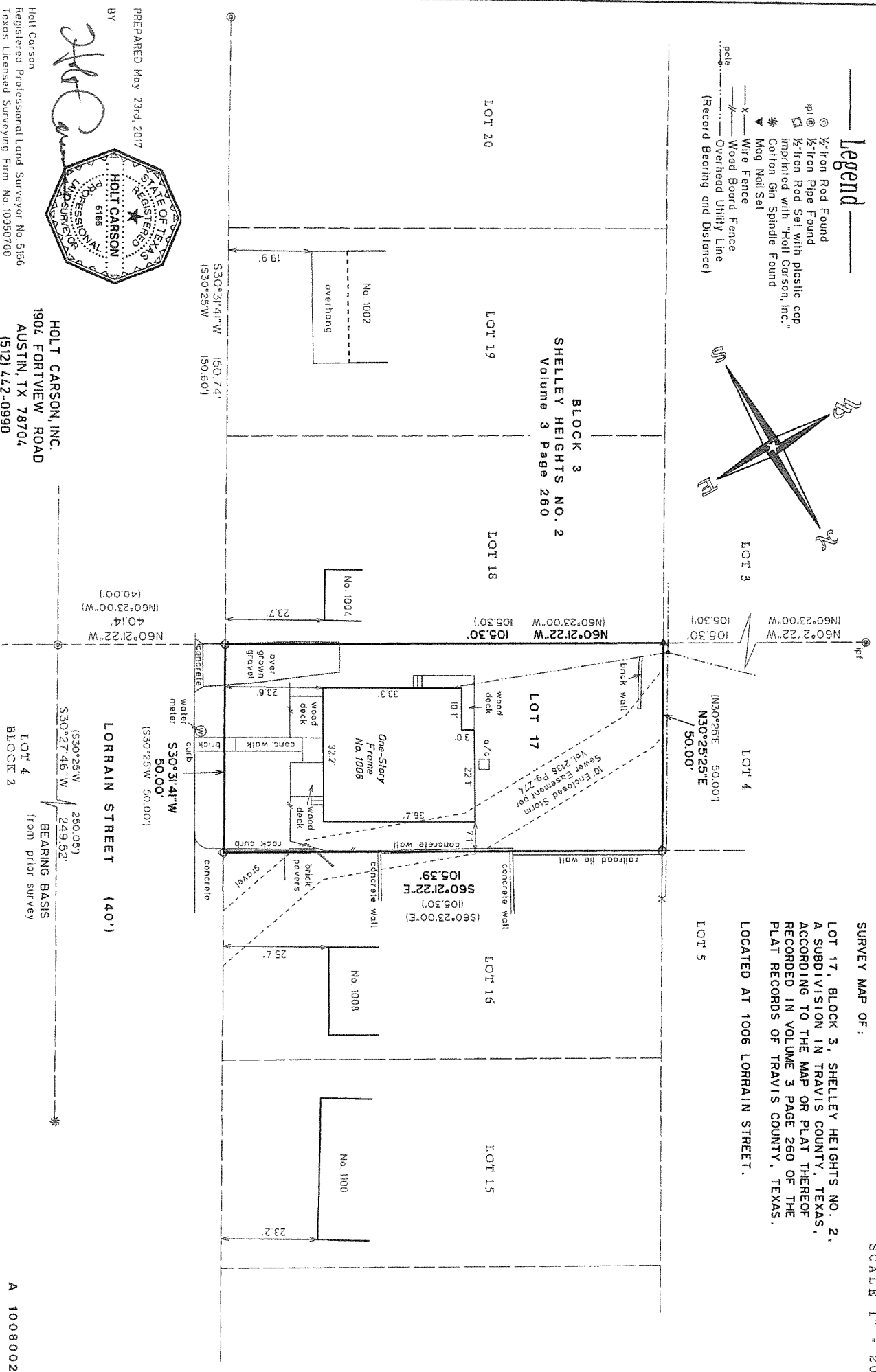
SURVEY MAP OF:

SCALE 1" = 20'

LOT 17, BLOCK 3, SHELLEY HEIGHTS NO. 2,  
A SUBDIVISION IN TRAVIS COUNTY, TEXAS,  
ACCORDING TO THE MAP OR PLAT THEREOF  
RECORDED IN VOLUME 3 PAGE 260 OF THE  
PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

LOCATED AT 1006 LORRAIN STREET.

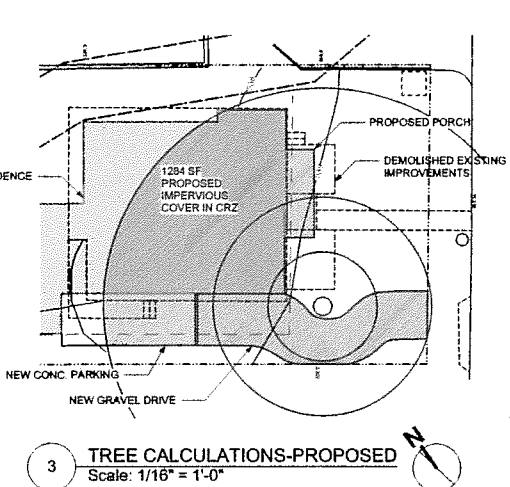
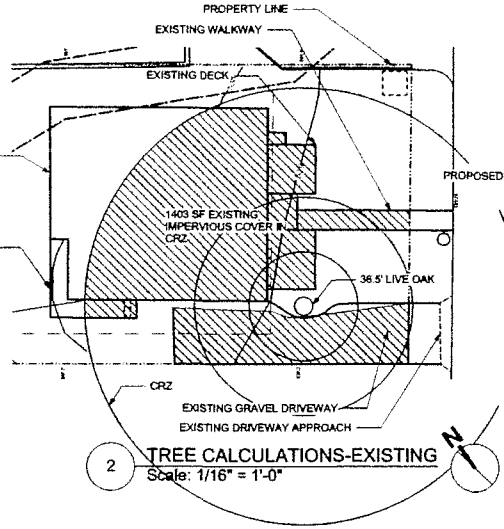
## BLOCK 3 SHELLEY HEIGHTS NO. 2 Volume 3 Page 260



AE APPROVED  
NOV 08 2017  
712-209 JGM

All structures must maintain  
7'6" clearance from AE energized  
distribution power lines. Enforced  
by AE and NESC codes-this review  
DOES NOT include transmission  
power lines.

City of Austin  
Planning & Development Review Dept  
Administrative Waiver to TCM 5-1  
Drive maybe 10' at prop.  
line as depicted.  
All other City standards and policies apply.  
By: *[Signature]* Date: 11-8-17



FLARED DRIVE APPROACH DETAIL AND NOTES

Diagram showing flared drive approach detail and notes. Includes labels like 'FLARED DRIVE APPROACH', 'CITY OF AUSTIN', and 'DEPARTMENT OF PUBLIC WORKS'.

GENERAL NOTES

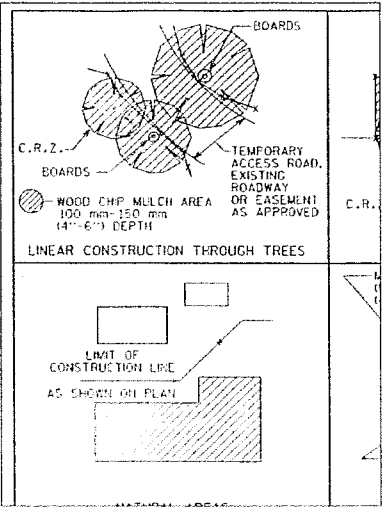
- The Construction Document set outlines the basic design of the building. Structural design by Structural Engineer. Plumbing, and HVAC layout, sizing, etc by others. Electrical layout/design based on Electrical Plans provided in the Construction Document set.
- Any errors and omissions or inconsistencies found in these drawings shall be brought to the Architect's attention. Do not proceed with the work until issues arising out of errors, omissions and/or inconsistencies are resolved.
- Do not scale the drawings.
- All new construction dimensions are drawn to the face of studs.
- It is the responsibility of the Builder/Developer to insure the project conforms to all codes in force at the time of permitting, including but not limited to the following:
  - Chapter 25-2 of the Land Development Code;
  - 2012 International Residential Code as amended by the City of Austin;
  - 2012 International Energy Conservation Code as amended by the City of Austin;
  - 2012 International Fire Code as amended by the City of Austin.

ZONING NOTES

- Gross floor area is measured from exterior finish material in accordance with LDC 25-1-21 (44).
- Area SF calculations use entire floor area to account for any space greater than 15' in height including area at stairs.

TREE PROTECTION AND EROSION CONTROL NOTES AND DIAGRAMS

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
- Protective fences shall be erected according to City of Austin Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line). For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
  - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - Root zone disturbances due to grade changes (greater than 6 inches out or fill), or trenching not reviewed and authorized by the City Arborist;
  - Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
  - Where there is to be an approved grade change, impermeable paving surface, fire well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
  - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage);
  - Where trees are close to proposed buildings, erect the fence to allow 6 to 10 feet of work space between the fence and the building;
  - Where there are screen space constraints due to tract size, or other special requirements, contact the City Arborist at 874-1876 to discuss alternatives.
- Special Note: For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft (or to the limits of lower branching) in order to reduce the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 4 inches shall be permitted within the drip line of trees. No soil is permitted on the root flare of any tree.
- Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
- All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees available on request from the City Arborist).
- The contractor shall install erosion/sedimentation controls and tree protective fencing prior to any site preparation work.
- The contractor shall inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. Damaged controls and fencing shall be replaced. Silt accumulation at controls must be removed when depth reaches six inches.



ZONING  
SF-3-NP  
OLD WEST AUSTIN NEIGHBORHOOD PLAN AREA

SITE AREA  
5,267 SF  
LEGAL DESCRIPTION  
LOT 17, BLOCK 3, SHELLEY HEIGHTS NO. 2, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. 3 PG. 260 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS

PROJECT CALCULATIONS

PROJECT TOTAL BUILDING COVERAGE: 1971 SF 37.4%  
PROJECT TOTAL GROSS SF: 2294 SF TOTAL FAR 43.6%  
PROJECT TOTAL IMPERVIOUS COVERAGE: 2351 SF 44.6%

SITE DEVELOPMENT INFORMATION

AREA DESCRIPTION	EXISTING SF	NEW SF	TOTAL SF
A) 1ST FL CONDITIONED AREA		1594	1594
B) 2ND FL CONDITIONED AREA		1327	1327
C) 3RD FL CONDITIONED AREA		0	0
D) BASEMENT		0	0
E) COVERED PARKING		192	192
F) COVERED PATIO, DECK OR PORCH		175	175
G) OTHER COVERED OR ROOFED AREA		5	5
H) UNCOVERED WOOD DECK 50%		5	5
TOTAL BUILDING AREA		3298	3298
I) POOL		0	0
J) SPA		0	0
TOTAL BUILDING COVERAGE		37.4 % OF LOT SIZE	1971
TOTAL IMPERVIOUS COVERAGE		44.3 % OF LOT SIZE	2333
SITE AREA			5267

SUBCHAPTER F - "MCMANSION"

	EXISTING	NEW	EXEMPTION	TOTAL
1ST FL*	0	1594		1594
2ND FL		700		700
3RD FL				0
BASEMENT				0
ATTIC		627		627
GARAGE (ATTACHED)	0	0	0	0
GARAGE (DETACHED)	0	0	0	0
CARPORT (ATTACHED)	0	192		192
CARPORT (DETACHED)	0	0	0	0
ACCESSORY (DETACHED)	0	0	0	0
GROUND FLOOR PORCH		175		175
CLGS OVER 15'		0		0
TOTAL GROSS FLOOR AREA				2294
2,300 SF ALLOWABLE				

SITE IMPERVIOUS COVERAGE

AREA DESCRIPTION	SF
DRIVES	344
AVC PADS	18
TOTAL	362

DRAWING SHEETS

- A-1 SITE PLAN
- A-2.1 FIRST FLOOR PLAN
- A-2.2 SECOND FLOOR PLAN
- A-2.3 ROOF PLAN, CARPORT PLANS & ELEVATIONS
- A-3.1 ELEVATIONS 1
- A-3.2 ELEVATIONS 2
- A-4.1 SECTIONS 1
- A-4.2 SECTIONS 2
- A-5 CABINETS
- E-1 1ST FL + 2ND FL ELECTRICAL PLANS

REVIEWED

NOV 08 2017

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

CORMIER ARCHITECTURE  
209 S 4th Street  
Austin, TX 78704  
(512) 525-1500  
cormier@comsearch.com

1006 LORRAIN STREET RESIDENCE

ADDRESS:  
1006 LORRAIN STREET  
AUSTIN, TX 78703

DRAWING TITLE  
SITE PLAN

DATE  
11/17/17

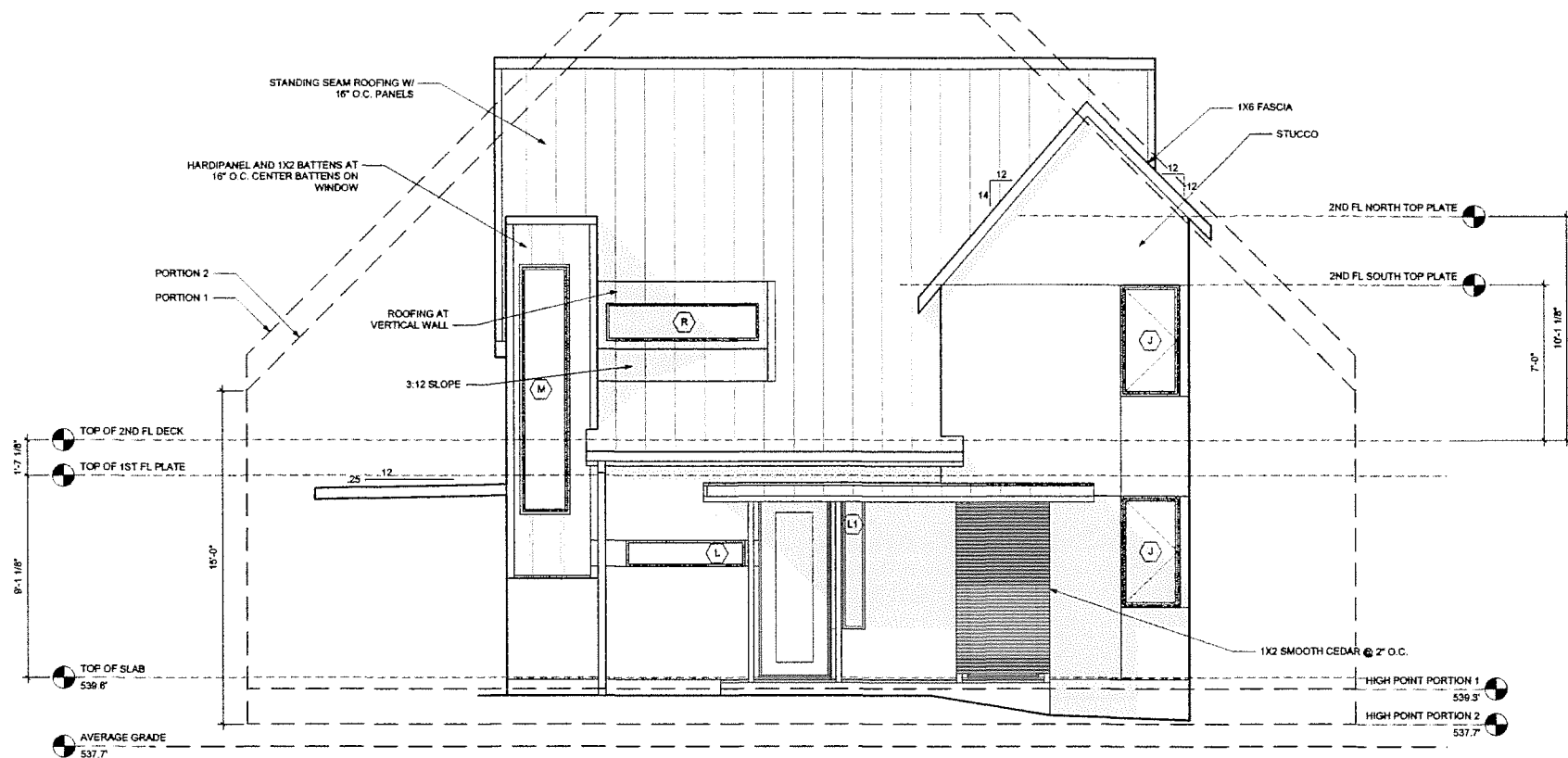
NOTES  
PERMIT REVIEW

REVISION:

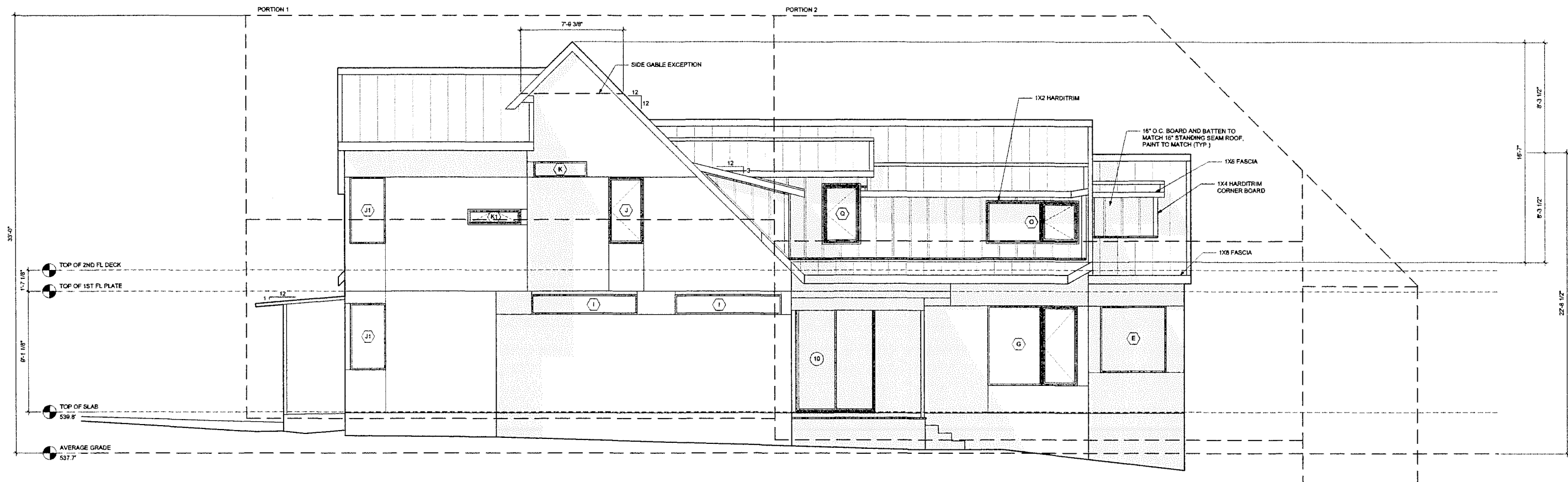
11/17/17

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A-1



1 EAST ELEVATION  
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/4" = 1'-0"

#### WINDOW SCHEDULE

WINDOW	SIZE (WxH)	NOTES
A1	2'8"X1'0"	FIXED
A2	4'8"X1'0"	FIXED
B	2'8"X5'0"	CASEMENT
C	2'0"X6'0"	FIXED, TRANSLUCENT FILM
D	3'6"X6'0"	FIXED, TRANSLUCENT FILM
E	5'0"X5'0"	FIXED, TRANSLUCENT FILM
F	4'0"X6'0"	FIXED
G	4'0"X6'0"FIXED+2'8"X6'0"CASEMENT	FIXED+CASEMENT, MULLED, EGRESS
H	2'8"X6'0"	CASEMENT, EGRESS
I	9'0"X1'6"	FIXED
J	2'8"X5'0"	CASEMENT, EGRESS
J1	2'8"X5'0"	FIXED
K	4'0"X1'2"	FIXED, FILM
K1	4'0"X1'2"	AWNING
L	5'4"X1'2"	FIXED
L1	1'0"X6'0"	FIXED, FILM
M	2'0"X1'10"	FIXED
N	2'8"X5'0" CASEMENT + 7'0"X5'0" FIXED	MULLED
O	4'0"X3'0"FIXED+2'8"X3'0"CASEMENT	MULLED, EGRESS
P	6'0"X1'2" FIXED + 3'0"X1'2" AWNING	MULLED
Q	2'8"X4'4"	CASEMENT, EGRESS
R	6'10"X1'8"	FIXED
USE DIRECT SET AT FIXED LOCATIONS		

CORMIER ARCHITECTURE

2709 S 4th Street  
Austin, TX 78704  
(512) 387-0447  
j.cormier@cormierarch.com

Drawings and Specifications are not to be used for construction without the approval of the Architect. They are to be used for the project only and are not to be used for any other project. The Contractor is responsible for obtaining all necessary permits, licenses, and approvals for the project. The Architect is not responsible for the safety of the project or the safety of the construction workers.

PROJECT:  
1006 LORRAIN STREET RESIDENCE

ADDRESS:  
1006 LORRAIN STREET  
AUSTIN, TX 78703

DRAWING TITLE:  
ELEVATIONS

11X17 SETS SCALE: 1/8"=1'-0"

DATE: 11/7/17  
NOTES: PERMIT REVIEW

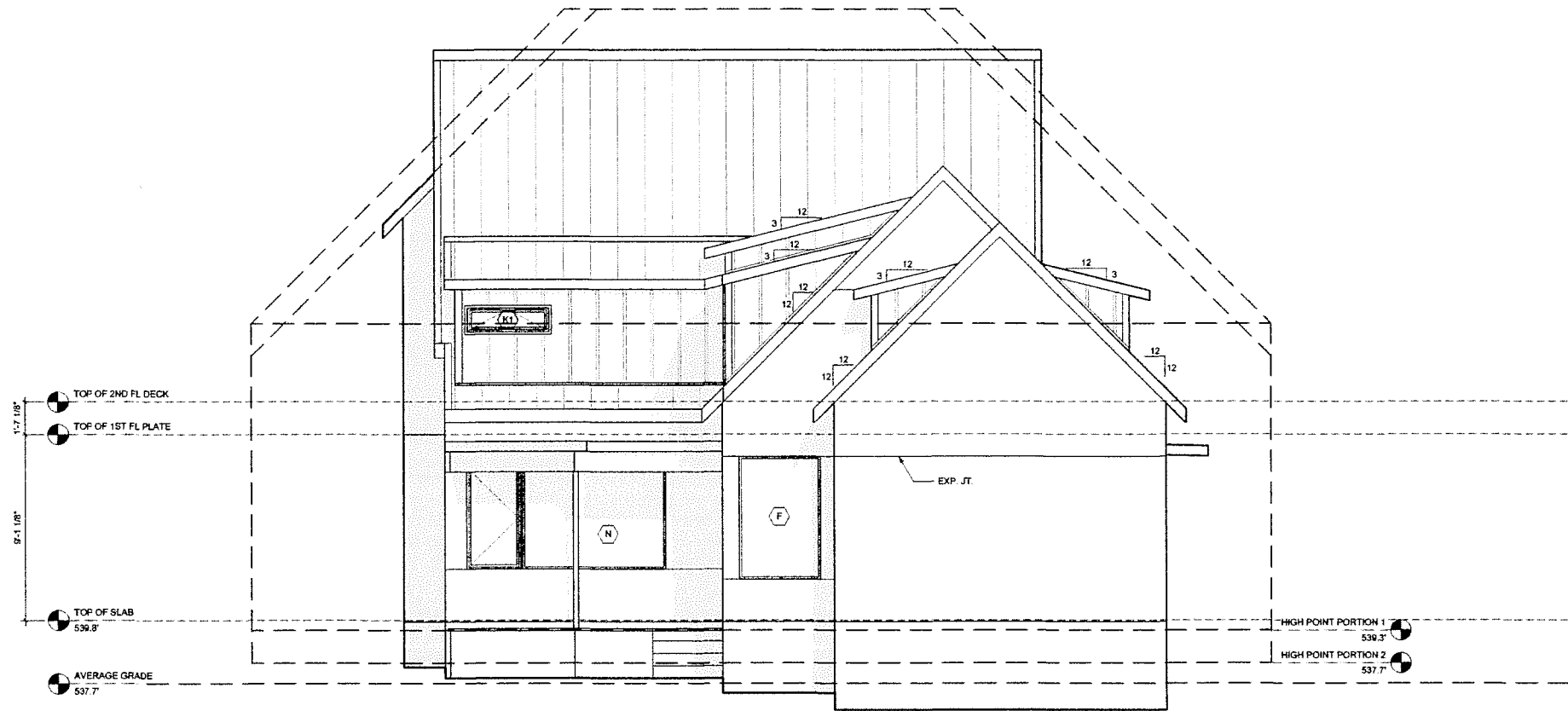
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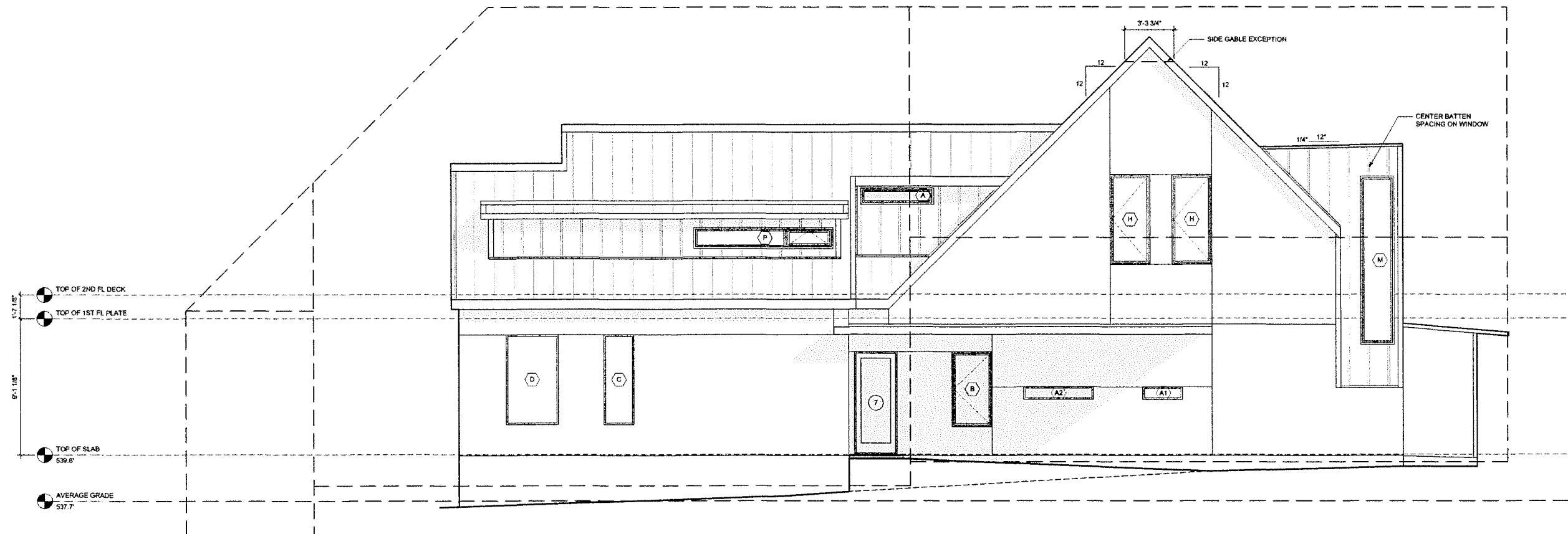
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A-3.1





1 WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"

#### WINDOW SCHEDULE

WINDOW	SIZE (WxH)	NOTES
A1	2'8"x1'0"	FIXED
A2	4'8"x1'0"	FIXED
B	2'8"x5'0"	CASEMENT
C	2'0"x6'0"	FIXED, TRANSLUCENT FILM
D	3'6"x6'0"	FIXED, TRANSLUCENT FILM
E	5'0"x5'0"	FIXED, TRANSLUCENT FILM
F	4'0"x6'0"	FIXED
G	4'0"x6'0" FIXED + 2'8"x6'0" CASEMENT	FIXED + CASEMENT, MULLED, EGRESS
H	2'8"x6'0"	CASEMENT, EGRESS
I	9'0"x1'6"	FIXED
J	2'8"x5'0"	CASEMENT, EGRESS
J1	2'8"x5'0"	FIXED
K	4'0"x1'2"	FIXED, FILM
K1	4'0"x1'2"	AWNING
L	5'4"x1'2"	FIXED
L1	1'0"x6'0"	FIXED, FILM
M	2'0"x11'0"	FIXED
N	2'8"x5'0" CASEMENT + 7'0"x5'0" FIXED	MULLED
O	4'0"x3'0" FIXED + 2'8"x3'0" CASEMENT	MULLED, EGRESS
P	6'0"x1'2" FIXED + 3'0"x1'2" AWNING	MULLED
Q	2'8"x4'4"	CASEMENT, EGRESS
R	6'10"x1'8"	FIXED

USE DIRECT SET AT FIXED LOCATIONS

CORMIER ARCHITECTURE

2708 S 4th Street  
Austin, TX 78704  
(512) 587-6474  
jcormier@cormierarch.com

Drawings and Specifications are prepared by the Architect and are to be used for the project only. They are not to be used for any other project, in whole or in part, without the written consent of the Architect. The Contractor is responsible for obtaining all necessary permits and for the safety of the project.

PROJECT: 1006 LORRAIN STREET RESIDENCE

ADDRESS: 1006 LORRAIN STREET  
AUSTIN, TX 78703

DRAWING TITLE: ELEVATIONS

11X17 SETS SCALE: 1/8"=1'0"

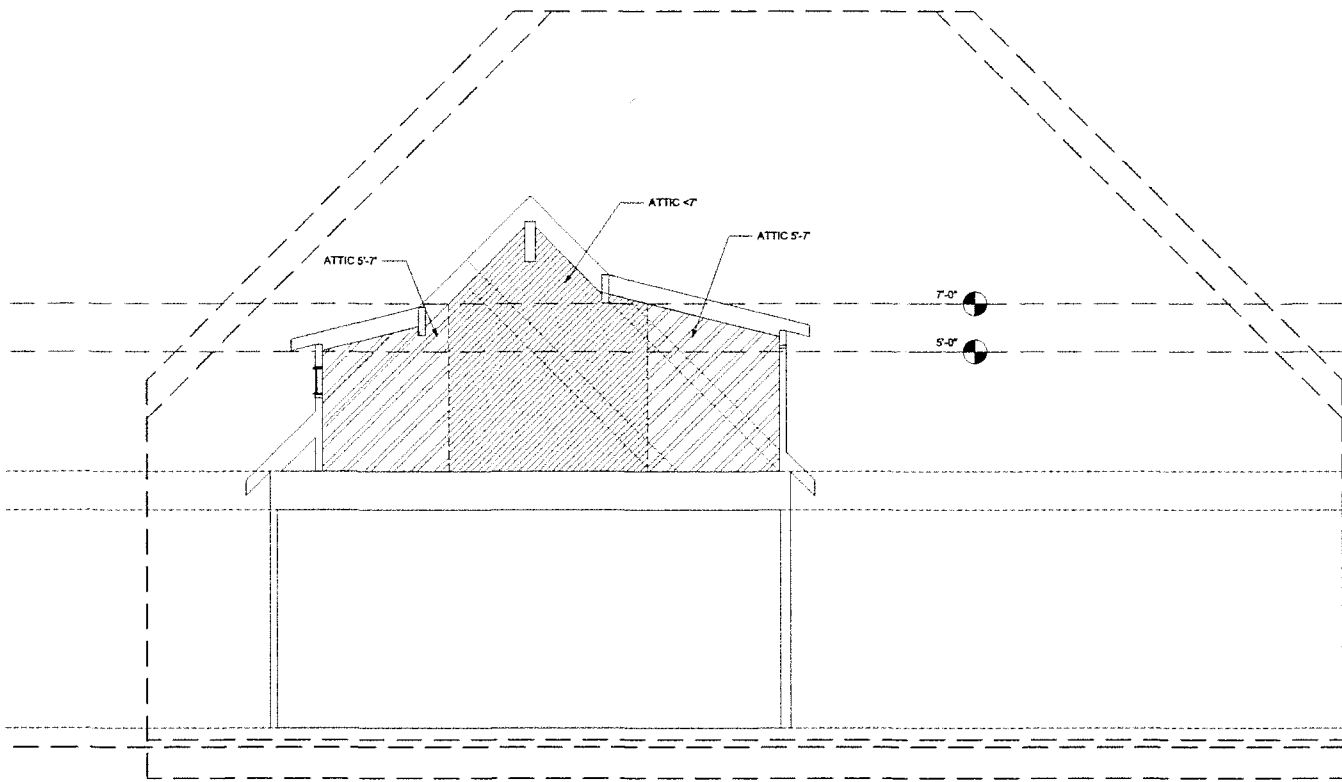
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NOTES: PERMIT REVIEW

REVISION:

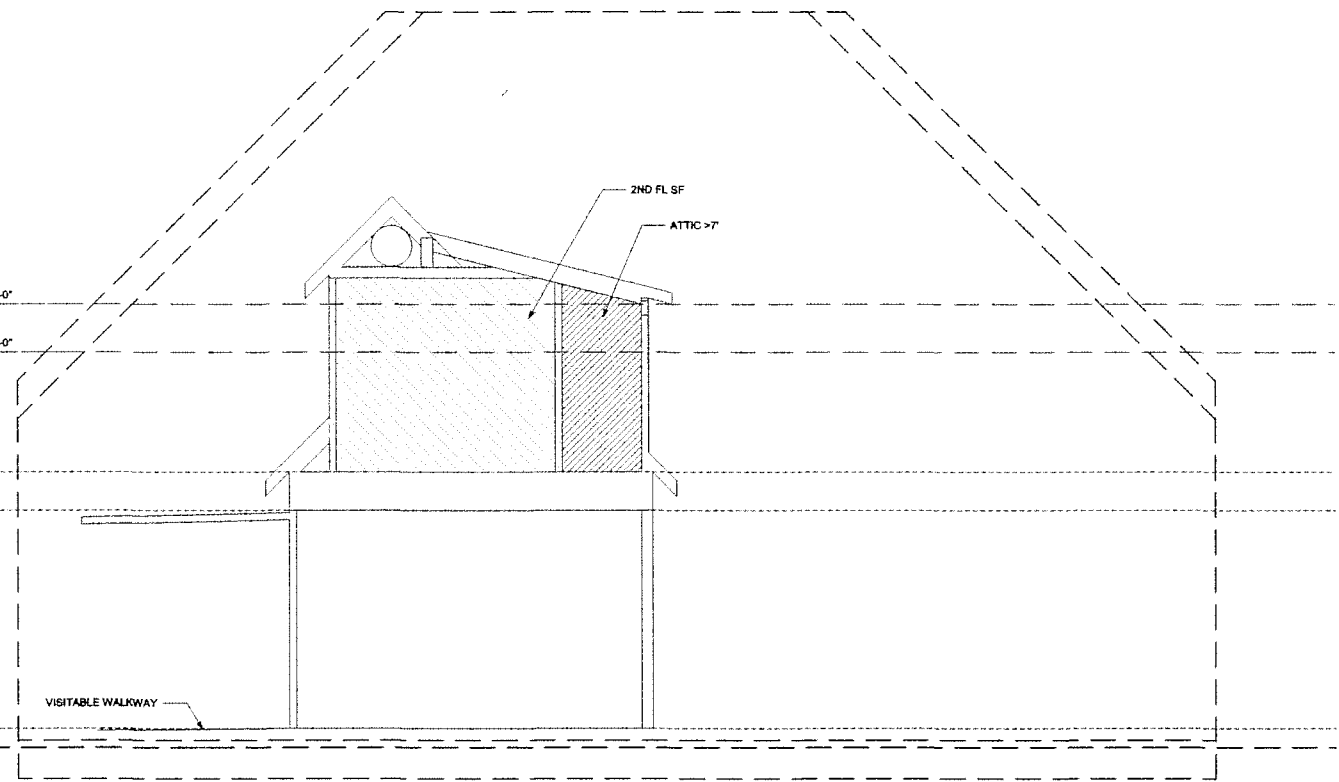


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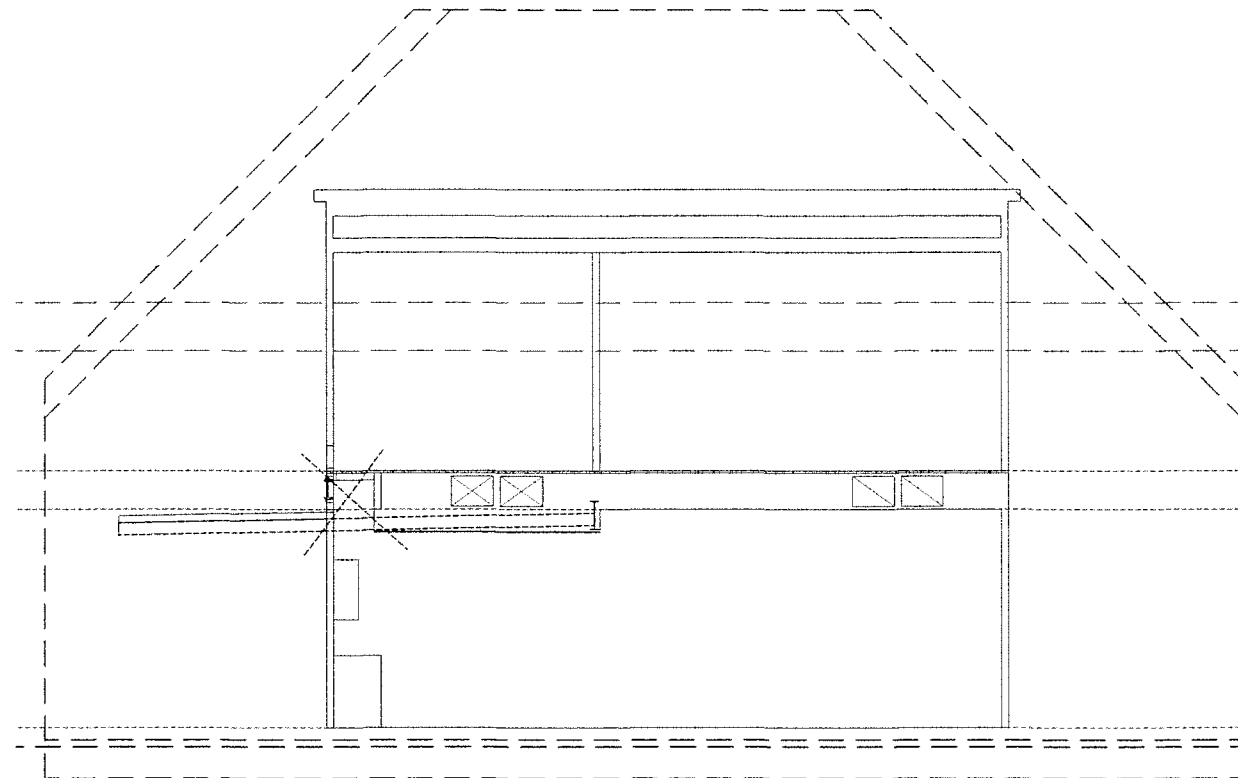
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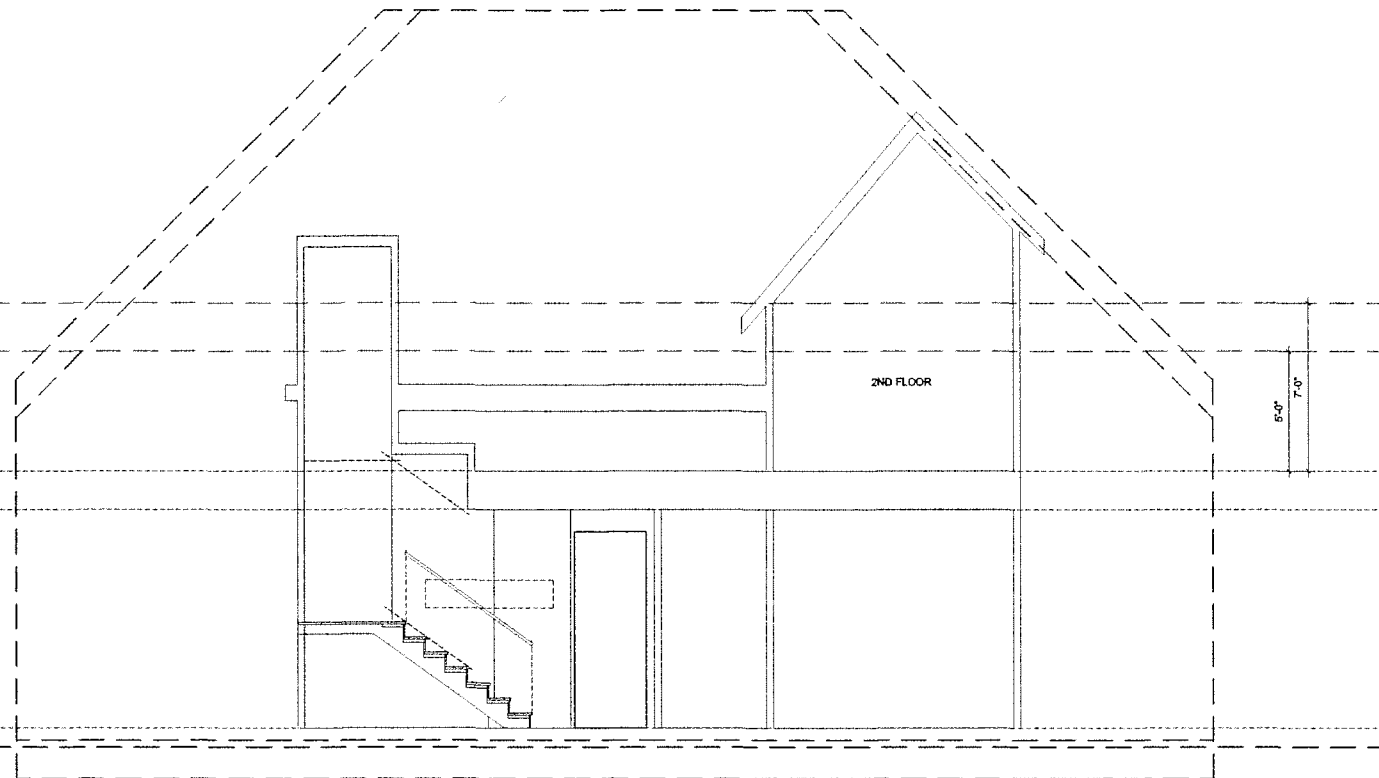
1 SECTION 1  
Scale: 1/4" = 1'-0"



2 SECTION 2  
Scale: 1/4" = 1'-0"



3 SECTION 3  
Scale: 1/4" = 1'-0"



4 SECTION 4  
Scale: 1/4" = 1'-0"

CORMIER ARCHITECTURE

2708 S 4th Street  
Austin, TX 78704  
(512) 503-1000  
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Drawings and Specifications are prepared by the Architect and shall be read in conjunction with the Contract Documents. They are not to be construed as a contract. The Architect is not responsible for construction methods, materials, labor, or any other conditions not shown or specified in the drawings or specifications. The Contractor is responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The Contractor shall be responsible for the safety of the construction site and for the safety of the construction workers.

PROJECT: 1006 LORRAIN STREET RESIDENCE  
ADDRESS: 1008 LORRAIN STREET  
AUSTIN, TX 78703

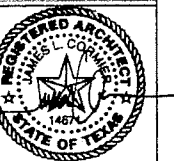
DRAWING TITLE:  
SECTIONS

11X17 SETS SCALE: 1/8"=1'-0"

DATE: 11/7/17  
NOTES: PERMIT REVIEW

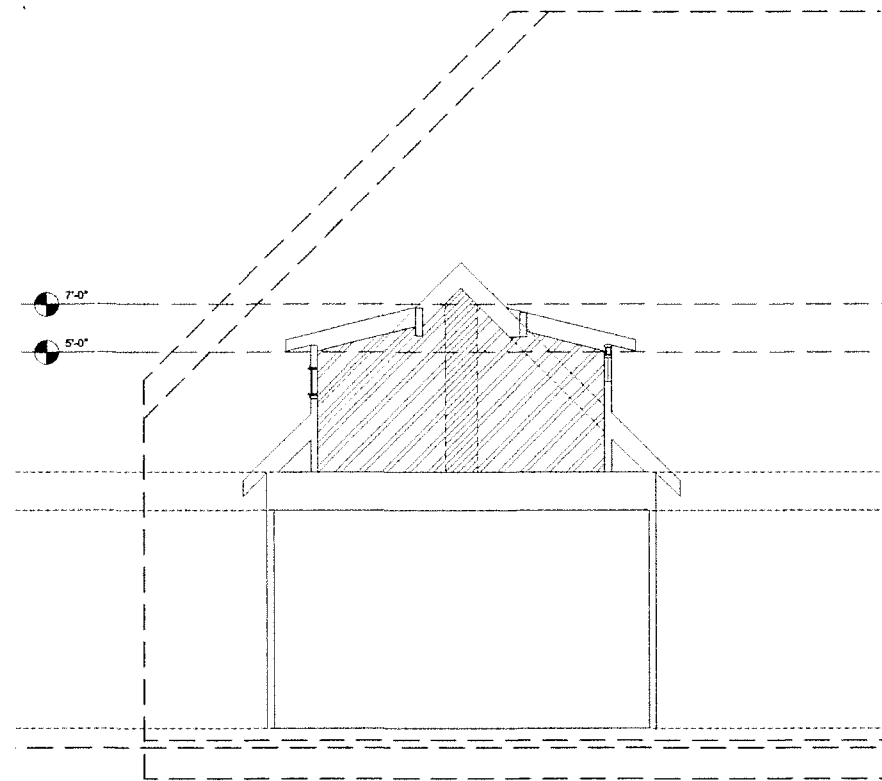
REVISION:

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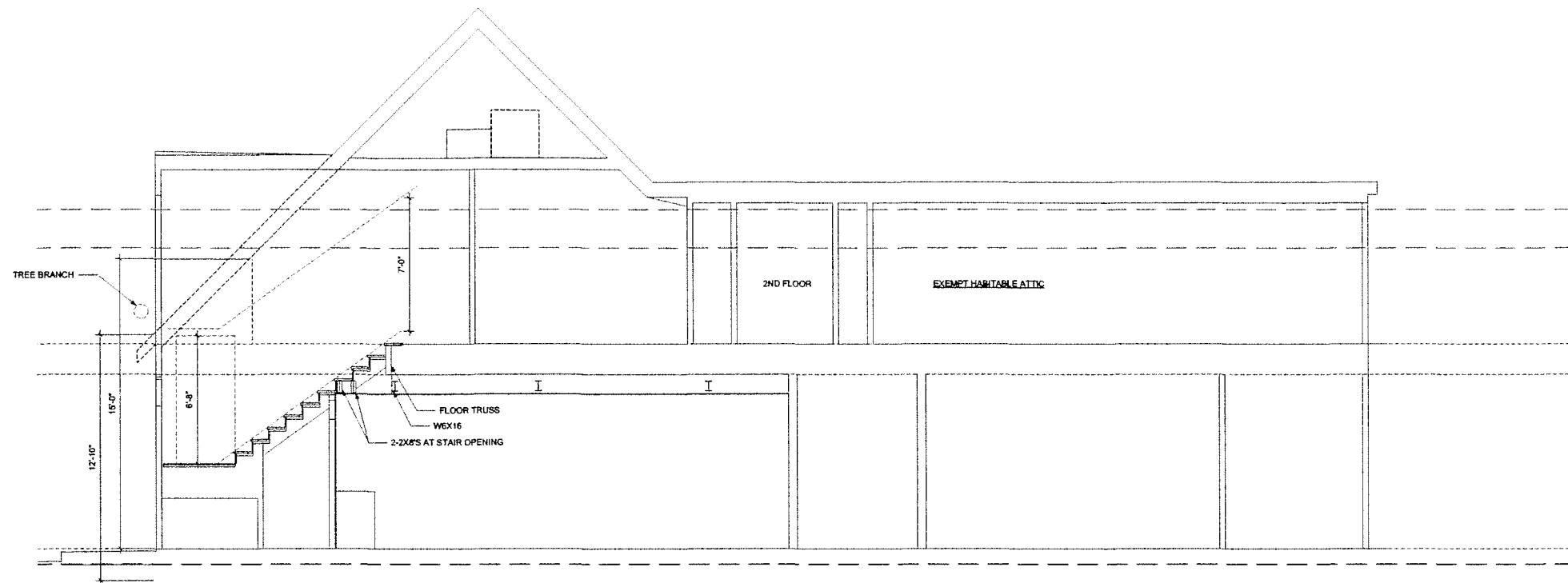


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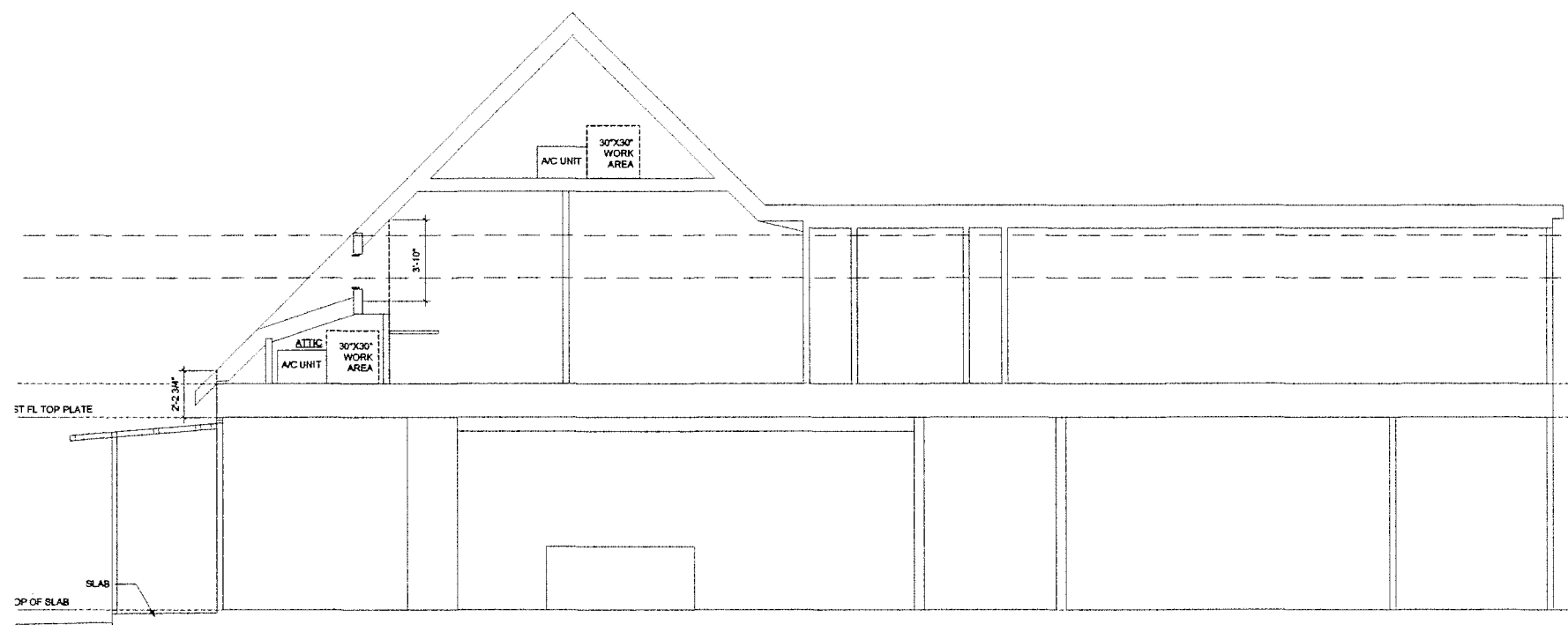
A-4.1



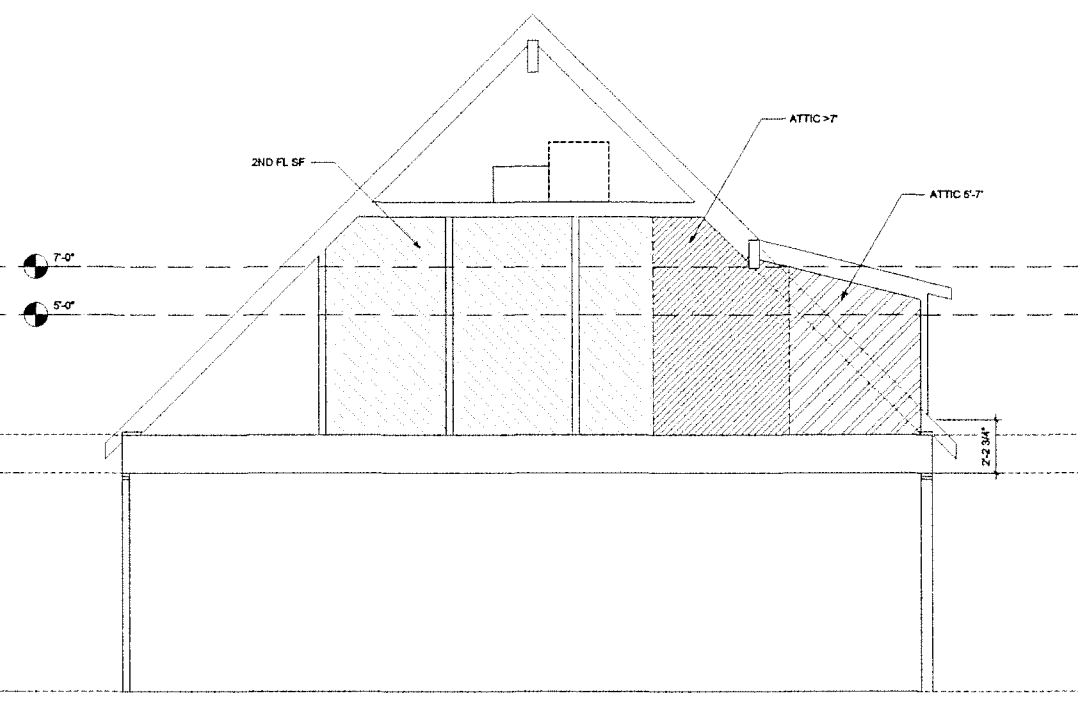
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6 SECTION 6  
Scale: 1/4" = 1'-0"



7 SECTION 7  
Scale: 1/4" = 1'-0"



8 SECTION 8  
Scale: 1/4" = 1'-0"

**CORMIER ARCHITECTURE**

2709 S 4th Street  
Austin, TX 78704  
512.477.1434  
cormier@cormierarch.com

Creating and illustrating the architectural vision of a project is a collaborative effort. It requires the input of the architect, the client, and the construction team. The architect's role is to provide a clear and concise vision of the project, and to ensure that the construction team understands and executes that vision. The client's role is to provide the necessary funding and resources for the project, and to ensure that the project is completed on time and within budget. The construction team's role is to build the project according to the architect's plans and specifications, and to ensure that the project is completed on time and within budget.

PROJECT: 1006 LORRAIN STREET RESIDENCE

ADDRESS: 1006 LORRAIN STREET  
AUSTIN, TX 78703

DRAWING TITLE: SECTIONS

11X17 SETS SCALE: 1/8"=1'-0"

DATE	NOTES
11/01/17	PERMIT REVIEW

REVISION:

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11/7/17  
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**A-4.2**

1 OF