

BULLOCK
McINTYRE
STUDIO

EMBREY SITE PLAN

1/16" = 1'-0" SCALE
OCTOBER 10, 2017

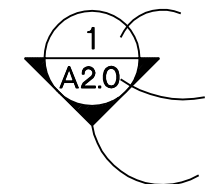
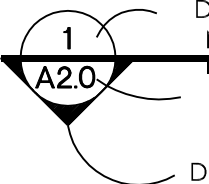
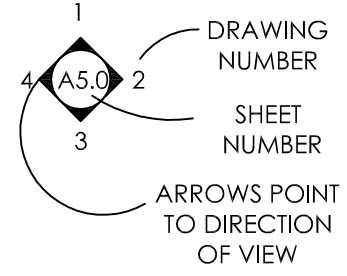


DRAWING LIST

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ABBREVIATIONS:

ABV	ABOVE	DN	DOWN	MIN	MINIMUM
ADJ	ADJUSTABLE	DS	DOWNSPOUT	MO	MASONRY OPENING
AFF	ABOVE FINISHED FLOOR	EA	EACH	MTL	METAL
BLKG	BLOCKING	EXT	EXTERIOR	OC	ON CENTER
B.O.	BOTTOM OF	FD	FLOOR DRAIN	OPPH	OPPOSITE HAND
BM	BEAM	FP	FLOOR PLUG	PLYWD	PLYWOOD
CL	CENTERLINE	FIN	FINISH	PL	PLATE
CLR	CLEAR	F.O.	FACE OF	PTD	PAINTED
CLG	CEILING	FTG	FOOTING	PT	PRESSURE TREATED
CMU	CONCRETE MASONRY UNIT	FV	FIELD VERIFY	SD	INTERCONNECTED SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR	FPHB	FROST PROOF HOSE BIBB	SBO	SUPPLIED BY OWNER
COL	COLUMN	GYP	GYPSUM	TBD	TO BE DETERMINED
CONC	CONCRETE	HDR	HEADER	T.O.	TOP OF
COORD	COORDINATE	HT	HEIGHT	TPL	TRIPLE
DBL	DOUBLE	IBC	INSTALLED BY CONTRACTOR	TYP	TYPICAL
DIMS	DIMENSIONS	MC	MEDICINE CABINET	UNO	UNLESS NOTED OTHERWISE
				VIF	VERIFY IN FIELD
				WD	WOOD
				WDW	WINDOW
				WP	WEATHER-PROOF

DRAWING KEY

EXTERIOR ELEVATION TAG	BUILDING SECTION TAG	INTERIOR ELEVATION TAG
		
WINDOW TAG	DOOR TAG	
		

GENERAL NOTES:

1. THE PLANS AND ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SARAH BULLOCK McINTYRE, ARCHITECT, AND SHALL BE RETAINED BY THE RECIPIENT. THE PLANS MAY NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF SARAH BULLOCK McINTYRE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.
2. THESE DRAWINGS CONSTITUTE WHAT IS NORMALLY CONSIDERED WITHIN THE CONSTRUCTION INDUSTRY A "BUILDER'S SET" IN AS MUCH AS THEY ARE INTENDED TO CONVEY THE DESIGN INTENT ONLY. THE IMPLEMENTATION OF THE PLANS REQUIRE A GENERAL CONTRACTOR AND SUBCONTRACTORS THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION. THE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION REGARDING SITE WORK, ELECTRICAL, MECHANICAL, PLUMBING AND OTHER TRADES TO SUBSTANTIALLY COMPLETE CONSTRUCTION OF THE STRUCTURE.
3. CONSTRUCTION MEANS, METHODS AND MATERIALS ARE SOLELY THE JURISDICTION OF THE CONTRACTOR AND ARE NOT DESCRIBED IN THESE PLANS. EXACT DETAILING, STRUCTURAL, MECHANICAL, ELECTRICAL, WATERPROOFING AND FLASHINGS ARE TO BE DETERMINED BY THE CONTRACTOR EXCEPT AS NOTED OR DESCRIBED WITHIN THESE DRAWINGS. IN ALL CASES, THE MOST STRINGENT REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CITY, BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE CODES, LAWS, ORDINANCES, AND REGULATIONS MUST BE MET. IF THE CONTRACTOR OR ANY SUBCONTRACTORS PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND RGULATIONS THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF NON-COMFORMING WORK. ALL SUCH CODES, ORDINANCES, DEED RESTRICTIONS, AND REGULATIONS TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS WHICH MAY BE DEFICIENT OR IN CONFLICT. CONSULT THE ARCHITECT IF UNSURE ABOUT THE EXTENT OF OR DETAILING REQUIRED TO COMPLETE THE PROJECT AS SHOWN. FAILURE TO DO SO IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OR ORDERING OF MATERILAS CONSTITUTES UNDERSTANDING OF THE PROJECT SCOPE AND INTENT, AND ACCEPTANCE OF ALL RESPONSIBILITY BY CONTRACTOR. CONTACT THE BUILDING DESIGNER IMMEDIATELY FOR RESOLUTION PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES OR CONFLICTS EXIST REGARDING THE INFORMATION ON THESE DRAWINGS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR TO CONFIRM AND VERIFY LOCATION OF ALL STRUCTURES IN RELATION TO BUILDING LINES OR SETBACK, PROPERTY LINES AND EASEMENTS. NOTIFY DESIGNER AND OWNER IMMEDIATELY WITH ANY DISCREPANCIES.
5. THE OBTAINING OF PERMITS AND GOVERNMENT APPROVALS AND PAYMENT OF RELATED FEES IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE AGREED.
6. INTERIOR DIMENSIONS ARE TO F.O. STUD AT NEW WALL FRAMING AND TO F.O. GYP BOARD AT EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
7. PROTECT EXISTING TREES DURING CONSTRUCTION.
8. ANY WOOD FRAMING IN CONTACT WITH CONCRETE OR CONCRETE BLOCK WILL BE PRESSURE TREATED.
9. CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE AWAY FROM BUILDINGS.

CONSTRUCTION NOTES:

FOUNDATION & FLOOR CONSTRUCTION
1. FOUNDATION & UPPER LEVEL FLOOR FRAMING DESIGNS PER STRUCTURAL ENGINEER. CONTRACTOR TO ASSUME SLAB ON GRADE AND ENGINEERED TRUSSES FOR FLOOR FRAMING FOR PRICING.

EXTERIOR WALL CONSTRUCTION

1. WALLS: 2X6 STUDS @ 16" O.C. W/ 1/2" OSB SHEATHING. DBL 30# FELT OR TYVEK DRAIN WRAP TO COVER EXTERIOR FACE OF SHEATHING.
2. EXTERIOR WALLS TO RECEIVE R-19 BLOWN-IN BLANKET (BIB) INSULATION AT 2X6 WALL FRAMING AND R-15 AT 2X4 WALL FRAMING AS REQ'D BY CODE.
3. 1/2" GYP BOARD SYSTEM OVER INTERIOR FACE OF STUDS UNLESS NOTED OTHERWISE. MOISTURE RESISTANT GYP BOARD WILL BE USED IN ALL BATHROOMS.
4. LAP SIDING: FIBER CEMENT LAP SIDING W/ SMOOTH FACE - 6" EXPOSURE
5. BOARD AND BATTEN SIDING: 1/2" FIBER CEMENT PANELS W/ SMOOTH FACE AND 1X2 BATTENS @ 16" O.C.
6. BRICK VENEER: AT CHIMNEY ONLY. SELECTION T.B.D.

INTERIOR WALL CONSTRUCTION

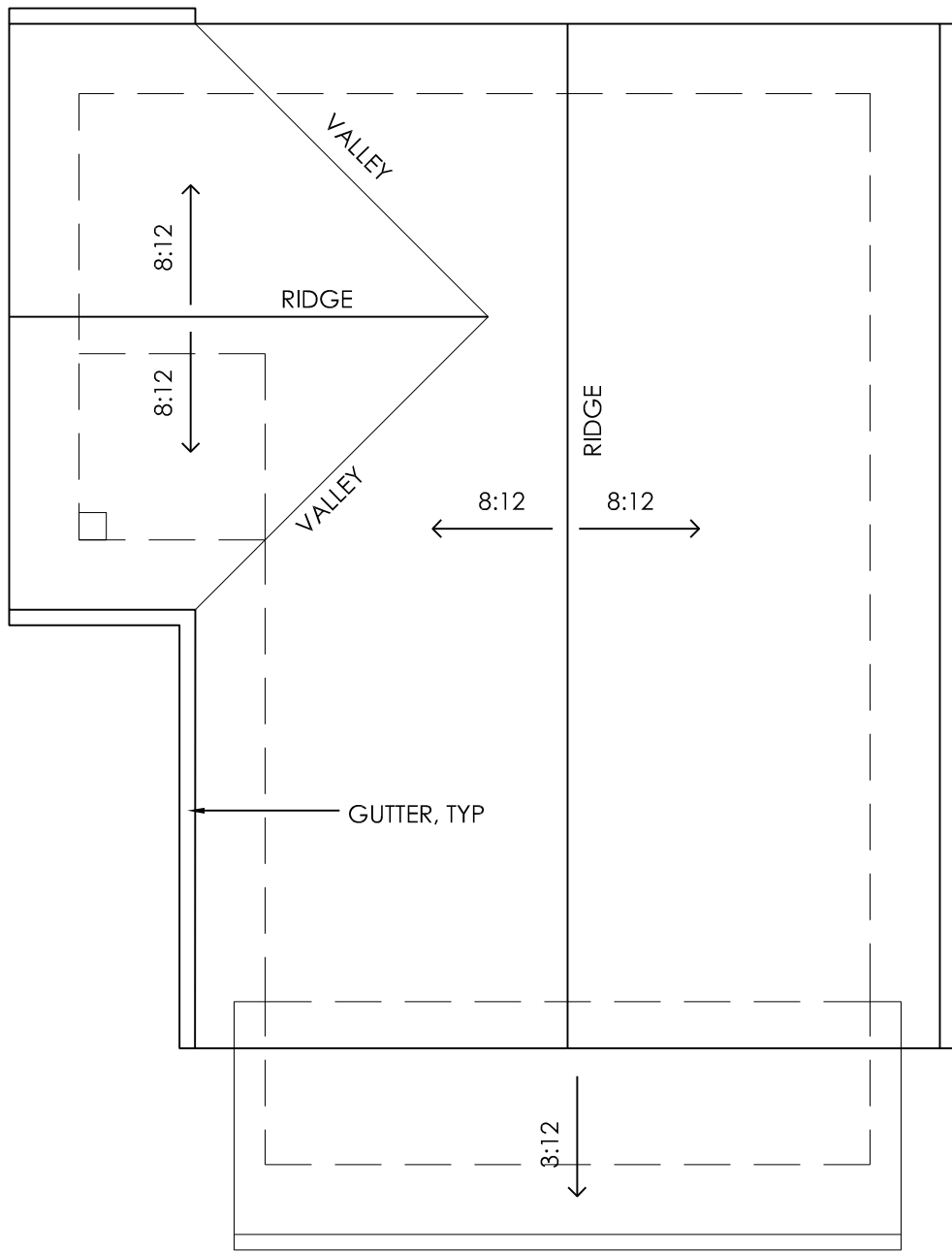
1. 2X4 WOOD STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
2. 1/2" GYP BOARD ON BOTH SIDES OF STUD WALLS. COORDINATE TEXTURE WITH OWNER.
3. 1/2" MOISTURE RESISTANT GYP BD IN ALL BATHROOMS.
4. SOUND ATTENUATING INSULATION IN ALL WALLS SURROUNDING BATHROOMS AND BEDROOMS.
5. PRIOR TO DRYWALL INSTALLATION, CONTRACTOR TO COORDINATE ALL BLOCKING REQUIRED WITH OWNER. BLOCKING FOR GRAB BARS SHOULD BE ACCOMMODATED IN ALL BATHROOM, SHOWER AND TUB SPACES.

ATTIC

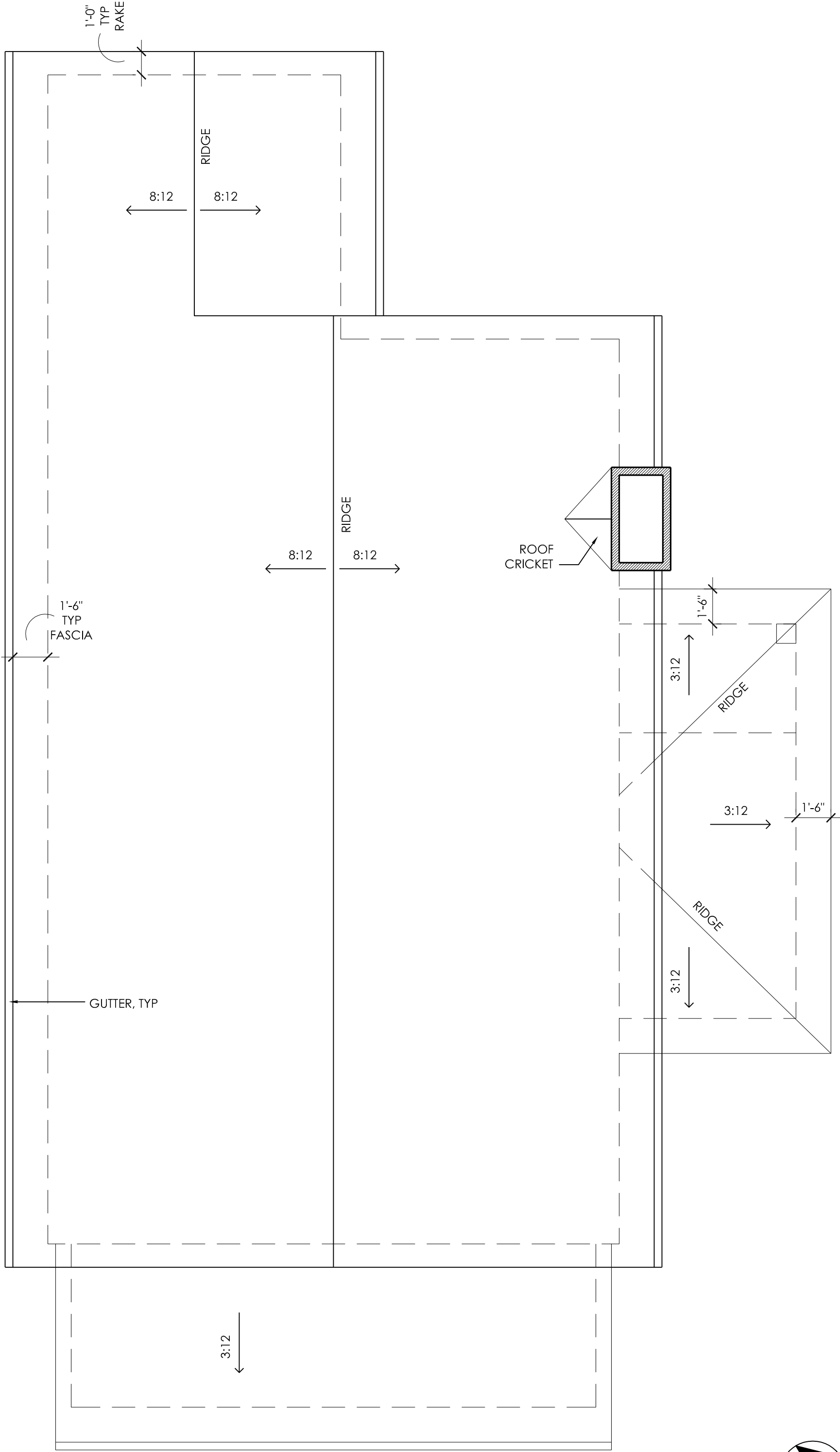
1. WOOD RAFTER AND CEILING JOIST CONSTRUCTION PER STRUCTURAL ENGINEER.
2. FULL CONDITIONED ATTIC W/ R-38 (PER CODE) FOAM INSULATION ALONG ROOF RAFTERS.
3. COORDINATE ATTIC ACCESS LOCATIONS WITH OWNER AND ARCHITECT IN THE FIELD.

ROOF

1. ROOF SHEATHING PER STRUCT ENGINEER W/ RADIANT BARRIER @ CONDITIONED SPACES.
2. METAL ROOF: 22 GA. GALVALUME STANDING SEAM ROOF W/ SEAMS AT 16" O.C. SMOOTH PANELS.
3. SOFFITS: 1X6 TONGUE & GROOVE, PAINTED.
4. GUTTERS: HALF ROUND GALVALUME GUTTERS TO MATCH ROOF FINISH. ROUND DOWNSPOUTS. COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT.



2 GARAGE STUDIO ROOF PLAN
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT
NOVEMBER 17, 2017

EMBREY RESIDENCE

2210 NEWFIELD LANE
AUSTIN, TX 78703

ROOF PLANS
GENERAL NOTES

A0.0

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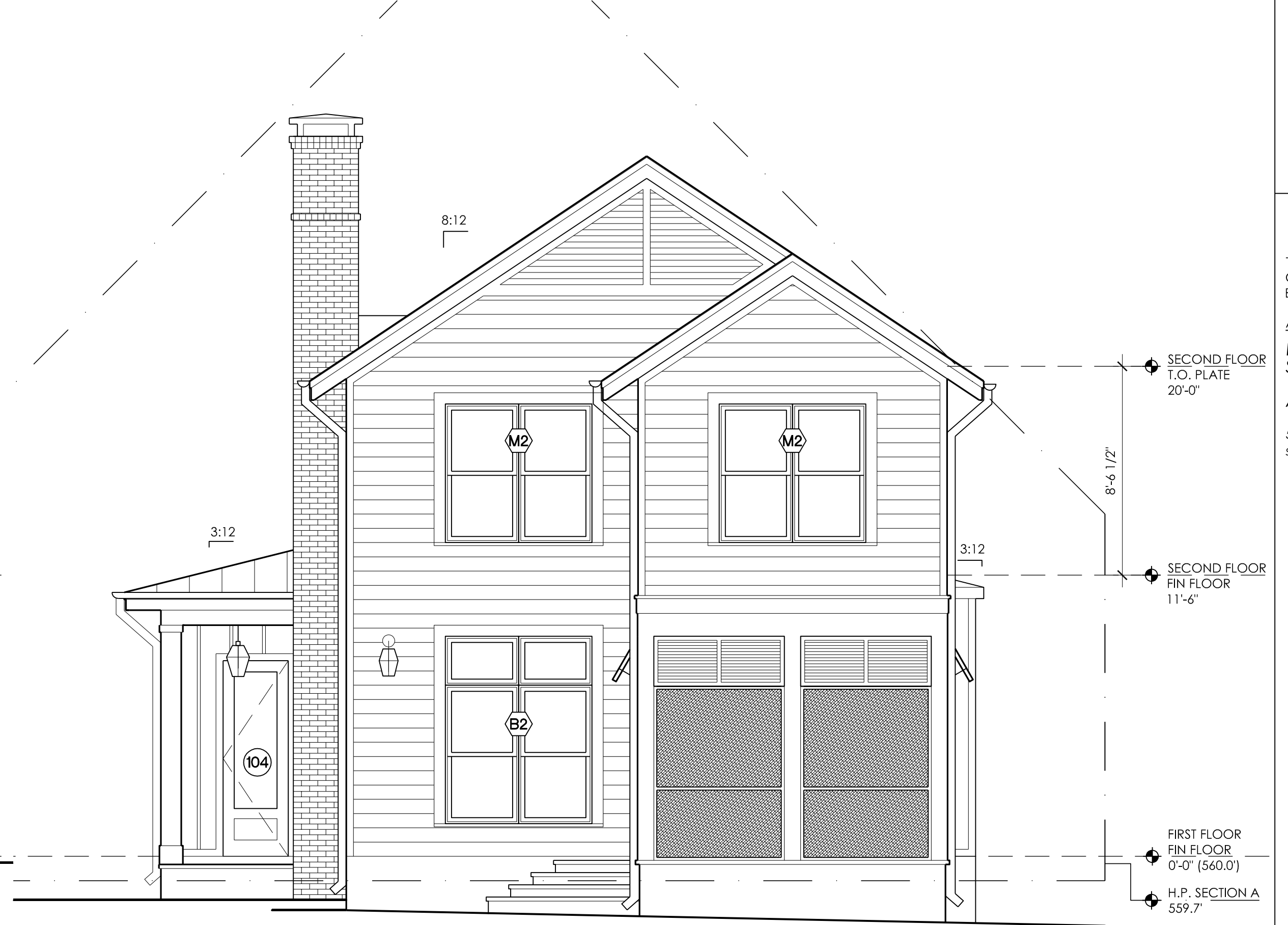
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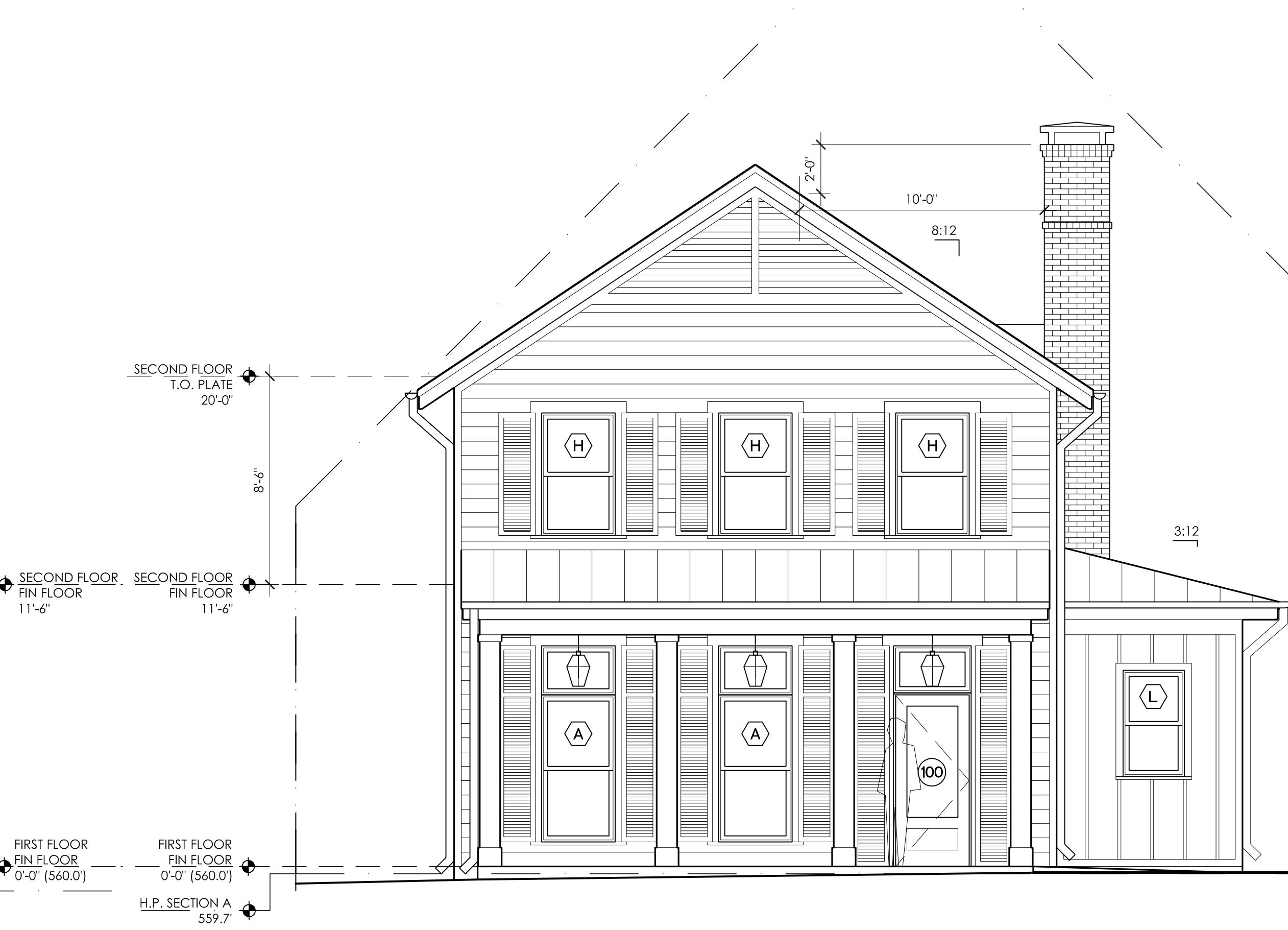
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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MAIN HOUSE
EXTERIOR ELEVATIONS

A2.0

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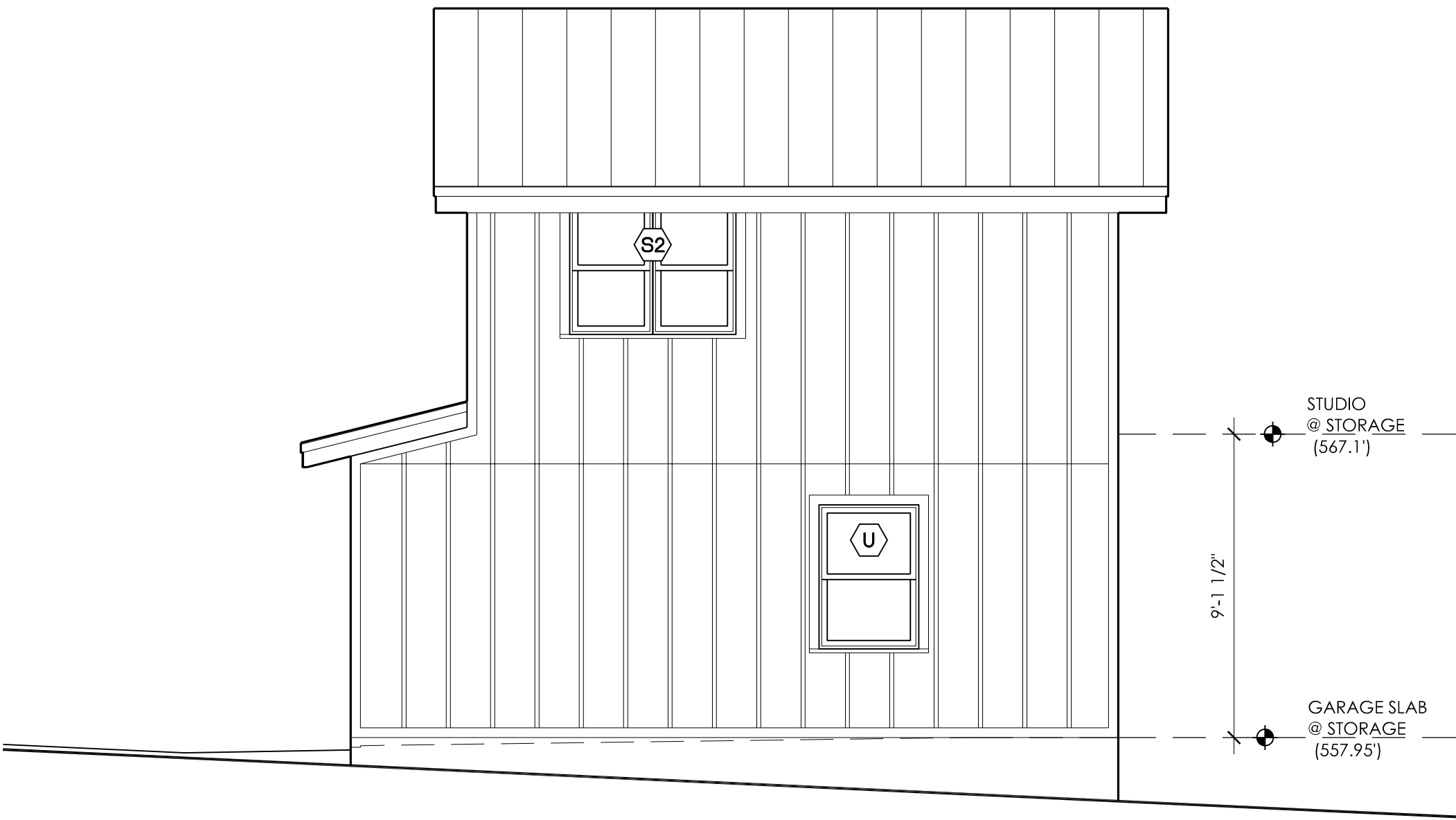
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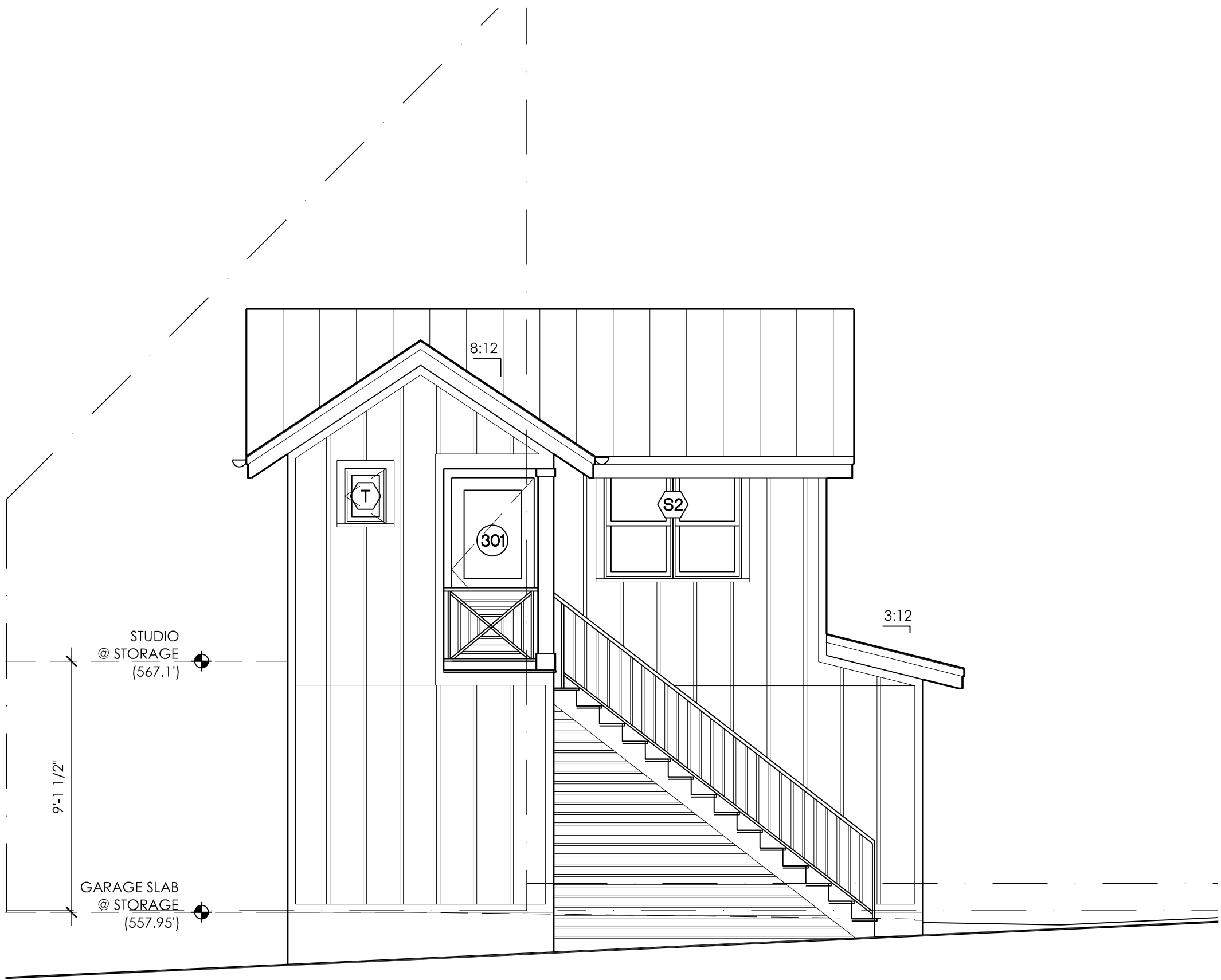
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GARAGE STUDIO
EXTERIOR ELEVATIONS

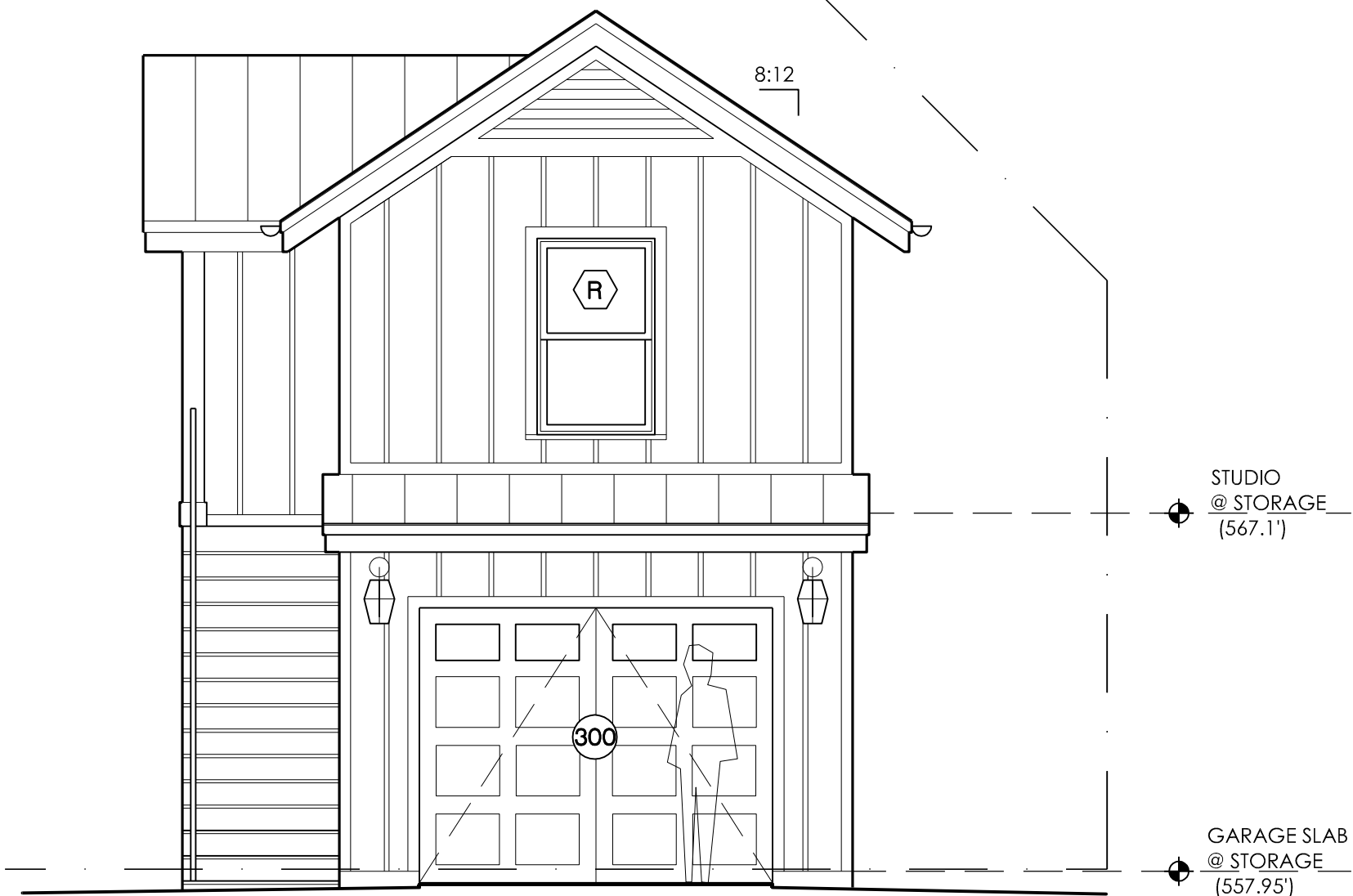
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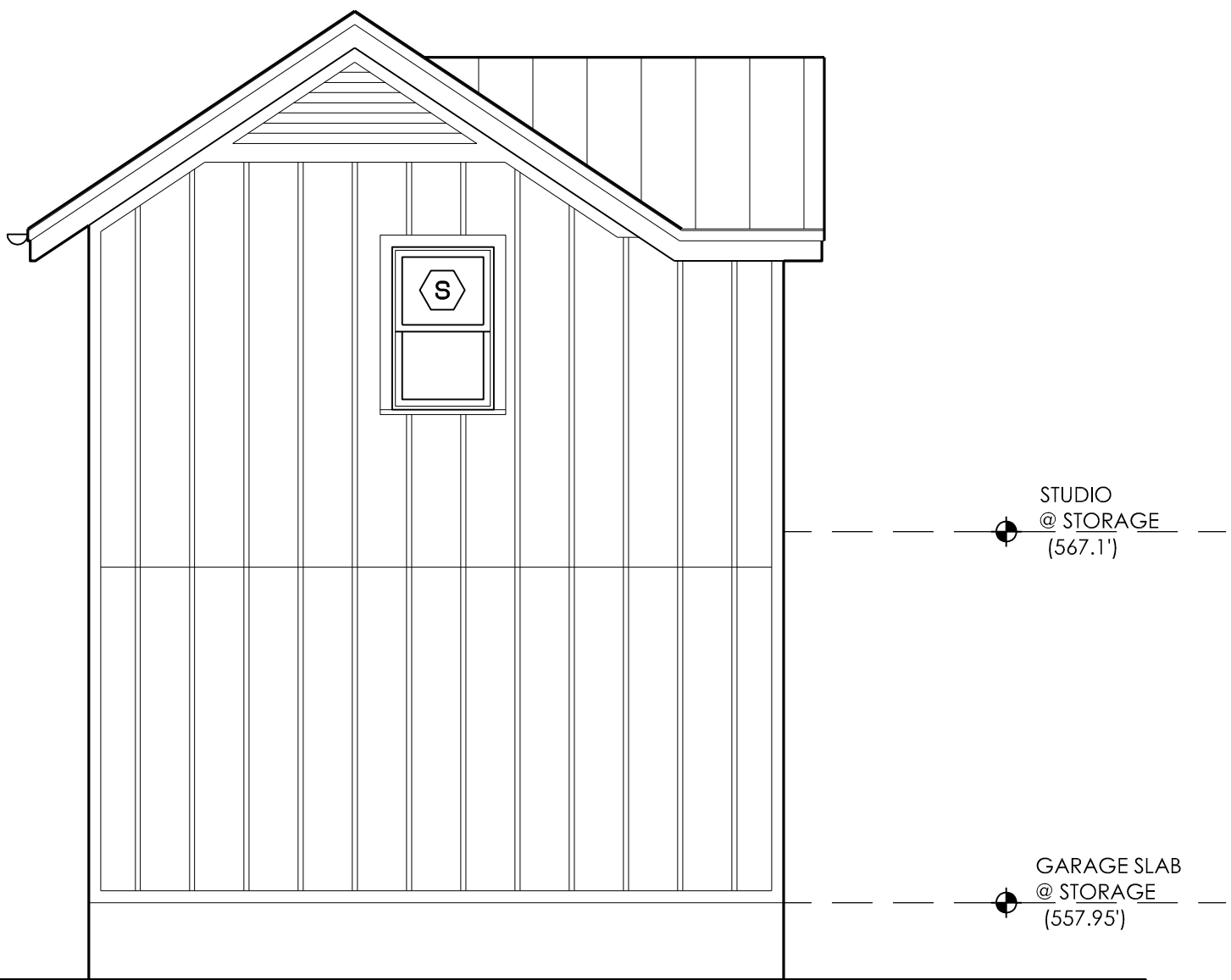
4 GARAGE - WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 GARAGE - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 GARAGE - EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE - WEST ELEVATION
SCALE: 1/4" = 1'-0"