




H03/1



NOTIFICATIONS

CASE#: C15-2018-0013
LOCATION: 4201 Clawson Road



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 156'



CITY OF AUSTIN
Development Services Department
One Texas Center | Phone: 512.978.4000
505 Barton Springs Road, Austin, Texas 78704

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # <u>015-2018-0013</u>	ROW # <u>11904310</u>	Tax # <u>0406090129</u> TCAD ✓
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Section 1: Applicant Statement

Street Address: 4201 Clawson Road 78704

Subdivision Legal Description:

S40 FT of W100 FT of N106 Ft Lot 9 Banister Hieghts

Lot(s): 9

Block(s): _____

Outlot: _____

Division: Banister Hights

Zoning District: SF-3

I/We Hector Avila

on behalf of myself/ourselves as

authorized agent for A New Hope Investments LLC

affirm that on

Month March, Day 7, Year 2018

, hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

Erect Attach Complete Remodel Maintain Other: _____

Type of Structure: SF3 use home

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

Minimum lot size, this lot is 4361SF and minimum lot frontage, the frontage is 40'

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

They are unable to rebuild due to the lots configuration, minimum lot frontage for SF 3 is 50' and minimum lot size is 5750.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

This current configuration as been the same since 1953 and there used to be a structure here prior to 2017

b) The hardship is not general to the area in which the property is located because:

This lot was in the same configuration since 1953 and there was a home present there.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

We are asking for the same use as the homes around it. This will make it uniform

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

We are asking for the previous use to be listed as its current use

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

This is a residential neighborhood and this will be a residential home. There used to be a home on this lot prior to 2017 and the traffic will be as it always was before.

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

A new home erected will be built to current code and standards.

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

The use being asked for, will be the use it has always been used for.

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: [Signature] Date: 3/8/18

Applicant Name (typed or printed): Hector Avila

Applicant Mailing Address: 1008 S Center

City: Austin State: Texas Zip: 78704

Phone (will be public information): 512-791-0517

Email (optional – will be public information): hectorconsulting@earthlink.net

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: [Signature] Date: 03/09/18

Owner Name (typed or printed): A New Hope Investments LLC

Owner Mailing Address: 15701 De Fortuna Dr

City: Austin State: TX Zip: 78738

Phone (will be public information): 512-595-1890

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: Hector Avila

Agent Mailing Address: 1008 S Center

City: Austin State: TX Zip: 78704

Phone (will be public information): 512-791-0517

Email (optional – will be public information): hectorconsulting@earthlink.net

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).



H03/6

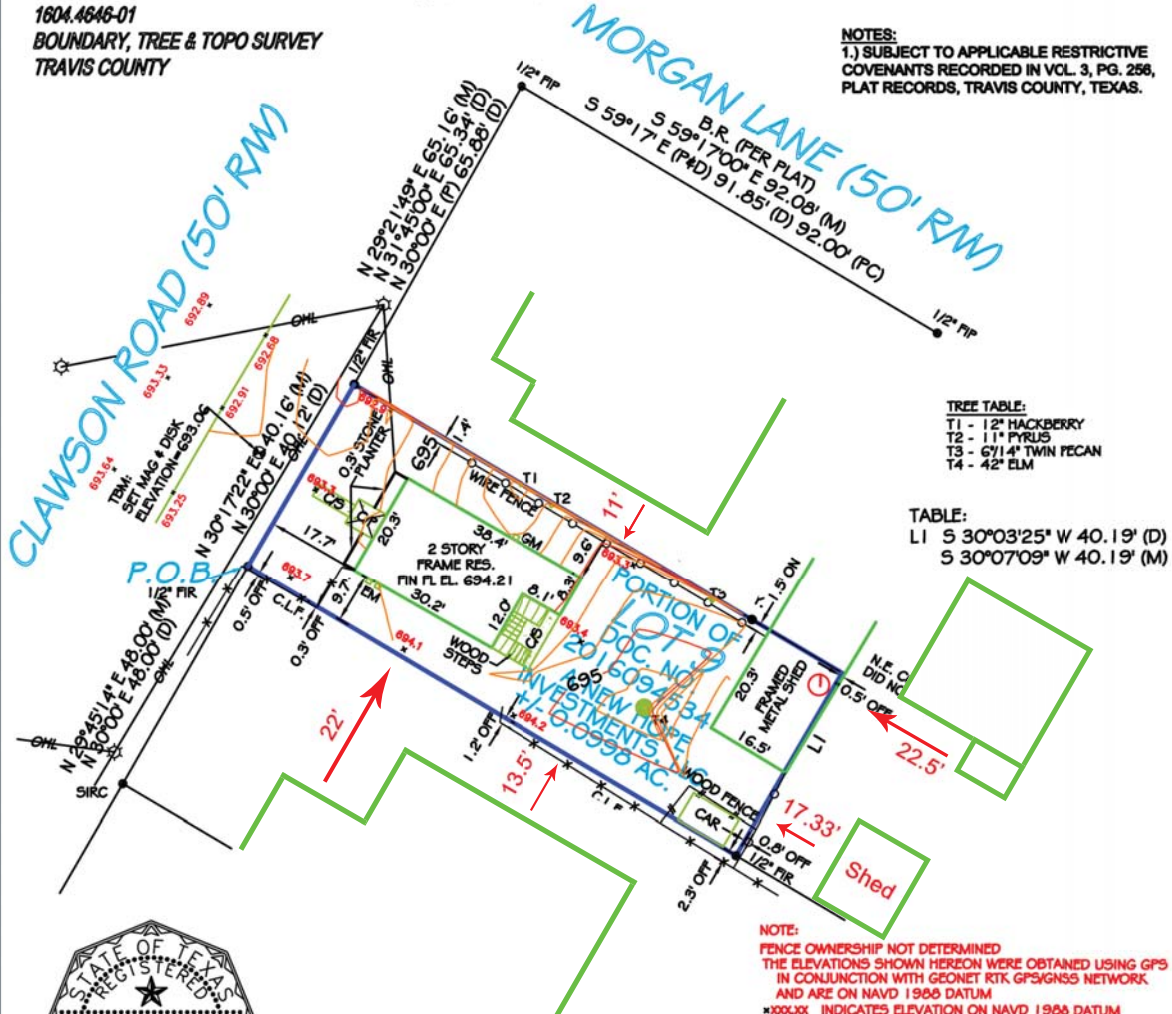
PROPERTY ADDRESS: 4201 CLAWSON ROAD AUSTIN, TEXAS 78704

SURVEY NUMBER: 1604.4646-01

FIELD WORK DATE: 6/30/2017 REVISION DATE(S): (REV.1 7/3/2017)

1604.4646-01
BOUNDARY, TREE & TOPO SURVEY
TRAVIS COUNTY

NOTES:
1.) SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS RECORDED IN VOL. 3, PG. 256, PLAT RECORDS, TRAVIS COUNTY, TEXAS.



TREE TABLE:

T1	- 12" HACKBERRY
T2	- 11" PYRUS
T3	- 67/14" TWIN PECAN
T4	- 42" ELM

TABLE:

L1	S 30°03'25" W 40.19' (D)
	S 30°07'09" W 40.19' (M)

NOTE:
FENCE OWNERSHIP NOT DETERMINED
THE ELEVATIONS SHOWN HEREON WERE OBTAINED USING GPS IN CONJUNCTION WITH GEONET RTK GPS/GNSS NETWORK AND ARE ON NAVD 1986 DATUM
*XXX.XX INDICATES ELEVATION ON NAVD 1986 DATUM



Paul M. Valentine

I HEREBY CERTIFY THAT: THIS PLAT REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON THE 5th DAY OF MAY 2016 AND THE 30th DAY OF JUNE, 2017; ALL EASEMENTS AND RIGHTS-OF-WAY SHOWN ON THE PLAT AND SET FORTH WITHIN THE TITLE COMMITMENT ISSUED BY WFG NATIONAL TITLE INSURANCE COMPANY, GF NO. 1603729-15, EFFECTIVE APRIL 18, 2016, ARE SHOWN OR NOTED HEREON; THERE ARE NO VISIBLE ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN HEREON; THE PROPERTY HAS ACCESS TO A DEDICATED RIGHT-OF-WAY PER PLAT.



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.



REV: UPDATE SURVEY, ADD TREES AND TOPO 6/30/17 JEMV

Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN THE CITY OF AUSTIN, COMMUNITY NUMBER 480624, DATED 09/26/08.

POINTS OF INTEREST
1. FRAMED METAL SHED OVER REAR AND SIDE LOT LINES

CLIENT NUMBER: _____ DATE: 7/3/2017

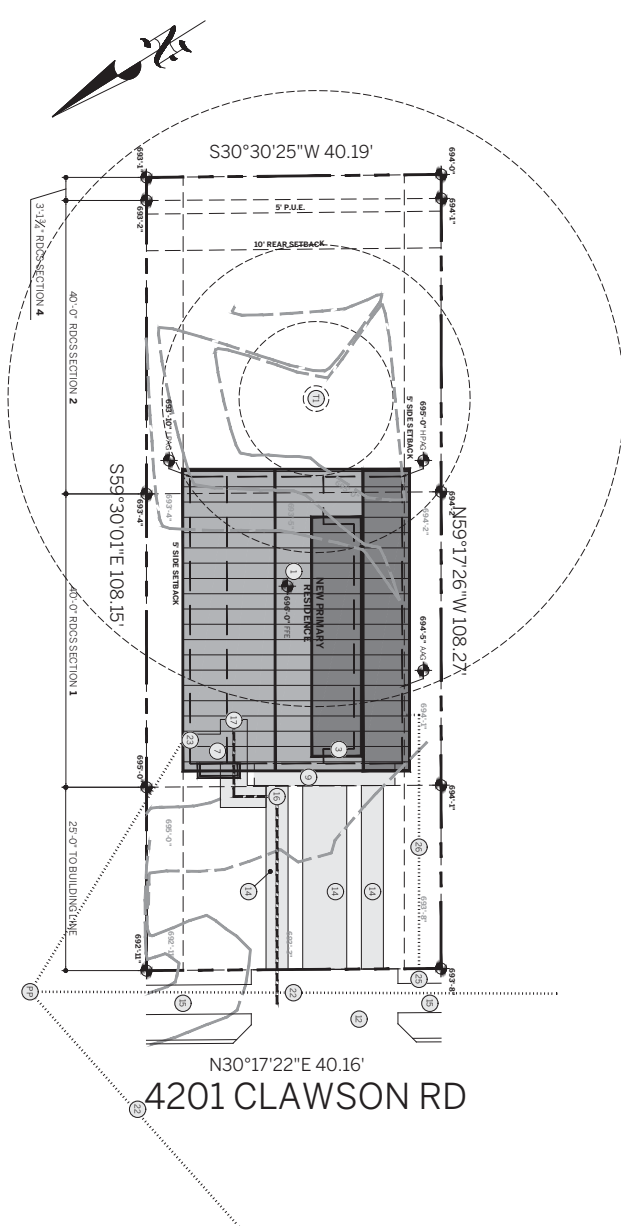
BUYER: A NEW HOPE INVESTMENTS, LLC

SELLER: A NEW HOPE INVESTMENTS, LLC

CERTIFIED TO: A NEW HOPE INVESTMENTS, LLC

POWERED BY:

www.surveystars.com



REFER TO SHEET A001 FOR PROJECT INFORMATION AND AREA CALCULATIONS

REVISIONS (NOT ALLNOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)	DESCRIPTION	DATE
01	New secondary residence	07 Aug 2017
02	New secondary residence	07 Aug 2017
03	New detached garage	07 Aug 2017
04	New detached garage	07 Aug 2017
05	New detached garage	07 Aug 2017
06	New detached garage	07 Aug 2017
07	New covered porch w/ deck	07 Aug 2017
08	New covered porch w/ deck	07 Aug 2017
09	New uncovered roof deck	07 Aug 2017
10	New uncovered roof deck	07 Aug 2017
11	New concrete driveway	07 Aug 2017
12	New Type I driveway approach	07 Aug 2017
13	New concrete driveway	07 Aug 2017
14	New sidewalk in right-of-way	07 Aug 2017
15	New sidewalk in right-of-way	07 Aug 2017
16	New variable outlet from public way on open	07 Aug 2017
17	New flat-roof entry into residence. Maximum vertical rise 1/2\"/>	
18	New decomposed granite or New concrete patio.	07 Aug 2017
19	uncovered.	07 Aug 2017
20	New decomposed granite	07 Aug 2017
21	New uncovered electric service.	07 Aug 2017
22	New electrical needed for primary residence and additional unit, as applicable.	07 Aug 2017
23	Location of new water supply meter(s), as applicable.	07 Aug 2017
24	Location of new water supply meter(s), as applicable.	07 Aug 2017
25	Location of new water supply meter(s), as applicable.	07 Aug 2017
26	Location of new water supply meter(s), as applicable.	07 Aug 2017
27	Location of new water supply meter(s), as applicable.	07 Aug 2017

WILLIAM LANGRICE, INDEPENDENT ENGINEER
 11427
 08/07/2018

SEAL OF ARCHITECT

07 Aug 2017

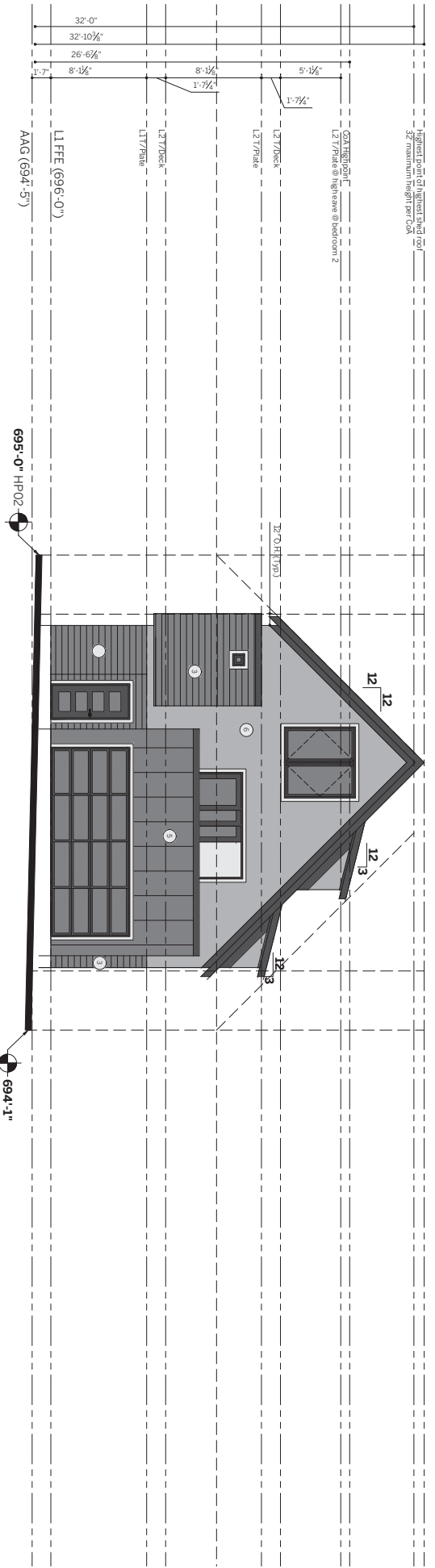
SEAL OF MUNICIPAL APPROVAL

OCHONA

NEW HOUSE AT
 4201 CLAWSON RD
 AUSTIN, TEXAS 78704

ISSUE DATE: 07 Aug 2017
 SHEET: A000

① Site Plan
 Scale: 1/8" = 1'-0" @ 24x36
 Scale: 1/8" = 1'-0" @ 24x36



LOC TITLE 25: CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6. LOC TITLE 25: CHAPTER 25-2, SUBCHAPTER F, ARTICLE 5.11. (b)

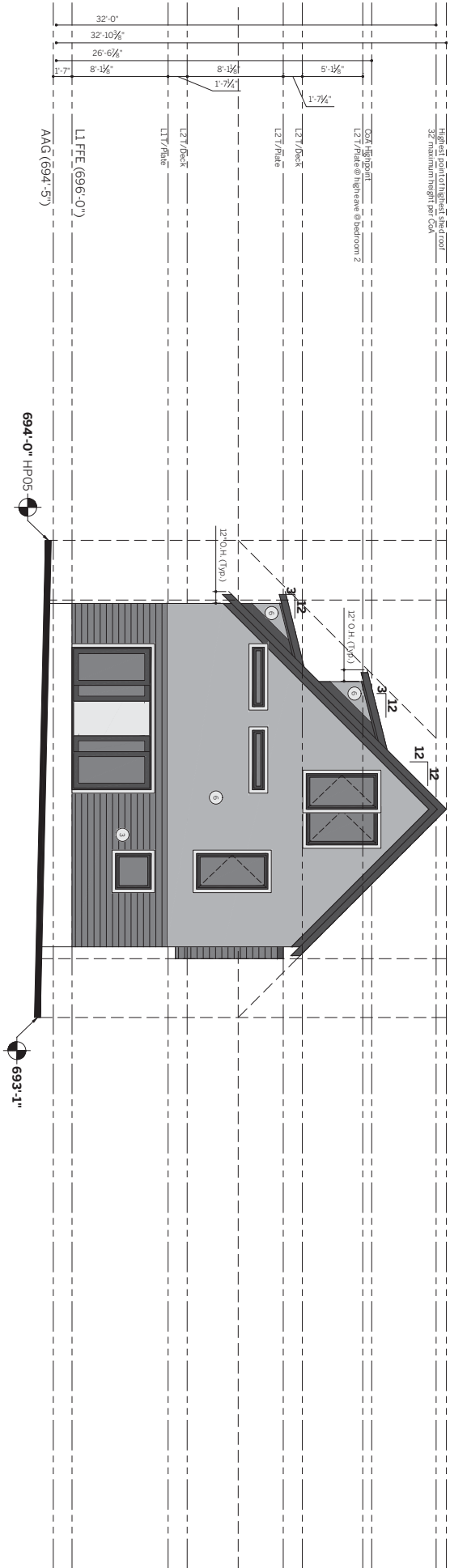
Structure may not extend beyond setback plane, except for gables or a shed roof with a total horizontal length of not more than 10 feet. Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a gable roof, the peak of the gable and for a shed roof, the average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR HABITABILITY ARE SHOWN. THE SHED ROOF SHALL BE CONSIDERED AS AN UNENCLOSED SPACE UNDER THE SHED ROOF. ANY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

1 Elevation, Bldg 1, Front

Scale: 1/8" = 1'-0" @ 11x17
Scale: 1/4" = 1'-0" @ 24x36

<p>REVISIONS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)</p> <p>01 New siding, stain metal roof</p> <p>02 New 30-year composition single roof, shaly-oriented cement board siding. Exposure 6".</p> <p>04 New horizontally-oriented cement board siding.</p> <p>05 New vertically-oriented cement board panels. Exposure 24" w/ 1/2" gutters.</p>	<p>06 New 3/4" thick stone masonry elastomeric.</p> <p>07 New 3/4" thick stone masonry common bond.</p> <p>08 New brick masonry veneer, common bond.</p> <p>09 New metal coping. Exposure</p> <p>10 New metal coping, exterior porch or deck. Minimum height 36" above finish floor.</p>	<p>II New parapet at exterior porch or deck. Minimum height 36" above finish floor.</p>	<p>DISCLAIMERS</p> <p>I have used under the seal of WILLIAM LAWSON ARCHITECTURE, P.C. (WLLA) the title of ARCHITECT for the design and preparation of the architectural drawings and specifications for the construction of the building shown on these drawings. I have not performed a structural analysis of the building and I do not warrant the structural adequacy of the building. The drawings and specifications are to be used in conjunction with the contract documents and the applicable building codes. I am not responsible for any errors or omissions in these drawings and specifications. I have not performed a geotechnical investigation and I do not warrant the accuracy of the geotechnical data. I have not performed an environmental assessment and I do not warrant the accuracy of the environmental data. I have not performed a historical or archaeological investigation and I do not warrant the accuracy of the historical or archaeological data. I have not performed a survey and I do not warrant the accuracy of the survey data. I have not performed a title search and I do not warrant the accuracy of the title search data. I have not performed a zoning analysis and I do not warrant the accuracy of the zoning analysis data. I have not performed a utility analysis and I do not warrant the accuracy of the utility analysis data. I have not performed a traffic analysis and I do not warrant the accuracy of the traffic analysis data. I have not performed a parking analysis and I do not warrant the accuracy of the parking analysis data. I have not performed a fire analysis and I do not warrant the accuracy of the fire analysis data. I have not performed a life safety analysis and I do not warrant the accuracy of the life safety analysis data. I have not performed a security analysis and I do not warrant the accuracy of the security analysis data. I have not performed a sustainability analysis and I do not warrant the accuracy of the sustainability analysis data. I have not performed a accessibility analysis and I do not warrant the accuracy of the accessibility analysis data. I have not performed a universal design analysis and I do not warrant the accuracy of the universal design analysis data. I have not performed a social equity analysis and I do not warrant the accuracy of the social equity analysis data. I have not performed a community development analysis and I do not warrant the accuracy of the community development analysis data. I have not performed a public participation analysis and I do not warrant the accuracy of the public participation analysis data. I have not performed a transparency analysis and I do not warrant the accuracy of the transparency analysis data. I have not performed an accountability analysis and I do not warrant the accuracy of the accountability analysis data. I have not performed a leadership analysis and I do not warrant the accuracy of the leadership analysis data. I have not performed a governance analysis and I do not warrant the accuracy of the governance analysis data. I have not performed a performance analysis and I do not warrant the accuracy of the performance analysis data. I have not performed a risk management analysis and I do not warrant the accuracy of the risk management analysis data. I have not performed a crisis management analysis and I do not warrant the accuracy of the crisis management analysis data. I have not performed a business continuity analysis and I do not warrant the accuracy of the business continuity analysis data. I have not performed a disaster recovery analysis and I do not warrant the accuracy of the disaster recovery analysis data. I have not performed a incident response analysis and I do not warrant the accuracy of the incident response analysis data. I have not performed a business impact analysis and I do not warrant the accuracy of the business impact analysis data. I have not performed a continuity of operations analysis and I do not warrant the accuracy of the continuity of operations analysis data. I have not performed a resilience analysis and I do not warrant the accuracy of the resilience analysis data. 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I have not performed a threat analysis and I do not warrant the accuracy of the threat analysis data. I have not performed a vulnerability analysis and I do not warrant the accuracy of the vulnerability analysis data. I have not performed a control analysis and I do not warrant the accuracy of the control analysis data. I have not performed a mitigation analysis and I do not warrant the accuracy of the mitigation analysis data. I have not performed a transfer analysis and I do not warrant the accuracy of the transfer analysis data. I have not performed a avoidance analysis and I do not warrant the accuracy of the avoidance analysis data. I have not performed a acceptance analysis and I do not warrant the accuracy of the acceptance analysis data. I have not performed a denial analysis and I do not warrant the accuracy of the denial analysis data. I have not performed a prosecution analysis and I do not warrant the accuracy of the prosecution analysis data. I have not performed a deterrence analysis and I do not warrant the accuracy of the deterrence analysis data. I have not performed a dissuasion analysis and I do not warrant the accuracy of the dissuasion analysis data. I have not performed a punishment analysis and I do not warrant the accuracy of the punishment analysis data. I have not performed a retribution analysis and I do not warrant the accuracy of the retribution analysis data. I have not performed a reformation analysis and I do not warrant the accuracy of the reformation analysis data. I have not performed a rehabilitation analysis and I do not warrant the accuracy of the rehabilitation analysis data. I have not performed a restoration analysis and I do not warrant the accuracy of the restoration analysis data. I have not performed a restitution analysis and I do not warrant the accuracy of the restitution analysis data. I have not performed a compensation analysis and I do not warrant the accuracy of the compensation analysis data. I have not performed a satisfaction analysis and I do not warrant the accuracy of the satisfaction analysis data. I have not performed a satisfaction analysis and I do not warrant the accuracy of the satisfaction analysis data. I have not performed a satisfaction analysis and I do not warrant the accuracy of the satisfaction analysis data.</p>	<p>SEAL OF ARCHITECT</p> <p>ISSUE DATE: 07 Aug 2017</p>	<p>SEAL OF MUNICIPAL APPROVAL</p>	<p>OCHONA</p> <p>NEW HOUSE AT 4201 LAWSON RD AUSTIN, TEXAS 78704</p> <p>ISSUE DATE: 07 Aug 2017 SHEET TITLE: Elevation, Bldg 1 A201</p>
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L10 TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6. L10 TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6.1(b) (9)

Structure may not extend beyond a setback plane, except for gables or a shed roof with a total horizontal length of not more than 10 feet. The setback plane shall be measured along the intersection with the setback plane.

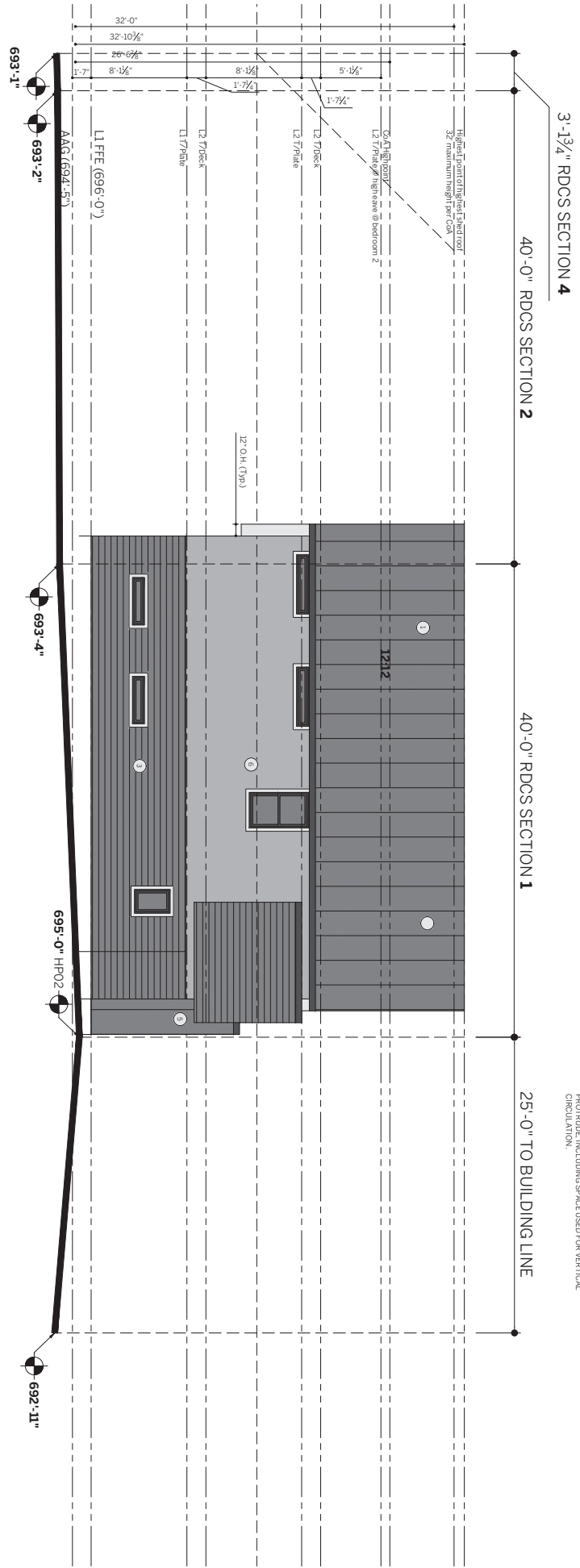
ARCHITECT'S NOTE: NO PROVISIONS FOR HABITABILITY ARE SHOWN FOR THIS SHED ROOF. THE SHED ROOF MAY PROTRUDE INCLUDING SPACE USED FOR VERTICAL CIRCULATION.

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a shed roof, the highest point of the roof. For a gabled roof, the highest point shall be measured vertically from the finished ground level.

1 Elevation, Bldg 1, Rear

Scale: 1/8" = 1'-0" @ 24.36

<p>REVISIONS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)</p> <p>01 New siding - see next sheet</p> <p>02 New 30-year composition single roof - shingles oriented common board siding - Exposure 6"</p> <p>04 New horizontally-oriented cement board siding - Exposure 24" w/ 1/2" battens</p>	<p>06 New 5/8" perforated stainless steel mesh on metal lath, 3rd coat elastomeric.</p> <p>07 New 3/4" thick stone masonry veneer - common bond.</p> <p>08 New brick masonry veneer - common bond.</p> <p>09 New metal coping - Exposure height 36" above finish floor.</p>	<p>11 New parapet at exterior porch or deck. Minimum height 36" above finish floor.</p>		<p>ISSUED UNDER THE SEAL OF WILLIAM LAWRENCE ANDERSON, LICENSED ARCHITECT, STATE OF TEXAS. THIS SET OF ARCHITECTURAL DRAWINGS WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM AWARE OF THE CONTENTS AND I HEREBY CERTIFY THAT THEY COMPLY WITH ALL CITY, COUNTY AND STATE REQUIREMENTS. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONSTRUCTION AND MAINTENANCE CONSTRUCTION.</p>	<p>SEAL OF ARCHITECT</p> <p>ISSUE DATE: 07 Aug 2017</p>	<p>SEAL OF MUNICIPAL APPROVAL</p>	<p>OCHONA</p> <p>NEW HOUSE AT 4201 LAWSON RD AUSTIN, TEXAS 78704</p> <p>ISSUE DATE: 07 Aug 2017</p> <p>SHEET TITLE: Elevations, Bldg 1</p> <p>A202</p>
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LOC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6. LOC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6.1(b)(9)

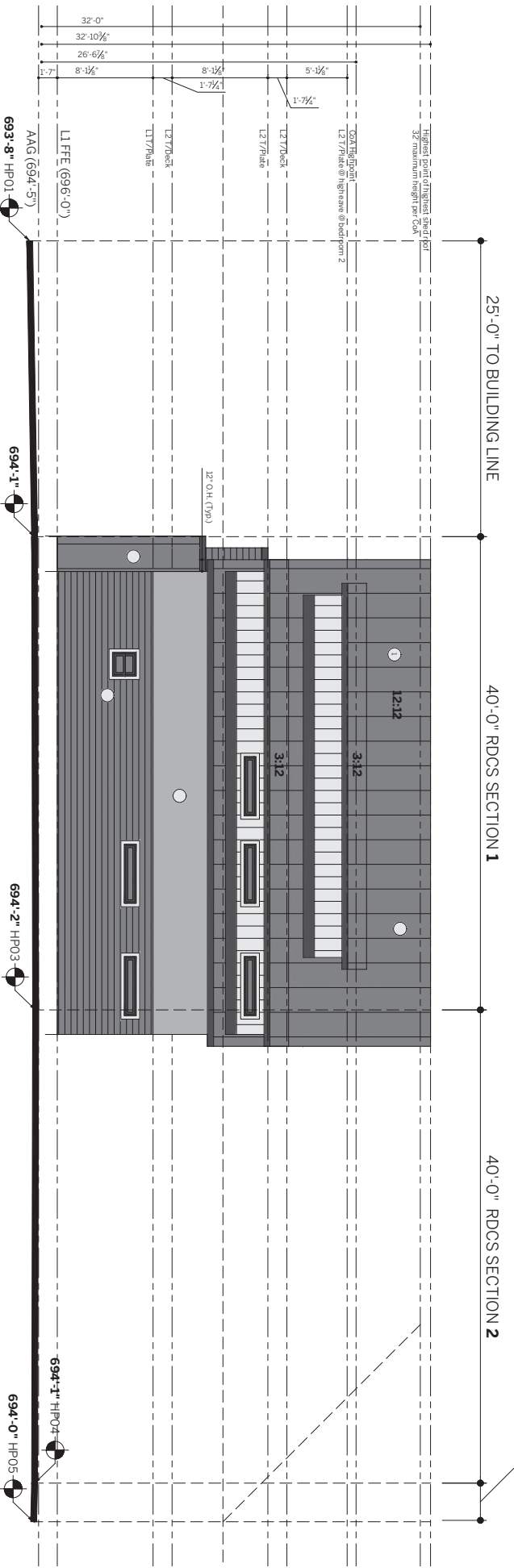
Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a gables or a shed roof with a total horizontal length of not less than 10 feet, the highest point of the roof. For a shed roof, the height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a gables or a shed roof with a total horizontal length of not less than 10 feet, the highest point of the roof. For a shed roof, the height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a gables or a shed roof with a total horizontal length of not less than 10 feet, the highest point of the roof. For a shed roof, the height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to, for a gables or a shed roof with a total horizontal length of not less than 10 feet, the highest point of the roof.

1 Elevation, Bldg 1, Left
Scale: 1/4" = 1'-0" @ 24.36

REVISIONS (NOT ALLNOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)	DESCRIPTION	DATE
01	New 30-year composition shingle roof.	07 Aug 2017
02	New 30-year composition shingle roof, shingle oriented vertically.	07 Aug 2017
03	New 30-year composition shingle roof, shingle oriented vertically. Exposure 6".	07 Aug 2017
04	New horizontally-oriented cement board siding.	07 Aug 2017
05	New vertically-oriented cement board siding. Exposure 24" w/ 1/2" battens.	07 Aug 2017
06	New 3/4" thick stone masonry elabonoric.	07 Aug 2017
07	New 3/4" thick stone masonry elabonoric.	07 Aug 2017
08	New brick masonry veneer.	07 Aug 2017
09	New metal coping. Exposure 24" w/ 1/2" battens.	07 Aug 2017
10	New metal coping. Exposure 24" w/ 1/2" battens.	07 Aug 2017

<p>ISSUED UNDER THE SEAL OF WILLIAM LAWSON, ARCHITECT, LICENSE NO. 11177, STATE OF TEXAS. THIS DRAWING IS THE PROPERTY OF WILLIAM LAWSON ARCHITECT, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WILLIAM LAWSON ARCHITECT, P.C.</p>	<p>SEAL OF ARCHITECT</p> <p>ISSUE DATE: 07 Aug 2017</p>	<p>SEAL OF MUNICIPAL APPROVAL</p>
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<p>OCHONA</p> <p>NEW HOUSE AT 4201 LAWSON RD AUSTIN, TEXAS 78704</p> <p>ISSUE DATE: 07 Aug 2017</p> <p>SHEET TITLE: Elevations, Bldg 1</p> <p>A203</p>
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SECTION 1
SECTION 2
SECTION 3
SECTION 4

<p>REVISIONS (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT)</p> <table border="1"> <tr> <td style="width: 5%; text-align: center;">01</td> <td>New starting beam metal roof.</td> </tr> <tr> <td style="text-align: center;">02</td> <td>New 30-year composition single roof, usually-oriented cement-board siding. Exposure 6".</td> </tr> <tr> <td style="text-align: center;">04</td> <td>New horizontally-oriented cement-board siding.</td> </tr> <tr> <td style="text-align: center;">05</td> <td>New vertically-oriented cement-board siding. Exposure 24" w/ 1/2" battens.</td> </tr> <tr> <td style="text-align: center;">06</td> <td>New 5/8" perforated galvanized steel on metal lath, 3rd coat elastomeric.</td> </tr> <tr> <td style="text-align: center;">07</td> <td>New 3 1/2" thick stone masonry common bond.</td> </tr> <tr> <td style="text-align: center;">08</td> <td>New brick/masonry veneer, common bond.</td> </tr> <tr> <td style="text-align: center;">09</td> <td>New metal coping. Exposure</td> </tr> <tr> <td style="text-align: center;">10</td> <td>New metal railing at exterior porch or deck. Minimum height 36" above finish floor.</td> </tr> </table>	01	New starting beam metal roof.	02	New 30-year composition single roof, usually-oriented cement-board siding. Exposure 6".	04	New horizontally-oriented cement-board siding.	05	New vertically-oriented cement-board siding. Exposure 24" w/ 1/2" battens.	06	New 5/8" perforated galvanized steel on metal lath, 3rd coat elastomeric.	07	New 3 1/2" thick stone masonry common bond.	08	New brick/masonry veneer, common bond.	09	New metal coping. Exposure	10	New metal railing at exterior porch or deck. Minimum height 36" above finish floor.	<table border="1"> <tr> <td style="width: 5%; text-align: center;">II</td> <td>New parapet at exterior porch or deck. Minimum height 36" above finish floor.</td> </tr> </table>	II	New parapet at exterior porch or deck. Minimum height 36" above finish floor.
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II	New parapet at exterior porch or deck. Minimum height 36" above finish floor.																				

1 Elevation, Bldg 1, Right

<p>ISSUED UNDER THE SEAL OF WILLIAM LAWSON LAMSON, ARCHITECT AND REGISTERED PROFESSIONAL ARCHITECT, STATE OF TEXAS. THIS SEAL IS VALID ONLY IF THE ARCHITECT'S SIGNATURE AND EXPRESSION OF HIS OR HER OFFICE IS AFFIXED TO THE DRAWING AND THE ARCHITECT IS CURRENTLY LICENSED IN THE STATE OF TEXAS. ANY ALTERATIONS TO THIS SEAL ARE UNLAWFUL.</p> <p>07 Aug 2017</p>	<p>ISSUE DATE: 07 Aug 2017 PROJECT: NEW HOUSE AT 4201 LAWSON RD AUSTIN, TEXAS 78704 SHEET: A204 DRAWING: Elevations, Bldg-1</p>
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OCHONA
NEW HOUSE AT
4201 LAWSON RD
AUSTIN, TEXAS 78704
ISSUE DATE: 07 Aug 2017
A204



N/A	1,200	4,360	N/A
Beds	Bldg Sq Ft	Lot Sq Ft	Sale Price
1	1945	DUPLEX	N/A
Baths	Yr Built	Type	Sale Date

Owner Information

Owner Name:	Minette Rose	Tax Billing Zip:	78723
Owner Name 2:	Minette Maurice Jr	Tax Billing Zip+4:	4742
Tax Billing Address:	5605 Manor Rd	Owner Occupied:	No
Tax Billing City & State:	Austin, TX		

Location Information

School District :	01	Mapsco:	208-F6
School District Name:	Austin ISD	MLS Area:	6
Census Tract:	20.05	Zip Code:	78704
Subdivision:	Banister Heights	Zip + 4:	7609
6th Grade School District/School Name:	Fulmore	Flood Zone Date:	09/26/2008
Elementary School District:	Galindo	Flood Zone Code:	X
Middle School District/School Name:	Fulmore	Flood Zone Panel:	48453C0585H
Neighborhood Code:	K3005-K3005	Carrier Route:	C060
High School District/School Name:	Travis		

Tax Information

Property ID 1:	308007	Tax Area (113):	0A
Property ID 2:	04060901290000	Tax Appraisal Area:	0A
Property ID 3:	308007	% Improved:	50%
Legal Description:	S40 FT OF W100 FT OF N106 FT LOT 9 BANISTER HEIGHTS		
Actual Tax Year:	2015	Lot:	9
Actual Tax:	\$4,438		

Assessment & Tax

Assessment Year	2015	2014	2013
Market Value - Total	\$193,276	\$203,198	\$167,063
Market Value - Land	\$96,000	\$152,000	\$128,000
Market Value - Improved	\$97,276	\$51,198	\$39,063
Assessed Value - Total	\$193,276	\$203,198	\$167,063
Assessed Value - Land	\$96,000	\$152,000	\$128,000
Assessed Value - Improved	\$97,276	\$51,198	\$39,063
YOY Assessed Change (\$)	-\$9,922	\$36,135	
YOY Assessed Change (%)	-4.88%	21.63%	

Tax Amount - Estimated	Tax Year	Change (\$)	Change (%)
\$4,115	2013		
\$4,836	2014	\$721	17.51%
\$4,438	2015	-\$398	-8.23%

Jurisdiction	Tax Type	Tax Amount	Tax Rate
Austin ISD	Actual	\$2,323.18	1.202
City Of Austin	Actual	\$886.94	.4589

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Property Detail

Generated on 05/11/2016

Travis County	Actual	\$805.77	.476
Travis Co Hospital Dist	Actual	\$227.64	.11778
Austin Comm Coll Dist	Actual	\$194.24	.1005
Total Estimated Tax Rate			2.2961

Characteristics

County Use Code:	Duplex	Roof Shape:	Gable
Land Use:	Duplex	Construction:	Wood
Lot Acres:	0.1001	Year Built:	1945
Gross Area:	1,256	Foundation:	Pier
Building Sq Ft:	1,200	# of Buildings:	1
Above Gnd Sq Ft:	1,200	Building Type:	Duplex
Ground Floor Area:	600	Lot Depth:	100
2nd Floor Area:	600	Lot Area:	4,360
Garage Type:	Detached Garage	Lot Frontage:	40
Garage Sq Ft:	320	No. of Porches:	1
Stories:	2	Parking Type:	Detached Garage
Total Baths:	1	Patio/Deck 1 Area:	104
Full Baths:	1	Porch 1 Area:	30
Porch:	Open Porch	No. of Patios:	1
Patio Type:	Terrace	Num Stories:	2
Roof Type:	Gable	Porch Type:	Open Porch
Roof Material:	Composition Shingle	County Use Description:	Duplex-B2

Features

Feature Type	Unit	Size/Qty	Year Built	Value
1st Floor	S	600	1945	\$24,145
2nd Floor	S	600	1945	\$21,731
Porch Open 1st F	S	30	1945	\$208
Garage Det 1st F	S	320	1945	\$4,439
Bathroom	U	1	1945	
Storage Att	S	56	1945	\$442
Terrace Uncoverd	S	104	1945	\$233

Estimated Value

RealAVM™ (1):	\$333,017	Confidence Score (2):	71
RealAVM™ Range:	\$273,074 - \$392,960	Forecast Standard Deviation (3):	18
Value As Of:	04/29/2016		

- (1) RealAVM™ is a CoreLogic® derived value and should not be used in lieu of an appraisal.
- (2) The Confidence Score is a measure of the extent to which sales data, property information, and comparable sales support the property valuation analysis process. The confidence score range is 60 - 100. Clear and consistent quality and quantity of data drive higher confidence scores while lower confidence scores indicate diversity in data, lower quality and quantity of data, and/or limited similarity of the subject property to comparable sales.
- (3) The FSD denotes confidence in an AVM estimate and uses a consistent scale and meaning to generate a standardized confidence metric. The FSD is a statistic that measures the likely range or dispersion an AVM estimate will fall within, based on the consistency of the information available to the AVM at the time of estimation. The FSD can be used to create confidence that the true value has a statistical degree of certainty.

Last Market Sale & Sales History

Recording Date	08/09/2006			
Sale/Settlement Date	08/07/2006	11/21/1996	01/24/1992	02/06/1965
Document Number	153037	12823-45	11633-639	2893-236
Document Type	Warranty Deed	Special Warranty Deed	Quit Claim Deed	Warranty Deed
Buyer Name	Minette Maurice Jr & Rose		Minette Maurice Jr Trust The Ws & E L Garrison 1994	Garrison W S
Seller Name	Garrison W S & E L 1994 Trust	Minette Maurice Jr Trustee Of		Owner Record
Multi/Split Sale Type		Multiple	Multiple	
Title Company	Austin Title			

Mortgage History

Mortgage Date	08/24/2006
Mortgage Amount	\$101,250

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Property Detail

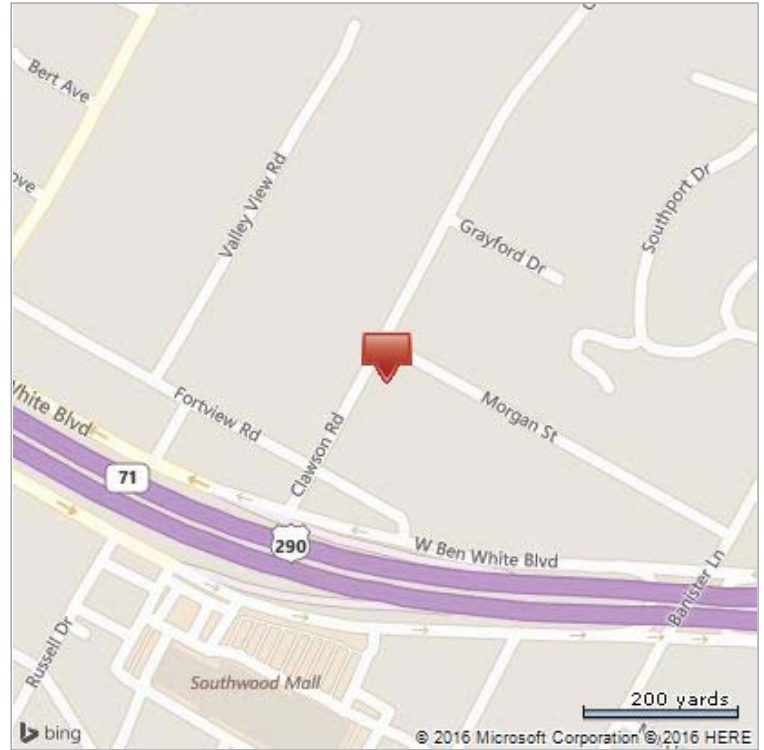
Generated on 05/11/2016

Mortgage Lender	First Franklin Corp
Mortgage Type	Conventional
Mortgage Code	Refi

Property Map



*Lot Dimensions are Estimated



THE STATE OF TEXAS :
: COUNTY OF TRAVIS : KNOW ALL MEN BY THESE PRESENTS:

That we, Chlen Felps and wife, Emma Lee Felps, of Marengo County, Alabama, for the consideration hereinafter stated paid and secured to be paid by T. E. Fisher, of Travis County, Texas, in the manner hereinafter stated, have GRANTED, SOLD, AND CONVEYED, and by these presents do GRANT, SELL, AND CONVEY, unto the said T. E. Fisher the following described real property in Travis County, Texas, together with all improvements thereon, to wit:

A part of Lot No. 9, in Banister Heights, a subdivision of a part of the Goodrich Estate, out of the Isaac Decker League, in Travis County, Texas, according to the map or plat of said subdivision recorded in Book "3", Page 256, Plat Records of Travis County, Texas, fully described by metes and bounds as follows, to wit:

Beginning at a point in the West line of said Lot No. 9 and in the East line of Clawson Road, which point is South 30° West 106 feet from the Northwest corner of said lot; thence South 59° 17' East 100 feet to a point for corner; thence North 30° East 40 feet to a point for corner; thence North 59° 17' West 100 feet to a point for corner in the West line of said Lot No. 9 and in the East line of Clawson Road; thence along the West line of said Lot No. 9 and the East line of Clawson Road South 30° West 40 feet to the place of beginning.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said T. E. Fisher, his heirs and assigns, forever; and we do hereby bind ourselves, our heirs, executors, and administrators, to WARRANT AND FOREVER DEPEND all and singular the said premises unto the said T. E. Fisher, his heirs and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof; except, however, that this conveyance is made subject to all of the reservations, covenants, conditions, restrictions, and easements of record in Travis County, Texas, that are applicable to

the property hereby conveyed, as well as subject to all ad valorem taxes for the year 1953.

The consideration for this conveyance is as follows: A full valuable cash consideration to us in hand paid by the said T. E. Fisher, the receipt whereof is hereby acknowledged, and for the payment of which no lien, express or implied, is retained against the property and premises hereby conveyed, and the assumption on the part of the said T. E. Fisher, effected by his acceptance of this conveyance, of the payment of, and his express promise and agreement to pay, that certain promissory note dated April 17, 1951, for the principal sum of \$7,889.34, made, executed, and delivered by Ohlen Felps and wife, Emma Lee Felps, payable to the order of The Calcasieu Lumber Company, at Austin, Texas, which is fully described in the deed of trust dated April 17, 1951, recorded in Book "1175", Page 174, Deed of Trust Records of Travis County, Texas, from Ohlen Felps and wife, Emma Lee Felps, to N. S. Johns, Trustee, and reference is here made to said deed of trust and its record for a full description of said promissory note and of the liens securing its payment.

Witness our hands, this 20th day of February, 1953.

Ohlen Felps
Emma Lee Felps

(\$8.80 U. S. Int. Rev. Stamps Can.)

THE STATE OF ALABAMA :
COUNTY OF MARENGO :

Before me, the undersigned authority, on this day personally appeared Ohlen Felps, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed; and also before me on this day personally appeared Emma Lee Felps, wife of Ohlen Felps, known to me to be the person whose name is subscribed to the foregoing instrument, and having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Emma Lee Felps, acknowledged such instrument to be her act and deed, and declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

Given under my hand and seal of office, this 20th day of February, 1953.

Wilford G. Milburn
Notary Public, Marengo County, Alabama

Filed for Record March 5, 1953 at 4 P.M.

42 Recorded March 9, 1953 at 8:45 A. M.

V-L-1322

THE STATE OF TEXAS :
: COUNTY OF TRAVIS : KNOW ALL MEN BY THESE PRESENTS:

That we, Chien Felps and wife, Emma Lee Felps, of Marengo County, Alabama, for the consideration hereinafter stated paid and secured to be paid by T. E. Fisher, of Travis County, Texas, in the manner hereinafter stated, have GRANTED, SOLD, AND CONVEYED, and by these presents do GRANT, SELL, AND CONVEY, unto the said T. E. Fisher the following described real property in Travis County, Texas, together with all improvements thereon, to wit:

A part of Lot No. 9, in Banister Heights, a subdivision of a part of the Goodrich Estate, out of the Isaac Decker League, in Travis County, Texas, according to the map or plat of said subdivision recorded in Book "3", Page 256, Plat Records of Travis County, Texas, fully described by metes and bounds as follows, to wit:

Beginning at a point in the North line of said Lot No. 9 and in the South line of Morgan Lane, which point is 100 feet Easterly from the Northwest corner of said lot; thence Easterly along the North line of said Lot No. 9 and the South line of Morgan Lane 74.25 feet to the Northeast corner of said lot; thence Southerly along the East line of said Lot No. 9 106 feet to a point for corner; thence Westerly and on a line parallel to the North line of said Lot No. 9 74.25 feet to a point for corner; thence Northerly and on a line parallel to the East line of said Lot No. 9 106 feet to the place of beginning.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said T. E. Fisher, his heirs and assigns, forever; and we do hereby bind ourselves, our heirs, executors, and administrators, to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said T. E. Fisher, his heirs and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof; except, however, that this conveyance is made subject to all of the reservations, covenants, conditions, restrictions, and

v.l-1322

assessments of record in Travis County, Texas, that are applicable to the property hereby conveyed, as well as subject to all ad valorem taxes for the year 1953.

The consideration for this conveyance is as follows: A full valuable cash consideration to us in hand paid by the said T. E. Fisher, the receipt whereof is hereby acknowledged, and for the payment of which no lien, express or implied, is retained against the property and premises hereby conveyed, and the assumption on the part of the said T. E. Fisher, effected by his acceptance of this conveyance, of the payment of, and his express promise and agreement to pay, that certain promissory note dated January 10, 1950, for the principal sum of \$9,500.00, made, executed, and delivered by Ohlen Felps and wife, Emma Lee Felps, payable to the order of The Calcasieu Lumber Company, at Austin, Texas, which is fully described in the deed of trust dated January 10, 1950, recorded in Book "1008", Page 72, Deed of Trust Records of Travis County, Texas, from Ohlen Felps and wife, Emma Lee Felps, to N. S. Johns, Trustee, and reference is here made to said deed of trust and its record for a full description of said promissory note and of the liens securing its payment.

Witness our hands, this 20th day of February, 1953.

Ohlen Felps

(\$10.45 U. S. Int. Rev. Stamps Can.)

Emma Lee Felps

THE STATE OF ALABAMA :

COUNTY OF MARENGO :

Before me, the undersigned authority, on this day personally appeared Ohlen Felps, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed; and also before me on this day personally appeared Emma Lee Felps, wife of Ohlen Felps, known to me to be the person whose name is subscribed to the foregoing instrument, and having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Emma Lee Felps, acknowledged such instrument to be her act and deed, and declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

Given under my hand and seal of office, this 20th day of February, 1953.

Richard B. [Signature]

Filed for Record March 5, 1953 at 4 P.M. Recorded March 9, 1953 at 8:40 A.M.

V.L-1322