

* REFER to DANIEL WORD



CITY OF AUSTIN **Development** **SERVICES DEPARTMENT**

Residential Review – One Texas Center
 505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

To complete this form electronically: Open with
 Internet Explorer, then [Click Here to Save and continue.](#)

Property Information

Project Address: <u>710 AUGUSTA AVE.</u>	Tax Parcel ID:
Legal Description: <u>Plot 1 Bldg C Ecks Holdings</u>	
Zoning District: <u>SF-3-NP</u>	Lot Area (sq ft): <u>8,711</u>
Neighborhood Plan Area (if applicable):	Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <u>N</u> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <u>N</u> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <u>N</u> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <u>N</u> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <u>N</u>	(If yes, Fire review is required)
Is this property within 200 feet of a hazardous pipeline? Y <u>N</u>	(If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <u>N</u> (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <u>N</u> (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <u>N</u>	(If yes, click here for more information on the tree permit process.)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y <u>N</u>	
Does this site currently have: water availability? <u>Y</u> N wastewater availability? <u>Y</u> N (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? <u>Y</u> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <u>N</u> (If yes, submit approved auxiliary and potable plumbing plans.) (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <u>N</u> (If yes, contact the Development Assistance Center for more information)	
Is this site within the Waterfront Overlay? Y <u>N</u> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <u>N</u> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <u>Y</u> N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <u>N</u> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <u>N</u> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <u>N</u> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <u>N</u> (If yes, construction material recycling is required per LDC 25-11-39)	
Existing Use: <u>vacant</u>	single-family residential duplex residential two-family residential other: _____
Proposed Use: <u>vacant</u>	single-family residential <u>duplex residential</u> two-family residential other: _____
Project Type: <u>new construction</u>	addition addition/remodel other: _____
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <u>N</u> (Note: Removal of all or part of a structure requires a demolition permit application.)	
# existing bedrooms: <u>0</u>	# bedrooms upon completion: <u>3=3</u> # baths existing: <u>0</u> # baths upon completion: <u>2=2</u> <u>3=3</u>
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <u>New Residential Duplex Construction, Re-Build of previous Duplex</u> <u>Demolished - Removed By Fire Damage.</u>	
Trades Permits Required (Circle as applicable): <u>electric</u> <u>plumbing</u> <u>mechanical (HVAC)</u> <u>concrete (R.O.W.)</u>	

Job Valuation		
Total Job Valuation: \$ <u>220,000</u> 0	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>220,000</u> 0	Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____ TOTAL: \$ _____ 0
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.		
Amount for Primary Structure: \$ _____ Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N		
Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N		

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg-1	Bldg-2	Bldg-1	Bldg-2	Bldg-1	Bldg-2
a) 1 st Floor conditioned area	904	924	904	924	904	924
b) 2 nd Floor conditioned area			838	818	838	818
c) 3 rd Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)			220	220	220	220
f) Covered patio, deck, porch, and/or balcony area(s)			311	119	311	119
g) Other covered or roofed area					311	0.00
h) Uncovered wood decks			128	220	128	220
Total Building Area (total a through h)	0.00	0.00	0.00	0.00	2401	2309
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction						

Building Coverage Information $2,706 \div 8,711 =$

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement (LDC 25-1-21)

Total Building Coverage (sq ft): 2,706 % of lot size: 31.6

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover (LDC 25-1-23)

Total Impervious Cover (sq ft): 3,325 % of lot size: 38.1

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y ☒ N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y ☒ N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y ☒ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>26</u> ft <u>4</u> in Number of Floors: _____	# of spaces required: <u>3</u> # of spaces provided: <u>4</u>

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y ☒ N

*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N

Width of approach (measured at property line): 4.2 ft Distance from intersection (for corner lots only): 4.2 ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required) Y ☒ N

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft A	New/Added B Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	904	924			1,742 0.00
2 nd Floor	838	818			1,742 0.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	A1.0 = 51 A1.1 = 254	B1.0 = 20 B1.1 = 99	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	Full	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached	220	220 <input type="checkbox"/> 200 sq ft (3.3.2 B 1) Min. Parking Req.	Full	0.00
	Detached		<input checked="" type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	0.00	0.00			0.00

3,484

8,711

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) ~~0.00~~ 3,484

(Total Gross Floor Area ÷ Lot Area) x 100 = 39.9 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y N
(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N
(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

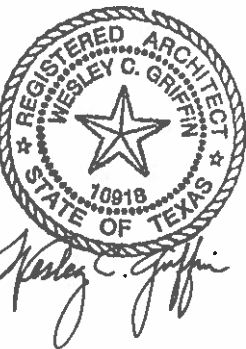
***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



January 05, 2018

FOR REGULATORY APPROVAL
COA Deferred SubmittalPending Items:
Engineered Floor & Roof Framing

710 Augusta Avenue

Austin, Texas 78703
The Hidden Street Duplex

symbol legend	general notes	code analysis / site data	project team	drawing index																																																																																																
symbol legend window: 101 laynote: 2 door: 101a partition type: C equipment/plumbing: 5 height elevation: 33 revision: 1 room: Dining 101 interior elevation: 2 (AS.1) detail: 1 (A1.1) building/wall section: 3 (A1.1) elevation: 2/AS.1	general notes 1. These documents comprise a portion of a contract between the Owner and the General Contractor. No contract is implied or stated between the Owner and any other party, nor between the Architect and any party. Interpretation by the General Contractor is required. By use of these documents, both the Owner and the General Contractor assent to this understanding of the nature of contract documents. 2. The General Contractor is responsible for the provision of minor details and appurtenances not shown in the contract documents. 3. The General Contractor and his/her subcontractors are responsible for the final design of the HVAC, plumbing, and electrical systems. 4. The General Contractor may not revise or modify the contract documents, in whole or in part, without the prior approval of the Owner. Consultation with the Architect beforehand is strongly recommended. 5. The General Contractor may not modify the plans, elevations, or site plan shown in the contract documents without obtaining Architect consultation and Owner approval beforehand. 6. Should the Owner request changes to the contract documents, the General Contractor is responsible for ensuring that the changes do not result in a built condition that does not comply with codes and/or regulations. Consultation with the Architect and/or an Inspector is highly recommended. 7. The Architect is not an inspector and is not liable for the General Contractor's failure to execute the Work in accordance with the contract documents and/or in conformance with any and/or all applicable codes, laws, statutes and regulations. 8. The Owner shall not be held liable nor be made to pay for the remediation of work judged substandard and/or rejected by the Architect, the Owner, and/or any Inspector (municipal or third-party). The Owner alone reserves the right to accept work judged substandard by either the Architect or the Owner. Should the Owner elect to accept substandard work, the Owner reserves the right to request monetary credit and/or a reduction in the contract sum. 9. The Owner and/or the Architect shall be permitted to access the project site, in part and as a whole, at any reasonable time without prior notice. If the project site, in part or as a whole, is locked or otherwise secured, the Architect shall coordinate with the General Contractor to gain access. Neither the Owner nor the General Contractor shall be held liable for the consequences of the Architect's presence onsite unless said consequences arise from an unsafe or otherwise substandard project condition. 10. The General Contractor is solely responsible for obtaining and maintaining all such bonding, sureties, and insurances such as may be required to shield the Owner from claims pertaining to the General Contractor's and/or Subcontractors' execution of the Work and their respective conduct onsite. 11. The General Contractor is solely responsible for ensuring that working conditions onsite are safe and comply with all relevant rules, laws, codes, and standards. Likewise, the General Contractor is solely responsible for ensuring that all personnel onsite conduct themselves in a safe and prudent manner at all times, whether or not the General Contractor is present. Visitability Requirements **applicable to ALL homes built in the City of Austin** (per Section R320 of the City Code Section 25-12-243) 1. All homes must have at least one accessible bath or half-bath (the "Visitable Bathroom") on the main floor. This Visitable Bathroom must meet the following minimum standards: a) access must be through an opening no smaller than 30" clear. In order for a door to have a 30" clear opening the door must be at least a 2-8 door. b) all walls in the bathroom must have 2x6 (minimum) blocking in the walls. c) blocking shall be located at 34" from the floor to the centerline of the blocking. This blocking shall be on ALL walls of the Visitable Bathroom, except behind the vanity. 2. All homes must meet the following environmental control rules on the main floor: a) light switches and environmental controls (thermostats, doorbells, security pads, etc) must be no higher than 48" above the interior floor level, and b) outlets and receptacles must be at least 15" above the interior floor level, except for floor outlets and receptacles. 3. The home must have at least one no-step entrance (the "Visitable Entrance") that meets the following minimum requirements: a) clear opening width of 32" (a 36" door or wider), b) a beveled threshold of one-half inch or less c) the total height of the threshold shall not exceed 1 1/2". This door may be located at the front, rear, or side of the home, or in the garage or carport of the dwelling. 4. Accessible Route - There must be an unobstructed path with no changes in elevation and no openings narrower than 32" clear, between the no-step entrance (described in item 3 above) and the "Visitable Bathroom" (described in item #1 above). Any thresholds along this path must meet the minimum requirements of the threshold shown in Detail C (Above). (exemption- a visitable route is not required through an area located on a split-level or sunken floor, provided an alternative route is available) 5. A visitable entrance complying with item #3 above must have at least one visitable route with a cross-slope of no greater than 2 percent (1:50) that originates from a garage, driveway, public street, or public sidewalk. A ramp included in an exterior visitable route must comply with the Residential Code. This requirement does not apply to: a) lots with 10% or greater slope prior to development, or b) properties for which compliance cannot be achieved without the use of switchbacks. This requirement for a visitable route goes into effect on July 1, 2015.	code analysis / site data Site Area/Impervious Data 1. Driveway(s): Ribbons 283 Sf 2. Sidewalk(s): n/a 3. Uncovered Patios(s): A: Un-coved Deck 1.2: 63 4. Uncovered: n/a 5. A/C Pads: 18 Sf 6. Other: 88 Sf Walkway Pavers, 168 Sf Retaining Wall 7. Building Coverage = 2,706 Sf (Combined Lower Level) Total Site Coverage: 3,325 Sf (8,711 Site) 38.1% (45% Max per zoning) Building Area Data A. First floor conditioned: A: 904 Sf B: 924 Sf B. Second floor conditioned: A: 838 Sf w/Stairs B: 818 Sf w/Stairs C. Third floor conditioned: n/a D. Covered Parking: 1-Car Garage : A: 220 Sf B: 228 Sf E. Covered Patio or Porch: 57 Sf A: L1: Covered Front Porch 1.0 254 Sf A: L1: Covered Rear Porch 1.1+1.2 20 Sf B: L1: Covered Front Porch 1.0 99 Sf B: L1: Covered Rear Porch 1.1 G. Balcony/Deck: 126 Sf A: L2: Uncovered Deck 2.0 99 Sf B: L2: Uncovered Deck 2.0 121 Sf B: L2: Uncovered Deck 2.1 Total Building Data: (a+b+d+e+g) 4,847 Sf Total Total Building Coverage (L1: a+d+e): 2,706 Sf (8,711 Sf Site) 31.6% (40% Max Per Zoning) Gross Floor Area Data A. First floor conditioned: A: 904 Sf B: 924 Sf B. Second floor conditioned: A: 838 Sf w/Stairs B: 818 Sf w/Stairs C. Covered Parking: A: 1-Car Garage: 0 Sf (220-450 Rear Parking Exemption) B: 1-Car Garage: 0 Sf (220-450 Rear Parking Exemption) *applied (1) 450sf rear parking exemption for both units Total Gross Floor Area: 3,484 Sf (8,711 Sf Site) 39.9% (40% Max Per Zoning) Questions: Parking Exemption: Yes Ground Floor Porch Exemption: Yes Habitable Attic Exemption: No Sidewall Articulation: No Setback Plane Exceptions: No parking requirement Site Requirement: 4 Spaces per Neighborhood Plan Provided: 4 Spaces (2) 1-Car Garage's (2) Uncovered Parking Spaces	project team Design SHED design+consulting co +512.757.7192 9600 Escarpment Blvd. Suite 745 PMB 129 Austin, Texas 78749 Structural Engineering MGL Services Inc. +512.892.9244 7833 Mnier Dr Austin, TX 78735 Builder Patriot Builders +512.413.5587 office/cell +866.571.8311 fax 17129 Whispering Breeze Dr. Austin, Texas 78738	drawing index <table border="1"><thead><tr><th>Information</th><th></th><th></th><th></th><th></th><th></th></tr></thead><tbody><tr><td>A0.0</td><td>Cover Sheet</td><td></td><td></td><td></td><td></td></tr><tr><td>Design</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>A1.0</td><td>Site Plan</td><td></td><td></td><td></td><td></td></tr><tr><td>A1.1</td><td>Visitability Site Plan</td><td></td><td></td><td></td><td></td></tr><tr><td>A2.1</td><td>Lower Level Floor Plans</td><td></td><td></td><td></td><td></td></tr><tr><td>A2.2</td><td>Upper Level Floor Plans</td><td></td><td></td><td></td><td></td></tr><tr><td>A2.3</td><td>Lower Level Dimensioned Plans</td><td></td><td></td><td></td><td></td></tr><tr><td>A2.4</td><td>Upper Level Dimensioned Plans</td><td></td><td></td><td></td><td></td></tr><tr><td>A4.1</td><td>Roof Plan + Details</td><td></td><td></td><td></td><td></td></tr><tr><td>A5.1</td><td>Exterior Elevations</td><td></td><td></td><td></td><td></td></tr><tr><td>A5.2</td><td>Exterior Elevations</td><td></td><td></td><td></td><td></td></tr><tr><td>S1</td><td>Retaining Wall Elevation</td><td></td><td></td><td></td><td></td></tr><tr><td>S2</td><td>Foundation Plan</td><td></td><td></td><td></td><td></td></tr><tr><td>S3</td><td>Foundation Plan Details</td><td></td><td></td><td></td><td></td></tr><tr><td>S4</td><td>Wall Bracing Plan</td><td></td><td></td><td></td><td></td></tr></tbody></table>	Information						A0.0	Cover Sheet					Design						A1.0	Site Plan					A1.1	Visitability Site Plan					A2.1	Lower Level Floor Plans					A2.2	Upper Level Floor Plans					A2.3	Lower Level Dimensioned Plans					A2.4	Upper Level Dimensioned Plans					A4.1	Roof Plan + Details					A5.1	Exterior Elevations					A5.2	Exterior Elevations					S1	Retaining Wall Elevation					S2	Foundation Plan					S3	Foundation Plan Details					S4	Wall Bracing Plan				
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			applicable codes 2012 International Residential Code 2012 International Energy Conservation Code 2012 Uniform Mechanical Code 2012 Uniform Plumbing Code 2014 National Electrical Code Applicable Administrative Codes																																																																																																	

Project
710 Augusta Ave.
Austin, TX, 78703Issue:
January 05, 2018, Initial ReviewSet
for regulatory approval

Drawing Title

Cover Sheet

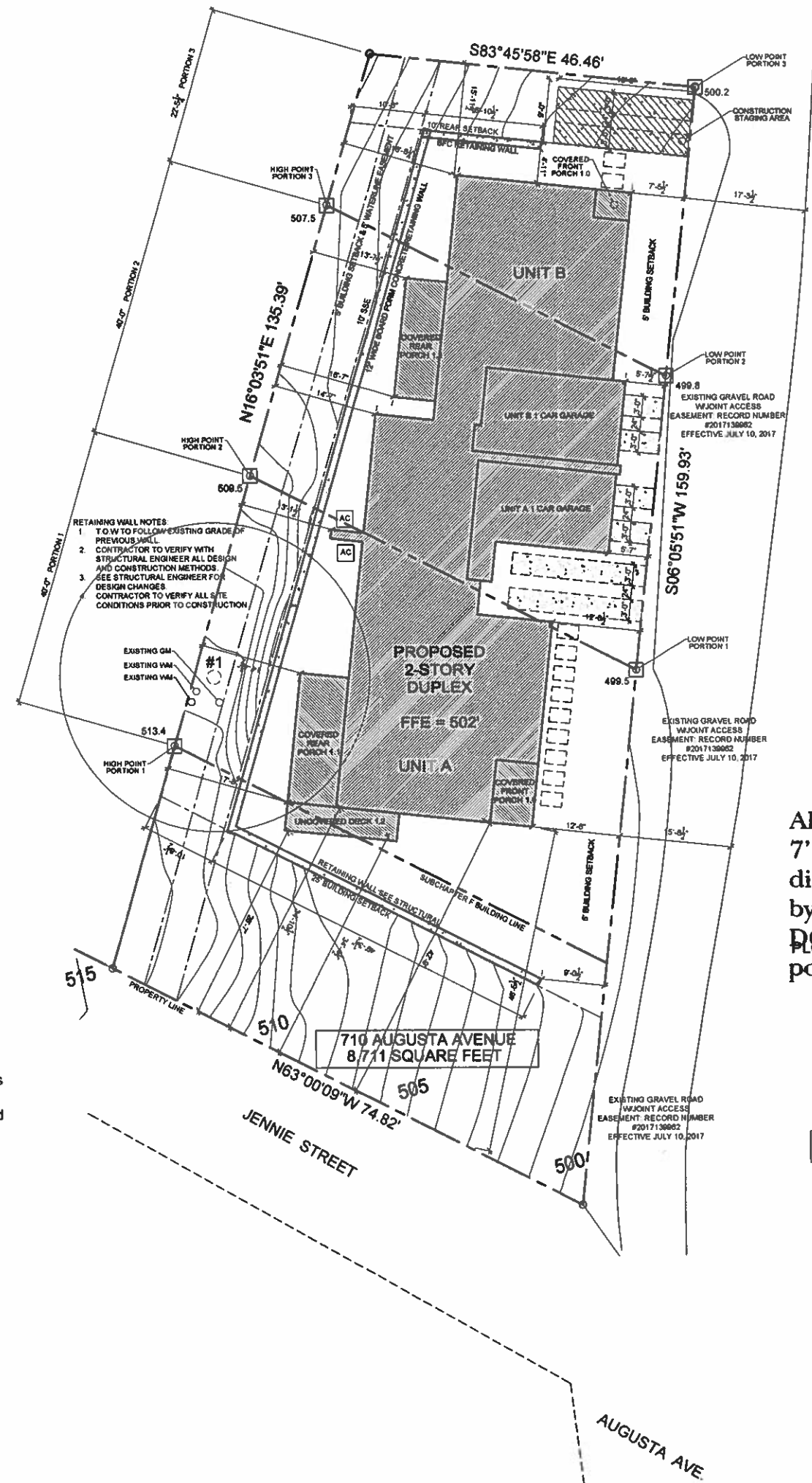
Sheet

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SHED
design + consulting CO

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- General Site Notes
1. See Builder for all exterior flatwork locations.
 2. See Builder for all yard wall locations.
 3. Provide silt fencing @ property lines for duration of construction or until site walls are built.
 4. Utilities shall be located in shared trenches wherever possible.
 5. Limits of clearing & grading shall be the property lines or +/- 15' from perimeter of home.
 6. Provide permeable driveway and walkway surfaces where possible, for city lots, infill lots and master planned communities & subdivisions, all driveway materials shall be built as per zoning code or covenants. Contractor shall confirm prior to construction.
 7. Provide new sidewalks as required.
 8. Where applicable, all colors shall be per designated sector development plan.
 9. "NO DISTURBANCE" zones shall be created w/ fencing or flagging, and labeled as such in order to protect vegetation and sensitive areas on the lot from construction activity.
 10. Contractor and home owner are responsible for establishing and maintaining a positive drainage slope around entire structure.
 11. Specifications of any soils report for this property shall take precedence over any specifications in this set of drawings.
 12. All landscape and colors per Neighborhood Plan.
 13. Contractor to verify and adjust natural grade prior to any concrete being poured. Contractor to coordinate with Engineer.
 14. Contractor to verify all site and development conditions.

Consultant

Seal

January 05, 2018

AE APPROVED
355-508
JAN 10 2018
MCP

All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

TREE TABLE

NUMBER	DESCRIPTION
1	13" HACKBERRY

REVIEWED
JAN 10 2018
APPROVED JAN 10 2018
AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

N

1 Site Plan
Scale@ 34x22 Sheet: 1"=10'-0"
Scale@ 17x11 Sheet: 1"=20'-0"

Project
710 Augusta Ave.
Austin, TX, 78703

Issue:
January 05, 2018, Initial Review

Drawing Title

Site Plan

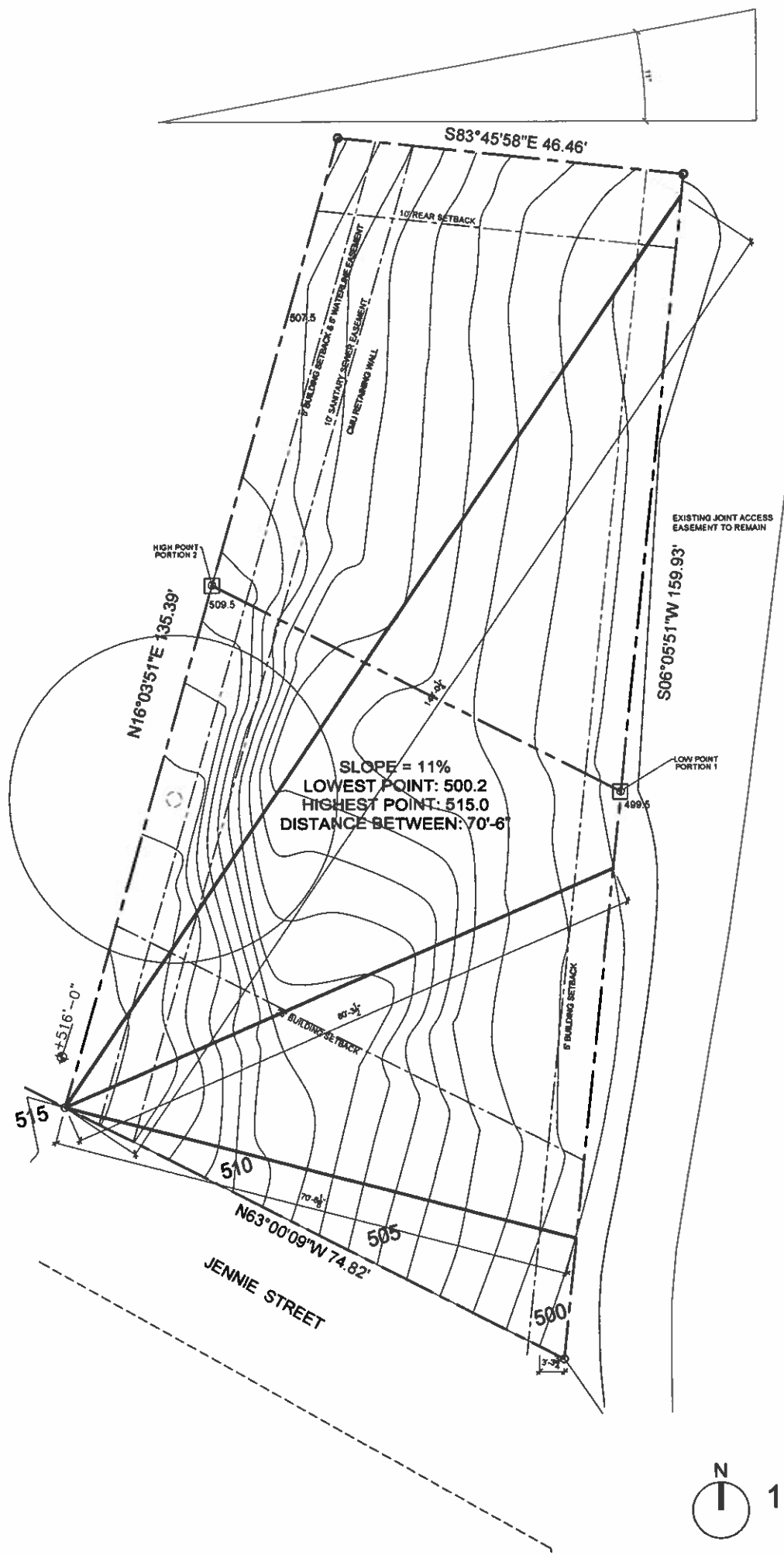
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design + consulting Co

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- **Important Notes:**
1. Per discussion with Austin Fire Department, the new duplex will incorporate a residential sprinkler system for both sides. The system will be implemented to offset access issues to the site via Augusta Avenue. Thereby, installing the sprinkler system the owner acknowledges and is fully aware of issues which may affect fire protection of the new duplex. Contractor to verify with Fire Sprinkler designer and contractor all requirements.
 2. Elevation drawings of new duplex are drawn orthogonally to the site so topography lines and McMansion tent in drawings are a result of this view. Also, as property lines for site are not orthogonal, the design of the duplex is designed so the structure does not penetrate McMansion tent setback planes. (See elevations A5.1& A5.2) Current Design was discussed with Mr. Daniel Word Prior to Submittal.



- ### General Site Notes

1. See Builder for all exterior flatwork locations.
2. See Builder for all yard wall locations.
3. Provide self fencing @ property lines for duration of construction or until site walls are built.
4. Utilities shall be located in shared trenches wherever possible.
5. Limits of clearing & grading shall be the property lines or +/- 15' from perimeter of home.
6. Provide permeable driveway and walkway surfaces where possible; for city lots, infill lots and master planned communities & subdivisions, all driveway materials shall be built as per zoning code or covenants. Contractor shall confirm prior to construction.
7. Provide new sidewalks as required.
8. Where applicable, all colors shall be per designated sector development plan.
9. "NO DISTURBANCE" zones shall be created w/ fencing or flagging, and labeled as such in order to protect vegetation and sensitive areas on the lot from construction activity.
10. Contractor and home owner are responsible for establishing and maintaining a positive drainage slope around entire structure.
11. Specifications of any soils report for this property shall take precedence over any specifications in this set of drawings.
12. All landscape and colors per Neighborhood Plan.
13. Contractor to verify and adjust natural grade prior to any concrete being poured. Contractor to coordinate with Engineer.
14. Contractor to verify all site and development conditions.

Consultant

Seat



January 05, 2016

Project
710 Augusta Ave.
Austin, TX, 78703

for regulatory approval

Issue:

January 05, 2018, Initial Review

Drawing Title

Visitability Site Plan

Sheet

A1.1

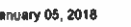


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1 Visitability Site Plan

Scale: 34x22 Sheet: 1"=10'-0"
Scale: 17x11 Sheet: 1"=20'-0"



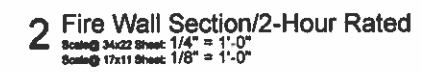
for regulatory approval

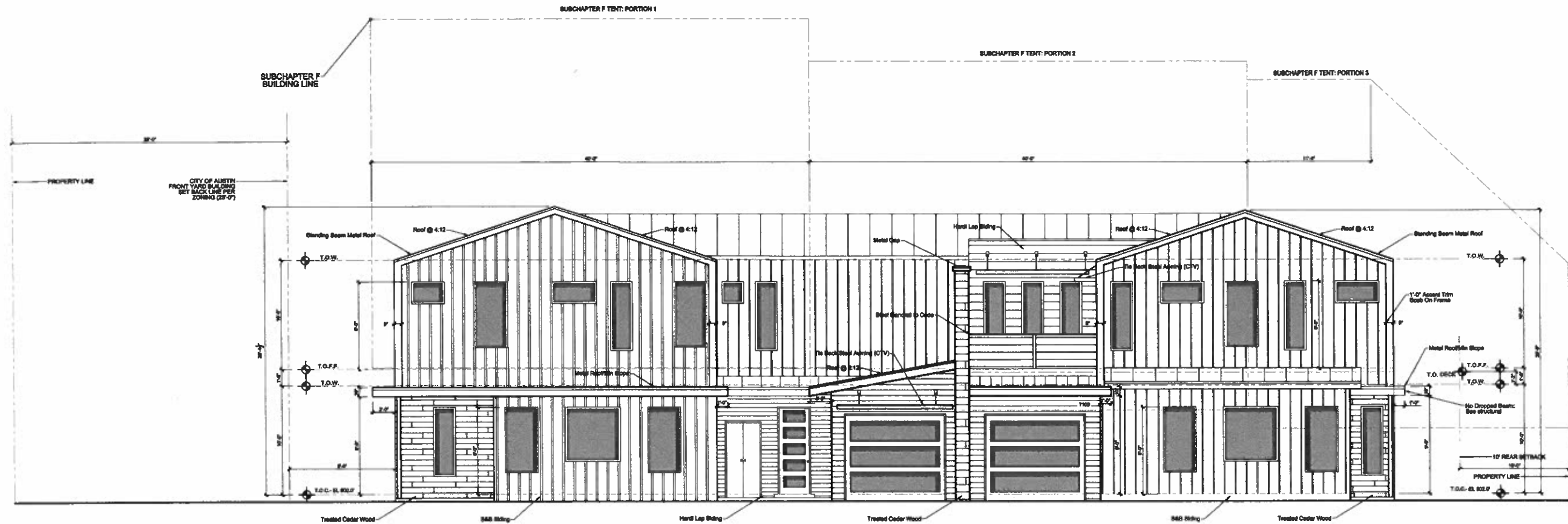
Drawing Title

Sheet



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****Important Note****

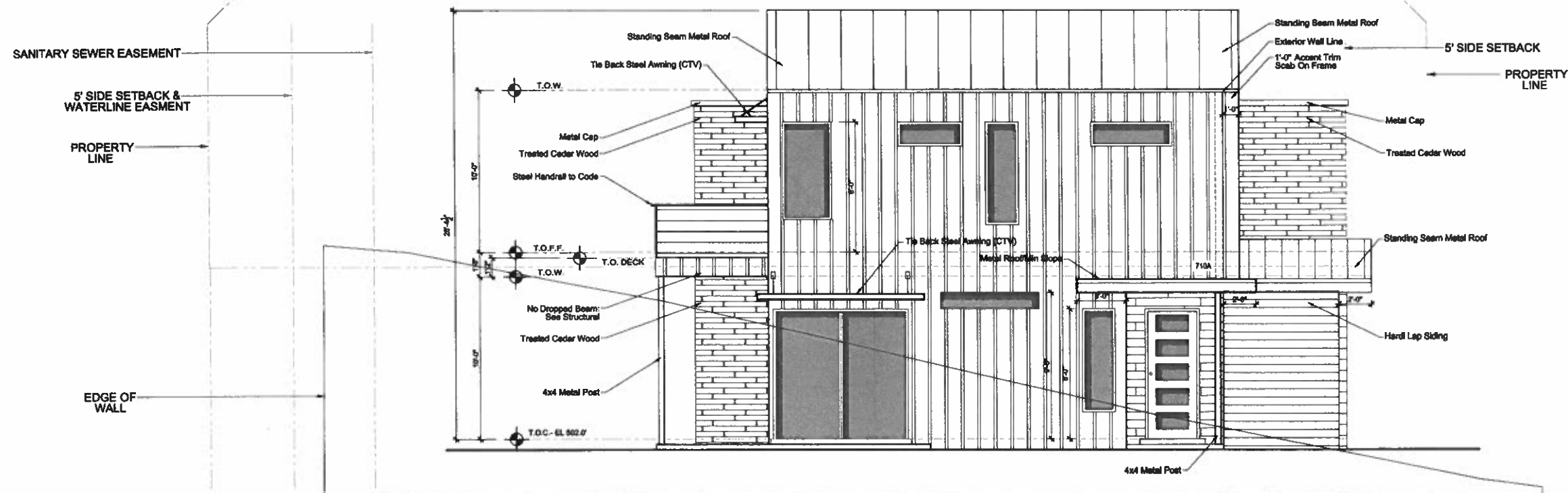
Elevation drawings of new duplex are drawn orthogonally to the site so topography lines and McMansion tent in drawings are a result of this view. Also, as property lines for site are not orthogonal, the design of the duplex is designed so the structure does not penetrate McMansion tent setback planes. Design was discussed with Mr. Daniel Word Prior to Submittal.

2 East Elevation

Scale@ 34x22 Sheet: 3/18" = 1'-0"
Scale@ 17x11 Sheet: 3/32" = 1'-0"

General Elevation Notes

1. Contractor to verify and adjust natural grade prior to any concrete being poured, contractor to coordinate with Engineer.
2. Contractor to verify all site and development conditions.
3. See Contractor for all gutter and downspout locations.
4. See contractor for deck specifications, drainage and construction type.
5. All Handrails shall be a minimum of 36" A.F.F. to code, Contractor to verify.



Legend

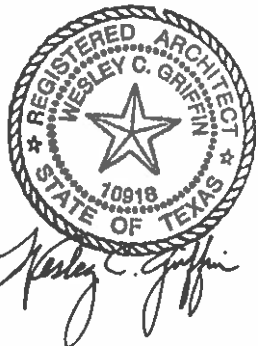
- BOARD AND BATTEN, HARDI, WHITE, 1X12 W/ 1X2 FIR BATTENS @ 12" O.C.
- STANDING SEAM METAL ROOF, SLATE GREY, 24 GA.
- CEDAR OR PINE SIDING.
- HARDI PLANK LAP SIDING, DARK GREY.

1 South Elevation

Scale@ 34x22 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

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Seal



January 05, 2018

Project
710 Augusta Ave.
Austin, TX, 78703

Set
for regulatory approval

Issue:

☐ January 05, 2018, Initial Review

Drawing Title

Exterior Elevations

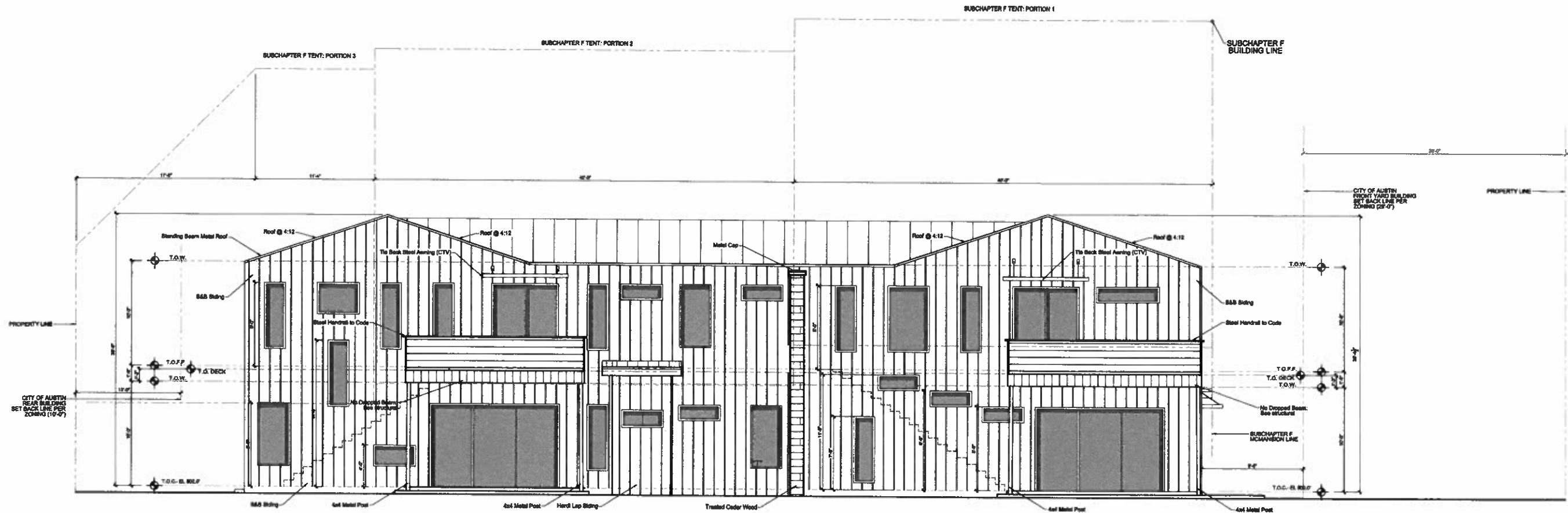
Sheet

A5.1

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2 West Elevation
Scale@ 34x22 Sheet: 3/16" = 1'-0"
Scale@ 17x11 Sheet: 3/32" = 1'-0"

****Important Note****

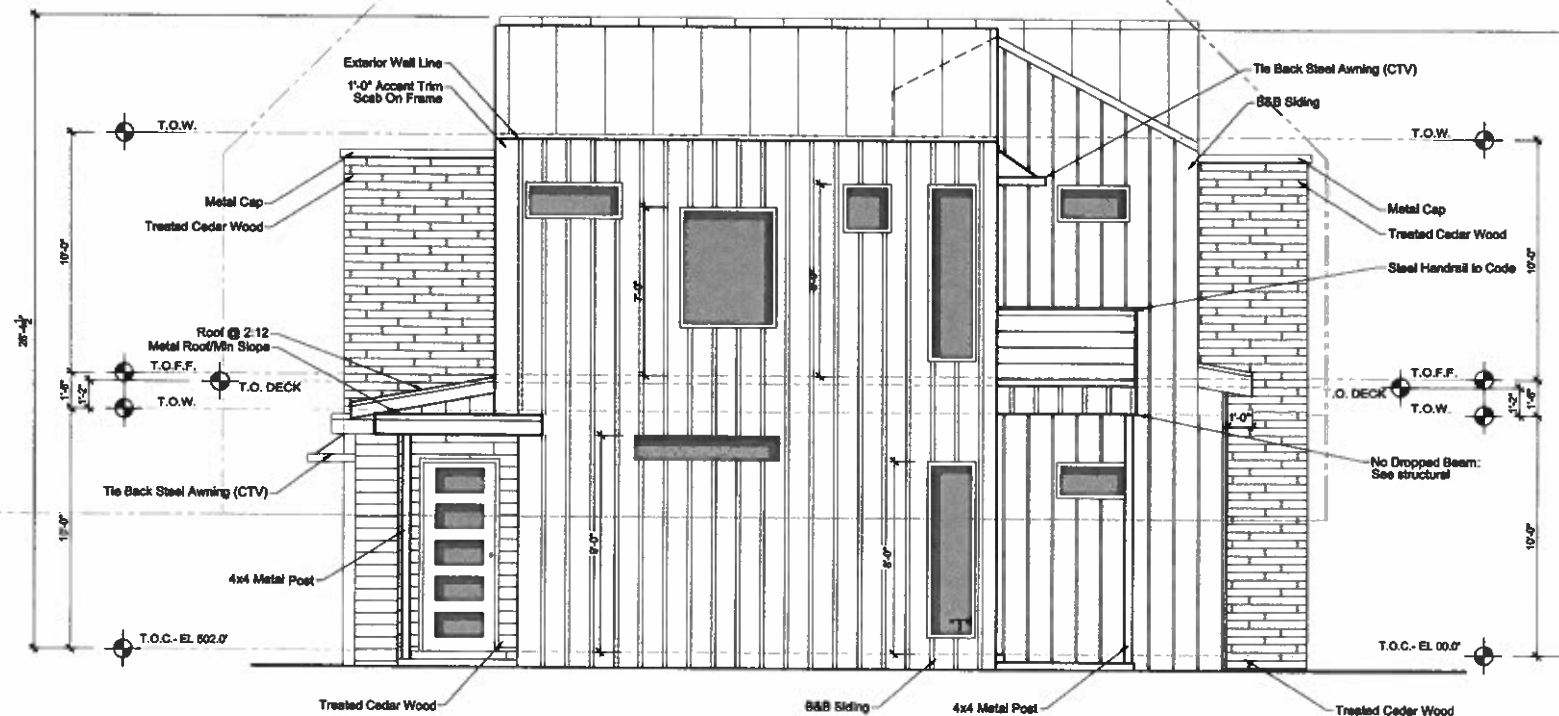
Elevation drawings of new duplex are drawn orthogonally to the site so topography lines and McMansion tent in drawings are a result of this view. Also, as property lines for site are not orthogonal, the design of the duplex is designed so the structure does not penetrate McMansion tent setback planes. Design was discussed with Mr. Daniel Word Prior to Submittal.

General Elevation Notes

1. Contractor to verify and adjust natural grade prior to any concrete being poured, contractor to coordinate with Engineer.
2. Contractor to verify all site and development conditions.
3. See Contractor for all gutter and downspout locations.
4. See Contractor for deck specifications, drainage and construction type.
5. All Handrails shall be a minimum of 36" A.F.F. to code, Contractor to verify.

Legend

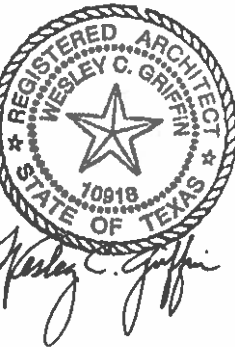
- BOARD AND BATTEN, HARDI, WHITE, 1X12 W/ 1X2 FIR BATTENS @ 12" O.C.
- STANDING SEAM METAL ROOF, SLATE GREY, 24 GA.
- CEDAR OR PINE SIDING.
- HARDI PLANK LAP SIDING, DARK GREY.



1 North Elevation
Scale@ 34x22 Sheet: 1/4" = 1'-0"
Scale@ 17x11 Sheet: 1/8" = 1'-0"

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Seal



January 05, 2018

Project
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Austin, TX, 78703

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Issue:

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Drawing Title

Exterior Elevations

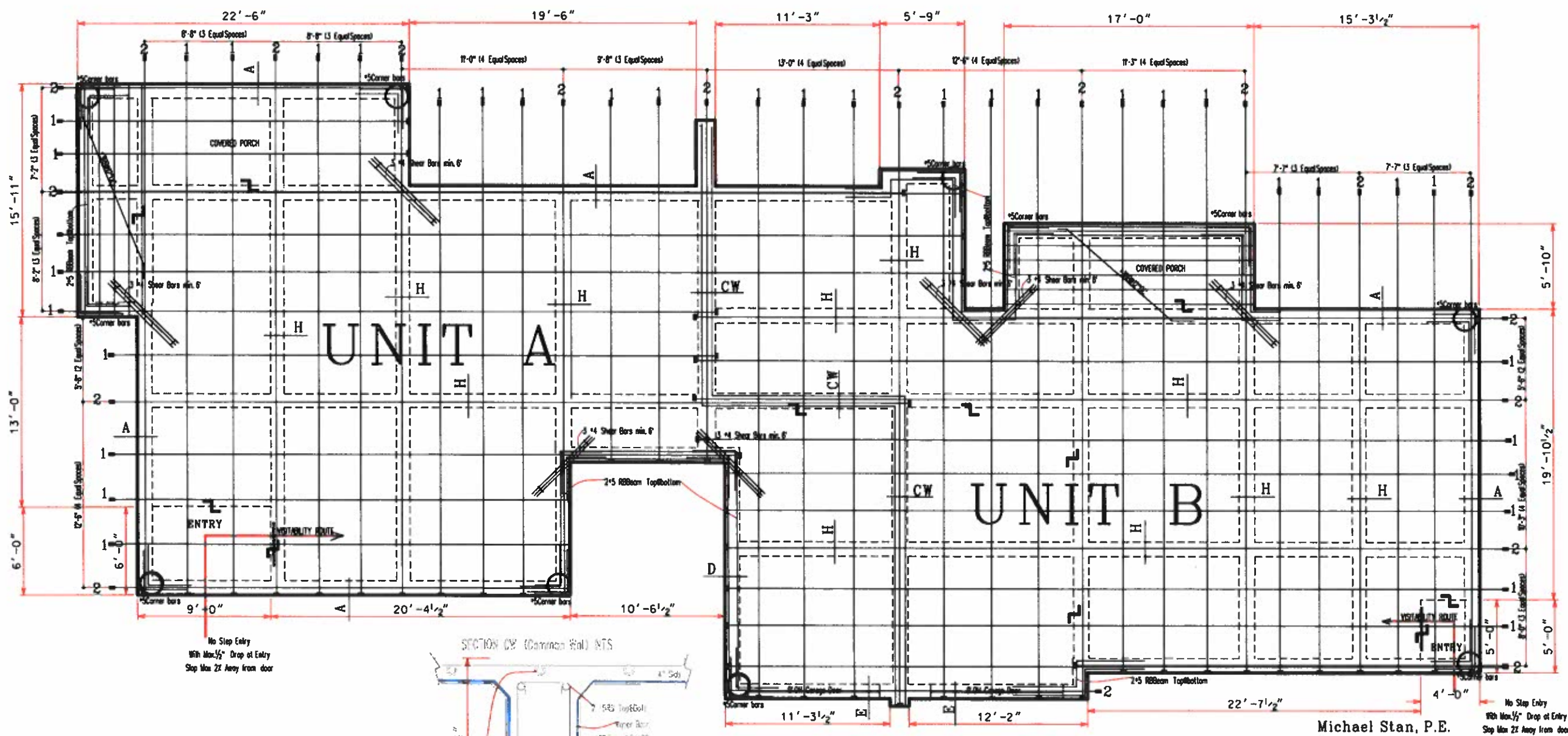
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A5.2

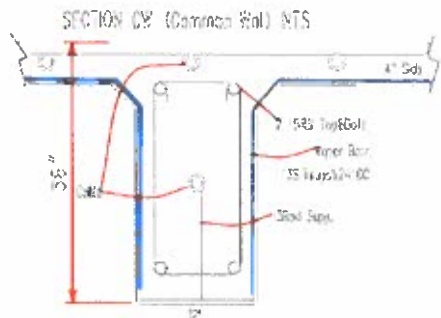
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No Step Entry
With Max 1/2" Drop at Entry
Step Max 21" Away from door



- 1 1/2" Slab tendon
- 2 1/2" Slab tendon, 1 beam tendon
- Drop Line

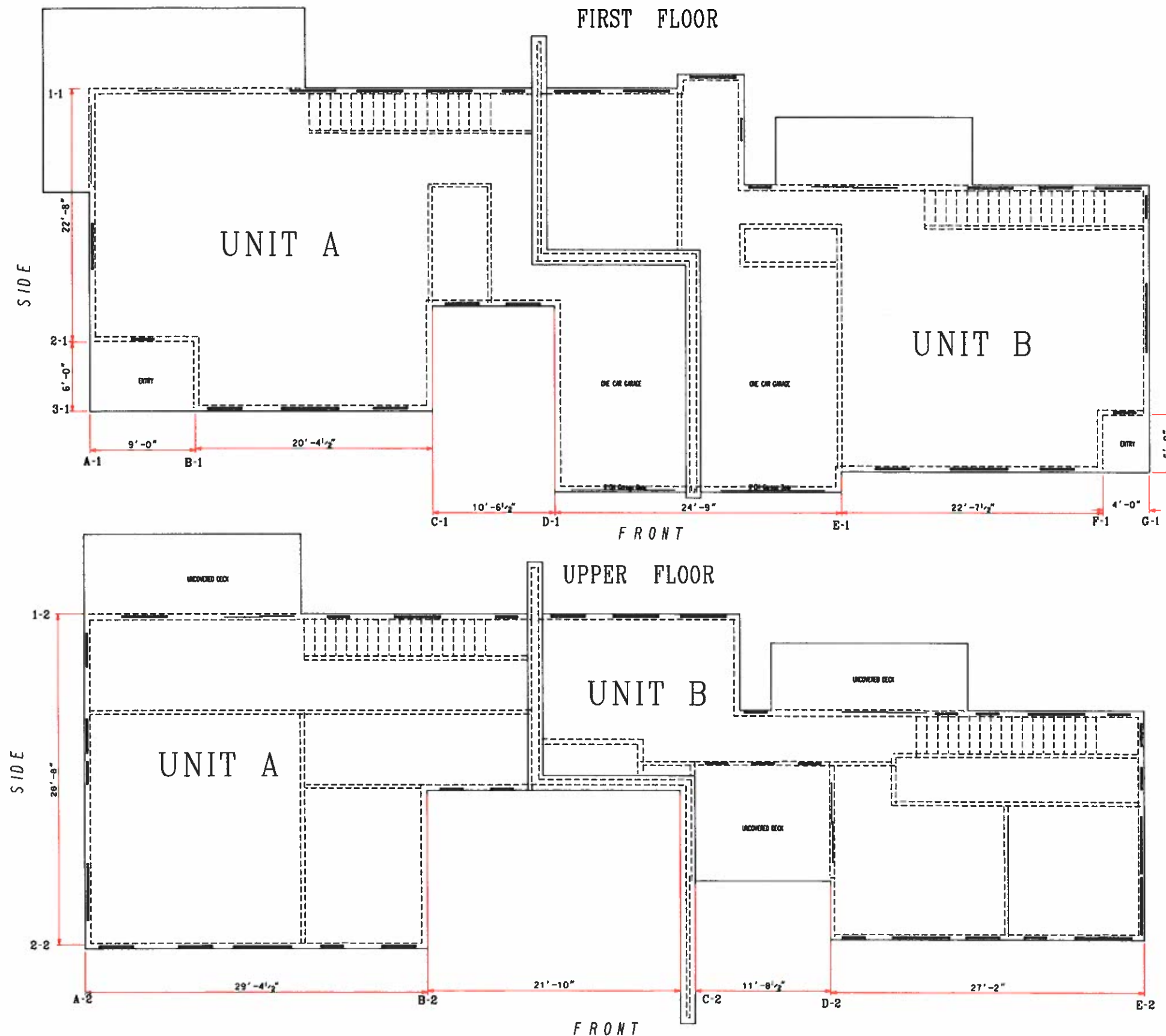
Beam Note:

Minimum Beams Depth for this foundation shall be 36"
Exterior Beams for this foundation shall be 12" wide
Exterior beams shall penetrate 30" minimum into undisturbed soil.
Marked Corners shall have a depth of minimum 12" below
the bottom of the beam, or no other depth specified, and 18" diameter.
On solid rock the exterior beam depth shall be limited to 12" into rock.
Interior beams shall be minimum 10" wide and 18" depth.
Additional reinforcement may be required on the garage area.
At exterior corner to be reinforced with 2-5 top/bottom or 6-6 #4.
Rebar beam of exterior corners shall overlap at least 24"
If beam depth is 24" to 48" use RB #5 single mat reinforcing
For beam depth > 48" use RB #5 double mat reinforcing
Remove minimum 12" of the top soil, and replace with compacted select RL.

Michael Stan, P.E.

Date: 12/28/2017





GENERAL NOTES:
 THE DESIGN IS BASED ON THE 2015 IRC (International Residential Building Code).
 The Design Criteria are as follows:
 WALL BRACING:
 -Accepted Bracing Methods:
 1. USP S365 T-braced at 60 deg. Angel, installed per manufacturer instructions.
 2. WSP (Wood Structural Panel 1/4 OSB panels, installed according to IRC 2012 Section S602.10.3
 3. SFB (Structural Panels Fiberboard) installed according to IRC 2012 Section S602.10.3

-WSP Method used for calculation with building wrap for water and air barrier.
 -Inside 1/2" Gypsum wallboard.
 -Wind Speed 110mph
 -Wind Exposure Category B, (Urban and suburban area)
 -Seismic Category A, (Very small seismic vulnerability)

WALL BRACING CALCULATION DETAILS AVAILABLE AT REQUEST.

WALL BRACING CALCULATION SUMMARY DUPLEX AT 710 AUGUSTA, AUSTIN, TX

FIRST FLOOR	FRONT TO BACK LINE							
	BWL (Building Wall Line)	A-1	B-1	C-1	D-1	E-1	F-1	G-1
	SPACEING (ft)	9.0	20.38	20.38	24.75	24.75	22.58	4.0
	REQ. BRACINGS (ft)	5.8	12.17	12.17	14.58	14.58	13.38	2.58
	SIDE TO SIDE LINE							
	BWL (Building Wall Line)	1-1		2-1		3-1		
	SPACEING (ft)	22.67		22.67		6.0		
	REQ. BRACINGS (ft)	10.91		10.91		3.14		
UPPER FLOOR	FRONT TO BACK LINE							
	BWL (Building Wall Line)	A-2	B-2	C-2	E-2	F-2		
	SPACEING (ft)	29.38	29.38	21.83	27.08	27.08		
	REQ. BRACINGS (ft)	6.44	6.44	4.95	5.99	5.99		
	SIDE TO SIDE LINE							
	BWL (Building Wall Line)	1-2		2-2				
	SPACEING (ft)	29.0		29.0				
	REQ. BRACINGS (ft)	3.98		3.98				

Michael Stan, P.E.
 69315



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 CONSULTING ENGINEERS P.E.
 Michael Stan, P.E.

7633 Menden Dr.
 Austin, TX 78735
 Phone:
 (512) 892-9244
 (512) 565-6883

WALL BRACING PLAN
 Project: 710 Augusta, Austin, TX
 Contractor: Patriot Builders, LLP

SCALE 1/8" = 1'
 Date: 02/21/2017
 Page: 1 of 1