

**HISTORIC LANDMARK COMMISSION**  
**JUNE 26, 2017**  
**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**  
LHD-2017-0014  
4008 Avenue C  
Hyde Park Historic District

**PROPOSAL**

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Renovate 1916 house, demolish one-story rear addition, and construct one-story rear addition. The house is a contributing structure in the Hyde Park Historic District.

**PROJECT SPECIFICATIONS**

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The proposed project includes renovation of the existing house, demolition of the rear addition, and construction of a new rear addition. The proposed renovation includes re-roofing the roof with asphalt shingles. Existing wood siding will be retained and painted. Windows will be retained and repaired in their existing locations, with the exception of two window openings on the north elevation, one of which will be enlarged and one closed in. Removed windows will be reused in another location in the house if possible. The front door flanked by side lights will be retained.

The one-story rear addition is proposed to be demolished. Building permits show that at least part of the addition was constructed as a utility room prior to 1967.

The proposed one-story rear addition is capped by a hipped roof stepped down from the original roof and clad in wood siding to match that on the existing house. Fenestration includes paired single-hung clad-wood windows to match those on the existing house. A glazed wood door is located on the addition's south elevation. The addition has a footprint of 187 square feet.

**STANDARDS FOR REVIEW**

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The Hyde Park Historic District Design Standards applicable to this project include:

- 3.1. Retain the historic façade of a house in terms of door and window placement and exterior wall materials.
- 3.2.1. Do not enlarge, alter, or relocate single doorways on the façade of the house.
- 3.2.2. Retain and repair an original entry door.
- 3.3.1. Repair or rehabilitate the original windows and screens.
- 3.4. Preserve the original front and street-side porches. Do not enclose open front and street-side ground-floor porches with screening, glass, or other enclosure materials.
- 3.5.1. Retain the original roof pitches and profiles on the building. Avoid changes to roofs on the front of the building. Avoid adding to the eave height of original roofs, especially at the front of the structure. Retain historic dormers.
- 3.5.2. In replacing roof materials, consider first the use of the original material, then the use of a product that resembles the original material.

- 4.1. Construct additions so as to require the removal or modification of a minimum of historic fabric. Do not construct additions which will require the removal of any portion of the front façade. Design additions to existing residential buildings to reflect the form and style of the existing house.
- 4.2. Locate new additions and alterations to the rear or the rear side of the building so that they will be less visible from the street.
- 4.3.1. Make the pitch and height of the roof of the addition compatible to that of the existing house.
- 4.3.2. Make windows visible from the street on any addition compatible with those on the existing house in terms of sash configuration, proportion, spacing, and placement.
- 4.3.3. Use exterior siding materials on the addition which match or are compatible with that of the existing materials.
- 4.4.1. Design additions to have the same floor-to-ceiling height as the existing house.
- 4.4.3. Design additions so that they do not overwhelm the original building.

**COA COMMITTEE RECOMMENDATIONS**

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The committee recommended the following changes to the original plans:

- Use shingles as a roof covering where possible

The applicant has revised the drawings to reflect the recommendations of the committee.

**STAFF RECOMMENDATION**

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Approve revised plans. The project meets the design standards for the historic district.

LOCATION MAP



-  N
-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

**NOTIFICATIONS**

CASE#: LHD-2017-0014  
LOCATION: 4008 Avenue C



1" = 333'

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This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

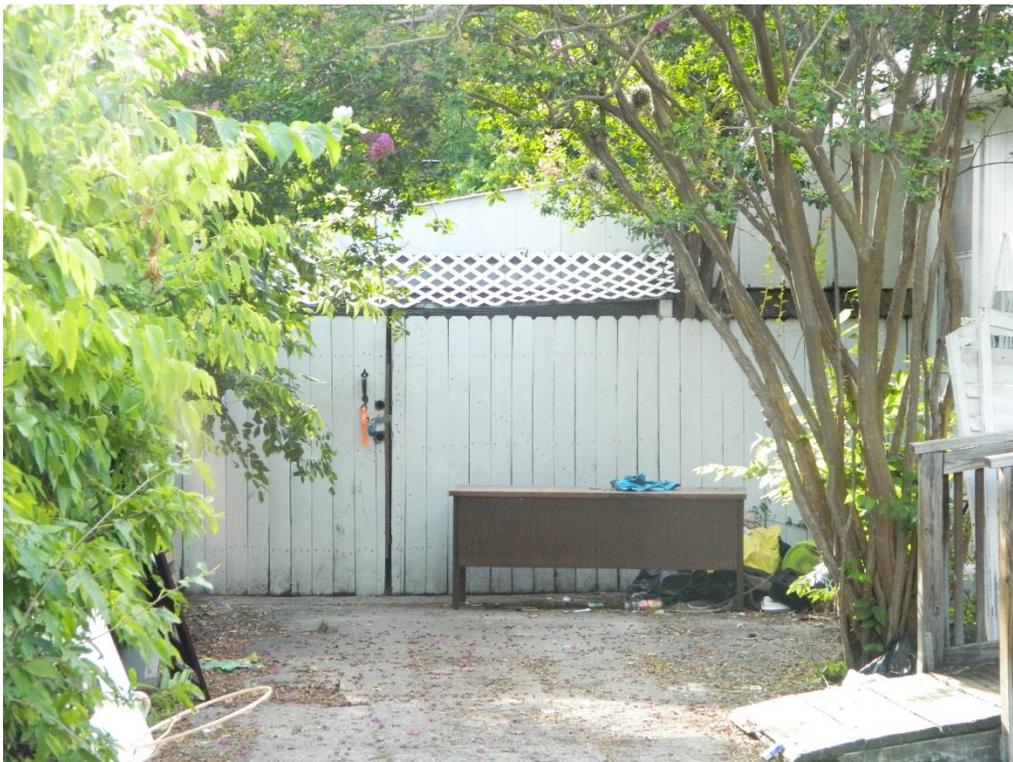
**PROPERTY INFORMATION**

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*Photos*



*Primary façade of 4008 Avenue C.*



*Partial view of rear addition.*



VIEW FROM STREET



4008

EXTERIOR MATERIAL LEGEND	
MARK	DESCRIPTION
BRICK 1	EXISTING COMMON BRICK, PAINTED, COLOR TBD
CONC 1	EXISTING CONCRETE WALKWAY
CONC 2	NEW CONCRETE WALKWAY: BROOM FINISH
CONC 3	EXISTING CONCRETE DRIVEWAY
CONC 4	NEW CONCRETE DRIVEWAY, BROOM FINISH
CONC 5	EXISTING CONCRETE STAIR, PAINTED, COLOR TBD
GRASS	GRASS SOD
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARDI 1	EXISTING VERTICAL FIBER CEMENT BOARD SIDING, TO BE REMOVED
METAL 1	EXISTING STANDING SEAM METAL ROOF
METAL 2	STEEL STAIR STRUCTURE
METAL 3	1/4" STEEL PLATE, PAINTED, COLOR TO BE SELECTED BY ARCH.
SHINGLE 1	EXISTING ASPHALT SHINGLE, TO BE REMOVED
SHINGLE 2	NEW ASPHALT SHINGLE, TBD
STUCCO 1	STUCCO SKIRTING, COLOR TBD
TILE 3	TILE BACKSPASH, CT-3
WOOD 1	EXISTING WOOD SIDING, PAINTED WHITE, COLOR TO BE SELECTED BY ARCH.
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WOOD 3	EXISTING WOOD DECK, PAINTED, COLOR TO BE SELECTED BY ARCH.
WOOD 4	NEW WOOD DECKING, 5/4"x4" BOARDS, STAINED OR PAINTED, COLOR TBD
WOOD 7	WOOD SOFFIT

**PROJECT DESCRIPTION**  
AN INTERIOR REMODEL OF A SINGLE STORY STRUCTURE WITH A SMALL ADDITION

**LEGAL DESCRIPTION**  
LOTS 27 & 28, BLK. 6, HYDE PARK, ADDITION TWO

ZONING	
ZONING	MF-4-HD-NCCD-NP
LAND USE	SINGLE-FAMILY RESIDENTIAL
LOT AREA	5,964.8 SQFT

**TYPE OF CONSTRUCTION**  
TYPE V-B

BUILDING AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
FIRST FLOOR CONDITIONED	1,667	1,485	
SECOND FLOOR CONDITIONED	0	0	
<b>TOTAL ZONING SQ FT (GROSS FLOOR AREA)</b>	<b>1,667 (0.28-1)</b>	<b>1,485 (0.25-1)</b>	<b>2,386 (0.4-1)</b>
COVERED PARKING (GARAGE OR CARPORT)	497	0	
COVERED PATIO, DECK OR PORCH	228	228	
COVERED BALCONY	758	0	
<b>BUILDING SQ FT (FLOOR AREA)</b>	<b>3,150</b>	<b>1,713</b>	

SITE AREA	EXISTING (SQFT)	PROPOSED (SQFT)	ALLOWED (SQFT)
EXISTING HOUSE TO BE RENOVATED	-	1,298	
NEW ADDITION	-	187	
EXISTING COVERED AREA TO REMAIN	-	228	
NEW COVERED AREA	-	0	
<b>BUILDING COVER SQ FT</b>		<b>1,485</b>	
PARKING	598	306	
PAVED WALKWAYS	150	89	
UNCOVERED PATIOS	0	0	
UNCOVERED WOOD DECKS (50%)	75	13	
AC PADS	0	9	
<b>TOTAL IMPERVIOUS COVER</b>	<b>3,971 (67%)</b>	<b>2,130 (36%)</b>	<b>2,684 (45%)</b>

KEY	
	PROPERTY LINE
	4' WOOD FENCE
	6' WOOD FENCE
	UTILITY: OVERHEAD ELECTRIC
	UTILITY: SEWER/ WASTEWATER
	UTILITY: WATER
	UTILITY: GAS
	UTILITY POLE
	WATER METER

**TREE PROTECTION NOTES**

THE FOLLOWING REQUIREMENTS APPLY TO ALL SIGNIFICANT TREES (TRUNK DIAMETER >8") WITHIN THE LIMITS OF CONSTRUCTION, AND MUST BE OBSERVED THROUGHOUT THE DURATION OF CONSTRUCTION

PROTECT TREE CRITICAL ROOT ZONES BY PUTTING UP CHAIN LINK FENCING, 5' MINIMUM, AT THE BOUNDARIES OF THE 50% CRITICAL ROOT ZONES (CRZ).

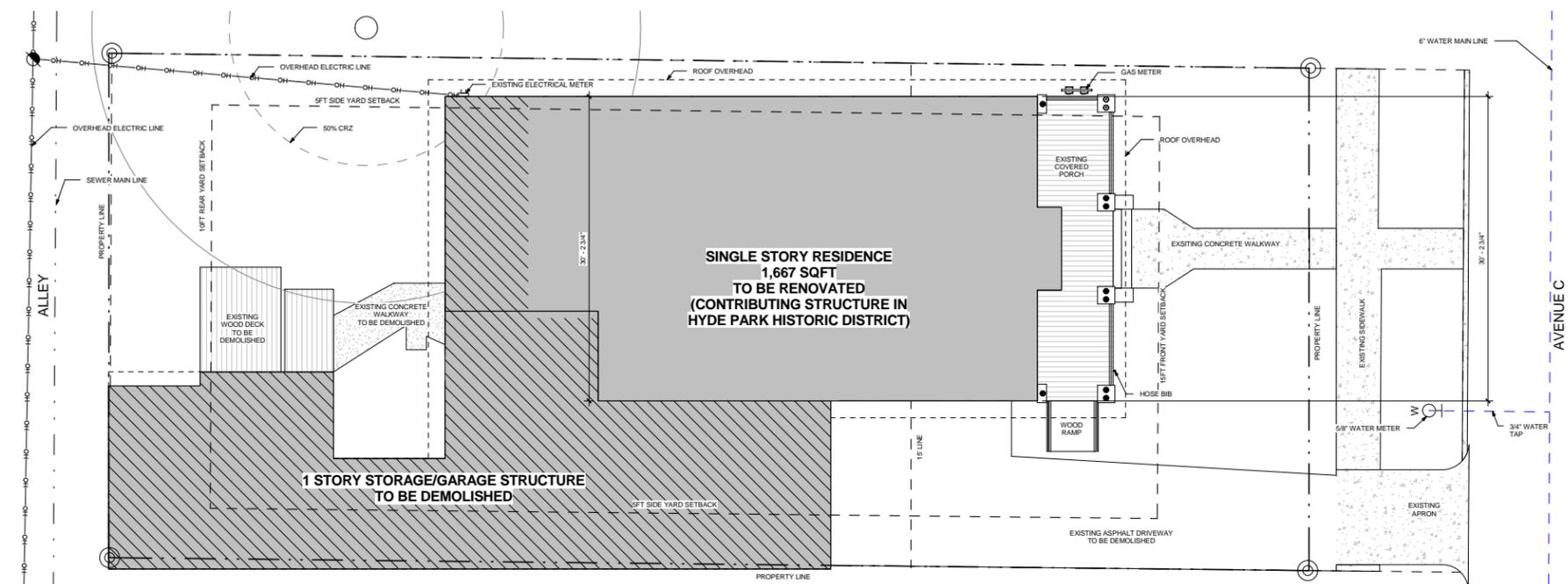
IF FENCING THE ENTIRE 50% CRZ IS INFEASIBLE, AN 8" LAYER OF MULCH MUST BE APPLIED TO AS MUCH OF THE CRZ AS POSSIBLE.

NOTWITHSTANDING FENCING OR MULCH LOCATIONS, NO MATERIALS OR EQUIPMENT MAY BE STORED WITHIN TREE CRITICAL ROOT ZONES.

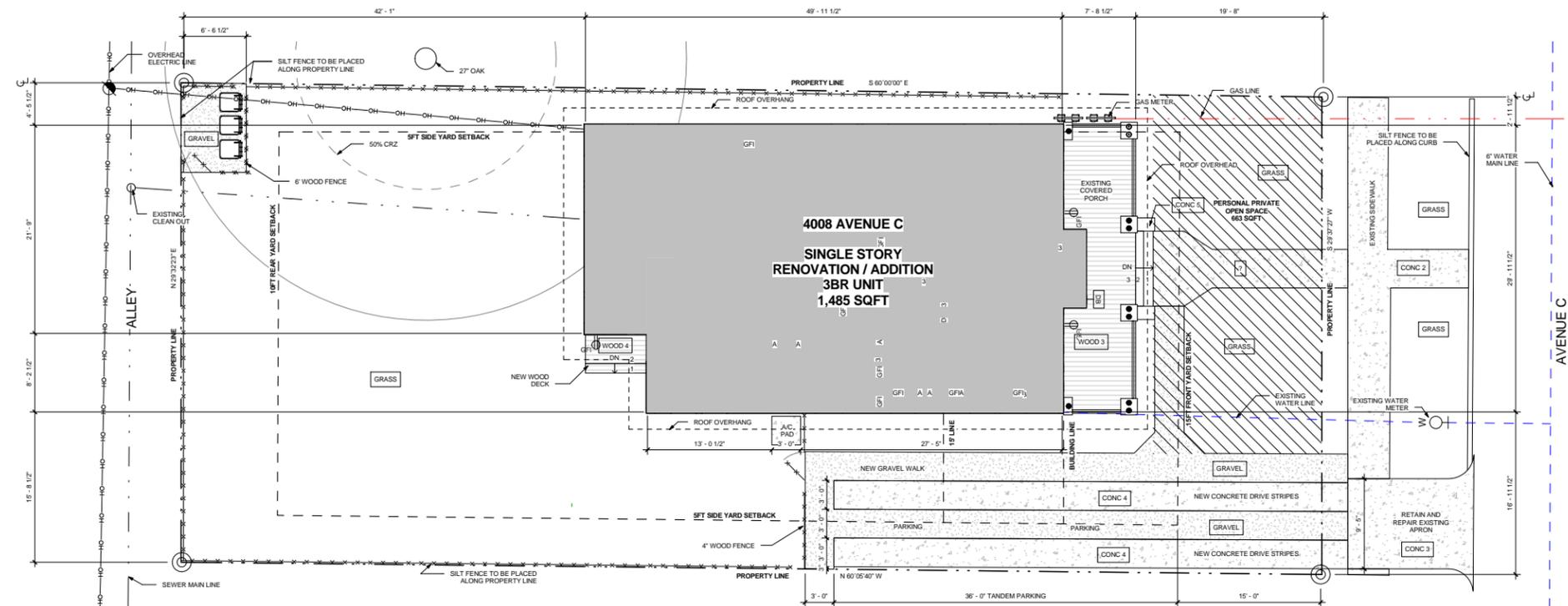
ALL PRUNING OF SIGNIFICANT TREES, INCLUDING PRUNING TO ALLOW ACCESS TO MATERIALS AND EQUIPMENT, MUST BE DONE BY A LICENSED ARBORIST.

**GENERAL NOTES - SITE PLAN**

- CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- TAKE MEASURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY DATED 8/26/2015.
- ONLY TREES 19" DIAMETER AND GREATER ARE NOTED ON SITE PLAN - REFERENCE SITE SURVEY FOR FULL LIST OF TREES, TRUNK SIZE AND LOCATION.
- FIRE APPARATUS ACCESS WITHIN 150' OF ALL POINTS OF STRUCTURE
- FIRE HYDRANTS 130509 & 130517 LOCATED WITHIN 500' OF ALL POINTS OF STRUCTURE



**2 SITE PLAN - EXISTING**  
Scale: 1/8" = 1'-0"



**1 SITE PLAN - PROPOSED**  
Scale: 1/8" = 1'-0"

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PROJECT  
**4008 AVENUE C**  
4008 AVENUE C  
AUSTIN, TX 78751

STAGE  
**CONSTRUCTION DOCUMENTS**

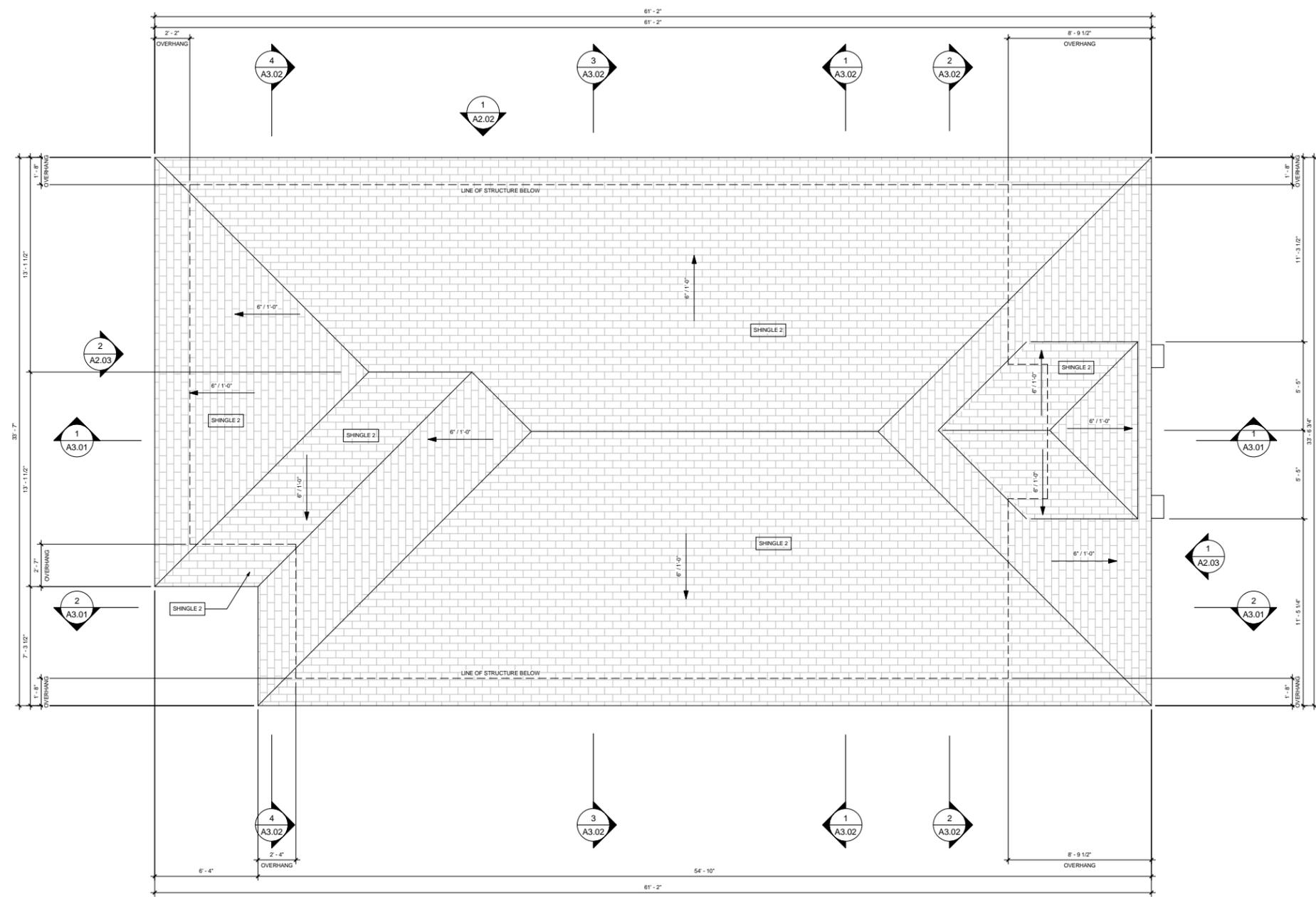
REVISIONS

NUMBER	DATE	DESCRIPTION

DRAWING  
**SITE PLAN**  
DATE  
6/22/17  
PAGE NUMBER

**A0.01**

EXTERIOR MATERIAL LEGEND	
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BRICK 1	EXISTING COMMON BRICK, PAINTED, COLOR TBD
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CONC 5	EXISTING CONCRETE STAIR, PAINTED, COLOR TBD
GRASS	GRASS SOD
GRAVEL	GRAVEL
GTR 1	METAL GUTTER AND DOWNSPOUT SYSTEM
HARD1 1	EXISTING VERTICAL FIBER CEMENT BOARD SIDING, TO BE REMOVED
METAL 1	EXISTING STANDING SEAM METAL ROOF
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**1** ROOF PLAN  
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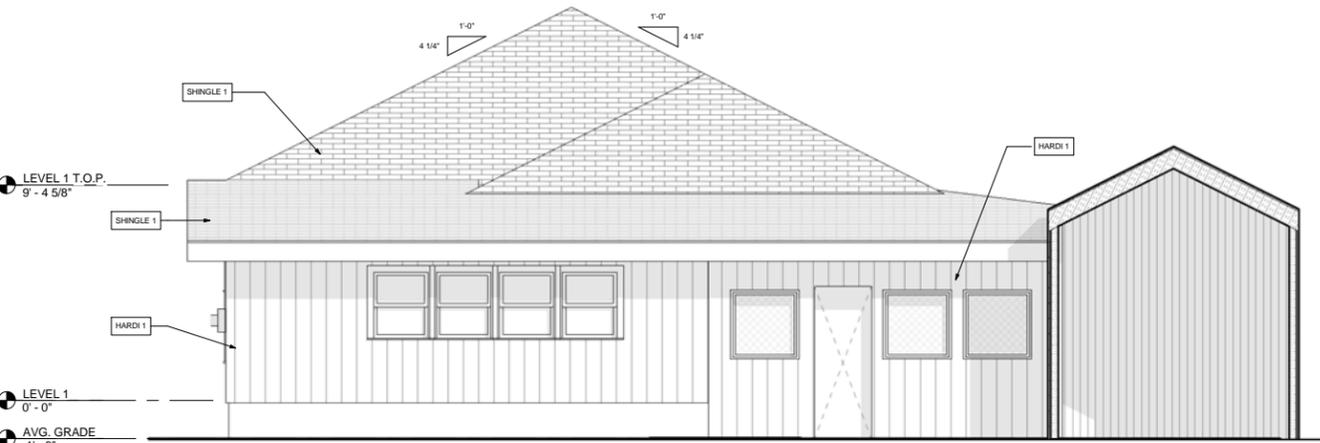
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**ROOF PLAN**

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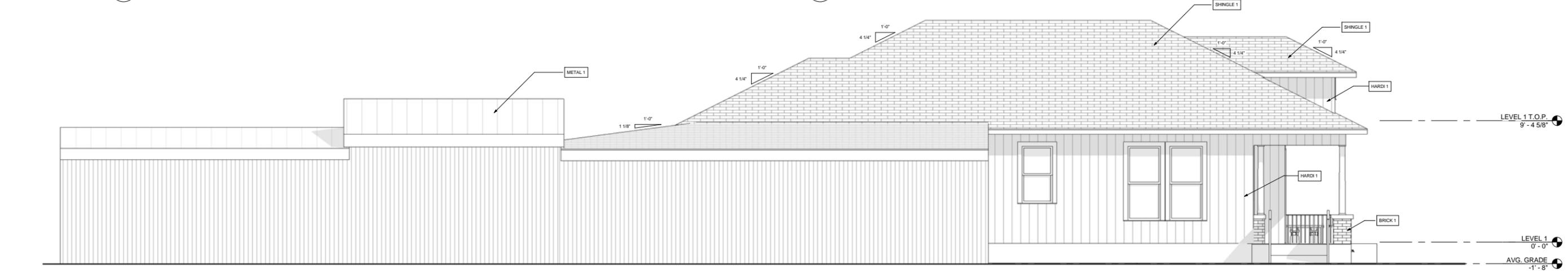
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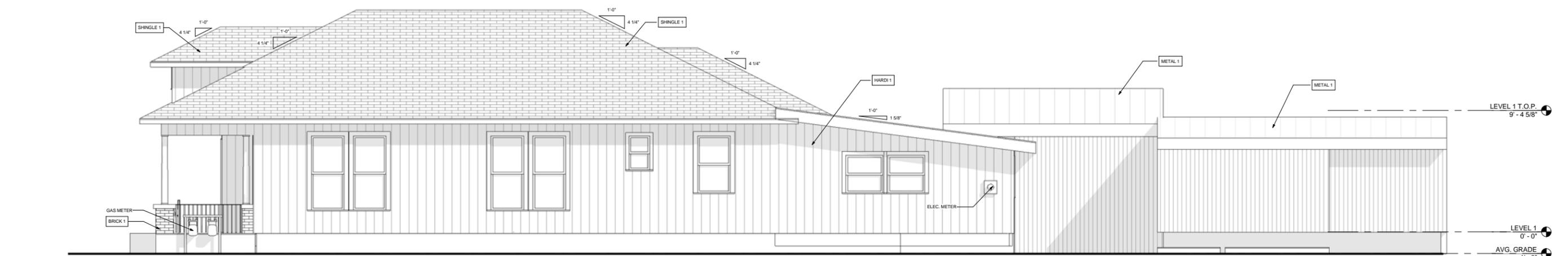
**4 WEST ELEVATION, EXISTING**  
Scale: 1/4" = 1'-0"



**3 EAST ELEVATION, EXISTING**  
Scale: 1/4" = 1'-0"



**2 SOUTH ELEVATION, EXISTING**  
Scale: 1/4" = 1'-0"



**1 NORTH ELEVATION, EXISTING**  
Scale: 1/4" = 1'-0"

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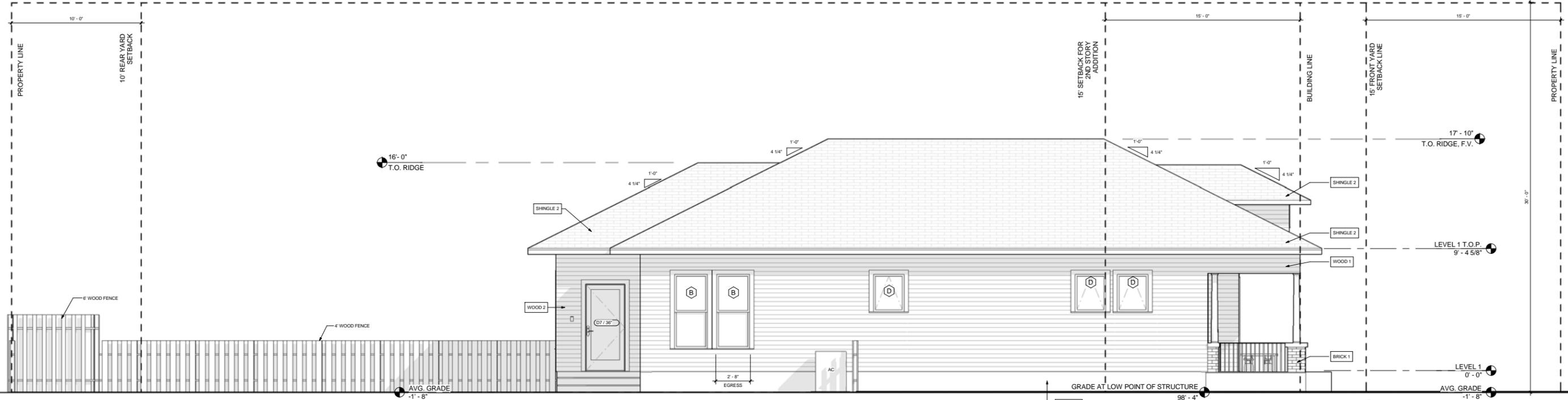
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**EXTERIOR ELEVATIONS, EXISTING**

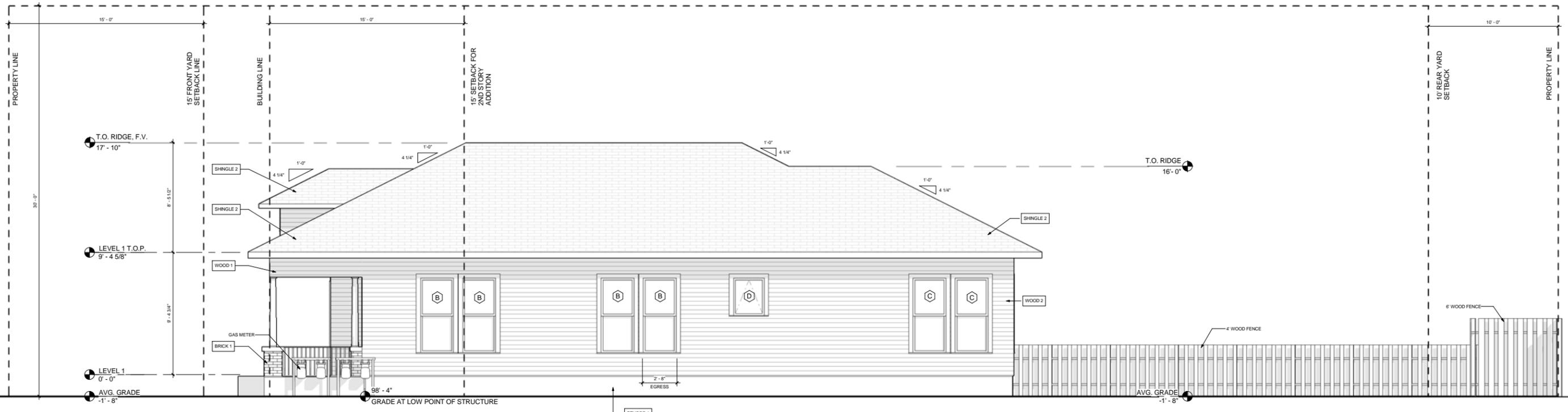
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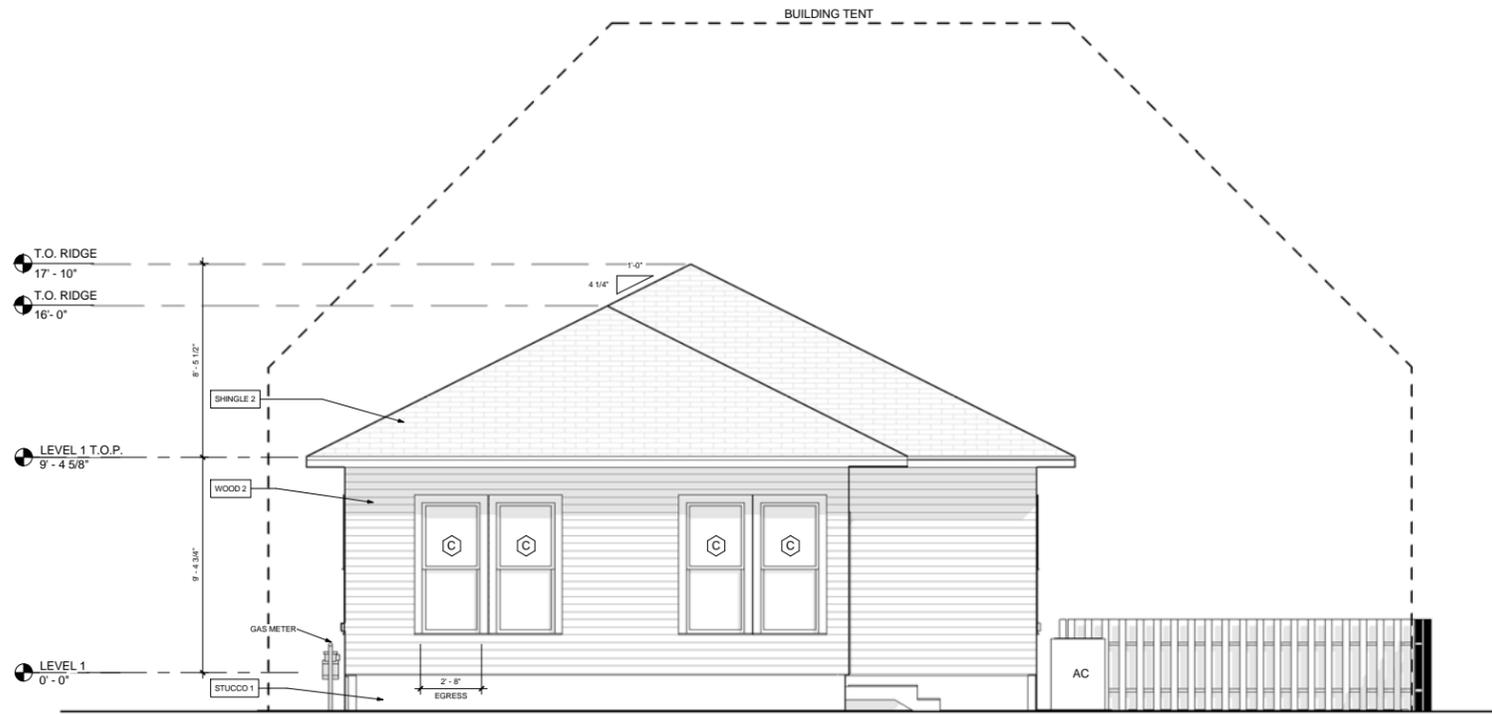
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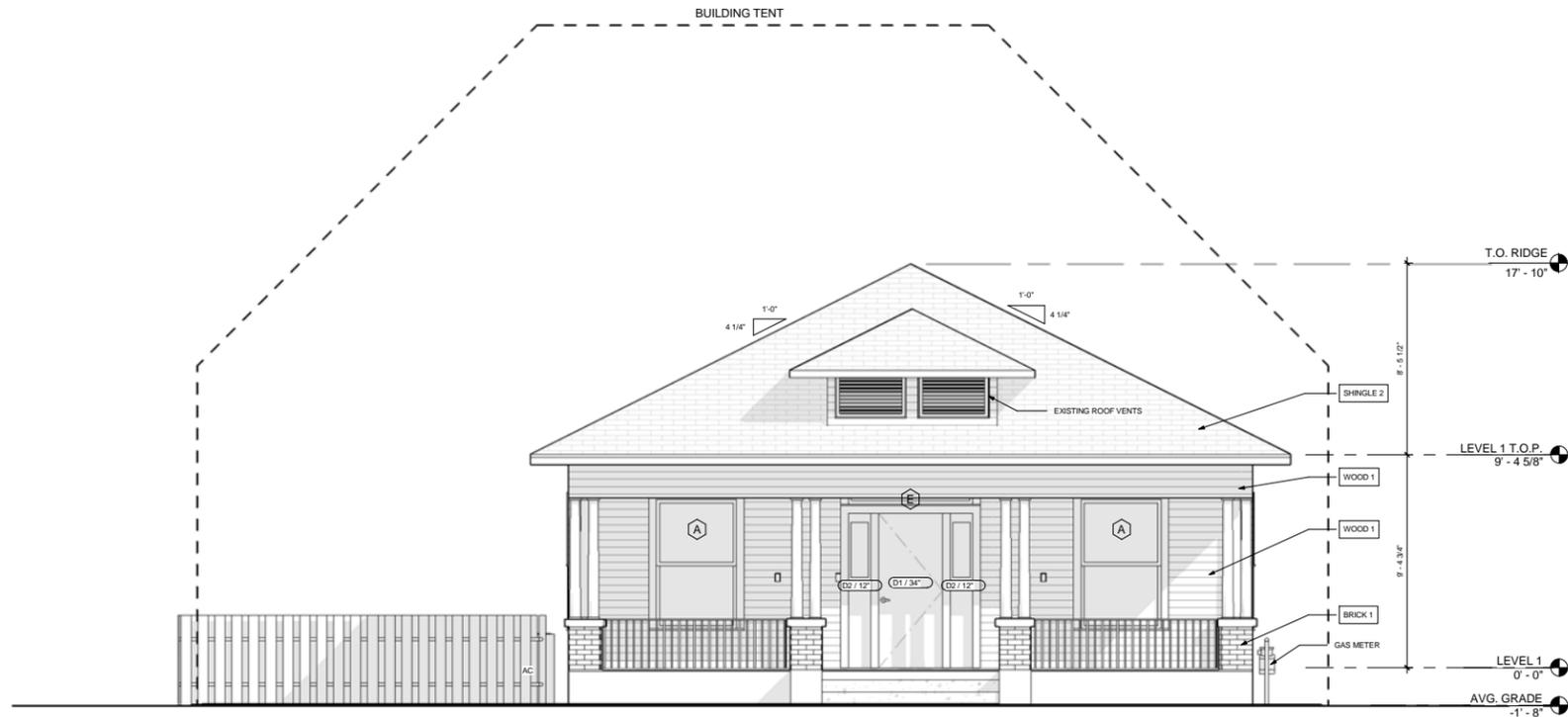
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**EXTERIOR ELEVATIONS**

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**2 WEST ELEVATION**  
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**A2.03**