

## PROJECT DESCRIPTION

THIS PROJECT IS AN AUSTIN ENERGY COOLING PLANT FACILITY THAT CONSISTS OF A 19,115 SQUARE FEET BUILDING, COOLING TOWERS, ASSOCIATED ACCESS DRIVES AND UTILITY LINES

## LEGAL DESCRIPTION

BEING 25,932 S.F. (0.595 AC.), THE REMAINDER OF A 0.807 AC. TRACT DESCRIBED AS TRACT 2 IN THAT DEED WITHOUT WARRANTY RECORDED IN DOC. NO. 2003282535, O.P.R.T.C.T.

## WATERSHED

1. THIS PROJECT IS LOCATED IN THE LADY BIRD LAKE WATERSHED, AN URBAN WATERSHED.
2. THIS SITE IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.
3. WATER QUALITY FOR THIS SITE WILL BE DESIGNED AND PERMITTED UNDER THE WATERSHED PROTECTION ORDINANCE

## FEMA FLOODPLAIN NO.

NO PORTION OF THIS SITE IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN PER FEMA PANEL NO. 48453C0445J, DATED 01/08/2016.

## NOTES

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
2. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.
3. THIS SITE PLAN IS SUBJECT TO SUBCHAPTER E OF THE LAND DEVELOPMENT CODE (COMMERCIAL DESIGN STANDARDS).

## SITE PLAN RELEASE NOTES

1. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
2. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN.
3. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A CONCRETE PERMIT IS REQUIRED.

## SPECIAL NOTES

DUE TO THE PROXIMITY TO LADY BIRD LAKE, PER DCM 1.2.2.F, STORMWATER DETENTION IS NOT REQUIRED.

THIS SITE PLAN IS SUBJECT TO SUBCHAPTER E OF THE LAND DEVELOPMENT CODE (COMMERCIAL DESIGN STANDARDS).

THIS PROJECT WILL PARTICIPATE IN THE ART IN PUBLIC PLACES PROGRAM.

## EXISTING CONDITIONS

THE LOCATION OF EXISTING UTILITIES AND STORM SEWER SHOWN ON THE PLAN WERE TAKEN FROM CITY OF AUSTIN RECORDS WHICH MAY NOT HAVE BEEN COMPLETE AND/OR ACCURATE. THEREFORE, THE PRESENCE, LOCATION, AND ELEVATION OF EXISTING UTILITIES AND STORM SEWER IN THE FIELD SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. FAILURE OF AN EXISTING UTILITY OR STORM SEWER TO APPEAR ON THE PLANS OR RECORDS SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROTECT AND REPAIR, IF THEY DAMAGE, SUCH UTILITIES AND STORM SEWER.

## AMERICANS WITH DISABILITIES ACT

THE CITY OF AUSTIN HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS ONLY. THE APPLICANT, PROPERTY OWNER, AND OCCUPANT OF THE PREMISES ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER LAWS, REGULATIONS, AND RESTRICTIONS WHICH MAY BE APPLICABLE TO THE PROPERTY AND ITS USE.

## WATER SERVICE INFORMATION

PRESSURE ZONE: CENTRAL NORTH (CN1)  
STATIC PRESSURE: 75 PSI  
DOMESTIC FIXTURE UNITS # = 16 WSFU  
DOMESTIC DEMAND = 23.0 GPM  
COOLING TOWER MAKEUP WATER DEMAND = 420 GPM  
IRRIGATION DEMAND = 4 GPM

## FIRE HYDRANT TEST RESULTS

TEST DATE: 10/09/2015  
RESIDUAL HYDRANT: 569929  
STATIC PRESSURE: 80 PSI  
RESIDUAL PRESSURE: 59 PSI @ 1,678 GPM  
AVAILABLE FIRE FLOW: >4,000 GPM @ 20 PSI

## FIRE FLOW DEMAND INFORMATION

BUILDING TYPE: II-B  
BUILDING SIZE: 18,785 SF  
REQ. FIRE FLOW (PER IFC): 3,000 GPM FOR 3 HOURS  
SPRINKLER REDUCTION: 75%  
FF DEMAND AFTER ALL DEDUCTIONS: 1,500 GPM

## AUSTIN ENERGY NOTES

1. PRIOR TO CONSTRUCTION - CUSTOMER/CONTRACTOR IS REQUIRED TO PERFORM ABOVE AND BELOW GROUND SPOT LOCATION AND POT HOLE DEPTH MAPPING OF ALL EXISTING AE FACILITIES AND OTHER UTILITY LINES TO ELIMINATE ANY POTENTIAL DAMAGE TO EXISTING AE FACILITIES, THAT ARE TO REMAIN, WITHIN AREA SHOWN ON THE ABOVE SKETCH.
2. CUSTOMER/ CONTRACTOR TO SHALL MAINTAIN 2' VERTICAL AND 2' HORIZONTAL SEPARATION (FOR AE CLEARANCES TO BE MET)

## RELATED CASES

ZONING: P (PUBLIC) ORD NO. 20140130-028 (C14-2013-0144)  
SITE PLAN: SP-06-0241D  
SP-2007-0306C  
CVC DETERMINATION: C17-2016-0009  
GEOTECHNICAL ENGINEERING REPORT  
BY HVJ ASSOCIATES, INC. DATED DECEMBER 17, 2015

4/25/2016 DESIGN COMMISSION  
10/3/2016 ARTS IN PUBLIC PLACES PANEL MEETING  
10/17/2016 AUSTIN ARTS COMMISSION  
11/16/2016 DOWNTOWN COMMISSION  
11/16/2017 DOWNTOWN COMMISSION  
11/27/2017 DESIGN COMMISSION

## ARCHITECT

COTERA+REED ARCHITECTS  
812 SAN ANTONIO SUITE 406  
AUSTIN, TEXAS 78701  
(512) 472-3300

## LANDSCAPE ARCHITECT

CAROLYN KELLEY, ASLA  
2905 OAK CREST AVE  
AUSTIN TX 78704  
(512) 445-0431

## MEP ENGINEER

ENERGY ENGINEERING ASSOCIATES, INC.  
6615 VAUGHT RANCH RD, STE. 200  
AUSTIN, TX 78730  
(512) 744-4400

## STRUCTURAL ENGINEER

JQ+TSEN  
1808 WEST 6TH STREET, SUITE 200  
AUSTIN, TEXAS 78703  
(512) 474-4001

## CIVIL ENGINEER

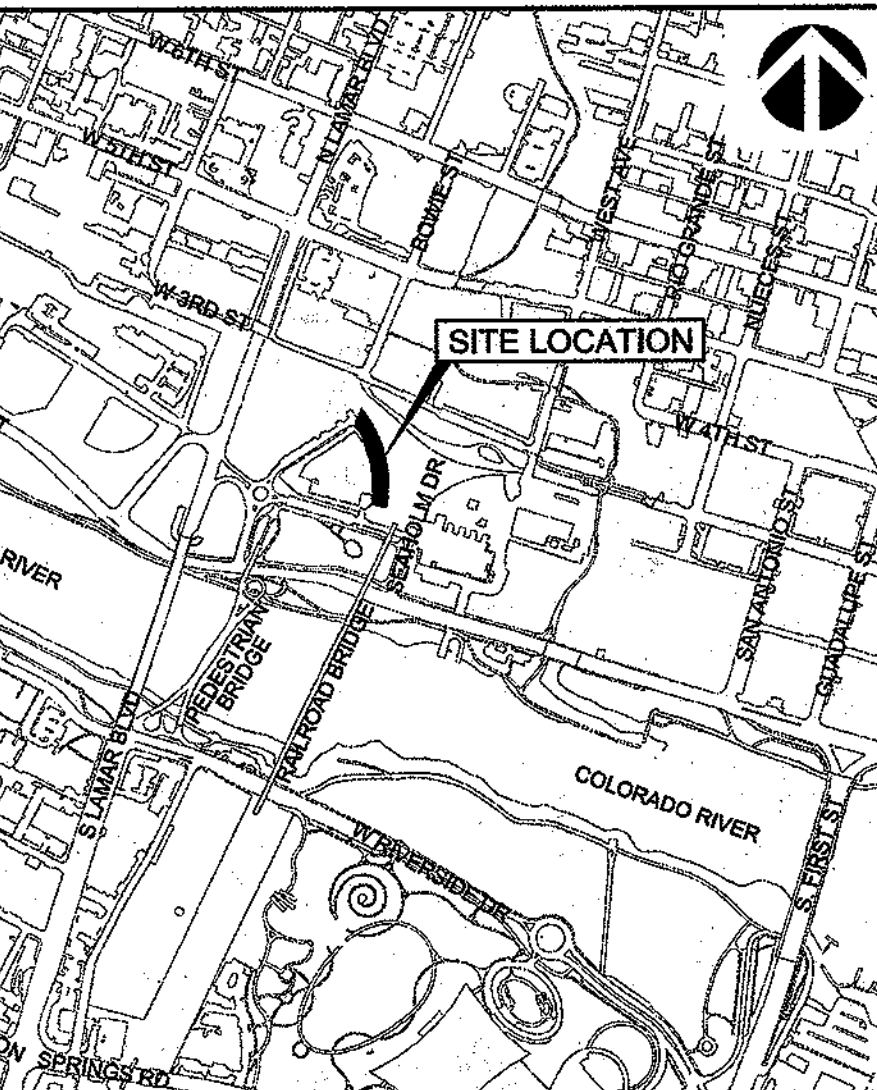
**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #9-1843  
3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

## SUBMITTAL DATE

FEBRUARY 6, 2017

## OWNER INFORMATION

AUSTIN ENERGY  
721 BARTON SPRINGS ROAD  
AUSTIN, TX 78704  
IMANE MRINI, PE, PMP, PROJECT MANAGER  
(512) 322-6144



NOT TO SCALE  
COA GRID #H22, MAPSCO PG # 584V & 584Z

AUSTIN WATER UTILITY  
EXPIRATION DATE  
FEB 26 2021

Inspection Notice: Please call Development Services Department, Site & Subdivision Inspection at 512-974-6360 for arrangements for payment of inspection fees and job assignment for inspection of the public utilities to this site. Inspection fees must be paid before any Pre-construction meeting can be held.

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NO WORK IS ALLOWED IN THE UNION  
PACIFIC RAILROAD RIGHT-OF-WAY UNTIL A  
PERMIT IS GRANTED BY UNION PACIFIC

SUBMITTED BY:

Candace Craig  
CANDACE CRAIG, PE 115587  
URBAN DESIGN GROUP PC  
FIRM REGISTRATION NUMBER F-1843

2/20/2018

DATE

REVIEWED BY:

Label  
FOR DIRECTOR,  
DEVELOPMENT SERVICES DEPARTMENT

3/

DATE

SP-2017-0038C

P (PUBLIC)

SITE PLAN/DEVELOPMENT PERMIT NO.

ZONING

Sarah Doe  
CITY OF AUSTIN INDUSTRIAL WASTE DEPT.

2/21/18

DATE

Donna Hooten  
CITY OF AUSTIN FIRE DEPARTMENT

02/27/2018

DATE

Larry Williams  
CITY OF AUSTIN WATER

2/26/18

DATE

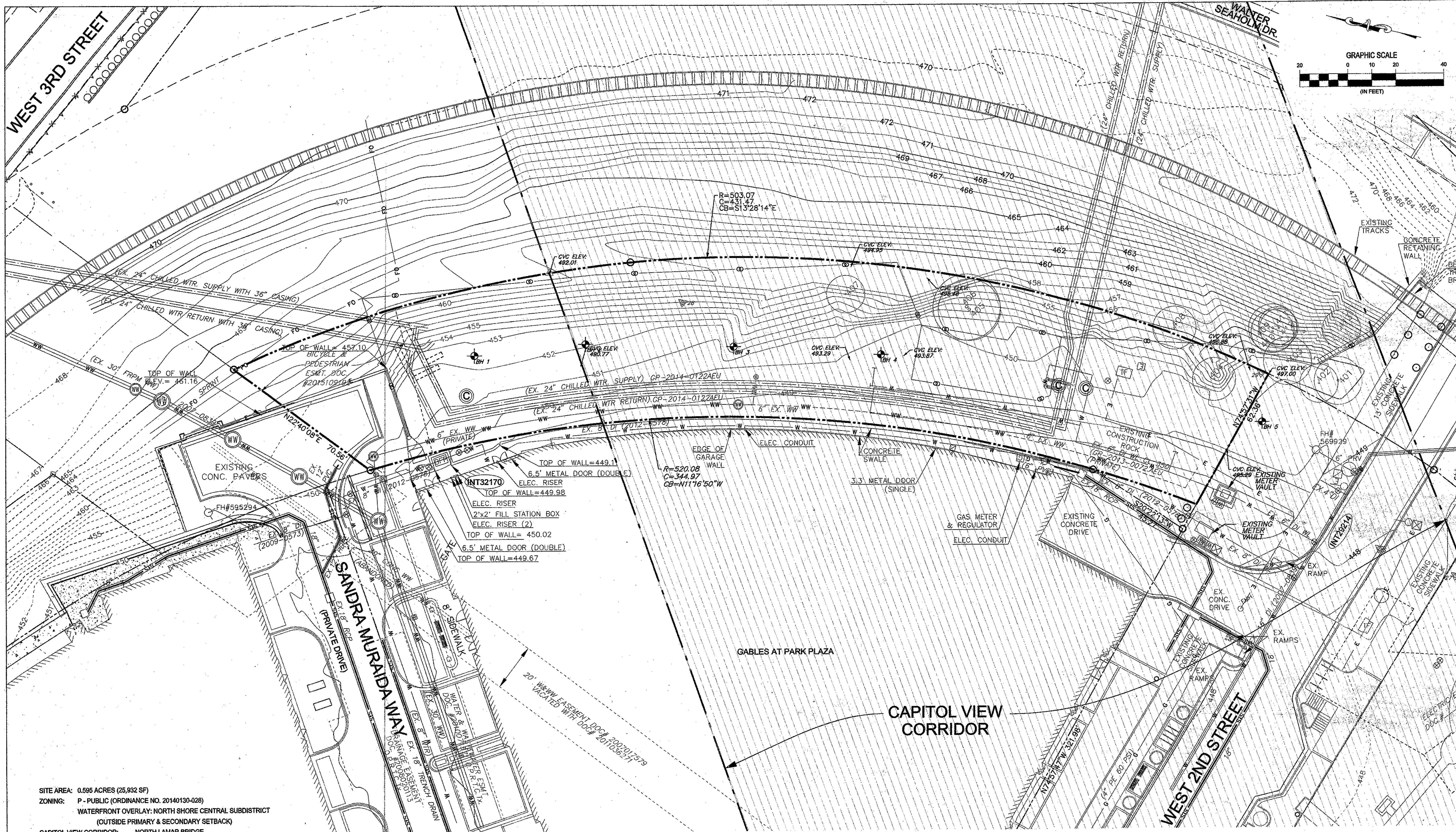
City of Austin  
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THE LOCATION OF EXISTING UTILITIES AND STORM SEWER SHOWN ON THE PLANS WERE TAKEN FROM CITY OF AUSTIN RECORDS WHICH MAY NOT HAVE BEEN COMPLETE OR ACCURATE. THEREFORE, THE PRESENCE, LOCATION, AND ELEVATION OF EXISTING UTILITIES AND STORM SEWER IN THE FIELD SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. FAILURE OF AN EXISTING UTILITY OR STORM SEWER TO APPEAR ON THE PLANS OR RECORDS SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROTECT AND REPAIR, IF THEY DAMAGE, SUCH UTILITIES AND STORM SEWER.

|                                                                                                                                                                                                                                                                                                                                         |               |                                    |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|------------------------------------|--|
| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      |               | SHEET 1 OF 34                      |  |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              |               | APPLICATION DATE: FEBRUARY 6, 2017 |  |
| APPROVED BY COMMISSION ON: N/A                                                                                                                                                                                                                                                                                                          |               | UNDER SECTION 112 OF               |  |
| CHAPTER 25-5 OF THE CITY OF AUSTIN CODE                                                                                                                                                                                                                                                                                                 |               |                                    |  |
| EXPIRATION DATE (25-5-41, LDC) 3/31/21                                                                                                                                                                                                                                                                                                  |               | CASE MANAGER: NIKKI HOELTER        |  |
| PROJECT INFORMATION DATE (ORD #97605-A) N/A                                                                                                                                                                                                                                                                                             |               | DWG: DDZ X                         |  |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               |               | ZONING: P (PUBLIC)                 |  |
| RELEASED FOR GENERAL COMPLIANCE: 3/8/18                                                                                                                                                                                                                                                                                                 |               |                                    |  |
| Rev. 1:                                                                                                                                                                                                                                                                                                                                 | Correction 1: |                                    |  |
| Rev. 2:                                                                                                                                                                                                                                                                                                                                 | Correction 2: |                                    |  |
| Rev. 3:                                                                                                                                                                                                                                                                                                                                 | Correction 3: |                                    |  |
| Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |               |                                    |  |

SP-2017-0038C





SITE AREA: 0.595 ACRES (25,932 SF)  
ZONING: P - PUBLIC (ORDINANCE NO. 20140130-028)  
WATERFRONT OVERLAY: NORTH SHORE CENTRAL SUBDISTRICT  
(OUTSIDE PRIMARY & SECONDARY SETBACK)  
CAPITOL VIEW CORRIDOR: NORTH LAMAR BRIDGE  
PARKING: NOT REQUIRED (PER §25-6-591(B))

SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY OF DISTRICT COOLING PLANT NO. 3  
BY MACIAS & ASSOCIATES, L.P., DATED, 11/12/2015

THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE, NAD83, THE COORDINATES WERE ESTABLISHED BY GPS FROM CITY OF AUSTIN REFERENCE POINT "H-22-2001" HAVING COORDINATE VALUES OF N=10,071,008.45, E=3,110,361.65 AND "J-21-4001" (CB08) HAVING COORDINATE VALUES OF N=10,065,600.89, E=3,114,070.43.

ELEVATIONS AND CONTOURS ARE BASED ON CITY OF AUSTIN MONUMENT "H-22-2001", A BRASS CAP SET AT NORTHWEST CORNER OF CONCRETE ABUTMENT ON SOUTH SIDE OF RAILROAD TRACKS ON THE WEST SIDE OF LAMAR BLVD AT THE W. 3RD STREET OVERPASS. (NAVD 1989) ELEVATION = 469.27 FEET.

SURVEY CONTROL POINTS (GRID-Feet)  
(TEXAS CENTRAL ZONE - NAD83)

| PNT NO. | NORTHING    | EASTING    | ELEV.  | DESCRIPTION |
|---------|-------------|------------|--------|-------------|
| 6       | 10070215.94 | 3110864.11 | 448.03 | MAG NAIL    |
| 27      | 10070182.43 | 3110860.38 | 449.08 | 80D NAIL    |
| 28      | 10070522.97 | 3110895.86 | 455.36 | 80D NAIL    |
| 29      | 10070281.32 | 3110924.23 | 449.62 | 60D NAIL    |
| 98      | 10070753.61 | 3111009.04 | 468.21 | MAG NAIL    |

#### TREE LIST

| TAG NO. | SIZE/TYPE      |
|---------|----------------|
| 401     | 10" CHINABERRY |
| 402     | 8" HACKBERRY   |
| 403     | 10" CHINABERRY |
| * 404   | 9" GOTTENWOOD  |
| * 405   | 14" HACKBERRY  |
| * 406   | 14" HACKBERRY  |
| * 407   | 9" HACKBERRY   |
| * 408   | 9" CHINABERRY  |
| 409     | 9" CHINABERRY  |
| 410     | 10" CHINABERRY |
| 411     | 8" CHINABERRY  |
| 412     | 8" CHINABERRY  |
| 413     | 8" HACKBERRY   |

\* DENOTES TREE TO BE REMOVED

#### LEGEND

|  |                                                                          |  |                    |  |                      |
|--|--------------------------------------------------------------------------|--|--------------------|--|----------------------|
|  | SURVEY CONTROL POINT                                                     |  | BOLLARD/POST       |  | WASTEWATER CLEANOUT  |
|  | 1/2" IRON ROD FOUND                                                      |  | SIGN               |  | WASTEWATER MANHOLE   |
|  | 1/2" IRON ROD W/ PLASTIC CAP STAMPED "CITY OF AUSTIN PUBLIC WORKS" FOUND |  | TREE WITH TAG NO.  |  | WASTEWATER LINE      |
|  | CALCULATED POINT                                                         |  | CHAIN LINK FENCE   |  | LIGHT POLE           |
|  | PROPERTY LINE                                                            |  | WATER METER        |  | POWER POLE           |
|  | ADJOINING PROPERTY LINE                                                  |  | WATER VALVE        |  | ELECTRIC MANHOLE     |
|  | EASEMENT                                                                 |  | BACKFLOW PREVENTER |  | ELECTRIC METER       |
|  | CHILLED WATER LINE                                                       |  | FIRE HYDRANT       |  | ELECTRIC PULLBOX     |
|  | CHILLED WATER MANHOLE                                                    |  | WATER LINE         |  | ELECTRIC TRANSFORMER |
|  |                                                                          |  | GAS METER          |  | ELECTRIC LINE        |
|  |                                                                          |  | GAS VALVE          |  | STORM SEWER LINE     |
|  |                                                                          |  | GAS LINE           |  | STORM SEWER INLET    |

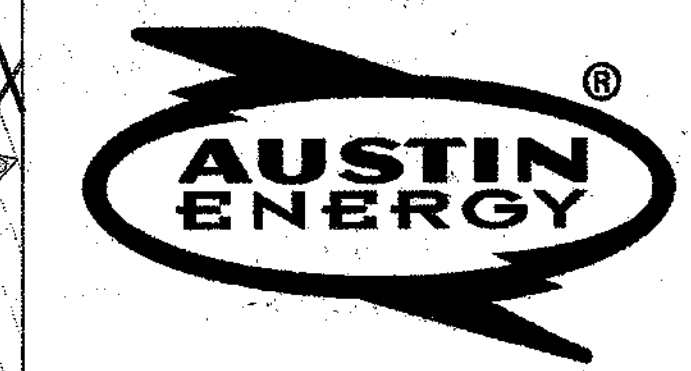
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| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      |  | SHEET 3 OF 34                      |  |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              |  | APPLICATION DATE: FEBRUARY 6, 2017 |  |
| APPROVED BY COMMISSION ON: N/A                                                                                                                                                                                                                                                                                                          |  | UNDER SECTION 112 OF               |  |
| CHAPTER 25-5 OF THE CITY OF AUSTIN CODE                                                                                                                                                                                                                                                                                                 |  |                                    |  |
| EXPIRATION DATE (25-5-81, LDC 381A)                                                                                                                                                                                                                                                                                                     |  | CASE MANAGER: NIKKI HOELTER        |  |
| PROJECT START DATE (OED #70905-A)                                                                                                                                                                                                                                                                                                       |  | N/A DWG# DDZ X                     |  |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               |  | ZONING: P (PUBLIC)                 |  |
| RELEASED FOR GENERAL COMPLIANCE: 3/8/18                                                                                                                                                                                                                                                                                                 |  |                                    |  |
| Rev. 1: Correction 1                                                                                                                                                                                                                                                                                                                    |  |                                    |  |
| Rev. 2: Correction 2                                                                                                                                                                                                                                                                                                                    |  |                                    |  |
| Rev. 3: Correction 3                                                                                                                                                                                                                                                                                                                    |  |                                    |  |
| Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |  |                                    |  |

| REVISIONS |      |             |
|-----------|------|-------------|
| NO        | DATE | DESCRIPTION |
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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #1943

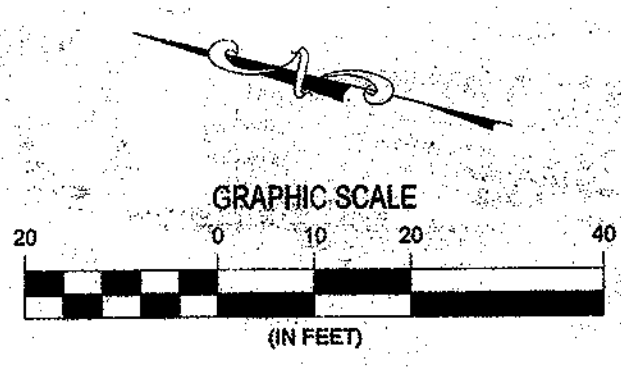
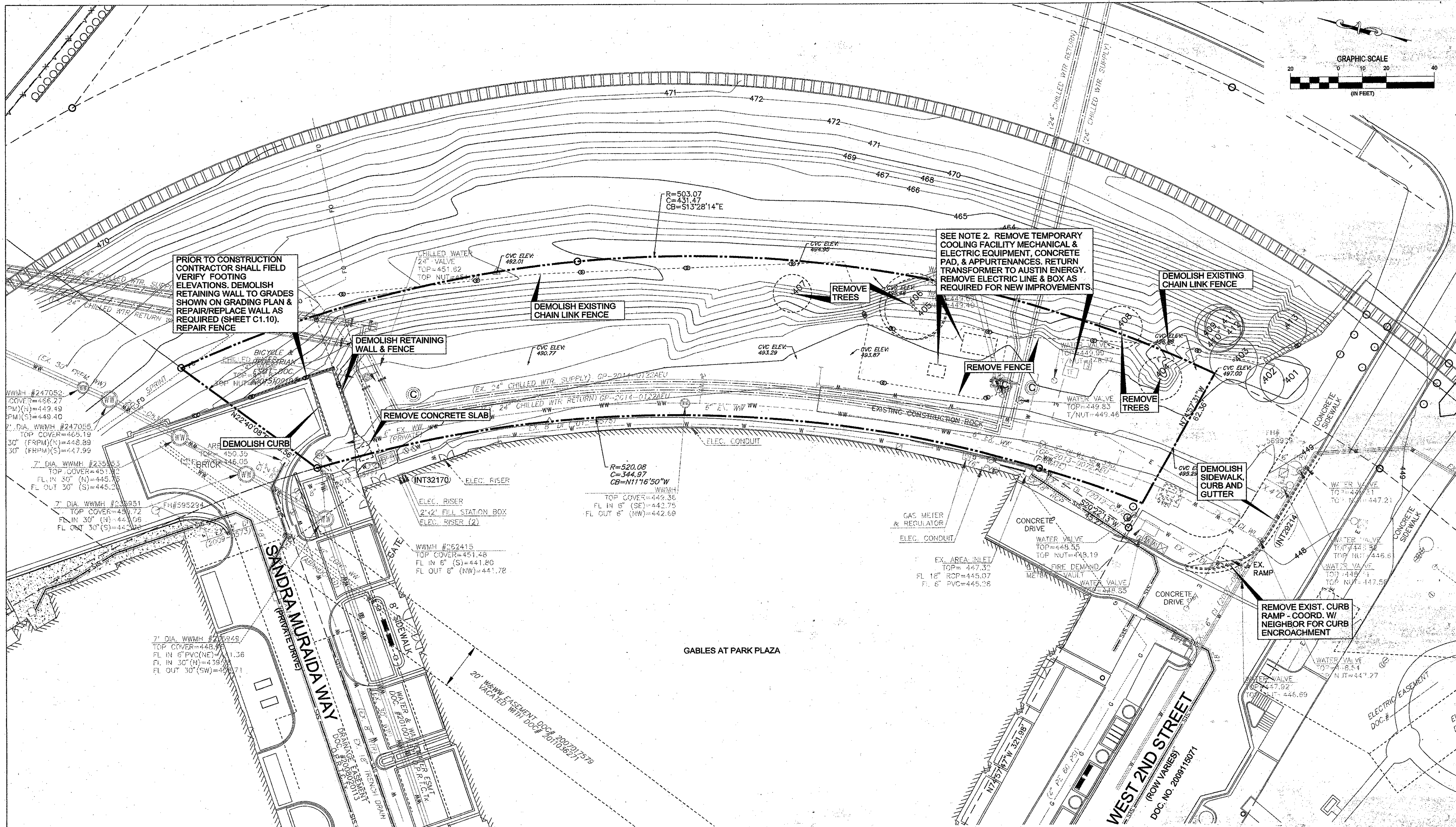
**EEA CONSULTING ENGINEERS**  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeacoe.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
PROFESSIONAL ENGINEER  
2/20/2018

TITLE:  
EXISTING CONDITIONS

PROJECT NUMBER: 15-843  
DRAWN BY: NT/GC  
CHECKED BY: GC  
DATE: 2/20/2018

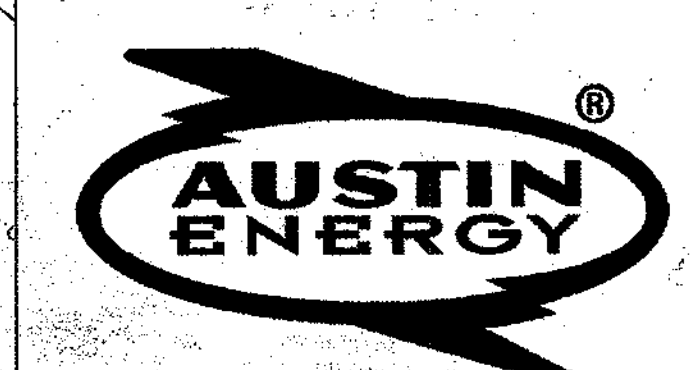
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3 OF 34



| REVISIONS |      |             |
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| NO        | DATE | DESCRIPTION |
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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
**Urban Design Group PC**  
TX Registered Engineering Firm #E-1943

**EEA CONSULTING ENGINEERS**  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
PROFESSIONAL ENGINEER  
2/20/2018

TITLE:  
**DEMOLITION PLAN**

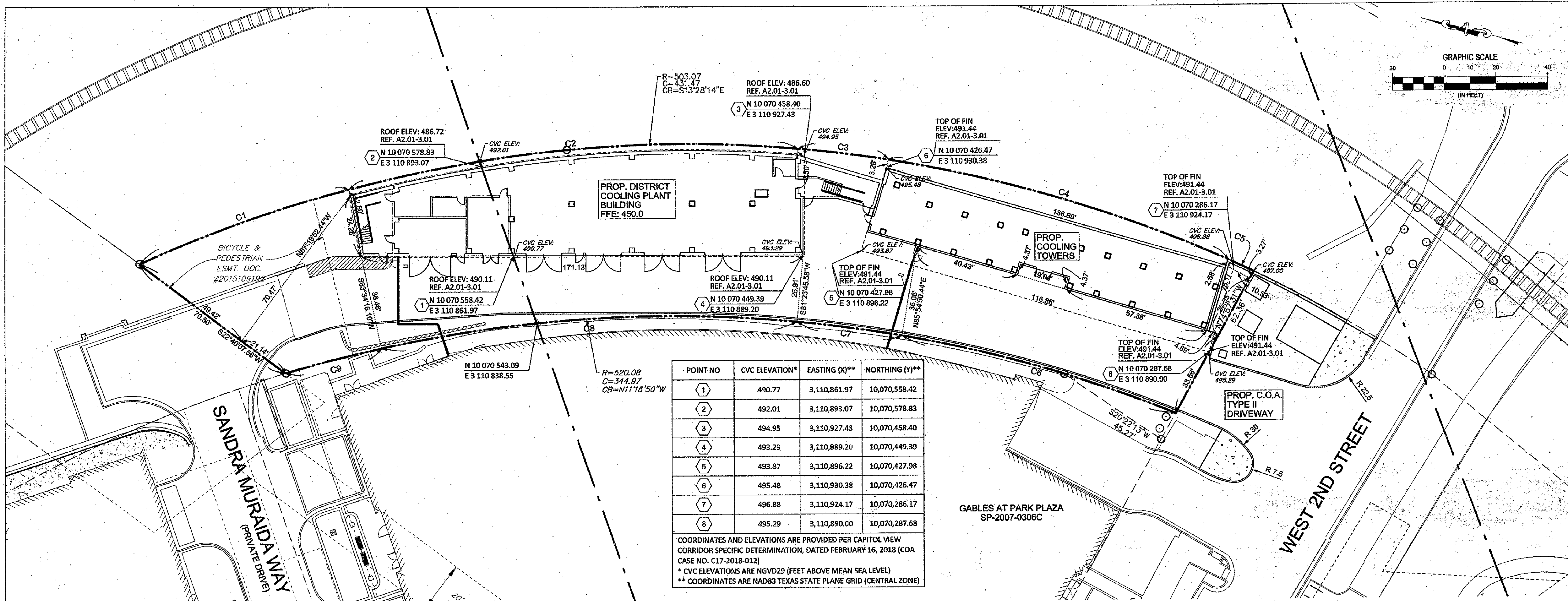
PROJECT NUMBER: 15-843  
DRAWN BY: NTJCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
**C1.0**  
4 OF 34

SITE PLAN APPROVAL SHEET 4 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC) 3/31/21 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #96095-A) N/A DWGZ DOZ X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/31/18 ZONING: P (PUBLIC)  
Rev. 1: Correction 1  
Rev. 2: Correction 2  
Rev. 3: Correction 3  
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

- NOTE:
- NO DEMOLITION ACTIVITIES WILL OCCUR PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - CONTRACTOR SHALL CONTACT RICHARD DUANE AT (512) 482-5435 AT AUSTIN ENERGY AT LEAST 1 WEEK IN ADVANCE TO COORDINATE REMOVAL OF TRANSFORMER. REMOVAL BY CITY FORCES.





| POINT NO | CVC ELEVATION* | EASTING (X)** | NORTHING (Y)** |
|----------|----------------|---------------|----------------|
| 1        | 490.77         | 3,110,861.97  | 10,070,558.42  |
| 2        | 492.01         | 3,110,893.07  | 10,070,578.83  |
| 3        | 494.95         | 3,110,927.43  | 10,070,458.40  |
| 4        | 493.29         | 3,110,889.20  | 10,070,449.39  |
| 5        | 493.87         | 3,110,896.22  | 10,070,427.98  |
| 6        | 495.48         | 3,110,930.38  | 10,070,426.47  |
| 7        | 496.88         | 3,110,924.17  | 10,070,286.17  |
| 8        | 495.29         | 3,110,890.00  | 10,070,287.68  |

COORDINATES AND ELEVATIONS ARE PROVIDED PER CAPITOL VIEW CORRIDOR SPECIFIC DETERMINATION, DATED FEBRUARY 15, 2018 (COA CASE NO. C17-2018-012)  
\* CVC ELEVATIONS ARE NGVD29 (FEET ABOVE MEAN SEA LEVEL)  
\*\* COORDINATES ARE NAD83 TEXAS STATE PLANE GRID (CENTRAL ZONE)

| SITE: P (PUBLIC) ZONING   | ACRE       | SF        | %/RATIO | PERMITTED  |
|---------------------------|------------|-----------|---------|------------|
| TOTAL SITE AREA           | 0.595 ACRE | 25,932 SF |         |            |
| FLOOR TO AREA RATIO       |            | 19,150 SF | 0.74:1  | 5:1 (MAX)  |
| BUILDING COVERAGE         |            | 11,545 SF | 44.5%   | 100% (MAX) |
| SIDEWALK IMPERVIOUS COVER |            | 0 SF      | 0.0%    |            |
| PARKING/DRIVEWAY IC       |            | 9,883 SF  | 38.1%   |            |
| OTHER IMPERVIOUS COVER    |            | 0 SF      | 0.0%    |            |
| TOTAL IMPERVIOUS COVER    |            | 21,428 SF | 82.6%   | 100% (MAX) |

| BUILDING:                               | AUSTIN ENERGY DISTRICT COOLING PLANT BUILDING |
|-----------------------------------------|-----------------------------------------------|
| UDC ZONING USE CATEGORY/CLASSIFICATION: | CIVIC/MAJOR UTILITY FACILITY                  |
| FPE:                                    | 450.0 MSF                                     |
| FOUNDATION TYPE:                        | PIER                                          |
| TOTAL SF (BUILDING):                    | 20,075 SF                                     |
| TOTAL SF (OCCUPANCY):                   | 15,295 SF                                     |
| OCCUPANCY:                              | GROUP F-1 INDUSTRIAL                          |
| HEIGHT:                                 | 68.5 FT                                       |
| STORIES:                                | 2 STORIES                                     |
| LEVEL 1:                                | 6,390 SF                                      |
| MEZZANINE:                              | 0 SF                                          |
| LEVEL 2:                                | 6,390 SF                                      |

NOTES:  
THIS SITE IS SUBJECT TO §25-2-625(D)(1).

PARKING SUMMARY:  
OFF-STREET PARKING IS NOT REQUIRED FOR PROJECTS IN PUBLIC (P) ZONING DISTRICT IN ACCORDANCE WITH §25-6-591.

ZONING: P - PUBLIC (ORDINANCE NO. 20140130-028)  
WATERFRONT OVERLAY: NORTH SHORE CENTRAL SUBDISTRICT (OUTSIDE PRIMARY & SECONDARY SETBACK)  
CAPITOL VIEW CORRIDOR: NORTH LAMAR BRIDGE

SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY OF DISTRICT COOLING PLANT NO. 3 BY MACIAS & ASSOCIATES, L.P., DATED, 11/12/2015

THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE, NAD83). THE COORDINATES WERE ESTABLISHED BY GPS FROM CITY OF AUSTIN REFERENCE POINT "H-22-2001" HAVING COORDINATE VALUES OF N=10,071,008.45, E=3,110,361.85 AND "J-21-4001" (CB08) HAVING COORDINATE VALUES OF N=10,065,800.89, E=3,114,070.43.

ELEVATIONS AND CONTOURS ARE BASED ON CITY OF AUSTIN MONUMENT "H-22-2001", A BRASS CAP SET AT NORTHWEST CORNER OF CONCRETE ABUTMENT ON SOUTH SIDE OF RAILROAD TRACKS ON THE WEST SIDE OF LAMAR BLVD AT THE W. 3RD STREET OVERPASS, (NAVD 1988) ELEVATION = 469.27 FEET.

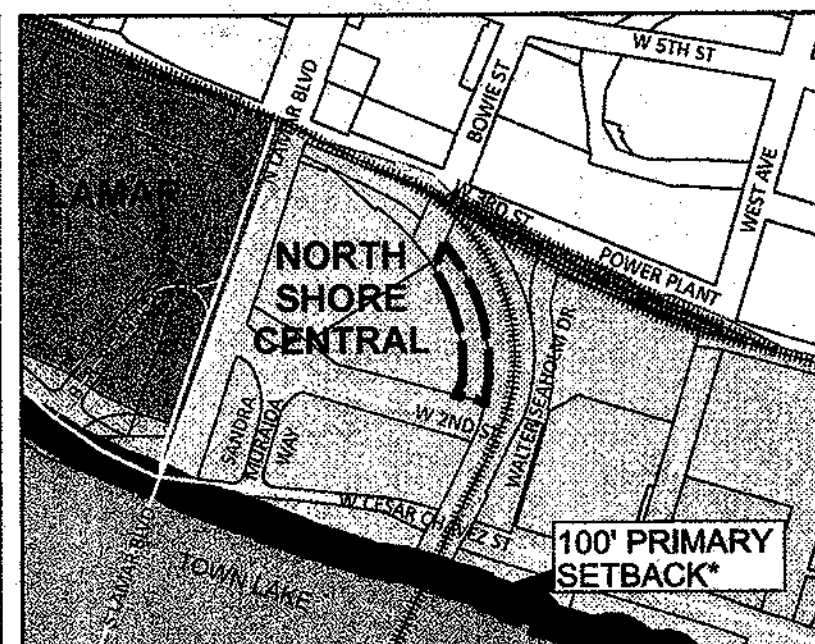
SURVEY CONTROL POINTS (GRID-Feet)  
(TEXAS CENTRAL ZONE - NAD83)

| PNT NO. | NORTHING    | EASTING    | ELEV.  | DESCRIPTION |
|---------|-------------|------------|--------|-------------|
| 6       | 10070215.94 | 3110864.11 | 448.03 | MAG NAIL    |
| 27      | 10070182.43 | 3110860.38 | 449.08 | 80D NAIL    |
| 28      | 10070522.97 | 3110895.86 | 455.36 | 80D NAIL    |
| 29      | 10070281.32 | 3110924.23 | 449.62 | 60D NAIL    |
| 98      | 10070753.61 | 3111009.04 | 468.21 | MAG NAIL    |

| Legend                   | Waterfront Districts | CITY HALL      | MONTOPOLIS RIVER TERRACE | SOUTH LAKESHORE      |
|--------------------------|----------------------|----------------|--------------------------|----------------------|
| Project Site             | AUDITORIUM SHORES    | EAST RIVERSIDE | NORTH SHORE CENTRAL      | SOUTH SHORE CENTRAL  |
| Primary Setback (100')   | BALCONES ROCK CLIFF  | FESTIVAL BEACH | RAINEY STREET            | TRAVIS HEIGHTS       |
| Secondary Setback (100') | BUTLER SHORES        | LAMAR          | RED BLUFF                | UNIVERSITY/DEEP EDDY |
|                          |                      |                |                          | ZILKER PARK          |

§ 25-2-738 - NORTH SHORE CENTRAL SUBDISTRICT REGULATIONS.

- (A) This subsection applies in the North Shore Central subdistrict of the WO combining district.  
(B) The primary setback lines are located:  
(1) 100 feet landward from the Town Lake shoreline;  
(2) 60 feet from the Shoal Creek centerline; and  
(3) 50 feet from the Waller Creek centerline.



\* THERE IS NO SECONDARY SETBACK PER § 25-2-738.

LEGEND

|                                                                            |                        |                           |                                           |
|----------------------------------------------------------------------------|------------------------|---------------------------|-------------------------------------------|
| △ SURVEY CONTROL POINT                                                     | ○ BOLLARD/POST         | ⊗ WASTEWATER CLEANOUT     | ▬ CAPITOL VIEW CORRIDOR                   |
| ○ 1/2" IRON ROD FOUND                                                      | ○ SIGN                 | ⊗ WASTEWATER MANHOLE      | ▬ CAPITOL VIEW CORRIDOR SPOT ELEVATION    |
| ⊗ 1/2" IRON ROD W/ PLASTIC CAP STAMPED "CITY OF AUSTIN PUBLIC WORKS" FOUND | ○ TREE WITH TAG NO.    | — WW — WASTEWATER LINE    | FRPM FIBERGLASS REINFORCED PLASTIC MORTAR |
| ⊗ 1/2" IRON ROD WITH PLASTIC CAP STAMPED "MACIAS L.P. RPLS 4333" SET       | — CHAIN LINK FENCE     | ○ LIGHT POLE              | ⊗ GEOTECHNICAL BOREHOLE                   |
| △ CALCULATED POINT                                                         | ⊗ WATER METER          | ○ POWER POLE              | ○ COLUMN                                  |
| --- PROPERTY LINE                                                          | ⊗ WATER VALVE          | ○ ELECTRIC MANHOLE        | ▬ RAILROAD                                |
| --- ADJOINING PROPERTY LINE                                                | ⊗ BACKFLOW PREVENTER   | ⊗ ELECTRIC METER          | ▬ RETAINING WALL                          |
| --- EASEMENT                                                               | ⊗ FIRE HYDRANT         | ⊗ ELECTRIC PULLBOX        | ⊗ ELECTRIC MANHOLE & DUCTBANK             |
| --- CHILLED WATER LINE                                                     | ⊗ GAS METER            | ⊗ ELECTRIC TRANSFORMER    | ⋯ ADA ACCESSIBLE ROUTE                    |
| ⊗ CHILLED WATER MANHOLE                                                    | ⊗ GAS VALVE            | — E — ELECTRIC LINE       | --- EXISTING CONTOUR                      |
|                                                                            | ⊗ PROP. CHARGING BENCH | ⊗ STORM SEWER INLET       | ○ PROP. DRINKING FOUNTAIN                 |
|                                                                            |                        | ⊗ PROP. TRASH & RECYCLING |                                           |

C1  
R=503.07'  
D=09°50'09"  
A=86.36'  
T=43.29'  
C=86.26'  
CB=S33°56'47"E

C2  
R=503.07'  
D=19°59'11"  
A=175.48'  
T=88.64'  
C=174.60'  
CB=S19°02'07"E

C3  
R=503.07'  
D=03°59'60"  
A=35.12'  
T=17.57'  
C=35.11'  
CB=S07°02'32"E

C4  
R=503.07'  
D=15°44'26"  
A=138.21'  
T=69.54'  
C=137.77'  
CB=S02°49'45"W

C5  
R=503.07'  
D=01°13'20"  
A=10.73'  
T=5.37'  
C=10.73'  
CB=S11°18'41"W

C6  
R=520.08'  
D=12°13'14"  
A=38.31'  
T=19.16'  
C=38.30'  
CB=N02°00'04"E

C7  
R=520.08'  
D=04°31'05"  
A=41.01'  
T=20.52'  
C=41.00'  
CB=N06°20'42"W

C8  
R=520.08'  
D=17°49'29"  
A=161.80'  
T=81.56'  
C=161.15'  
CB=N17°30'59"W

C9  
R=520.08'  
D=04°13'14"  
A=38.31'  
T=19.16'  
C=38.30'  
CB=N28°32'21"W

City of Austin  
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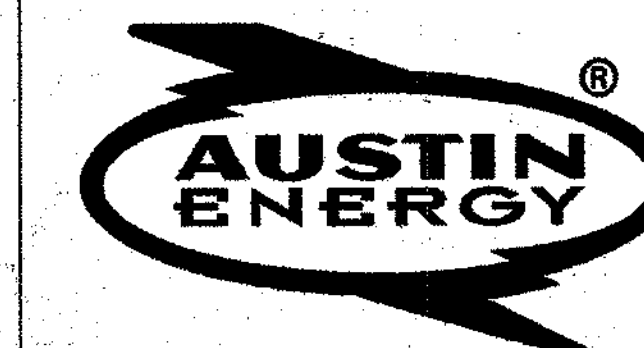
SITE PLAN APPROVAL SHEET 6 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ONE: N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC): 3/31/21 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #0095-A): N/A DWZ DOZ X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/31/18 ZONING: P (PUBLIC)  
Rev.1: Correction 1:  
Rev.2: Correction 2:  
Rev.3: Correction 3:  
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

TITLE:  
DIMENSION CONTROL  
SITE CALCULATIONS &  
BUILDING TABLE

PROJECT NUMBER: 16-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
C1.2

AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701

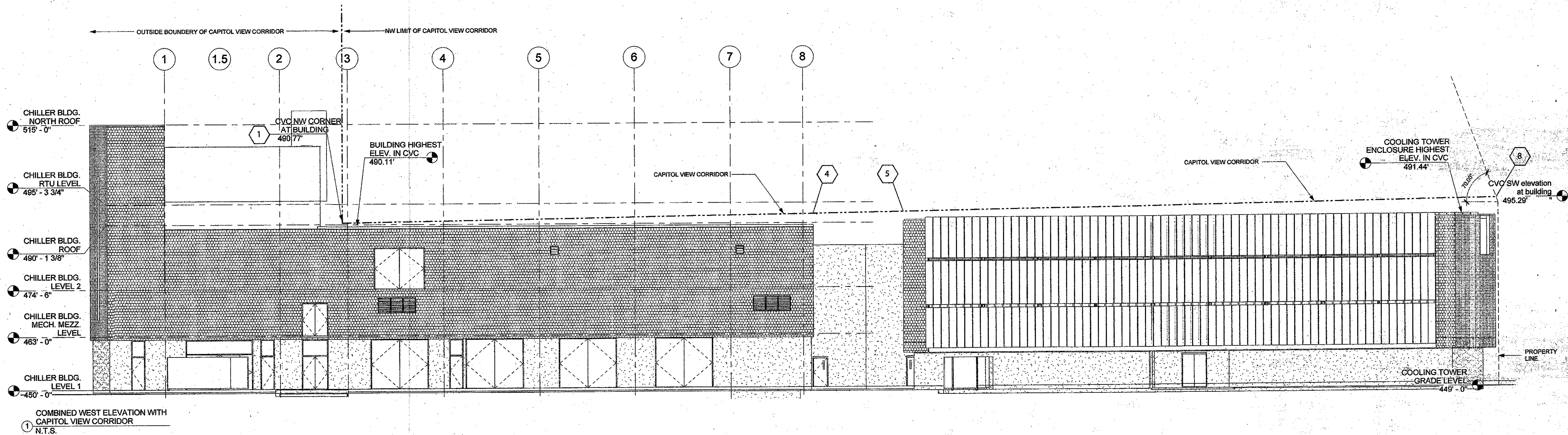


UDG  
Urban Design Group PC  
TX Registered Engineering Firm #E-1543

EEA CONSULTING ENGINEERS  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main • 512.744.4444 fax  
www.eeacoe.com

State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

CANDACE CRAIG  
115587  
2/20/2018



CVC ELEVATION LEGEND

|   |         |
|---|---------|
| 1 | 490.77' |
| 4 | 493.29' |
| 5 | 493.87' |
| 8 | 495.29' |

City of Austin  
Copy **ARC**

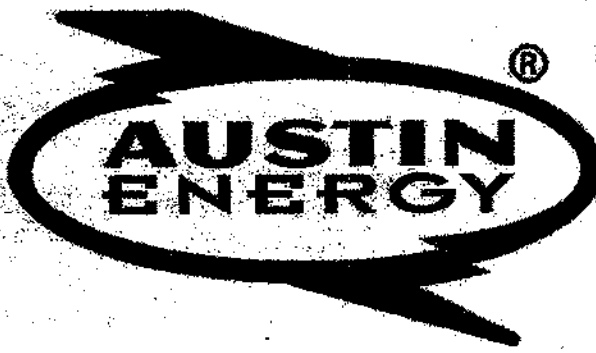
**COTERA+REED  
ARCHITECTS**

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512.472.3300  
www.coterareed.com

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|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|------------------------------------|-----------------------------------------------|
| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      |                                       | SHEET 7 OF 34                      |                                               |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPROVED BY COMMISSION ON: N/A        | APPLICATION DATE: FEBRUARY 6, 2017 | UNDER SECTION: 112 OF                         |
| CHAPTER 25-5 OF THE CITY OF AUSTIN CODE                                                                                                                                                                                                                                                                                                 | EXPIRATION DATE (25-5-81 LDC): 2/6/18 | CASE MANAGER: NIKKI HOELTER        | PROJECT EXPIRATION DATE (25-5-81 LDC): 2/6/18 |
| RELEASED FOR GENERAL COMPLIANCE: 2/8/18                                                                                                                                                                                                                                                                                                 |                                       | ZONING: P (PUBLIC)                 |                                               |
| Rev. 1:                                                                                                                                                                                                                                                                                                                                 | Correction 1:                         | Rev. 2:                            | Correction 2:                                 |
| Rev. 3:                                                                                                                                                                                                                                                                                                                                 | Correction 3:                         | Rev. 4:                            | Correction 4:                                 |
| Final plot must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                                       |                                    |                                               |

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AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #9-1043  
3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.744.4400 main - 512.744.4444 fax  
www.udg.com



6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

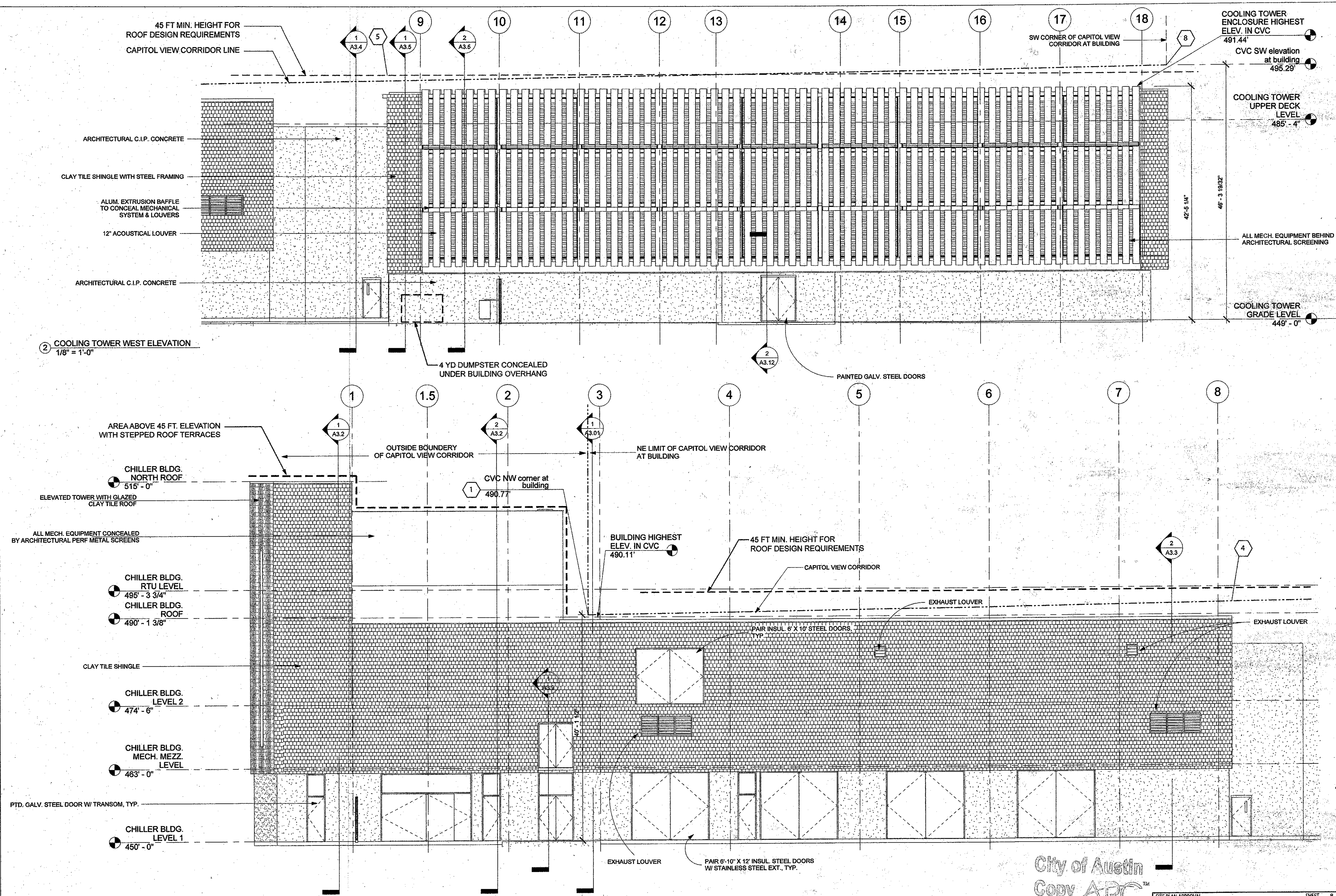
State of registration: TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



TITLE: **WEST ELEVATION  
COMBINED**

PROJECT NUMBER: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: **A2.01**  
7 OF 32



② COOLING TOWER WEST ELEVATION  
1/8" = 1'-0"

① CHILLER BUILDING WEST ELEVATION  
1/8" = 1'-0"

CVC ELEVATION LEGEND

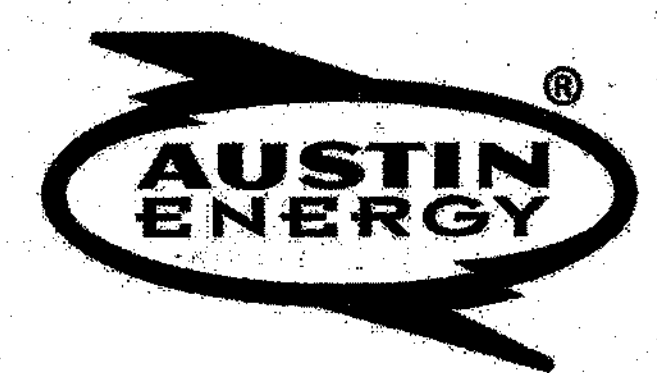
|   |         |
|---|---------|
| 1 | 490.77' |
| 4 | 493.29' |
| 5 | 493.87' |
| 8 | 495.29' |

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|                                                                                                                                                                                                                                                                                                                                         |                                    |
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| SHEET 8 OF 34                                                                                                                                                                                                                                                                                                                           |                                    |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPLICATION DATE: FEBRUARY 6, 2017 |
| APPROVED BY COMMISSION ON: N/A                                                                                                                                                                                                                                                                                                          | UNDER SECTION 112 OF               |
| CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.                                                                                                                                                                                                                                                                                                |                                    |
| EXPIRATION DATE (25-5-81, LDC) 2/6/21                                                                                                                                                                                                                                                                                                   | CASE MANAGER: NIKKI HOELTER        |
| PROJECT EXPIRATION DATE (OED 1574033A) N/A                                                                                                                                                                                                                                                                                              | DWPZ DOZ X                         |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               |                                    |
| RELEASED FOR GENERAL COMPLIANCE: 3/2/18 ZONING: P (PUBLIC)                                                                                                                                                                                                                                                                              |                                    |
| Rev 1: Correction 1:                                                                                                                                                                                                                                                                                                                    |                                    |
| Rev 2: Correction 2:                                                                                                                                                                                                                                                                                                                    |                                    |
| Rev 3: Correction 3:                                                                                                                                                                                                                                                                                                                    |                                    |
| Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                                    |

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**AUSTIN ENERGY**  
**DISTRICT COOLING**  
**PLANT NO. 3**  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
Urban Design Group PC  
TX Registered Engineering Firm #6-1843



6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com  
State of registration TEXAS  
Fire Registration No. F-2497  
EEA Project No. 20140119



TITLE: **ARCHITECTURAL WEST ELEVATION**

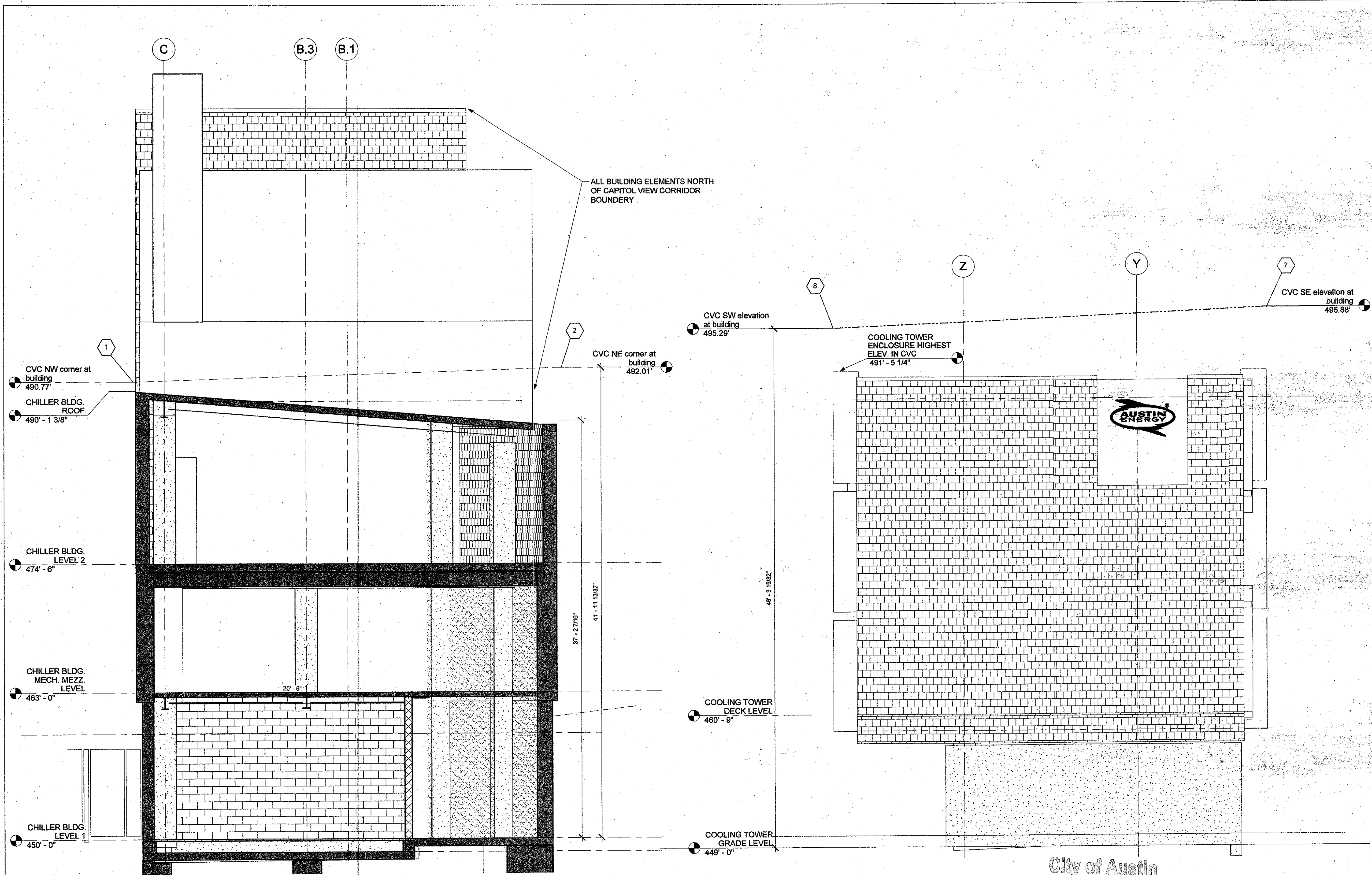
PROJECT NUMBER: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: **A2.02**  
8 OF 32



① NW CVC BLDG SECTION  
1/4" = 1'-0"

② CVC ELEVATION SOUTH  
1/4" = 1'-0"

#### CVC ELEVATION LEGEND

- ① 490.77'
- ② 492.01'
- ⑦ 496.88'
- ⑧ 495.29'

**COTERA+REED ARCHITECTS**

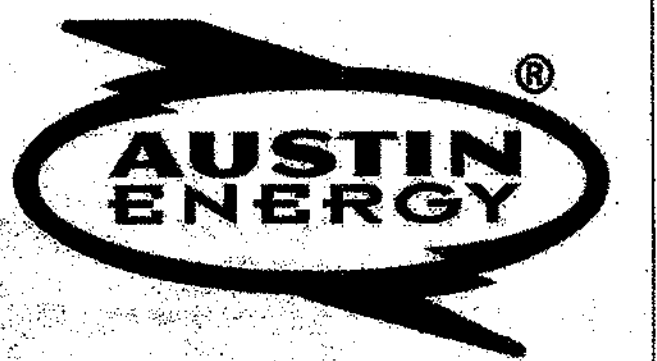
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512.472.3300  
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| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      |                                | SHEET 9 OF 34                      |                       |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPROVED BY COMMISSION ON: N/A | APPLICATION DATE: FEBRUARY 6, 2017 | UNDER SECTION: 112 OF |
| CHAPTER 25-6 OF THE CITY OF AUSTIN CODE                                                                                                                                                                                                                                                                                                 |                                |                                    |                       |
| EXPIRATION DATE (25-6-81, LDC): 3/31/21                                                                                                                                                                                                                                                                                                 | CASE MANAGER: NIKKI HOELTER    |                                    |                       |
| PROJECT EXPIRATION DATE (CED #570009A): N/A                                                                                                                                                                                                                                                                                             | OWPZ: DDZ: X                   |                                    |                       |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               |                                | ZONING: P (PUBLIC)                 |                       |
| RELEASED FOR GENERAL COMPLIANCE: 3/8/18                                                                                                                                                                                                                                                                                                 |                                |                                    |                       |
| Rev 1:                                                                                                                                                                                                                                                                                                                                  | Correction 1:                  |                                    |                       |
| Rev 2:                                                                                                                                                                                                                                                                                                                                  | Correction 2:                  |                                    |                       |
| Rev 3:                                                                                                                                                                                                                                                                                                                                  | Correction 3:                  |                                    |                       |
| Final plat must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                                |                                    |                       |

| REVISIONS |      |             |
|-----------|------|-------------|
| NO        | DATE | DESCRIPTION |
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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

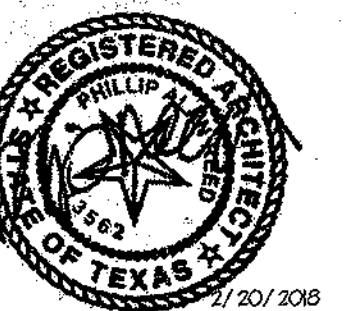
812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
TX Registered Engineering Firm #9-1843



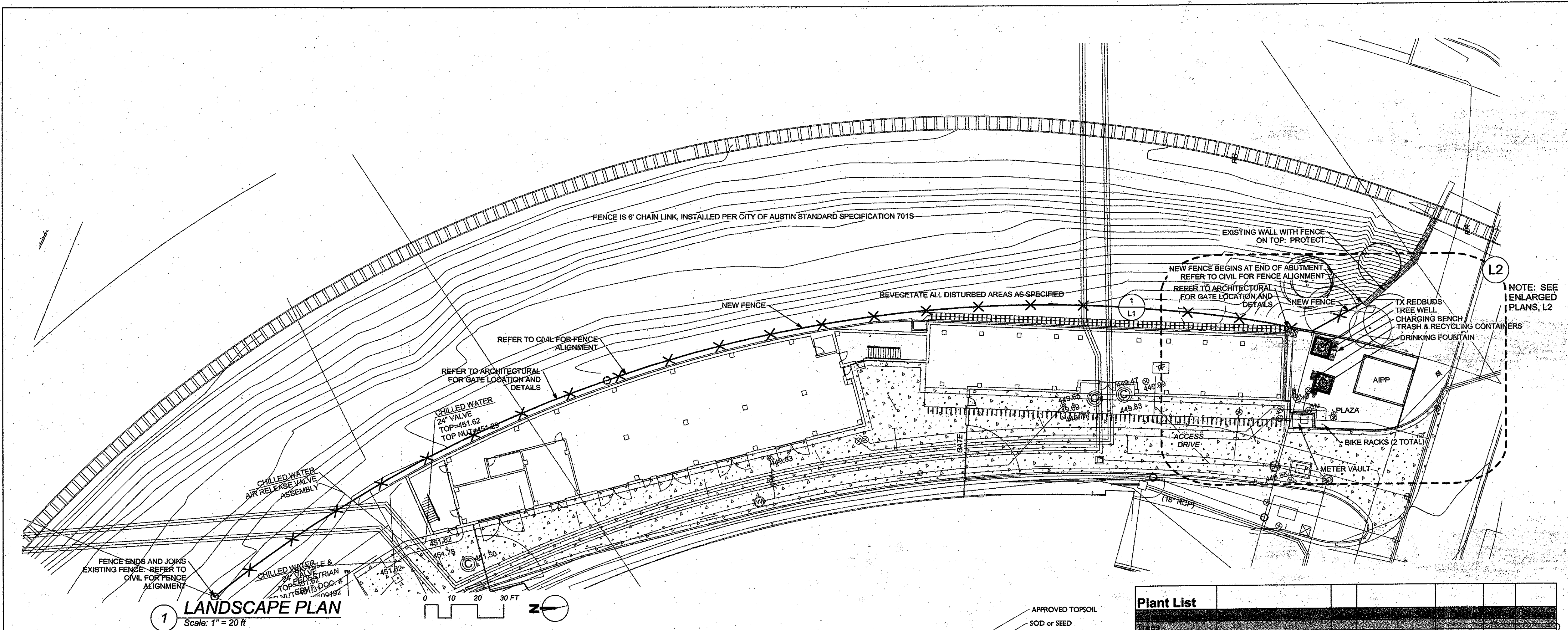
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeacn.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EPA Project No. 20140119



TITLE:  
**BUILDING SECTIONS  
AT CVC**

PROJECT NUMBER:  
DRAWN BY:  
CHECKED BY:  
DATE:

SHEET:  
**A3.01**  
9 OF 32



APPENDIX O LANDSCAPE / IRRIGATION NOTES

- Automatic irrigation systems shall comply with the following requirements. These requirements shall be noted on the Site Development Permit and shall be implemented as part of the landscape inspection:
- A new commercial and multi-family irrigation system must be designed and installed so that:
    - there is no direct overgraze onto non-irrigated areas;
    - the system does not include spray irrigation on areas less than six (6) feet wide (such as medians, buffer strips and parking lot islands);
    - above-ground irrigation emission devices are set back at least six (6) inches from impervious surfaces;
  - The irrigation system has a master valve;
    - circuits remote control valves have adjustable flow controls;
    - serviceable in-head check valves are adjacent to paved areas where elevation differences may cause low head drainage;
  - The irrigation system has a City-approved weather based controller;
    - an automatic rain shut-off device shuts off the irrigation system automatically after not more than one-half inch (1/2") of rainfall;
    - zone valves and circuits are separated based on plant water requirements;
    - an irrigation emission device (such as spray, rotor, or drip emitter) does not exceed the manufacturer's recommended operating pressure; and
    - no component of the irrigation system deviates from the manufacturer's recommended use of the product.
  - The maximum head spacing between spray or rotor sprinkler heads must not exceed the radius of throw of the head unless manufacturer of the sprinkler head specifically recommends a greater spacing. The radius of throw is determined by reference to the manufacturer's specifications for a specific nozzle at a specific operating pressure.
  - The irrigation installer shall develop and provide an as-built design plan and water budget to the City at the time the final plumbing inspection is performed. The water budget shall include:
    - a chart containing zone numbers, precipitation rate, and gallons per minute; and
    - the location of the emergency irrigation system shut-off valve. A laminated copy of the water budget shall be permanently installed inside the irrigation controller door.
  - The irrigation installer shall provide a report to the City on a form provided by the Austin Water Utility Department certifying compliance with Subsection 1 when the final plumbing inspection is performed by the City.

LANDSCAPE NOTES

- All landscaped areas are to be protected by six-inch wheel curbs, wheelstops or other approved barriers as per ECM 2.4-7.
- The OWNER will continuously maintain the required landscaping in accordance with LDC Section 25-2-404.
- Existing trees to be saved shall be protected by fencing before construction begins. No equipment or materials shall be stored or operated within the fenced-in areas. Fences shall be at the drip line and completely surround the tree or cluster of trees. No burning of debris cleaning fluids concrete spills, etc. will be permitted within these protected areas.
- Buffering of street yard will be accomplished through the combination of trees, shrubs, grade changes, fences, and/or vines.
- Grade changes that do not appear on the site plans shall be brought to the attention of the Landscape Architect by the General Contractor prior to construction.
- Trenching shall not occur within the fenced drip line of existing trees.
- Shrub material shall not exceed 36" o/c unless otherwise specified. Ground covers shall not exceed 18" o/c unless otherwise specified.
- Between March 15 and October 14, hydromulch shall be Annual or perennial rye, with a spring hydromulch application of 'Sahara' Bermuda, unless otherwise specified.
- Steel edging or other edging as specified in the landscape plans shall be placed at all groundcover beds that are adjacent to lawns.
- Not more than 50% of the trees and shrubs proposed are of the same species.
- An automatic irrigation system shall be installed.
- If establishing vegetation during any stage of a drought, Section 6-4-30 may require a variance. Contact Austin Water Conservation staff at [waterusecompar@cityofaustin.gov](mailto:waterusecompar@cityofaustin.gov) or call (512) 974-2199.
- The irrigation shall comply with City Code Chapter 6-4, Article 2, Division 2 regarding the City's water conservation restrictions.

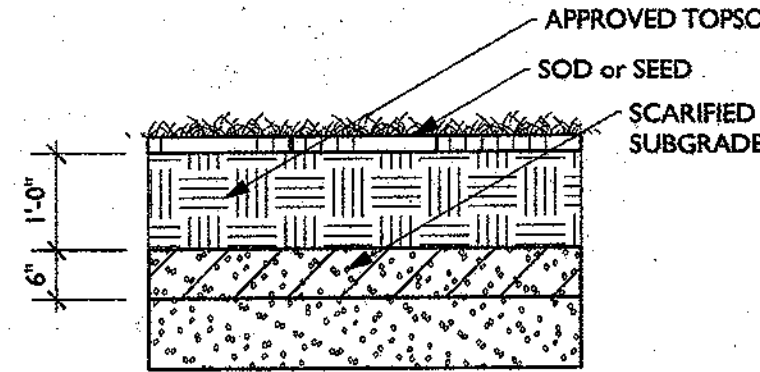
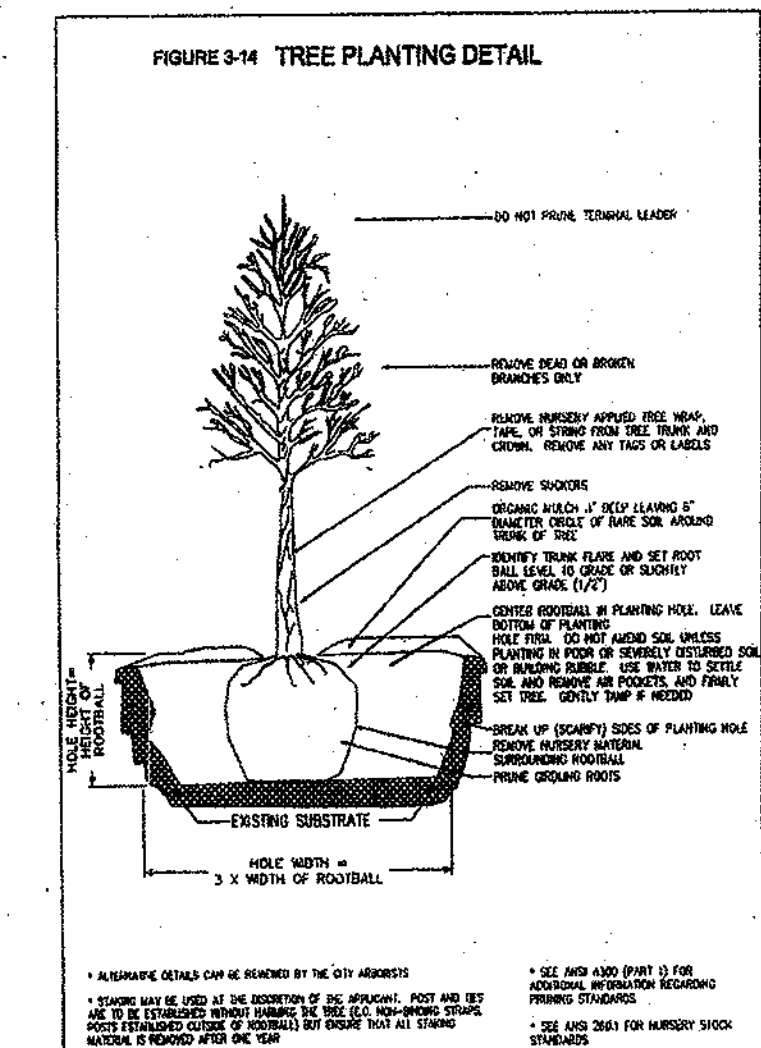
COA ECM APPENDIX P-4

Trees will be aerated and provided nutrients prior to any Construction Activity.

As a condition of final acceptance of the site, and in conformance with ECM section 3.5.4 all preserved trees within the limits of construction will be aerated and provided with supplemental nutrients per the following guidelines. Macro and MicroNutrients are required; humate / nutrient solutions with mycorrhizae components are highly recommended. These solutions are commonly utilized to provide remediation for trees affected by construction. Materials and methods are to be approved by the City Arborist (974-1876) prior to application. The owner or general contractor shall select a fertilization contractor and insure coordination with the City Arborist (974-1876).

Treatment is to commence prior to the beginning of construction activities and again after the completion of all construction. Areas to be treated include the entire critical root zone of trees as depicted on City approved plans. Trees are to be aerated by water injected into the soil (under pressure via a soil probe at 50-125 psi) or by other method as approved by WRDR. The proposed nutrient mix specifications need to be provided to and approved by the City Arborist prior to application (fax #974-3010). Applicants may also specify soil injection of Doggett X-L Injecto 32-7-7 or equivalent at recommended rates. Construction which will be completed in less than 30 days should use materials at 1/2 recommended rates. Alternative organic fertilizer materials are acceptable when approved by the City Arborist. Within 7 days after fertilization is performed, the contractor shall provide documentation of the work performed to the City Arborist, Watershed Protection and Development Review Dept: PO Box 1088, Austin TX 78767. This note should be reference as item #1 in the sequence of Construction.

Figure 3-14 Tree Planting Detail



1 L1 Scale: 1/2" = 1'-0"

LANDSCAPE CALCULATIONS

|                                          | REQUIRED       | PROVIDED    |
|------------------------------------------|----------------|-------------|
| <b>STREET YARD</b>                       |                |             |
| 1. Total Site Area                       |                | 26,136 SF   |
| 2. Total Street Yard Area                |                | 307 SF      |
| 3. Street Yard/Landscape Area (20%)      | 61 SF          | 72 SF       |
| <b>TREES (Street Yard)</b>               | 0 trees        | 0 trees     |
| Existing Tree Credit (2"-6")             |                | 0 trees     |
| Existing Tree Credit (>6") double credit |                | 0 trees     |
| 4. Proposed Street Yard Trees            |                | 0 trees     |
| <b>Replacement Trees</b>                 |                | (2)4" trees |
| Required caliper inches mitigated        | 22             | 8           |
| Islands, Medians, Peninsulas             | Not Applicable |             |
| 5. Street Yard                           |                |             |
| 6. Non-Street Yard                       |                |             |
| 7. BUFFERING POINTS REQUIRED(total)      | Not Applicable |             |

Plant List

| Tree         | Species                         | Cal. | Inch | AppF?   | Factor        | Condition | Repl. Inch |
|--------------|---------------------------------|------|------|---------|---------------|-----------|------------|
| Texas redbud | Carols canadensis var. texensis | 2    | 4"   | caliper | single leader | 10' min   | 6' min     |
| Total        |                                 | 2    |      |         |               |           |            |

| Removed?                                        | Tree # | Species    | Cal. | Inch | AppF? | Factor | Condition    | Repl. Inch |
|-------------------------------------------------|--------|------------|------|------|-------|--------|--------------|------------|
|                                                 | 401    | Chinaberry | 10   |      |       |        | invasive     | 0          |
|                                                 | 402    | Hackberry  | 8    |      | Yes   |        |              |            |
|                                                 | 403    | Chinaberry | 10   |      |       |        | invasive     | 0          |
| X                                               | 404    | Cottonwood | 9    |      | Yes   | 0.5    |              | 4.5        |
| X                                               | 405    | Hackberry  | 13   |      | Yes   | 0.5    |              | 6.5        |
| X                                               | 406    | Hackberry  | 14   |      | Yes   | 0.5    |              | 7          |
| X                                               | 407    | Hackberry  | 8    |      | Yes   | 0.5    |              | 4          |
| X                                               | 408    | Chinaberry | 9    |      |       |        | invasive     | 0          |
|                                                 | 409    | Chinaberry | 9    |      |       |        | invasive     | 0          |
|                                                 | 410    | Chinaberry | 10   |      |       |        | invasive     | 0          |
|                                                 | 411    | Chinaberry | 8    |      |       |        | invasive     | 0          |
|                                                 | 412    | Chinaberry | 8    |      |       |        | invasive     | 0          |
|                                                 | 413    | Hackberry  | 8    |      | Yes   |        | invasive     | 0          |
|                                                 |        |            | 124  |      |       |        | <b>TOTAL</b> | 22.00      |
| <b>Total Appendix F tree inches surveyed</b>    |        |            | 60   |      |       |        |              |            |
| <b>Total Appendix F tree inches removed</b>     |        |            | 44   |      |       |        |              |            |
| <b>Total Non-Appendix F tree inches removed</b> |        |            | 0    |      |       |        |              |            |
| <b>Total invasive tree inches removed</b>       |        |            | 9    |      |       |        |              |            |
| <b>Total mitigation inches planted on site</b>  |        |            | 8    |      |       |        |              |            |

INNOVATIVE WATER MANAGEMENT

|                           |                      |                                                           |
|---------------------------|----------------------|-----------------------------------------------------------|
| REQUIRED LANDSCAPE AREA   | 72 SF                |                                                           |
| PERCENT WATERED BY RUNOFF | 36 SF                |                                                           |
| <b>LANDSCAPE AREA</b>     | <b>DRAINAGE AREA</b> | <b>RATIO OF LANDSCAPE AREA TO DRAINAGE AREA (1.5 max)</b> |
| 36 SF                     | 150 SF               | 0.24                                                      |

City of Austin  
Copy ARC  
Carolyn Kelley, ASLA  
Landscape Architect  
512.445.0431  
512.857.1342 fax  
carolyn@ckla.net

I, Carolyn Kelley, Texas Landscape Architect #1407, certify that this plan meets the requirements of Chapter 25-2, Article 9 of the Land Development Code.  
Carolyn Kelley  
12-04-2017  
Date

SITE PLAN APPROVAL  
FILE NUMBER: SP-2017-0038C  
APPROVED BY COMMISSION ON: N/A  
CHAPTER 25-2 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC) 2021  
PROJECT EXPIRATION DATE (OED #9095-A) N/A  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/8/18  
ZONING: P (PUBLIC)  
Correction 1:  
Correction 2:  
Correction 3:  
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

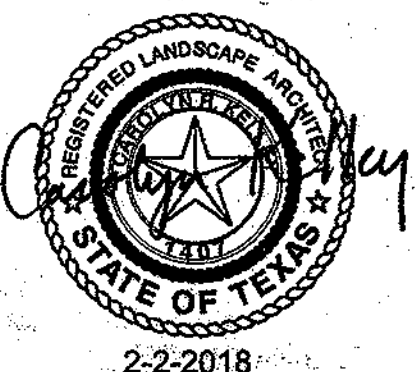
REVISIONS

| NO | DATE     | DESCRIPTION             |
|----|----------|-------------------------|
| 0  | 12-22-17 | ISSUED FOR CONSTRUCTION |
| 1  | 2-2-18   | Addendum 1              |

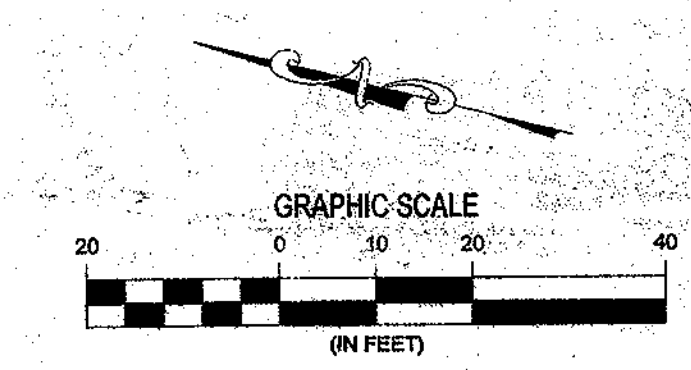
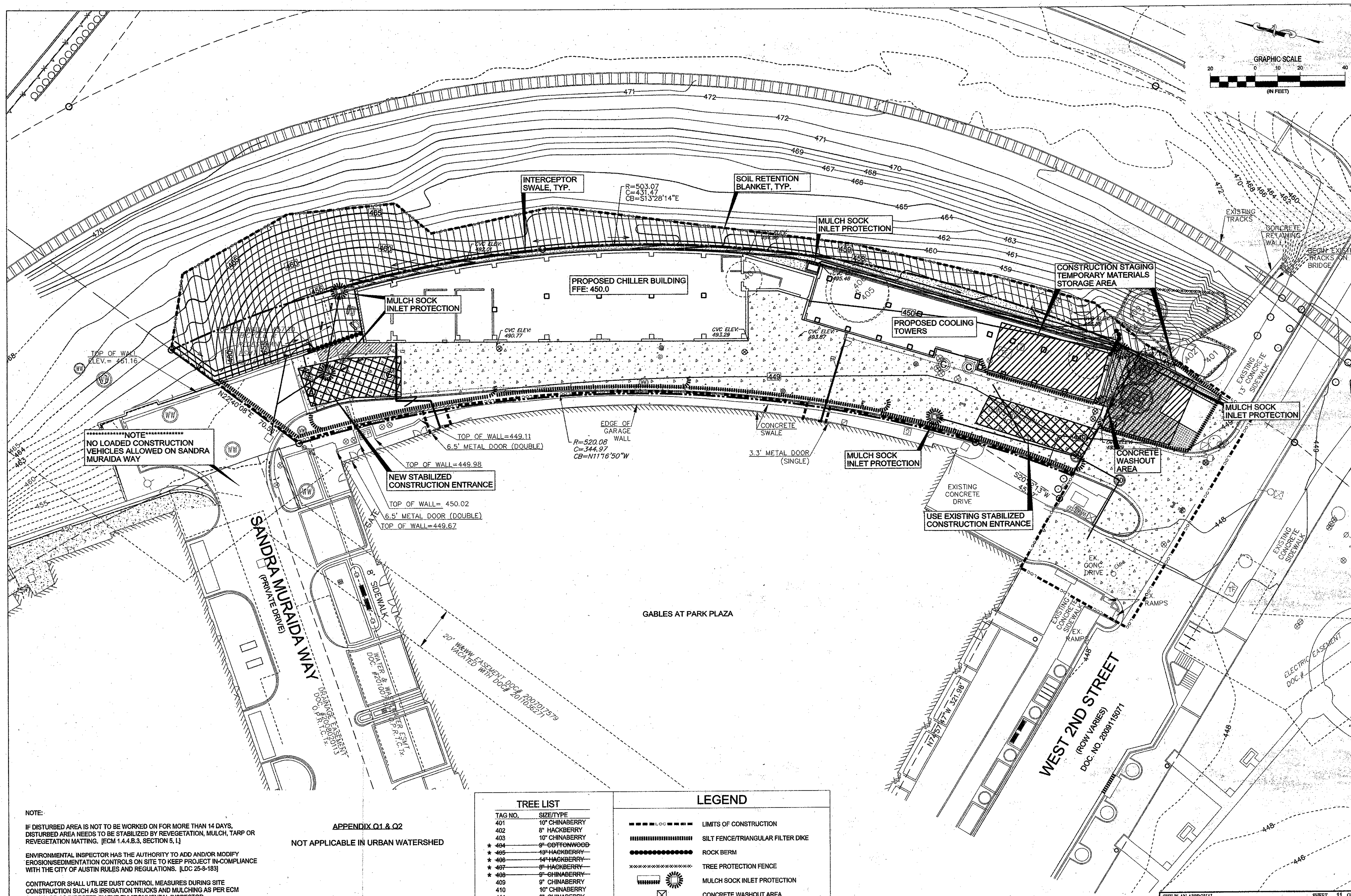
AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3

UDG  
Urban Design Group PC  
TX Registered Engineering Firm #1543  
3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.744.4400  
www.eeac.com

EEA  
6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeac.com  
State of Registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

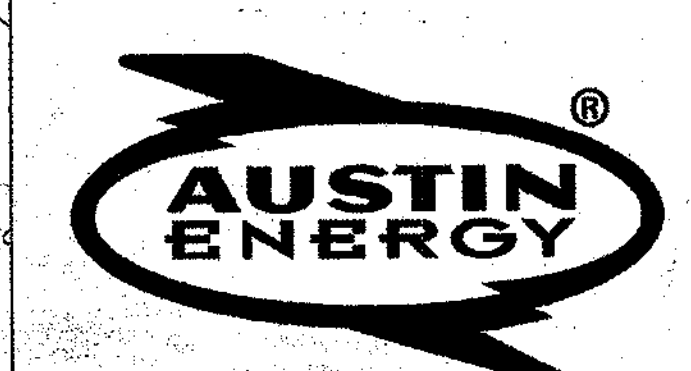


TITLE:  
LANDSCAPE  
SITE PLAN  
PROJECT NUMBER: DCP3  
DRAWN BY: CK  
CHECKED BY: PB  
DATE: 2-2-2018  
SHEET:  
L1  
10 OF 34



| REVISIONS |      |             |
|-----------|------|-------------|
| NO.       | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701



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512.347.0040  
Urban Design Group PC  
TX Registered Engineering Firm #9-1843

**EEA CONSULTING ENGINEERS**  
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Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
PROFESSIONAL ENGINEER  
2/20/2018

TITLE: **EROSION /  
SEDIMENTATION  
CONTROL & TREE  
PROTECTION PLAN**

PROJECT NUMBER: 15-843  
DRAWN BY: NTZCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET: **C1.3**  
11 OF 34

NOTE:  
IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. [ECM 1.4.4.B.3, SECTION 5, I]  
ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS. [LDC 25-8-183]  
CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.  
THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. [ECM 1.4.4.D.4]  
THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SEDIMENT TRANSPORTED FROM THE LOC TO THE OFFSITE DETENTION / WATER QUALITY POND(S).

APPENDIX Q1 & Q2  
NOT APPLICABLE IN URBAN WATERSHED

| TREE LIST                    |                |
|------------------------------|----------------|
| TAG NO.                      | SIZE/TYPE      |
| 401                          | 10" CHINABERRY |
| 402                          | 8" HACKBERRY   |
| 403                          | 10" CHINABERRY |
| * 404                        | 9" COTTONWOOD  |
| * 405                        | 13" HACKBERRY  |
| * 406                        | 14" HACKBERRY  |
| * 407                        | 8" HACKBERRY   |
| * 408                        | 9" CHINABERRY  |
| 409                          | 9" CHINABERRY  |
| 410                          | 10" CHINABERRY |
| 411                          | 8" CHINABERRY  |
| 412                          | 8" CHINABERRY  |
| 413                          | 8" HACKBERRY   |
| * DENOTES TREE TO BE REMOVED |                |

| LEGEND  |                                   |
|---------|-----------------------------------|
| ---     | LIMITS OF CONSTRUCTION            |
|         | SILT FENCE/TRIANGULAR FILTER DIKE |
| ●●●●●   | ROCK BERM                         |
| xxxxxxx | TREE PROTECTION FENCE             |
| ⊗       | MULCH SOCK INLET PROTECTION       |
| ⊠       | CONCRETE WASHOUT AREA             |
|         | SOIL RETENTION BLANKET (TYPE D)   |
| ▨       | STABILIZED CONSTRUCTION ENTRANCE  |
| ▧       | STAGING AREA                      |
| ○       | TREE TO BE REMOVED                |

SURVEY: BOUNDARY AND TOPOGRAPHIC  
SURVEY OF DISTRICT COOLING  
PLANT NO. 3 BY MACIAS &  
ASSOCIATES, L.P., DATED, 11/12/2015

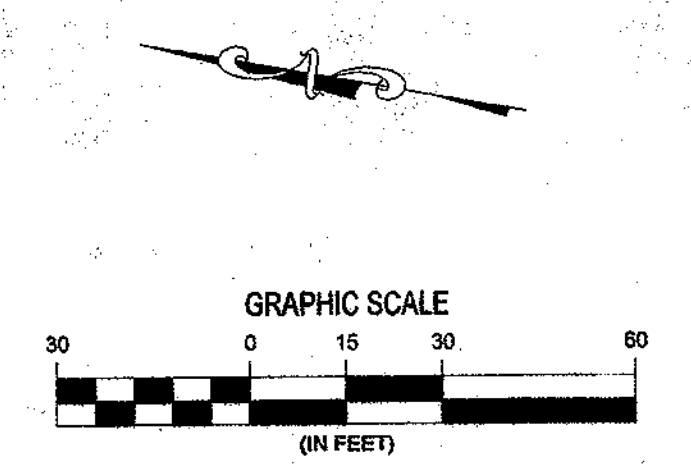
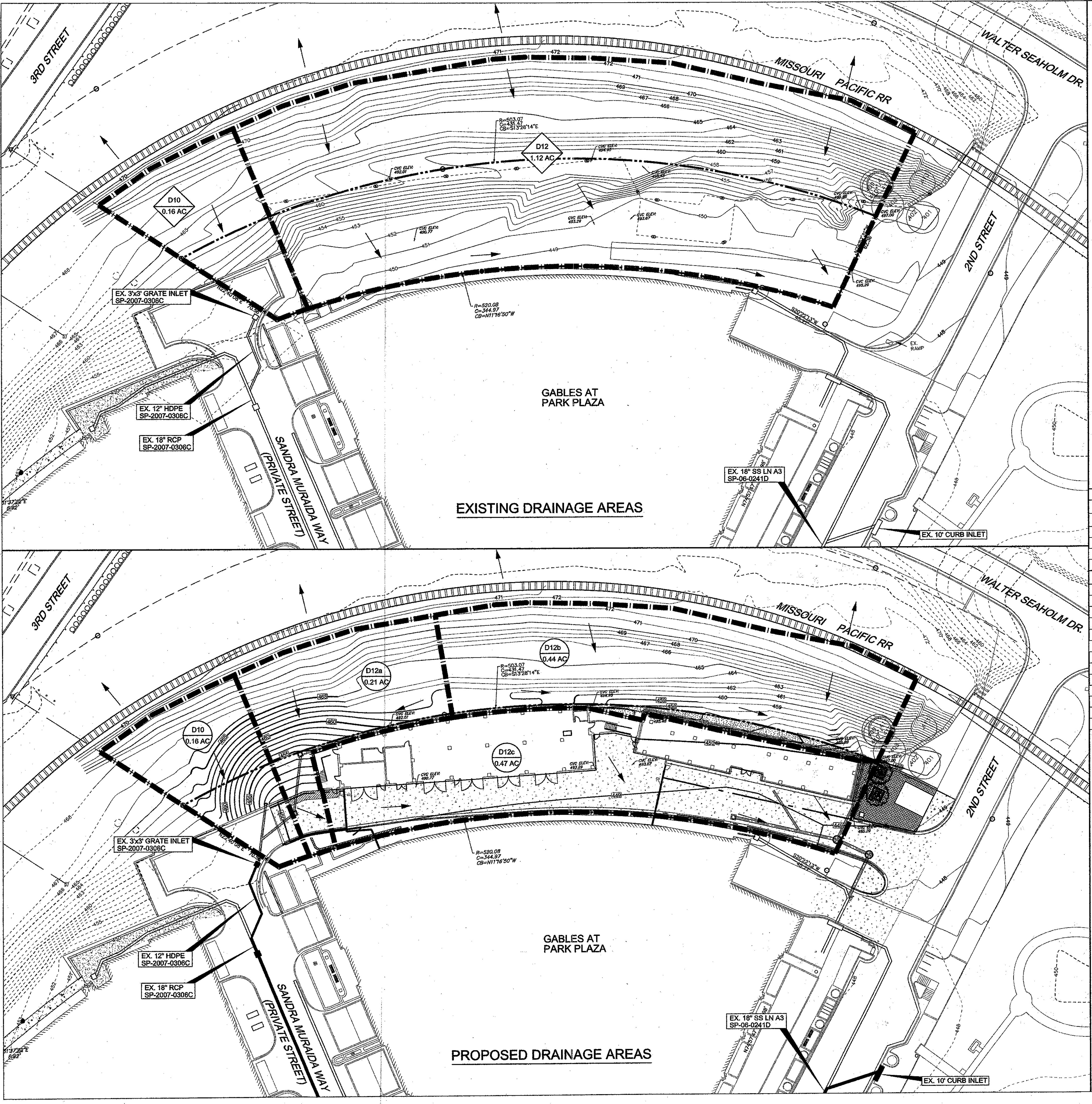
City of Austin  
Copy ARC

SITE PLAN APPROVAL  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC): 3/31/21 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #97095-A): N/A DWZ: DDZ: X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/1/18 ZONING: P (PUBLIC)  
Reg. 1: Correction 1:  
Reg. 2: Correction 2:  
Reg. 3: Correction 3:  
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

S:\Projects\Downtown District Cooling Plant No. 3 - 15-843\CAD\Plans\Site Plan\Sheets\11-DCP3-ESC.dgn 2/20/2018







- LEGEND**
- EXISTING DRAINAGE AREA
  - EXISTING DRAINAGE AREA
  - PROPOSED DRAINAGE AREA
  - PROPOSED DRAINAGE AREA
  - EXISTING STORM SEWER PIPE

| Existing Drainage Area Calculations |      |             |            |      |                    |                    |                    |                    |
|-------------------------------------|------|-------------|------------|------|--------------------|--------------------|--------------------|--------------------|
| Basin                               | Area | CN weighted | Impervious | ToC  | Q <sup>2</sup>     | Q <sup>10</sup>    | Q <sup>25</sup>    | Q <sup>100</sup>   |
|                                     | ac.  | -           | %          | min. | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s |
| Ex D10                              | 0.16 | 81.1        | 6          | 5    | 0.4                | 1.0                | 1.2                | 1.7                |
| Ex D12                              | 1.12 | 80.0        | 0          | 5    | 2.6                | 6.6                | 8.6                | 11.6               |

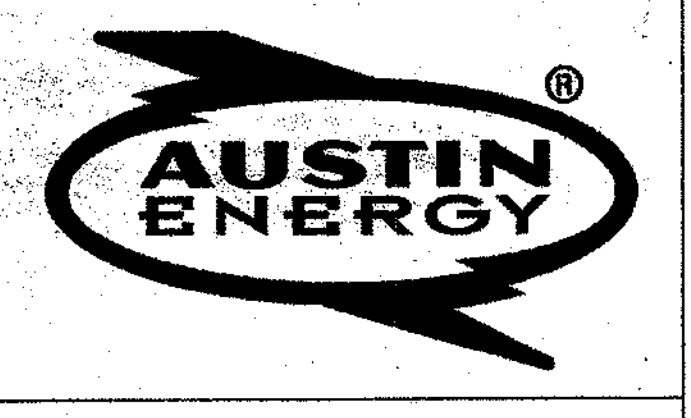
| Proposed Drainage Area Calculations |      |             |            |      |                    |                    |                    |                    |
|-------------------------------------|------|-------------|------------|------|--------------------|--------------------|--------------------|--------------------|
| Basin                               | Area | CN weighted | Impervious | ToC  | Q <sup>2</sup>     | Q <sup>10</sup>    | Q <sup>25</sup>    | Q <sup>100</sup>   |
|                                     | ac.  | -           | %          | min. | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s |
| Pr D10                              | 0.16 | 82.3        | 13         | 5    | 0.4                | 1.0                | 1.3                | 1.7                |
| Pr D12a                             | 0.21 | 80.9        | 5          | 5    | 0.5                | 1.3                | 1.6                | 2.2                |
| Pr D12b                             | 0.44 | 80.0        | 0          | 5    | 1.0                | 2.6                | 3.4                | 4.6                |
| Pr D12c                             | 0.47 | 97.2        | 96         | 5    | 2.1                | 3.6                | 4.4                | 5.5                |

| Comparison of Q that drains through the Gables |     |     |     |     |
|------------------------------------------------|-----|-----|-----|-----|
| Ex D10                                         | 0.4 | 1.0 | 1.2 | 1.7 |
| Pr D10                                         | 0.4 | 1.0 | 1.3 | 1.7 |

| Comparison of Q that drains to 2nd Street |     |     |     |      |
|-------------------------------------------|-----|-----|-----|------|
| Ex D12                                    | 2.6 | 6.6 | 8.6 | 11.6 |
| Pr - D12a+D12b+D12c                       | 3.6 | 7.5 | 9.4 | 12.3 |

| REVISIONS |      |             |
|-----------|------|-------------|
| NO        | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
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|           |      |             |
|           |      |             |
|           |      |             |

**AUSTIN ENERGY**  
**DISTRICT COOLING**  
**PLANT NO. 3**  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
Urban Design Group PC  
TX Registered Engineering Firm #2-1943

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Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eea.com  
State of registration: TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
LICENSED PROFESSIONAL ENGINEER  
2/20/2018

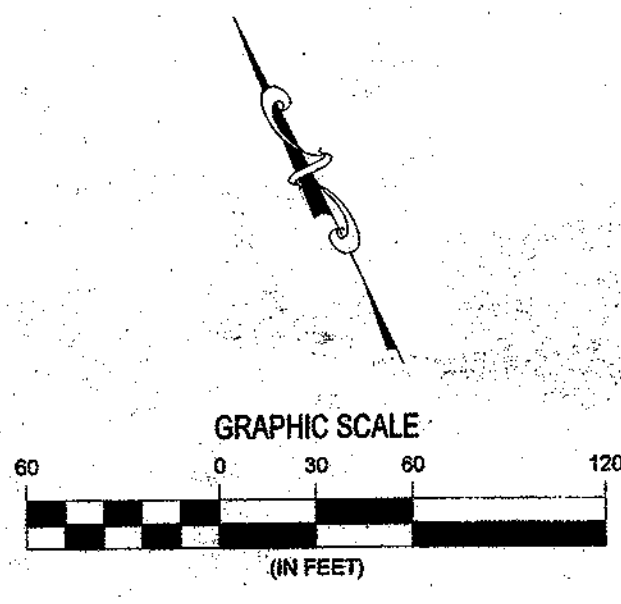
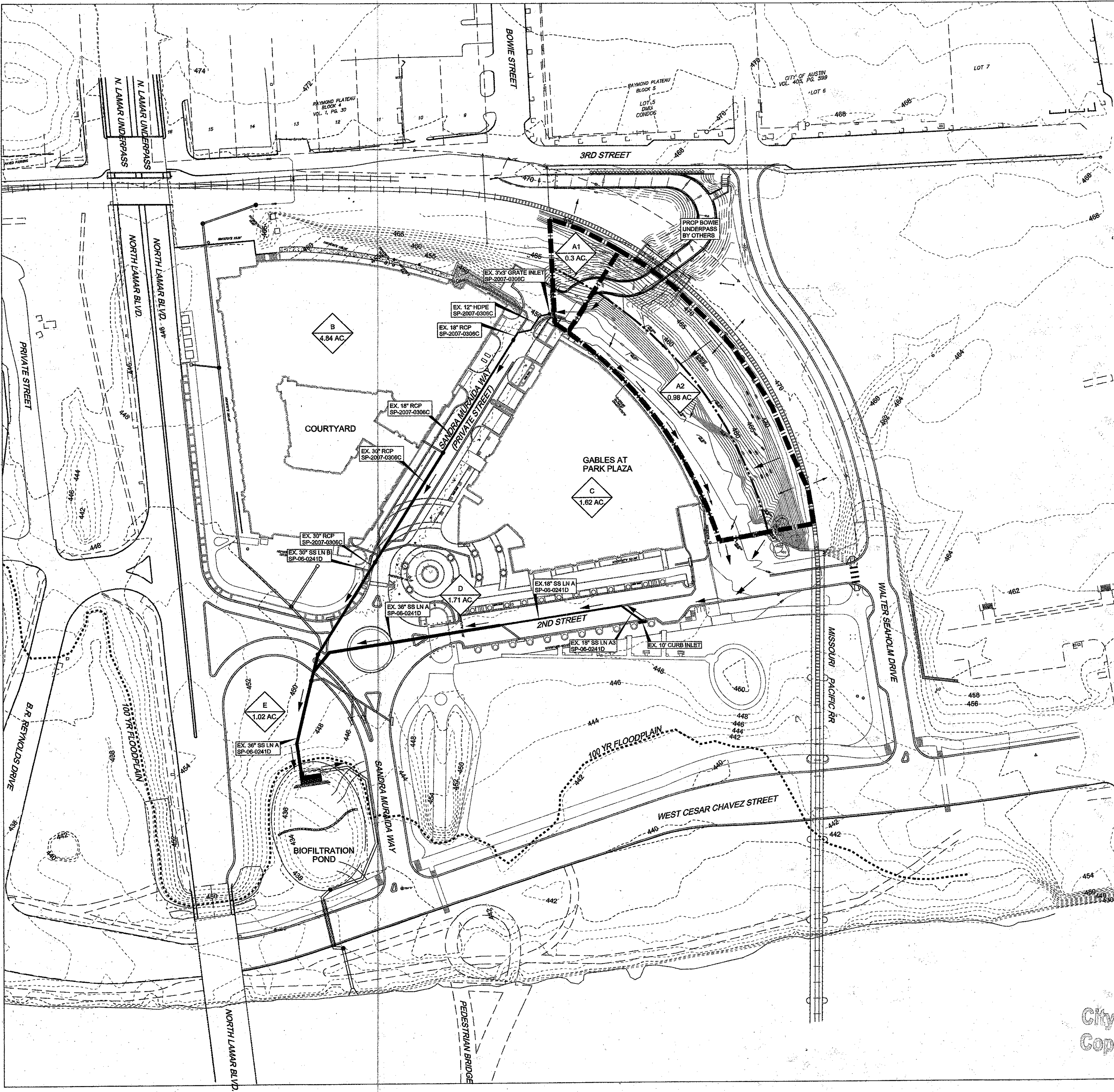
**EXISTING & PROPOSED DRAINAGE AREA MAPS**

PROJECT NUMBER: 16-843  
DRAWN BY: NIT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET: **C1.6**  
14 OF 34

SITE PLAN APPROVAL SHEET 14 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-81, LDC 2012) CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #4094-A) N/A DWZ DOZ X  
Director, Development Services Department 3/8/18 ZONING: P (PUBLIC)  
RELEASED FOR GENERAL COMPLIANCE: 3/8/18  
Rev.1: Correction 1:  
Rev.2: Correction 2:  
Rev.3: Correction 3:  
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

City of Austin  
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| Existing Drainage Area Calculations |      |      |            |      |                    |                    |                    |                    |  |
|-------------------------------------|------|------|------------|------|--------------------|--------------------|--------------------|--------------------|--|
| Basin                               | Area | CN   | Impervious | ToC  | Q <sup>2</sup>     | Q <sup>10</sup>    | Q <sup>25</sup>    | Q <sup>100</sup>   |  |
|                                     | ac.  |      | %          | min. | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s |  |
| A1                                  | 0.3  | 84.2 | 23         | 5    | 0.9                | 1.9                | 2.4                | 3.2                |  |
| A2                                  | 0.98 | 80.0 | 0          | 5    | 2.3                | 5.8                | 7.5                | 10.1               |  |
| B                                   | 4.84 | 92.8 | 71         | 5    | 19.3               | 35.1               | 43.0               | 55.2               |  |
| C                                   | 1.62 | 96.4 | 91         | 5    | 7.2                | 12.4               | 14.9               | 19.0               |  |
| D                                   | 1.71 | 93.6 | 75         | 5    | 7.0                | 12.5               | 15.3               | 19.6               |  |
| E                                   | 1.02 | 80.0 | 0          | 5    | 2.4                | 6.0                | 7.8                | 10.5               |  |
| Total Existing Flow                 |      |      |            |      | 38.9               | 73.6               | 90.7               | 117.6              |  |

| Developed Drainage Area Calculations |      |      |            |      |                    |                    |                    |                    |  |
|--------------------------------------|------|------|------------|------|--------------------|--------------------|--------------------|--------------------|--|
| Basin                                | Area | CN   | Impervious | ToC  | Q <sup>2</sup>     | Q <sup>10</sup>    | Q <sup>25</sup>    | Q <sup>100</sup>   |  |
|                                      | ac.  |      | %          | min. | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s |  |
| Pr A1                                | 0.3  | 84.2 | 23         | 5    | 0.9                | 1.9                | 2.4                | 3.2                |  |
| Pr A2a                               | 0.23 | 98.0 | 100        | 5    | 1.1                | 1.8                | 2.2                | 2.7                |  |
| Pr A2b                               | 0.75 | 85.8 | 32         | 5    | 2.3                | 4.9                | 6.1                | 8.1                |  |
| B                                    | 4.84 | 92.8 | 71         | 5    | 19.3               | 35.1               | 43.0               | 55.2               |  |
| C                                    | 1.62 | 96.4 | 91         | 5    | 7.2                | 12.4               | 14.9               | 19.0               |  |
| D                                    | 1.71 | 93.6 | 75         | 5    | 7.0                | 12.5               | 15.3               | 19.6               |  |
| E                                    | 1.02 | 80.0 | 0          | 5    | 2.4                | 6.0                | 7.8                | 10.5               |  |
| Total Proposed Flow                  |      |      |            |      | 40.0               | 74.5               | 91.6               | 118.3              |  |

|                   |  |  |  |  |      |      |      |       |  |
|-------------------|--|--|--|--|------|------|------|-------|--|
| Existing          |  |  |  |  | 38.9 | 73.6 | 90.7 | 117.6 |  |
| Proposed-Existing |  |  |  |  | 1.1  | 0.9  | 0.9  | 0.7   |  |

|                                                |  |  |  |  |      |      |      |      |  |
|------------------------------------------------|--|--|--|--|------|------|------|------|--|
| Comparison of Q that drains through the Gables |  |  |  |  |      |      |      |      |  |
| Ex A1                                          |  |  |  |  | 19.3 | 35.1 | 43.0 | 55.2 |  |
| Pr A1                                          |  |  |  |  | 0.0  | 0.0  | 0.0  | 0.0  |  |

|                                           |  |  |  |  |      |      |      |       |  |
|-------------------------------------------|--|--|--|--|------|------|------|-------|--|
| Comparison of Q that drains to 2nd Street |  |  |  |  |      |      |      |       |  |
| Ex A2                                     |  |  |  |  | 7.2  | 12.4 | 14.9 | 19.0  |  |
| Pr A2b                                    |  |  |  |  | 38.9 | 73.6 | 90.7 | 117.6 |  |

Note: Pr A2a Q is captured in stormwater tanks and reused on site

|                             |  |  |  |  |     |     |     |     |  |
|-----------------------------|--|--|--|--|-----|-----|-----|-----|--|
| Approved Plan SP-2007-0306C |  |  |  |  | 2.5 | 4.1 | 5.4 | 7.6 |  |
|-----------------------------|--|--|--|--|-----|-----|-----|-----|--|

- LEGEND
- EXISTING DRAINAGE AREA
  - EXISTING DRAINAGE AREA
  - 100-YEAR FULLY DEVELOPED FLOOD PLAIN
  - STORM SEWER PIPE

SITE PLAN APPROVAL SHEET 15 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (2-5-31, LDC 3881) CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (02/29/2025) N/A DWG: DOZ X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 2/6/18 ZONING: P (PUBLIC)  
Rev. 1: Correction 1:  
Rev. 2: Correction 2:  
Rev. 3: Correction 3:  
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

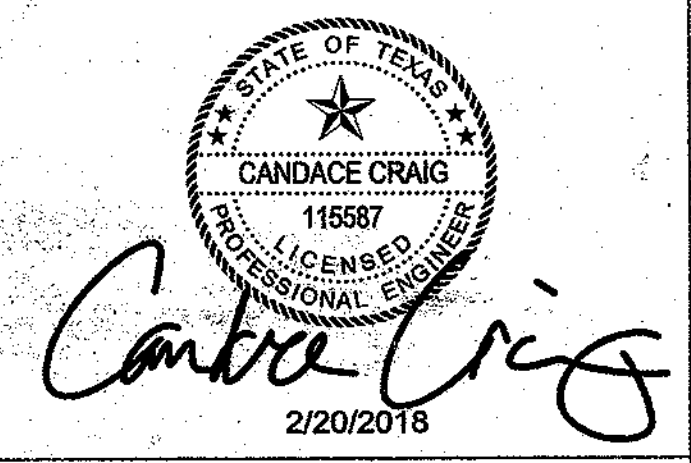
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AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701



UDG 3660 Stoneridge Road Suite E101 Austin, TX 78746 512.744.4400 main - 512.744.4444 fax www.udg.com  
Urban Design Group PC  
TX Registered Engineering Firm #E-1543

EEA CONSULTING ENGINEERS  
6615 Vaught Ranch Road, Suite 200 Austin, Texas 78730-2314 USA 512.744.4400 main - 512.744.4444 fax www.eea.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

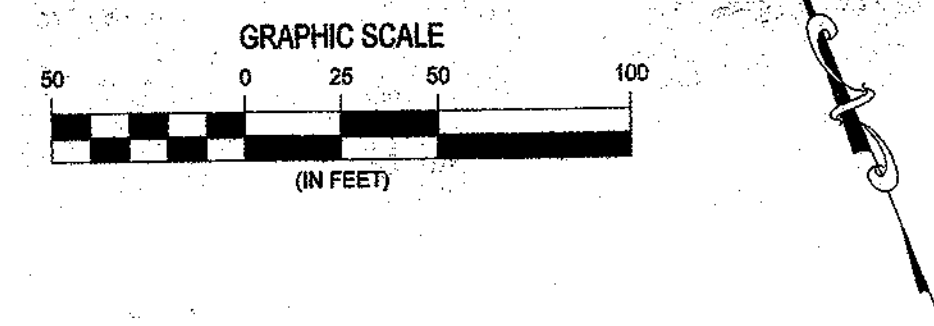


TITLE:  
OVERALL DRAINAGE AREA MAP - EXISTING

PROJECT NUMBER: 15-843  
DRAWN BY: NITGC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
C1.7  
15 OF 34

City of Austin  
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- LEGEND**
- PROPOSED DRAINAGE AREA
  - 2B  
- AC. PROPOSED DRAINAGE AREA
  - 100-YEAR FULLY DEVELOPED FLOOD PLAIN
  - === STORM SEWER PIPE

**SITE AREA:** 0.595 ACRES (25,932 SF)

**WATER QUALITY CALCULATIONS:**

EXISTING BIOFILTRATION POND (SAND BEACH IMPROVEMENTS SP-06-0241D)  
TOTAL DRAINAGE AREA TO POND = 12.4 ACRES  
DESIGN DRAINAGE AREA IMPERVIOUS COVER = 71%

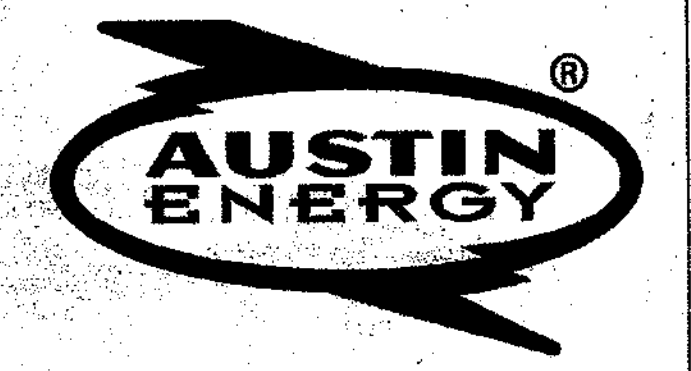
GABLES PARK PLAZA MASTER AGREEMENT (EXHIBIT D & E)  
SUB DRAINAGE AREA TO POND = 2.36 ACRES  
DESIGN SUB DRAINAGE AREA IMPERVIOUS COVER = 42.4%/1.0 ACRES

EXISTING SUB DRAINAGE AREA IMPERVIOUS COVER = 2.6%/0.08 ACRES  
PROPOSED SUB DRAINAGE AREA IMPERVIOUS COVER = 25.8%/0.6 ACRES  
EXISTING GABLES FIRE TURN AROUND = 0.06 ACRES  
PROPOSED BOWIE STREET UNDERPASS = 0.08 ACRES  
EX. GABLES FIRE TURN AROUND = 0.47 ACRES

|                                                                                                                                                                                                                                                                                                                                         |                                                              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|
| SHEET 16 OF 34                                                                                                                                                                                                                                                                                                                          |                                                              |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPLICATION DATE: FEBRUARY 6, 2017                           |
| APPROVED BY COMMISSION ON: N/A                                                                                                                                                                                                                                                                                                          | UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE |
| EXPIRATION DATE (25-5-81, LDC) 2/6/21                                                                                                                                                                                                                                                                                                   | CASE MANAGER: NIKKI HOELTER                                  |
| PROJECT EXPIRATION DATE (02/09/2025-A) N/A                                                                                                                                                                                                                                                                                              | DWTP DDZ X                                                   |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               | ZONING: P (PUBLIC)                                           |
| RELEASED FOR GENERAL COMPLIANCE: 3/8/18                                                                                                                                                                                                                                                                                                 |                                                              |
| Rev 1: Correction 1:                                                                                                                                                                                                                                                                                                                    |                                                              |
| Rev 2: Correction 2:                                                                                                                                                                                                                                                                                                                    |                                                              |
| Rev 3: Correction 3:                                                                                                                                                                                                                                                                                                                    |                                                              |
| Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                                                              |

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**AUSTIN ENERGY**  
**DISTRICT COOLING**  
**PLANT NO. 3**  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
**Urban Design Group PC**  
TX Registered Engineering Firm #E-1945

**EEEA CONSULTING ENGINEERS**  
6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeeca.com  
State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

**Candace Craig**  
2/20/2018

TITLE:  
**OVERALL DRAINAGE AREA MAP - PROPOSED TO BIOFILTRATION POND**

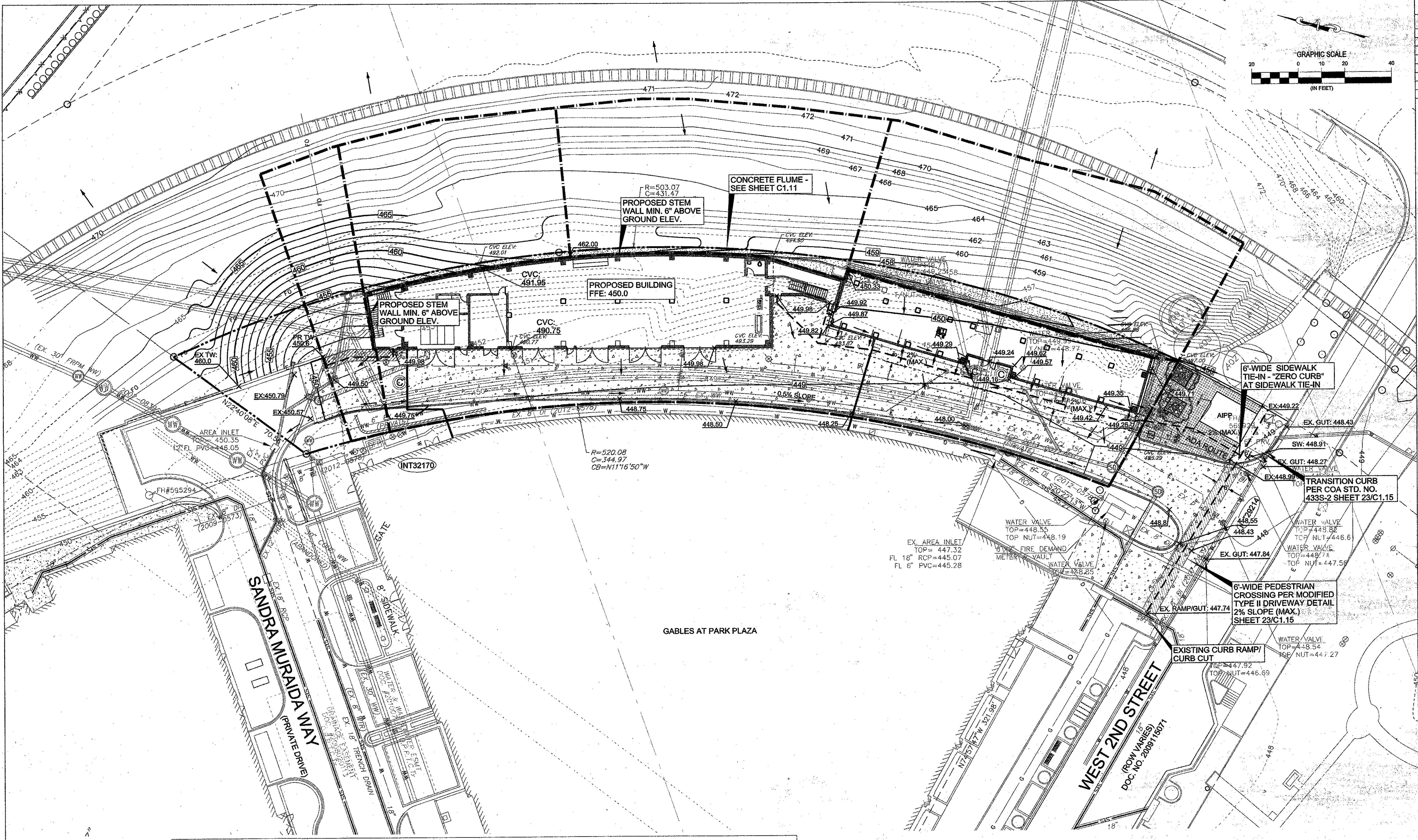
PROJECT NUMBER: 15-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
**C1.8**  
16 OF 34

LADY BIRD LAKE  
City of Austin  
Copy ARC

S:\Projects\Downtown District Cooling Plant No. 3 - 15-843\CAD\Plans\Site Plan\Sheet16-DCP-e-WQ.dgn 2/20/2018

SP-2017-0038C



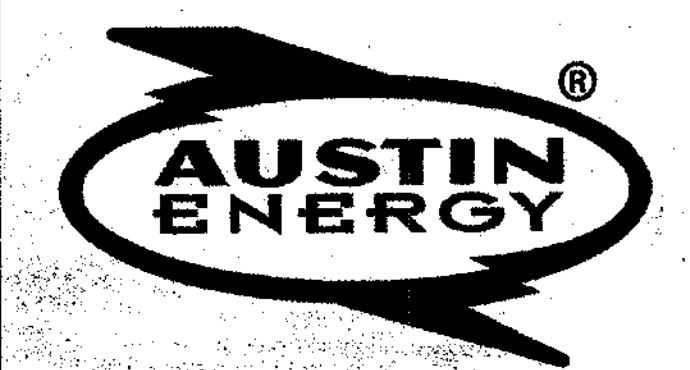
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AUSTIN ENERGY

DISTRICT COOLING

PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #1141

**EEA CONSULTING ENGINEERS**  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
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www.eeacoe.com  
State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
PROFESSIONAL ENGINEER  
2/20/2018

TITLE: GRADING PLAN

PROJECT NUMBER: 15-843

DRAWN BY: NT/CC

CHECKED BY: CC

DATE: 2/20/2018

SHEET: C1.10

18 OF 34

| LEGEND |                                                                          |  |                                      |
|--------|--------------------------------------------------------------------------|--|--------------------------------------|
|        | SURVEY CONTROL POINT                                                     |  | BOLLARD/POST                         |
|        | 1/2" IRON ROD FOUND                                                      |  | SIGN                                 |
|        | 1/2" IRON ROD W/ PLASTIC CAP STAMPED "CITY OF AUSTIN PUBLIC WORKS" FOUND |  | TREE WITH TAG NO.                    |
|        | 1/2" IRON ROD WITH PLASTIC CAP STAMPED "MACIAS LP RPLS 4333" SET         |  | CHAIN LINK FENCE                     |
|        | CALCULATED POINT                                                         |  | WATER METER                          |
|        | PROPERTY LINE                                                            |  | WATER VALVE                          |
|        | ADJOINING PROPERTY LINE                                                  |  | BACKFLOW PREVENTER                   |
|        | EASEMENT                                                                 |  | FIRE HYDRANT                         |
|        | CHILLED WATER LINE                                                       |  | GAS METER                            |
|        | CHILLED WATER MANHOLE                                                    |  | GAS VALVE                            |
|        | WASTEWATER CLEANOUT                                                      |  | GAS LINE                             |
|        | WASTEWATER MANHOLE                                                       |  | ELECTRIC LINE                        |
|        | WASTEWATER LINE                                                          |  | STORM SEWER LINE                     |
|        | LIGHT POLE                                                               |  | STORM SEWER INLET                    |
|        | POWER POLE                                                               |  | CAPITOL VIEW CORRIDOR                |
|        | ELECTRIC MANHOLE                                                         |  | CAPITOL VIEW CORRIDOR SPOT ELEVATION |
|        | ELECTRIC METER                                                           |  | FIBERGLASS REINFORCED PLASTIC MORTAR |
|        | ELECTRIC PULLBOX                                                         |  | GEOTECHNICAL BOREHOLE                |
|        | ELECTRIC TRANSFORMER                                                     |  | COLUMN                               |
|        | RAILROAD                                                                 |  | RETAINING WALL                       |
|        | ELECTRIC MANHOLE & DUCTBANK                                              |  | PROPOSED CONTOUR                     |
|        | PROPOSED CONTOUR                                                         |  | EXISTING CONTOUR                     |
|        | FLOW ARROW                                                               |  |                                      |

- SITE ACCESSIBILITY NOTES:
- SITE GRADING SHALL COMPLY WITH THE TEXAS ACCESSIBILITY STANDARDS EXISTING AT THE TIME OF PLAN APPROVAL. GRADING SHOWN ON THE PLANS IS INTENDED TO COMPLY WITH SUCH STANDARDS AND SHOULD THE CONTRACTOR DETERMINE THAT COMPLIANCE WITH THE STANDARDS IS NOT CONSISTENT WITH THE SITE PLAN OR ELEVATIONS, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR A REMEDY.
- ACCESSIBLE ROUTES (SIDEWALKS, PATHS, ETC)
1. RUNNING SLOPES SHALL NOT EXCEED 1:20 (5%) OTHER THAN FOR RAMPS.
  2. CROSS SLOPE SHALL NOT EXCEED 1:50 (2%).
  3. GROUND SURFACES SHALL BE RELATIVELY FIRM, STABLE AND SMOOTH. GRANITE PATHS WHERE SHOWN ON THE PLANS SHALL BE SUFFICIENTLY COMPACTED.
  4. CHANGES IN LEVEL SHALL NOT EXCEED 1/2" - 1/2" CHANGE IN LEVEL MUST HAVE A BEVELED EDGE OF 1/2" - 1/4" CHANGE IN LEVEL OR LESS DOES NOT HAVE TO PROVIDE A BEVELED EDGE.
  5. MANEUVERING CLEARANCE (60") AT ACCESSIBLE ENTRANCES SHALL NOT EXCEED 1:50 (2% SLOPE).
  6. A 60" X 60" PASSING SPACE SHALL BE PROVIDED EVERY 200' ALONG AN ACCESSIBLE ROUTE.

SITE PLAN APPROVAL

FILE NUMBER: SP-2017-0038C

APPROVED BY COMMISSION ON: N/A

CHAPTER 25-5 OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-5-81, LDC): 3/31/21

PROBATION DATE (25-5-81, LDC): N/A

CASE MANAGER: NIKKI HOELTER

DATE: 2/20/2018

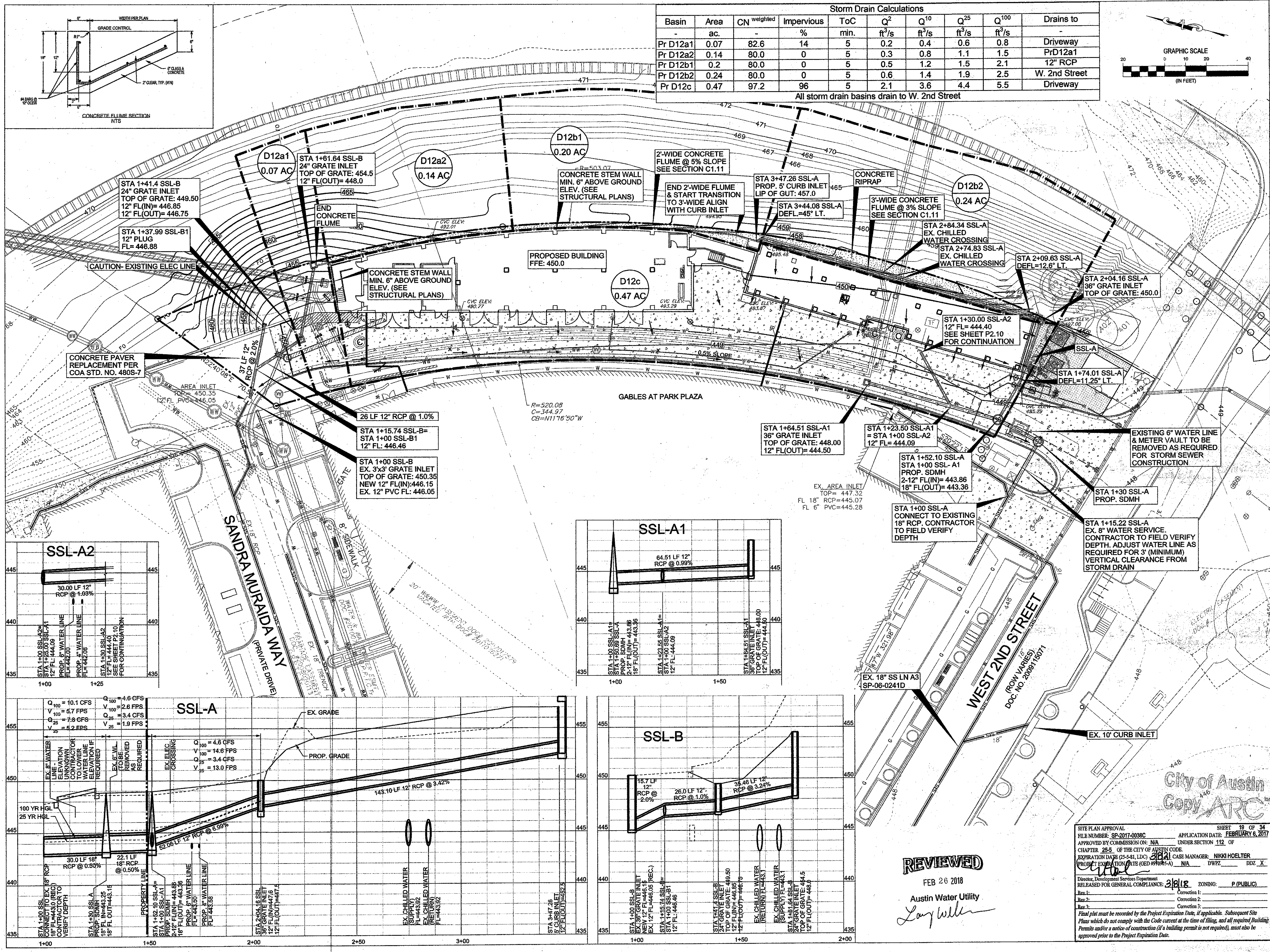
ZONING: P (PUBLIC)

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: 2/20/18

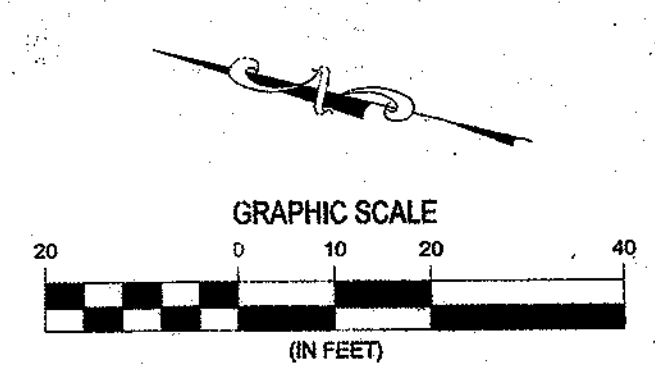
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S:\Projects\District Cooling Plant No. 3 - 15-843\CD\Plans\Site Plan\Sheet18-DCPP-GRD.dgn



| Storm Drain Calculations |      |             |            |      |                    |                    |                    |                    |               |
|--------------------------|------|-------------|------------|------|--------------------|--------------------|--------------------|--------------------|---------------|
| Basin                    | Area | CN weighted | Impervious | ToC  | Q <sup>2</sup>     | Q <sup>10</sup>    | Q <sup>25</sup>    | Q <sup>100</sup>   | Drains to     |
| -                        | ac.  | -           | %          | min. | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | ft <sup>3</sup> /s | -             |
| Pr D12a1                 | 0.07 | 82.6        | 14         | 5    | 0.2                | 0.4                | 0.6                | 0.8                | Driveway      |
| Pr D12a2                 | 0.14 | 80.0        | 0          | 5    | 0.3                | 0.8                | 1.1                | 1.5                | PrD12a1       |
| Pr D12b1                 | 0.2  | 80.0        | 0          | 5    | 0.5                | 1.2                | 1.5                | 2.1                | 12" RCP       |
| Pr D12b2                 | 0.24 | 80.0        | 0          | 5    | 0.6                | 1.4                | 1.9                | 2.5                | W. 2nd Street |
| Pr D12c                  | 0.47 | 97.2        | 96         | 5    | 2.1                | 3.6                | 4.4                | 5.5                | Driveway      |

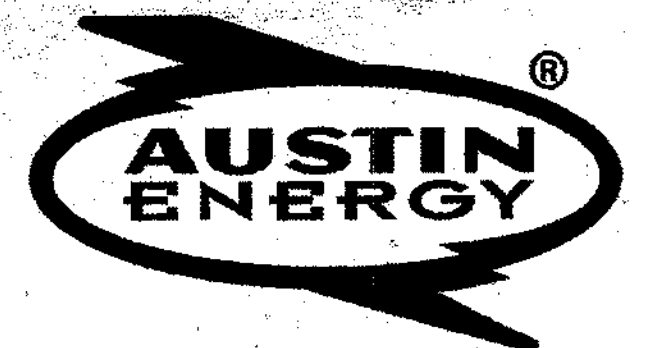
All storm drain basins drain to W. 2nd Street



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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #P-1943

**EEA CONSULTING ENGINEERS**  
6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main • 512.744.4444 fax  
www.eeac.com

State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

**Candace Craig**  
2/20/2018  
LICENSED PROFESSIONAL ENGINEER  
115587

**STORM DRAINAGE PLAN**

PROJECT NUMBER: 15-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

**SHEET: C1.11**  
19 OF 34

**REVIEWED**  
FEB 26 2018  
Austin Water Utility  
Lay Wilkins

**City of Austin**  
Copy ARC

**STORM DRAINAGE PLAN**

SHEET 19 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-61, LDC) 3/31/21 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #9905-A) N/A DWG: DDZ\_X

Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/18/18 ZONING: P (PUBLIC)

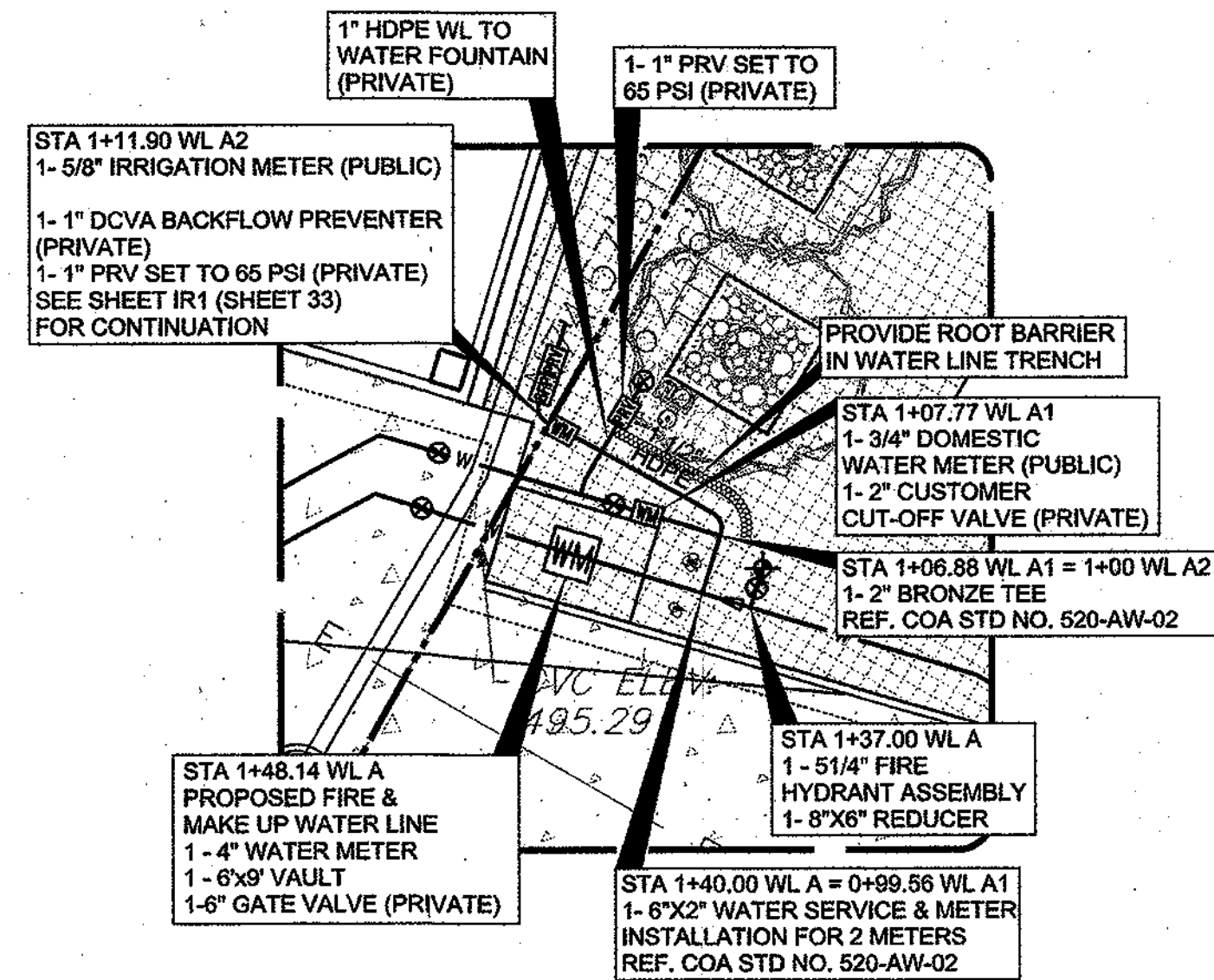
Revised: Correction 1: \_\_\_\_\_  
Revised: Correction 2: \_\_\_\_\_  
Revised: Correction 3: \_\_\_\_\_

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

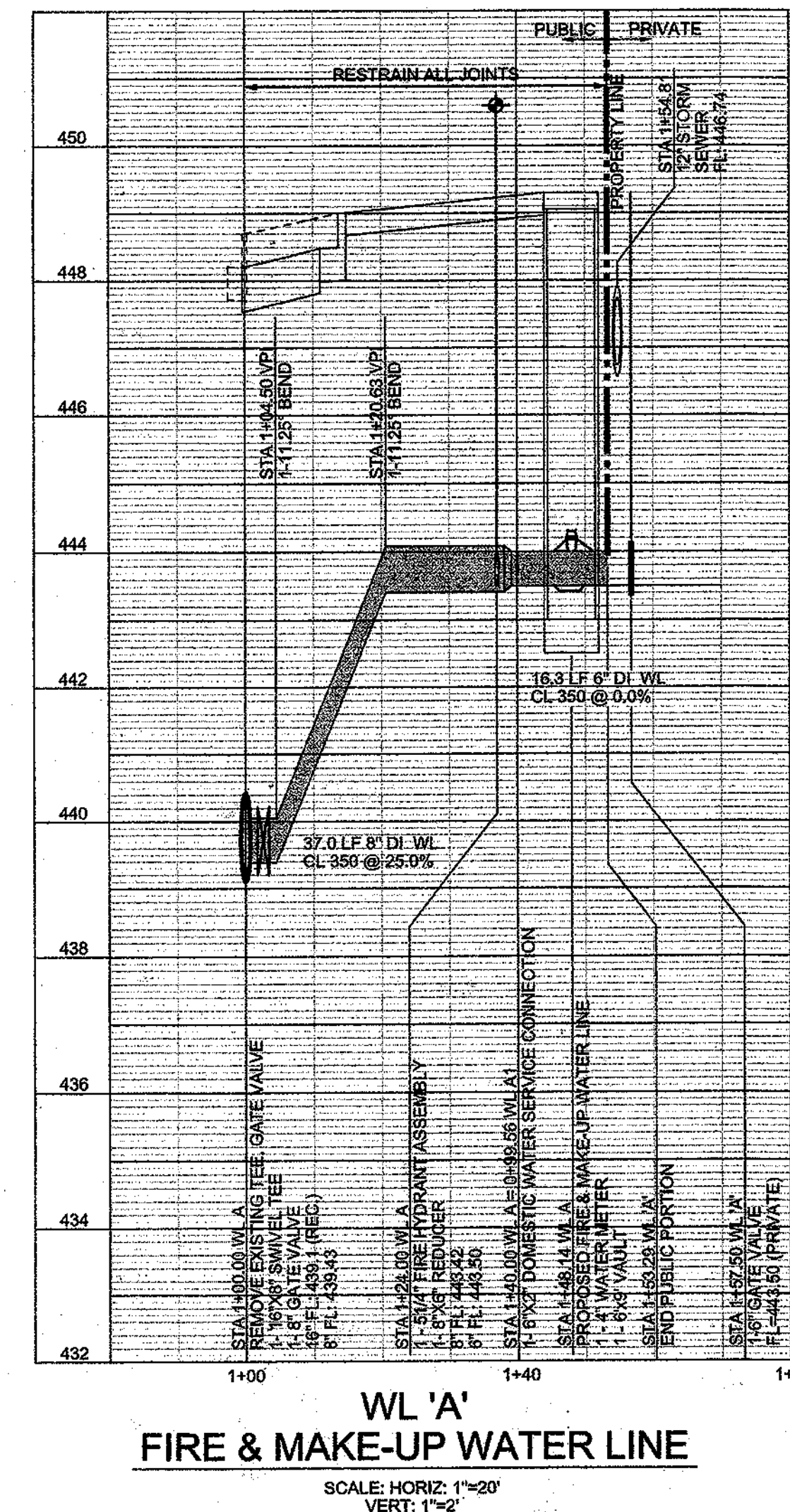
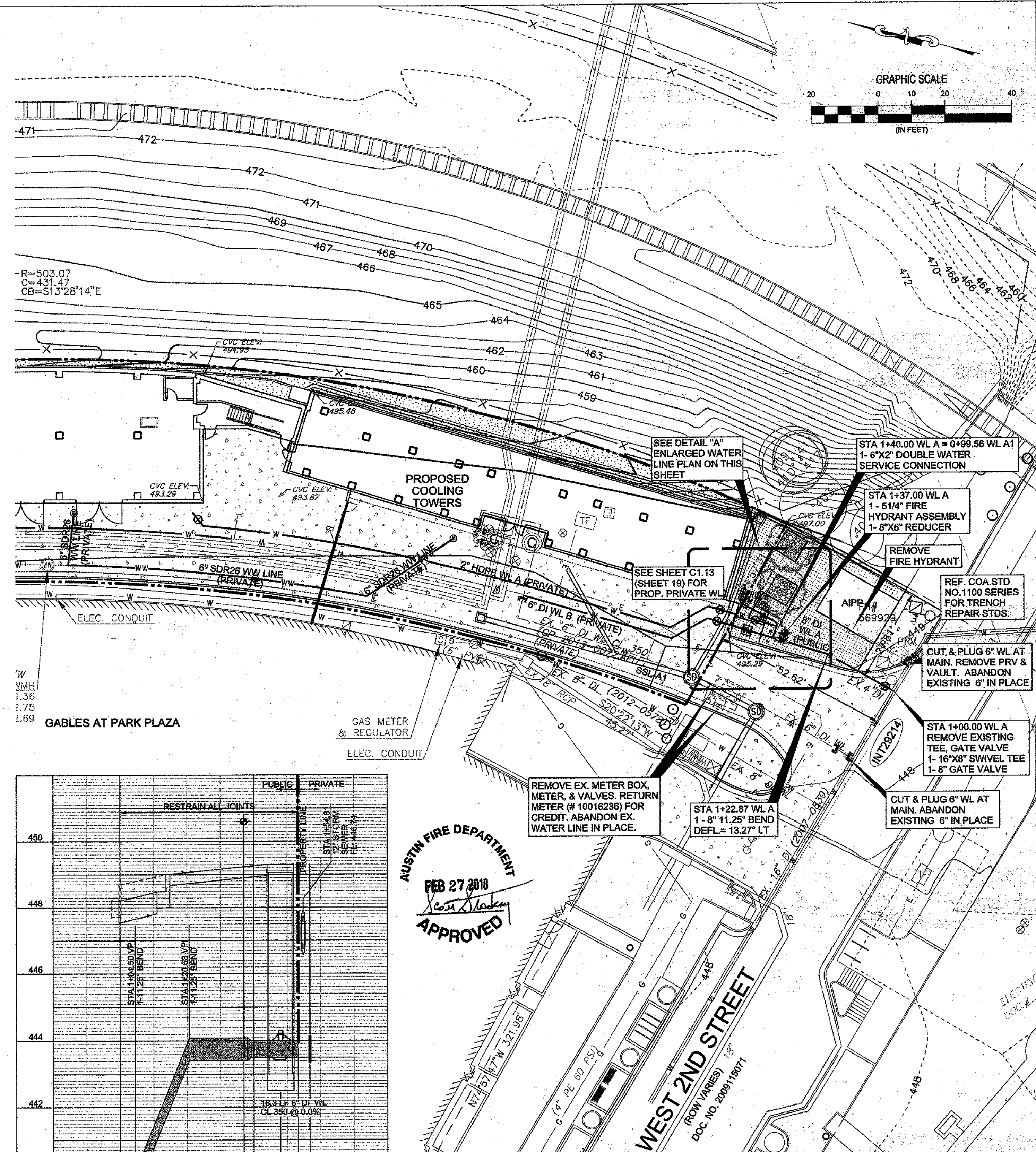
**Water Meter Removal and Relocation Requirements**

All existing water meters, recognized to be relocated or abandoned at residential and/or commercial developments by the engineer of record, shall be removed from the meter box(es) prior to construction and given immediately to the utility inspector. The utility inspector will then turn in the water meter(s) to AWU Consumer Services Taps Office for credit within five (5) business days of receipt of the water meter(s). Before any large (3" and above) meter(s) are removed, the utility inspector will schedule the time and place of the meter delivery with the AWU Taps Office and Meter Shop, and provide the contractor with that information. At the pre-construction meeting the city inspector shall verify that the meter number displayed on the meter cover at its physical location is the same meter number listed on the approved engineering drawings. The correct meter number(s) at the site address shall be included on the plans and physically verified by the engineer of record. The engineer of record shall contact an AWU TAPS Customer Service Representative to confirm the meter information on the plans matches utility records.

If water service is required during construction, the contractor will call City of Austin Utilities to establish an active utility account. Once service is available to the site, and all applicable TAP fees have been paid, a new water meter shall be installed in order to ensure accurate calibration of the water meter(s) to be used for the site. Under no circumstances shall an existing water meter be used during construction or relocated to another location and/or address without prior submittal of a written request for exception and subsequent written approval from the Taps Office.



**DETAIL A:  
ENLARGED WATER LINE PLAN**  
SCALE: 1"=10'



**WL A  
FIRE & MAKE-UP WATER LINE**  
SCALE: HORIZ: 1"=20'  
VERT: 1"=2'

| LEGEND |                                                                          |  |                      |
|--------|--------------------------------------------------------------------------|--|----------------------|
|        | SURVEY CONTROL POINT                                                     |  | BOLLARD/POST         |
|        | 1/2" IRON ROD FOUND                                                      |  | SIGN                 |
|        | 1/2" IRON ROD W/ PLASTIC CAP STAMPED "CITY OF AUSTIN PUBLIC WORKS" FOUND |  | TREE WITH TAG NO.    |
|        | 1/2" IRON ROD WITH PLASTIC CAP STAMPED "MACIAS LP RPLS 4333" SET         |  | CHAIN LINK FENCE     |
|        | CALCULATED POINT                                                         |  | WATER METER          |
|        | PROPERTY LINE                                                            |  | WATER VALVE          |
|        | ADJOINING PROPERTY LINE                                                  |  | BACKFLOW PREVENTER   |
|        | EASEMENT                                                                 |  | FIRE HYDRANT         |
|        | CHILLED WATER LINE                                                       |  | GAS METER            |
|        | CHILLED WATER MANHOLE                                                    |  | GAS VALVE            |
|        |                                                                          |  | GAS LINE             |
|        |                                                                          |  | WASTEWATER CLEANOUT  |
|        |                                                                          |  | WASTEWATER MANHOLE   |
|        |                                                                          |  | WASTEWATER LINE      |
|        |                                                                          |  | LIGHT POLE           |
|        |                                                                          |  | POWER POLE           |
|        |                                                                          |  | ELECTRIC MANHOLE     |
|        |                                                                          |  | ELECTRIC METER       |
|        |                                                                          |  | ELECTRIC PULLBOX     |
|        |                                                                          |  | ELECTRIC TRANSFORMER |
|        |                                                                          |  | ELECTRIC LINE        |
|        |                                                                          |  | STORM SEWER LINE     |
|        |                                                                          |  | STORM SEWER INLET    |

AUSTIN FIRE DEPARTMENT  
FEB 27 2018  
APPROVED

Cooling tower make up  
METER REQUIREMENT FOR PROJECT  
TYPE Comps  
SIZE 4" GPM 300-600  
SERVICE UNITS 25

Meter Notice  
Meters 1-1/2 inches and larger must be purchased and ordered 90 days in advance of installation.

Domestic  
METER REQUIREMENT FOR PROJECT  
TYPE P.D  
SIZE 3/4" GPM 15-30  
SERVICE UNITS 1.5

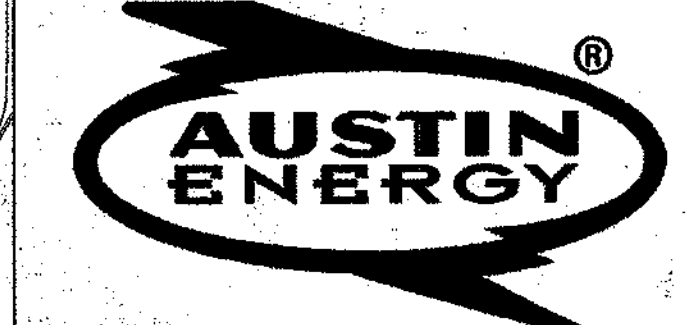
Industrial  
METER REQUIREMENT FOR PROJECT  
TYPE P.D  
SIZE 5 1/2" GPM 10-20  
SERVICE UNITS 1

**REVIEWED**  
FEB 26 2018  
City of Austin  
Austin Water Utility  
Copy ARC

|                                                                                                                                                                                                                                                                                                                                         |                                                              |
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| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      | SHEET 20 OF 34                                               |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPLICATION DATE: FEBRUARY 6, 2017                           |
| APPROVED BY COMMISSION ON: N/A                                                                                                                                                                                                                                                                                                          | UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE |
| EXPIRATION DATE (25-5.1 LDC): 3/31/21                                                                                                                                                                                                                                                                                                   | CASE MANAGER: NIKKI HOELTER                                  |
| PROJECT EXPIRATION DATE (OED FROM A): N/A                                                                                                                                                                                                                                                                                               | DWZ: X                                                       |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               | ZONING: P (PUBLIC)                                           |
| Released for GENERAL COMPLIANCE: 3/18/18                                                                                                                                                                                                                                                                                                | Correction 1: _____                                          |
| Rev 1: _____                                                                                                                                                                                                                                                                                                                            | Correction 2: _____                                          |
| Rev 2: _____                                                                                                                                                                                                                                                                                                                            | Correction 3: _____                                          |
| Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                                                              |

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**AUSTIN ENERGY**  
**DISTRICT COOLING**  
**PLANT NO. 3**  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #P-1843

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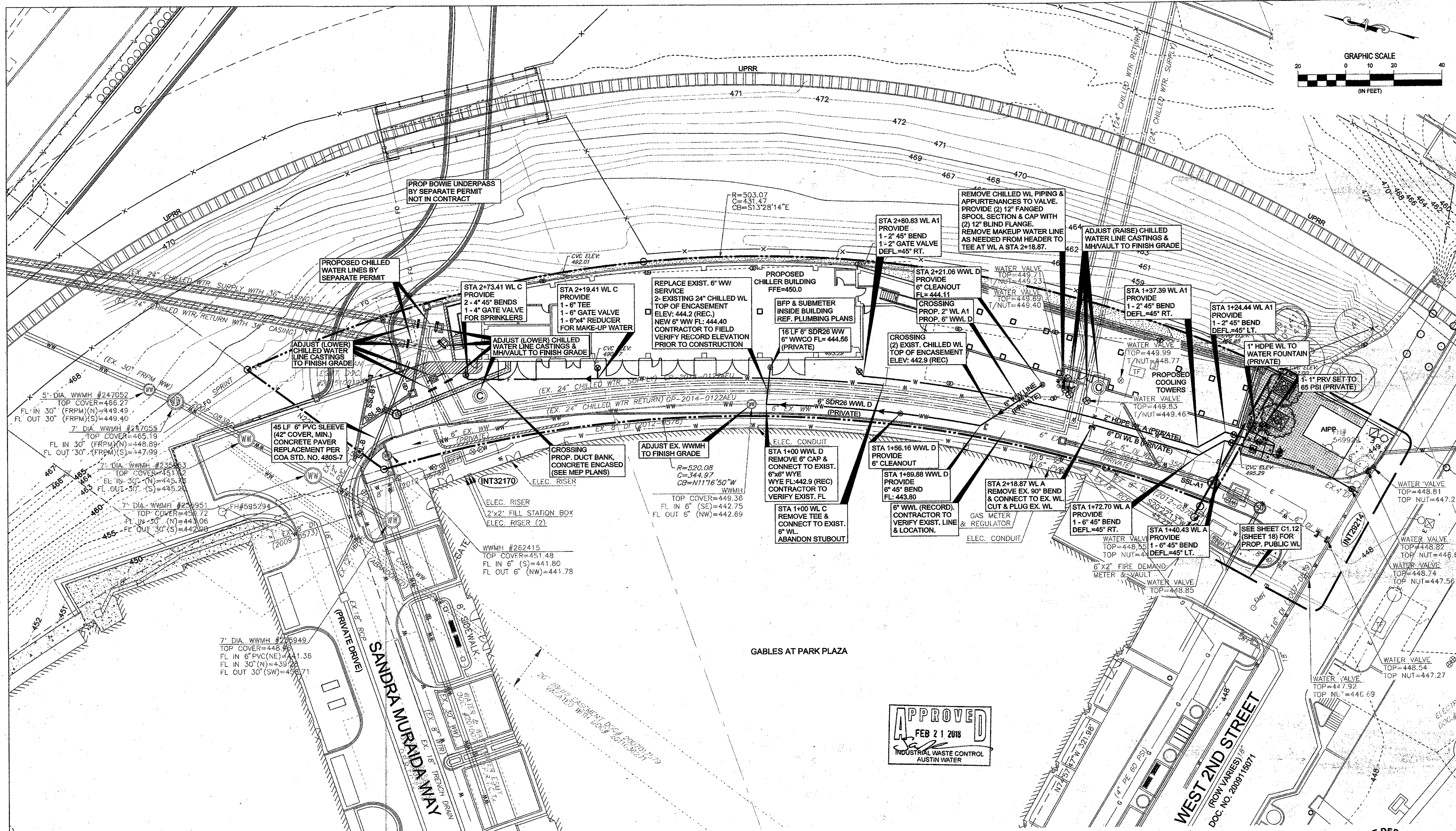
State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115587  
LICENSED PROFESSIONAL ENGINEER  
2/20/2018

TITLE:  
**WATER & WASTEWATER  
UTILITY PLAN -  
PUBLIC PLAN & PROFILE**

PROJECT NUMBER: 15-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

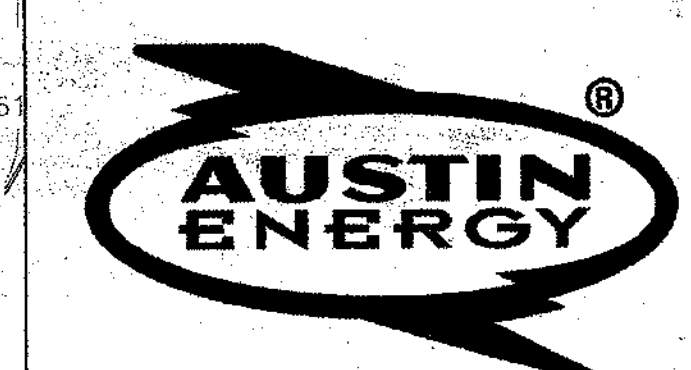
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**C1.12**  
20 OF 34



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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #F-1843

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Suite E101  
Austin, TX 78746  
512.347.0040

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www.eeace.com

State of registration: TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119

STATE OF TEXAS  
CANDACE CRAIG  
115587  
LICENSED PROFESSIONAL ENGINEER

*Candace Craig*  
2/20/2018

TITLE: WATER & WASTEWATER  
UTILITY PLAN -  
PRIVATE PLUMBING

PROJECT NUMBER: 15-843  
DRAWN BY: NT/KCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
**C1.13**  
21 OF 34

| LEGEND |                                                                                |  |                    |  |                      |
|--------|--------------------------------------------------------------------------------|--|--------------------|--|----------------------|
|        | SURVEY CONTROL POINT                                                           |  | BOLLARD/POST       |  | WASTEWATER CLEANOUT  |
|        | 1/2" IRON ROD FOUND                                                            |  | SIGN               |  | WASTEWATER MANHOLE   |
|        | 1/2" IRON ROD W/ PLASTIC CAP<br>STAMPED "CITY OF AUSTIN<br>PUBLIC WORKS" FOUND |  | TREE WITH TAG NO.  |  | WASTEWATER LINE      |
|        | 1/2" IRON ROD WITH PLASTIC<br>CAP STAMPED "MACIAS LP<br>RPLS 4333" SET         |  | CHAIN LINK FENCE   |  | LIGHT POLE           |
|        | CALCULATED POINT                                                               |  | WATER METER        |  | POWER POLE           |
|        | PROPERTY LINE                                                                  |  | WATER VALVE        |  | ELECTRIC MANHOLE     |
|        | ADJOINING PROPERTY LINE                                                        |  | BACKFLOW PREVENTER |  | ELECTRIC METER       |
|        | EASEMENT                                                                       |  | FIRE HYDRANT       |  | ELECTRIC PULLBOX     |
|        | CHILLED WATER LINE                                                             |  | WATER LINE         |  | ELECTRIC TRANSFORMER |
|        | CHILLED WATER MANHOLE                                                          |  | GAS METER          |  | ELECTRIC LINE        |
|        |                                                                                |  | GAS VALVE          |  | STORM SEWER LINE     |
|        |                                                                                |  | GAS LINE           |  | STORM SEWER INLET    |

**AUSTIN FIRE DEPARTMENT**  
FEB 27 2018  
APPROVED

City of Austin  
Copy ARC

SITE PLAN APPROVAL  
FILE NUMBER: SP-2017-0038C  
APPROVED BY COMMISSION ON: N/A  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-81, LDO 381A) CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #57055-A) N/A DWTS: DWTZ X

Division: Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/8/18 ZONING: P (PUBLIC)

Rev 1: \_\_\_\_\_ Correction 1: \_\_\_\_\_  
Rev 2: \_\_\_\_\_ Correction 2: \_\_\_\_\_  
Rev 3: \_\_\_\_\_ Correction 3: \_\_\_\_\_

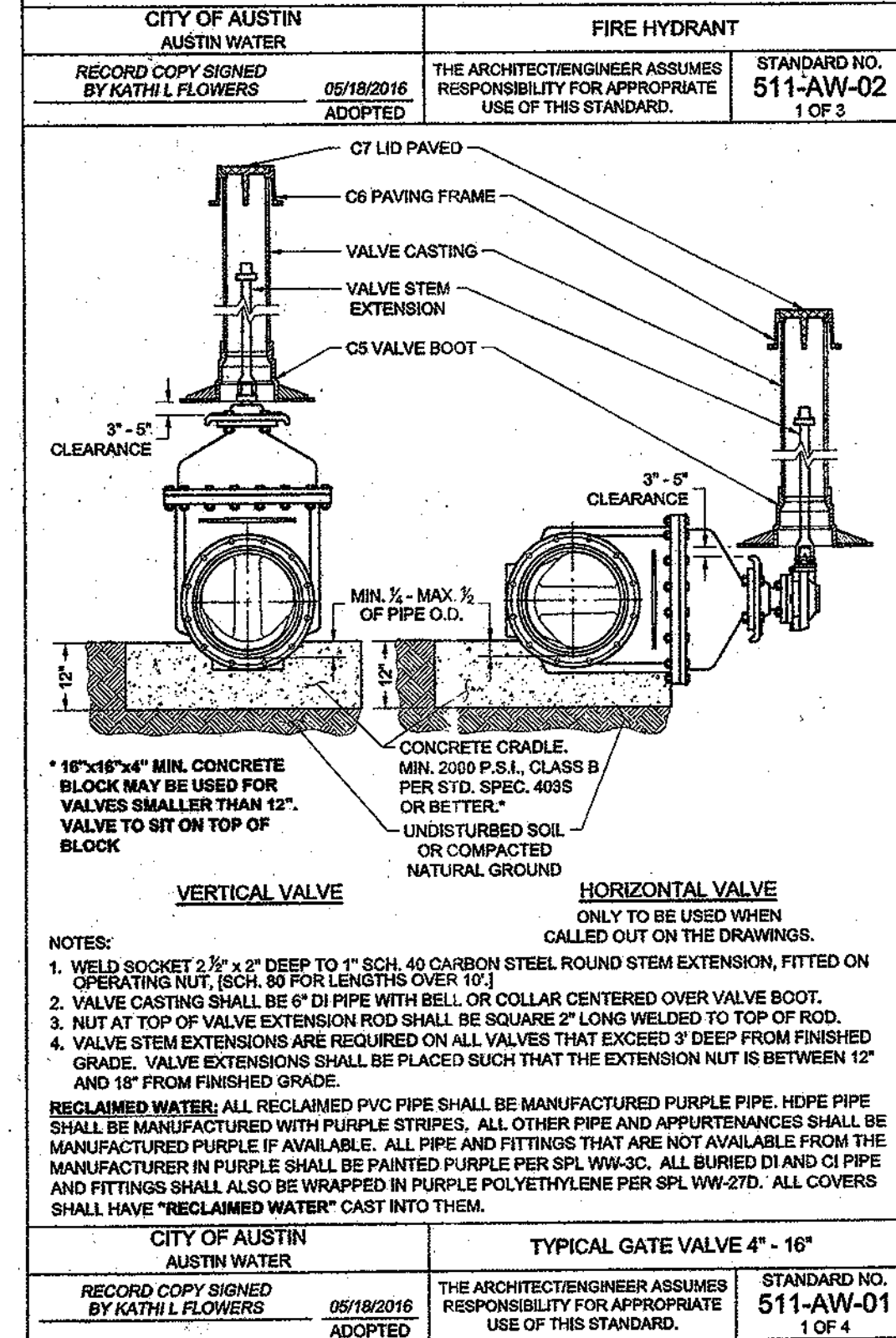
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



GABLES AT PARK PLAZA

WEST 2ND STREET  
(ROW VARIES) 16'  
DOC. NO. 2009110071

S:\Projects\DownTown District Cooling Plant No. 3 - 15-843\CAD\Plans\Site Plan\Sheet21-DCPS-3-PUT-PRIVATE.dgn 2/20/2018



| LARGE METER INSTALLATIONS |                                                                                                                                     |               |               |               |               |               |               |            |             |
|---------------------------|-------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|---------------|---------------|---------------|---------------|------------|-------------|
| DIMENSIONS IN INCHES      |                                                                                                                                     |               |               | 5" TURBINE    | 6" COMPOUND   | 5" TURBINE    | 6" COMPOUND   | 5" TURBINE | 6" COMPOUND |
| No.                       | METER LINE                                                                                                                          | 5" BYPASS     | 6" BYPASS     | 5" BYPASS     | 6" BYPASS     | 5" BYPASS     | 6" BYPASS     | 5" BYPASS  | 6" BYPASS   |
| 1                         | CLEARANCE FROM VALVE WALL TO TEE                                                                                                    | 8"            | 8"            | 12"           | 12"           | 6"            | 6"            |            |             |
| 2                         | FLANGED TEE                                                                                                                         | 13"           | 13"           | 13"           | 13"           | 16"           | 16"           |            |             |
| 3                         | COA GATE VALVE SQUARE NUT                                                                                                           | 8"            | 8"            | 9"            | 9"            | 6"            | 10 1/2"       | 10 1/2"    |             |
| 4                         | 3" X 4" FLANGED REDUCER (3" METER ONLY)                                                                                             | 7"            | 7"            | —             | —             | —             | —             |            |             |
| 5                         | METER                                                                                                                               | 17"           | 19"           | 20"           | 23"           | 24"           | 27"           |            |             |
| 6                         | 3" X 4" FLANGED REDUCER (3" METER ONLY)                                                                                             | 7"            | 7"            | —             | —             | —             | —             |            |             |
| 7                         | (7) FLANGED X PLAN END DI PIPE X (3) RESTRAINED FLANGE COUPLING ADAPTER (RCA) OR (7) FLANGED X DI PIPE X (3) DISMANTLING JOINT (DJ) | 6 1/2"        | 6 1/2"        | 12"           | 12"           | 17"           | 19"           | 16"        |             |
| 8                         | 1/2 TEE                                                                                                                             | 13"           | 13"           | 13"           | 13"           | 16"           | 16"           |            |             |
| 9                         | COA GATE VALVE SQUARE NUT                                                                                                           | 9"            | 9"            | 9"            | 9"            | 10 1/2"       | 10 1/2"       |            |             |
| 10                        | FLANGED TEE                                                                                                                         | 13"           | 13"           | 13"           | 13"           | 16"           | 16"           |            |             |
| 11                        | CLEARANCE FROM INSIDE WALL TO TEE                                                                                                   | 6"            | 6"            | 12"           | 12"           | 6"            | 6"            |            |             |
|                           | <b>TOTAL (INCHES)</b>                                                                                                               | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> |            |             |
| <b>BYPASS LINE</b>        |                                                                                                                                     |               |               |               |               |               |               |            |             |
| 1                         | CLEARANCE FROM INSIDE WALL TO TEE                                                                                                   | 6"            | 6"            | 12"           | 12"           | 6"            | 6"            |            |             |
|                           | <b>TOTAL (INCHES)</b>                                                                                                               | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> |            |             |
| 12                        | FLANGED 90° ELBOW                                                                                                                   | 6 1/2"        | 6 1/2"        | 6 1/2"        | 6 1/2"        | 8"            | 8"            |            |             |
| 13                        | BYPASS GATE VALVE WITH HAND WHEEL                                                                                                   | 9"            | 9"            | 9"            | 9"            | 10 1/2"       | 10 1/2"       |            |             |
| 14                        | (5) FLANGED X PLAN END DI PIPE X (5) RESTRAINED FLANGE COUPLING ADAPTER (RCA) OR (5) FLANGED X DI PIPE X (5) DISMANTLING JOINT (DJ) | 57"           | 57"           | 49"           | 49"           | 53 1/2"       | 53 1/2"       |            |             |
| 15                        | FLANGED 90° ELBOW                                                                                                                   | 6 1/2"        | 6 1/2"        | 6 1/2"        | 6 1/2"        | 8"            | 8"            |            |             |
| 16                        | 1/2 TEE                                                                                                                             | 6 1/2"        | 6 1/2"        | 6 1/2"        | 6 1/2"        | 8"            | 8"            |            |             |
| 17                        | CLEARANCE FROM VALVE WALL TO TEE                                                                                                    | 8"            | 8"            | 12"           | 12"           | 6"            | 6"            |            |             |
|                           | <b>TOTAL (INCHES)</b>                                                                                                               | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> | <b>106.0"</b> |            |             |
| 18                        | CLEARANCE FROM INSIDE WALL TO CENTER OF BYPASS LINE                                                                                 | 23"           | 23"           | 23"           | 23"           | 20"           | 20"           |            |             |

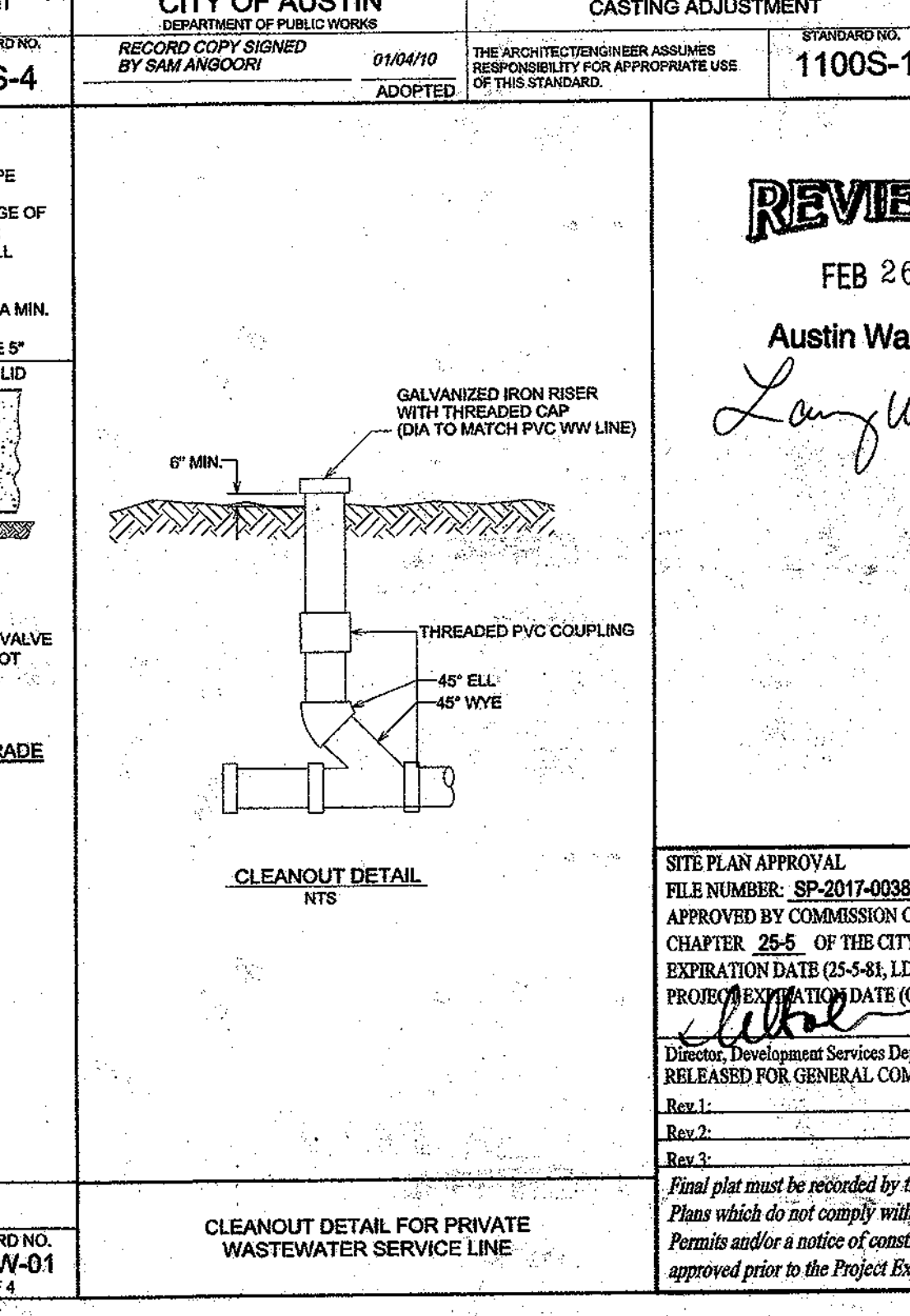
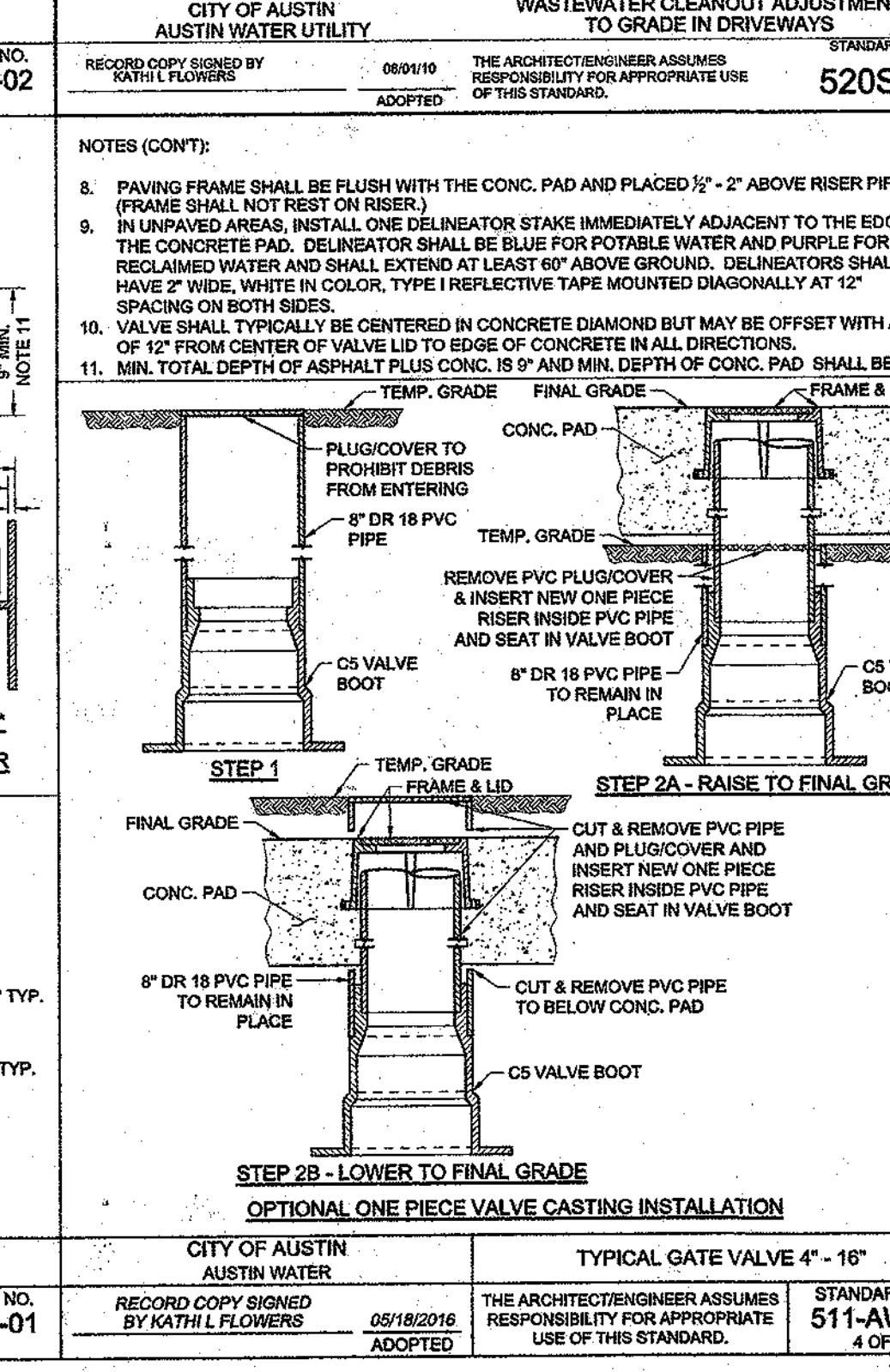
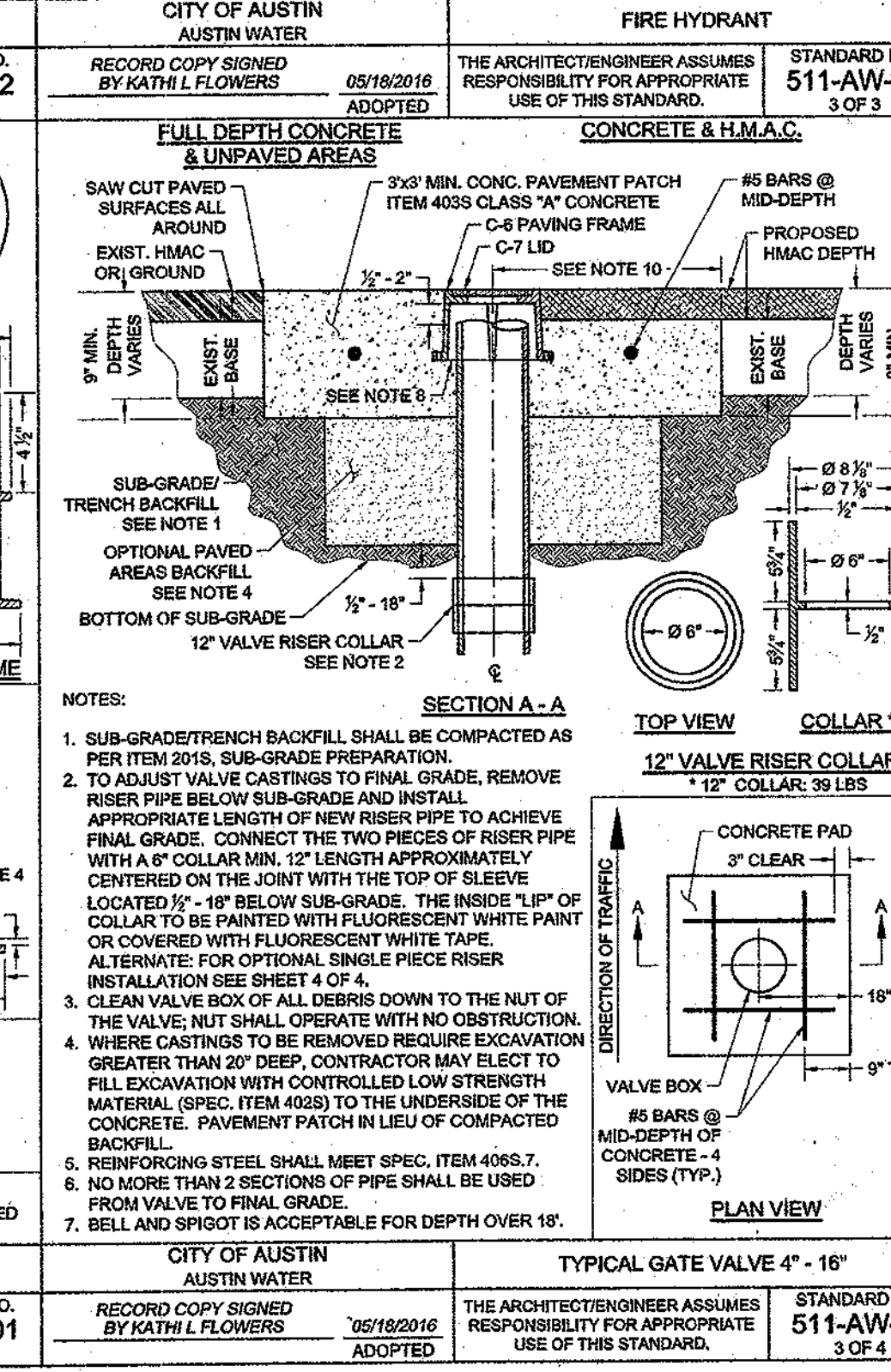
NOTES:

- METER VAULT MUST BE PLACED AT THE PROPERTY LINE WITHIN PUBLIC RIGHT-OF-WAY OR WITHIN A DEDICATED WATER RIGHT ADJACENT TO THE PROPERTY. METERS SHALL NOT BE PLACED IN THE PATH OF UNUSUAL TRAFFIC INCLUDING ROADWAYS, DRIVEWAYS AND PARKING LOTS. METERS MAY NOT BE PLACED IN AREAS WHERE THERE IS INSUFFICIENT ACCESS TO THE METER. METERS MUST BE ACCESSIBLE TO SERVICE VEHICLES AND SHALL NOT BE ENCLOSED WITH PROPERTY FENCES.
- ALL PIPE AND FITTINGS FROM MAIN TO CURB AND VALVE SHALL BE 12" MIN. OR 6" DI CLASS 350 OR C900 PVC PIPE (TYP.). FACTORY NOTCHES WHERE HINGING GOS THROUGH VAULT SHALL BE FILLED WITH NON-SMOKING GROUT PER AUSTIN M.O. WW-704A.

| CITY OF AUSTIN<br>AUSTIN WATER            | 3", 4" AND 6" COMPOUND & TURBINE METER INSTALLATIONS                                      | STANDARD NO.<br>520-AW-0<br>2 OF 2 |
|-------------------------------------------|-------------------------------------------------------------------------------------------|------------------------------------|
| RECORD COPY SIGNED BY<br>KATHI L. FLOWERS | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. |                                    |
| 05/19/2016<br>ADOPTED                     |                                                                                           |                                    |

| CITY OF AUSTIN<br>AUSTIN WATER            | FIRE HYDRANT                                                                              | STANDARD NO.<br>511-AW-0<br>2 OF 3 |
|-------------------------------------------|-------------------------------------------------------------------------------------------|------------------------------------|
| RECORD COPY SIGNED BY<br>KATHI L. FLOWERS | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. |                                    |
| 05/19/2016<br>ADOPTED                     |                                                                                           |                                    |

| CITY OF AUSTIN<br>AUSTIN WATER            | TYPICAL GATE VALVE 4" - 16"                                                               | STANDARD NO.<br>511-AW-0<br>2 OF 2 |
|-------------------------------------------|-------------------------------------------------------------------------------------------|------------------------------------|
| RECORD COPY SIGNED BY<br>KATHI L. FLOWERS | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. |                                    |
| 05/19/2016<br>ADOPTED                     |                                                                                           |                                    |



| NO | DATE | DESCRIPTION |
|----|------|-------------|
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|    |      |             |

AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701

UDG

3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

**Urban Design Group PC**  
TX Registered Engineering Firm #F-1843

---

**EEA CONSULTING ENGINEERS**

6615 Vought Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

State of registration     TEXAS  
Firm Registration No.   F-2497  
EEA Project No.         20140119

---

*Candace Craig*  
 2/20/2018

---

TITLE:

WATER & WASTEWATER UTILITY DETAILS

SHEET 22 OF 34

APPLICATION DATE: FEBRUARY 6, 2017

UNDER SECTION 112 OF.

CASE MANAGER: NIKKI HOELTER

N/A DWPZ DDZ X

ZONING: P (PUBLIC)

PROJECT NUMBER: 15-843

DRAWN BY: NT/C

CHECKED BY: CC

DATE: 2/20/2018

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SHEET:

C1.14

22 OF 34

|                                              |          |                                                                                           |                               |
|----------------------------------------------|----------|-------------------------------------------------------------------------------------------|-------------------------------|
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS |          | SIDEWALK                                                                                  |                               |
| RECORD COPY SIGNED<br>BY BILL GARONER        | 03/26/08 | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. | STANDARD NO.<br><b>432S-1</b> |

|                                              |          |                                                                                           |                                         |
|----------------------------------------------|----------|-------------------------------------------------------------------------------------------|-----------------------------------------|
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS |          | SIDEWALK                                                                                  |                                         |
| RECORD COPY SIGNED<br>BY BILL GARDNER        | 03/26/08 | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. | STANDARD NO.<br><b>432S-1</b><br>JAN 03 |

|                                              |          |                                                                                           |                           |
|----------------------------------------------|----------|-------------------------------------------------------------------------------------------|---------------------------|
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS |          | SIDEWALK                                                                                  |                           |
| RECORD COPY SIGNED<br>BY BILL GARDNER        | 03/26/08 | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. | STANDARD<br>432<br>3 OF 4 |
| ADOPTED                                      |          |                                                                                           |                           |

|                                              |         |                                                                                           |                 |
|----------------------------------------------|---------|-------------------------------------------------------------------------------------------|-----------------|
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS |         | CURB AND GUTTER SECTION                                                                   |                 |
| RECORD COPY SIGNED<br>BY LINO RIVERA         | 9/29/99 | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. | STANDARD<br>430 |
| ADOPTED                                      |         |                                                                                           |                 |

|                                              |          |                                                                                           |                  |
|----------------------------------------------|----------|-------------------------------------------------------------------------------------------|------------------|
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS |          | EXISTING PAVEMENT REPAIR FOR NON TRUCK<br>AREAS PARALLEL TO CURB ALIGNMENT                |                  |
| RECORD COPY SIGNED<br>BY SAM ANGOORI         | 10/19/09 | THE ARCHITECT/ENGINEER ASSUMES<br>RESPONSIBILITY FOR APPROPRIATE USE<br>OF THIS STANDARD. | STANDARD<br>1100 |
| ADOPTED                                      |          |                                                                                           |                  |

[illegible]

**AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3**

812 W. 2ND STREET AUSTIN, TX 78701

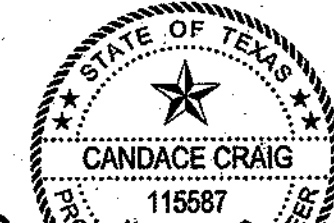


3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040



6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



2/20/2018

## STANDARD DETAILS 1

PROJECT NUMBER: 15-843

DRAWN BY: \_\_\_\_\_ NT/CC

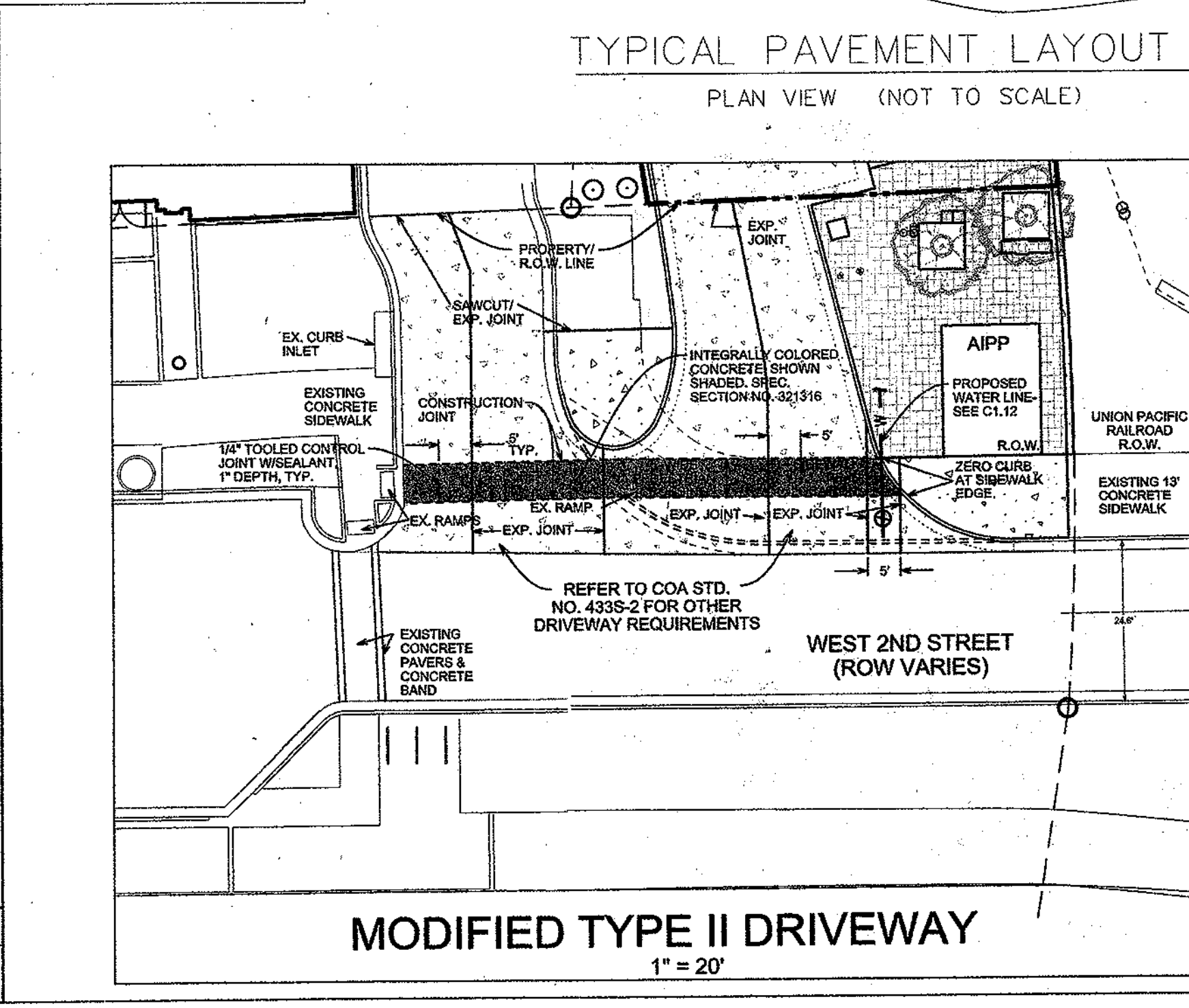
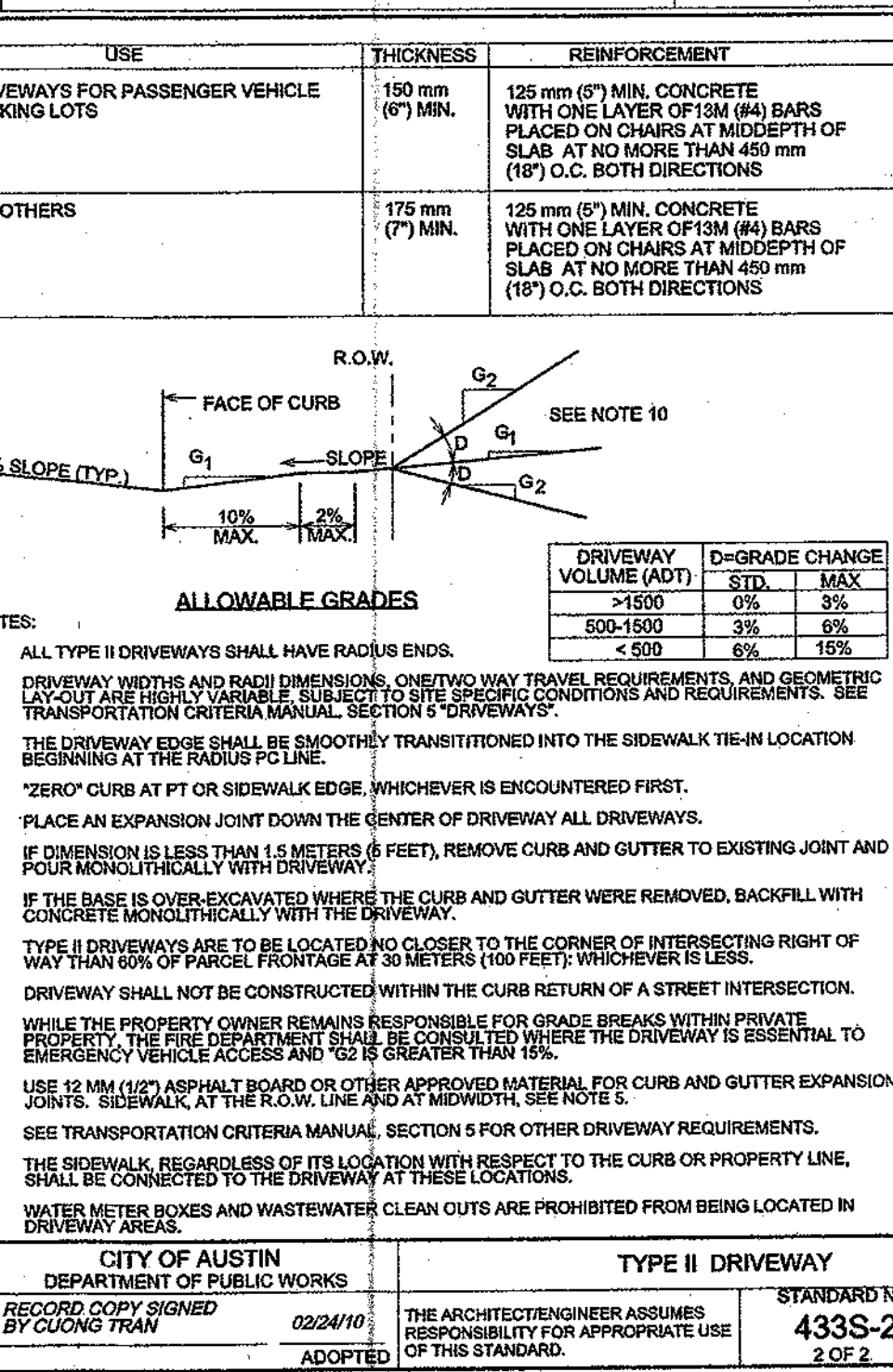
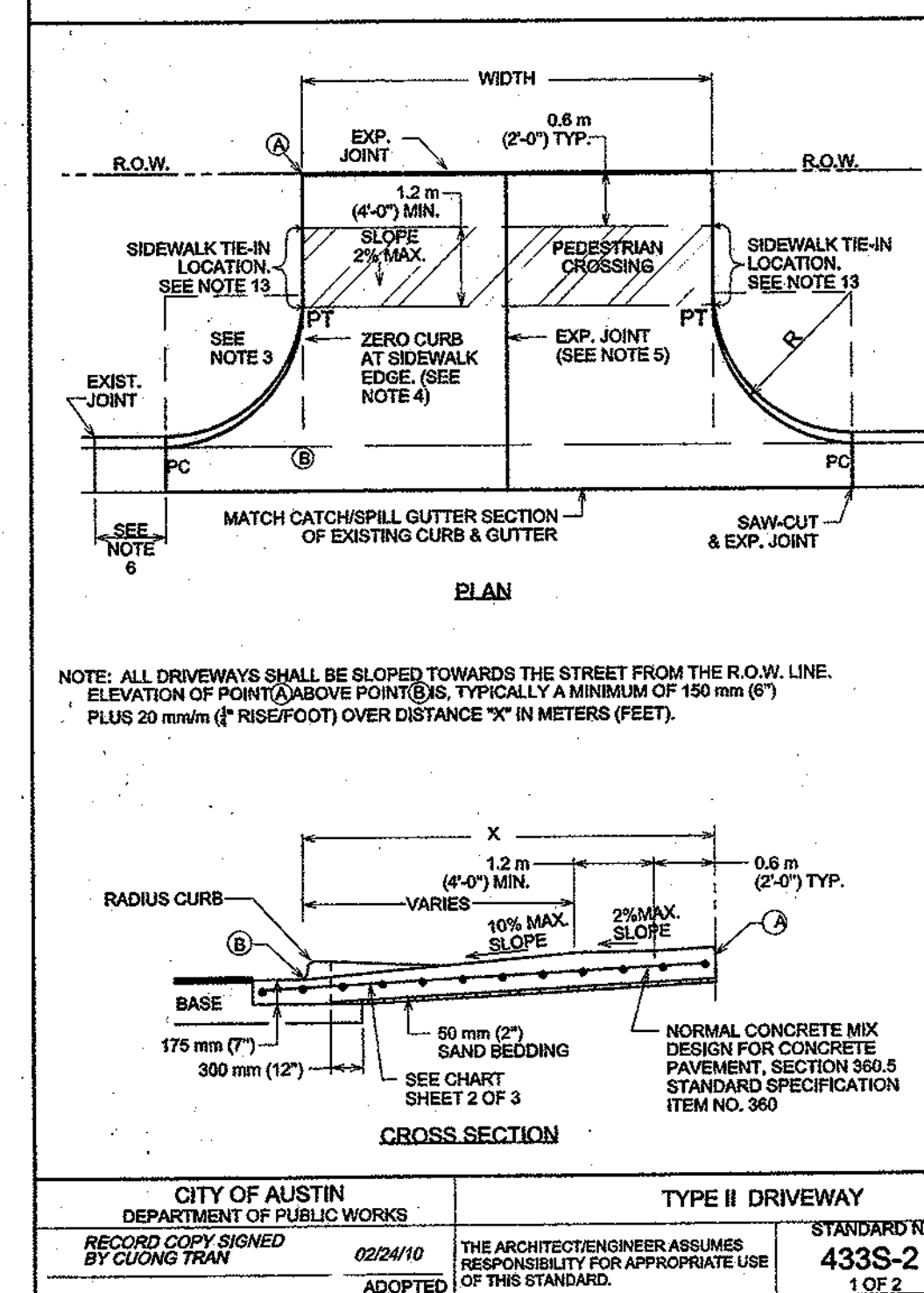
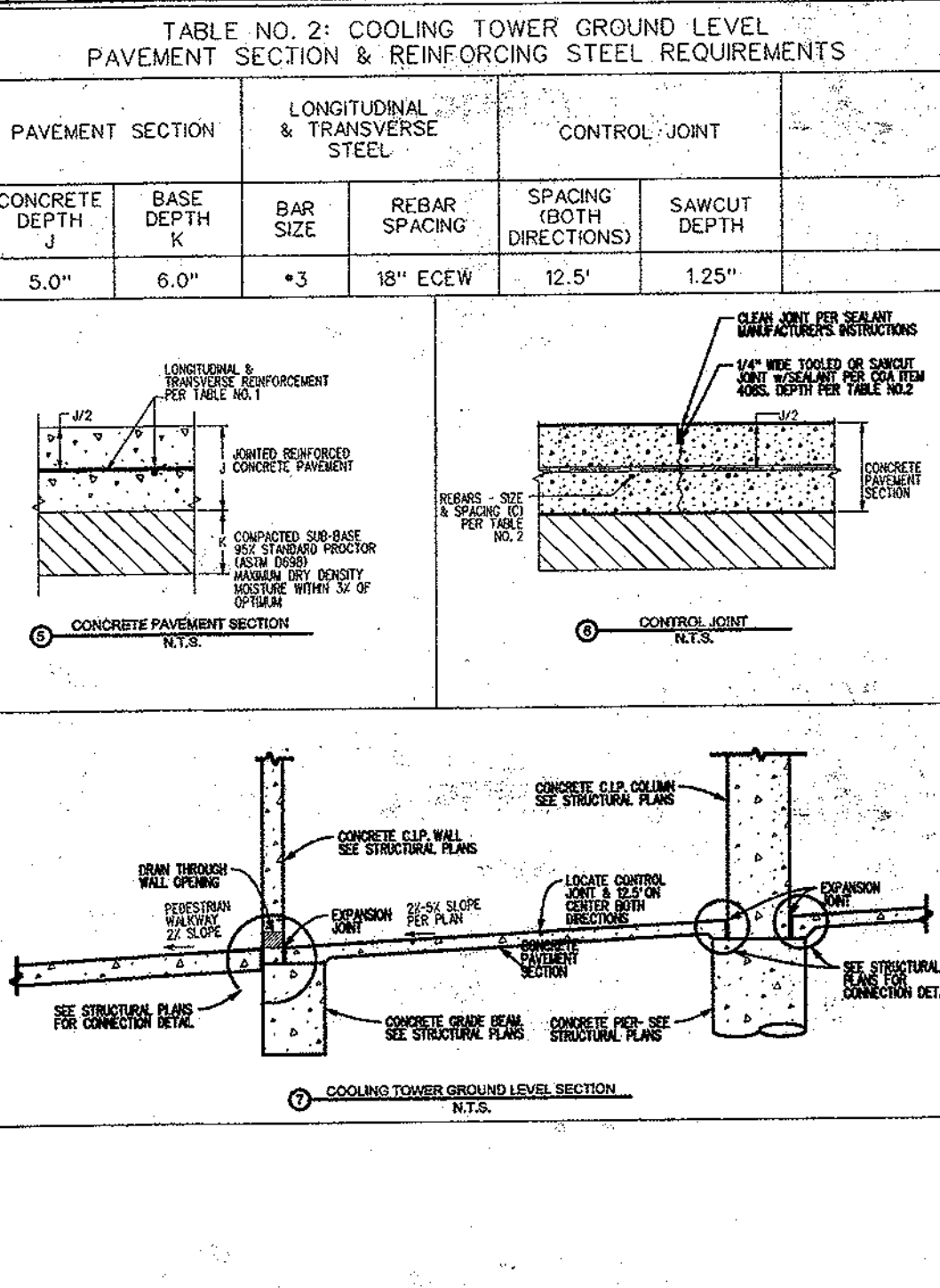
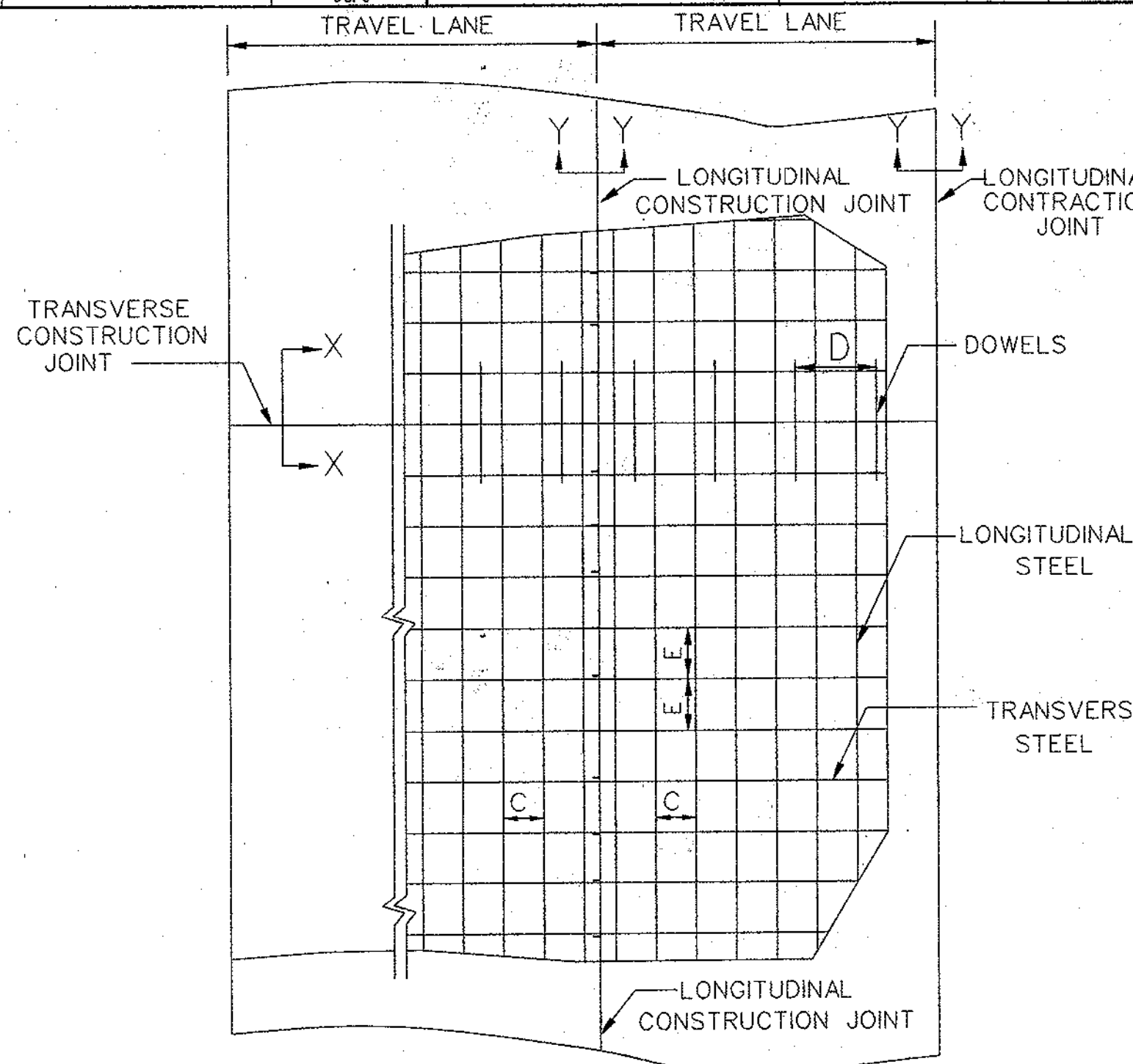
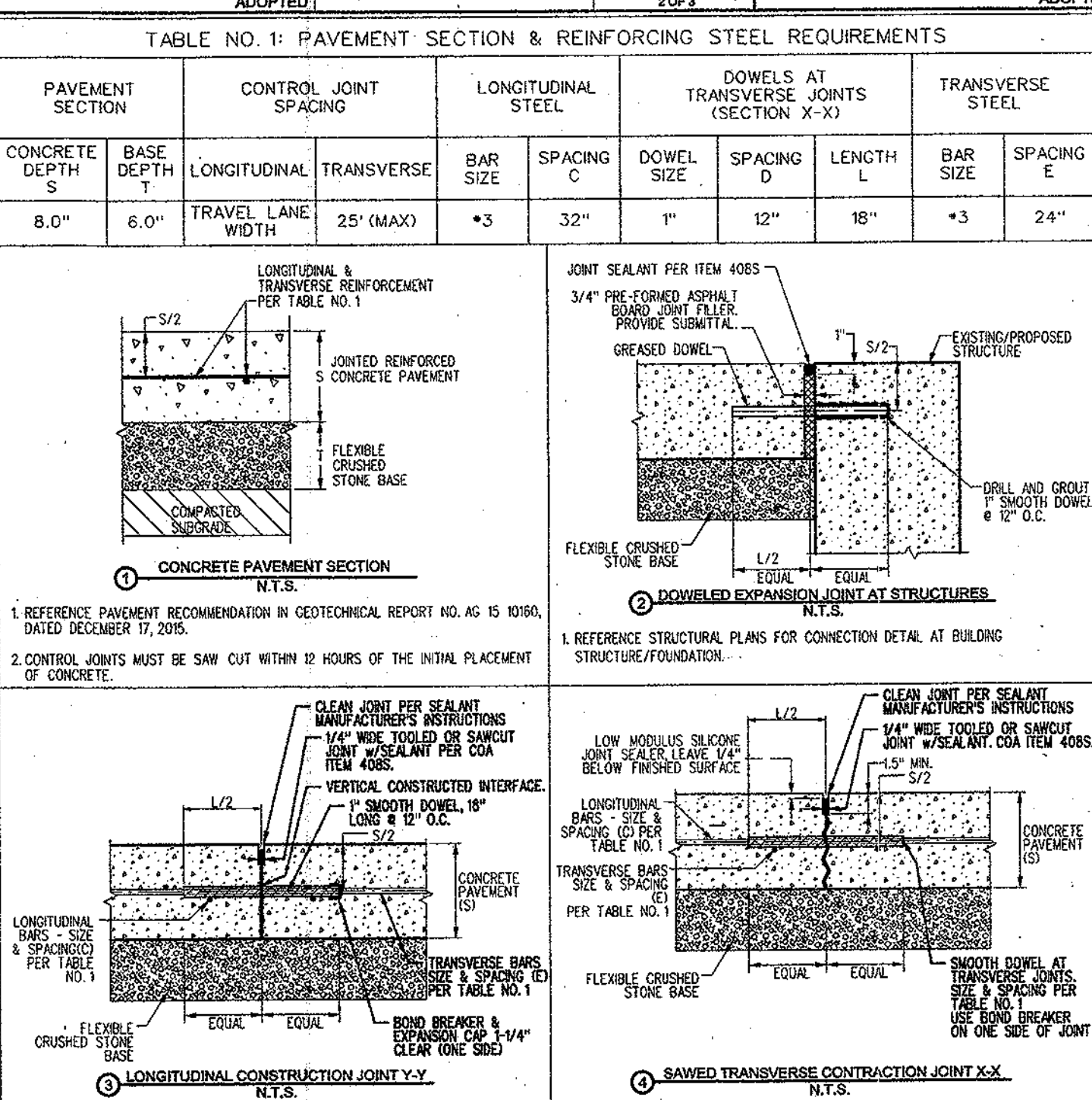
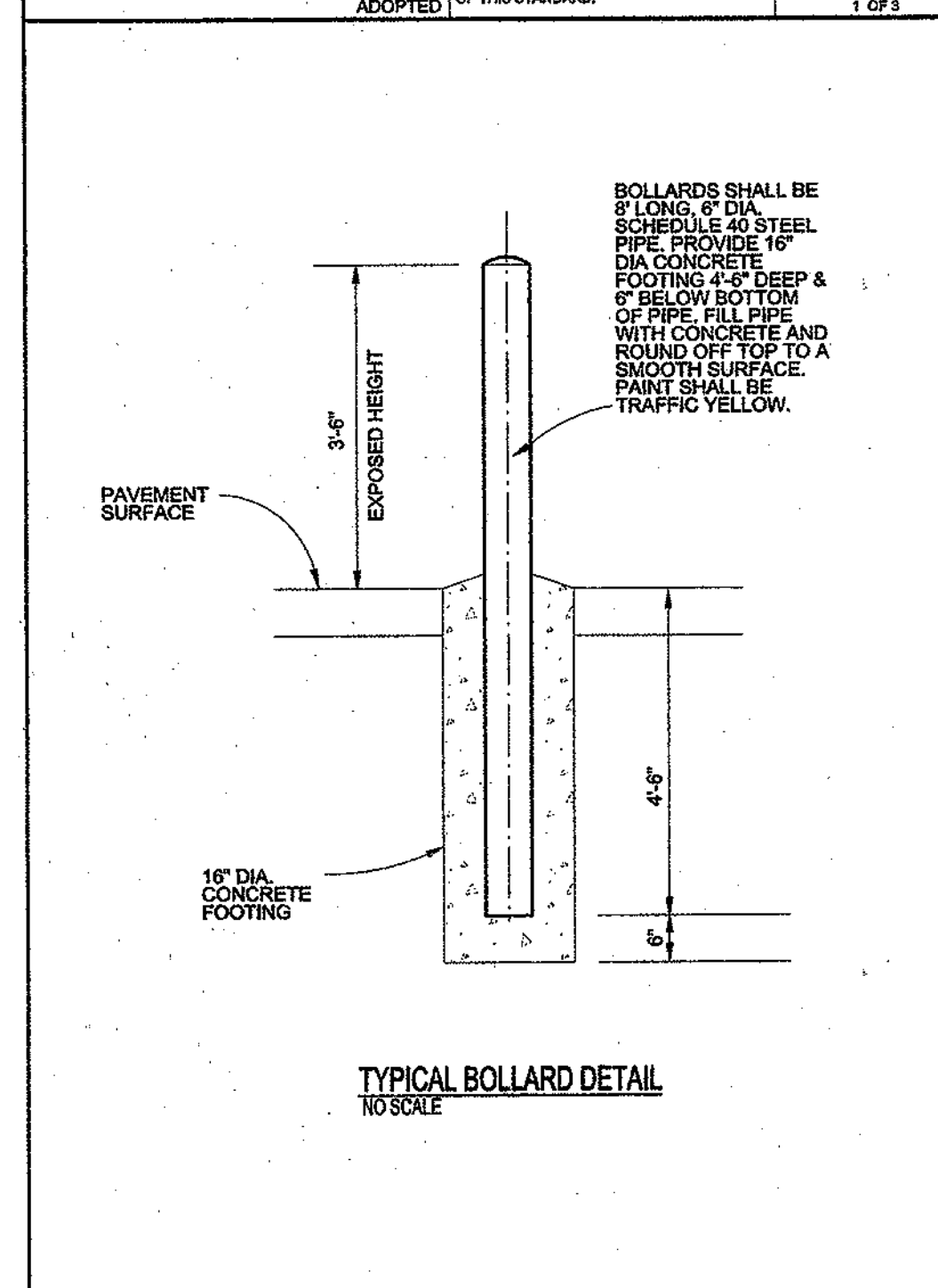
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DATE: 3/30/2015

SHEET

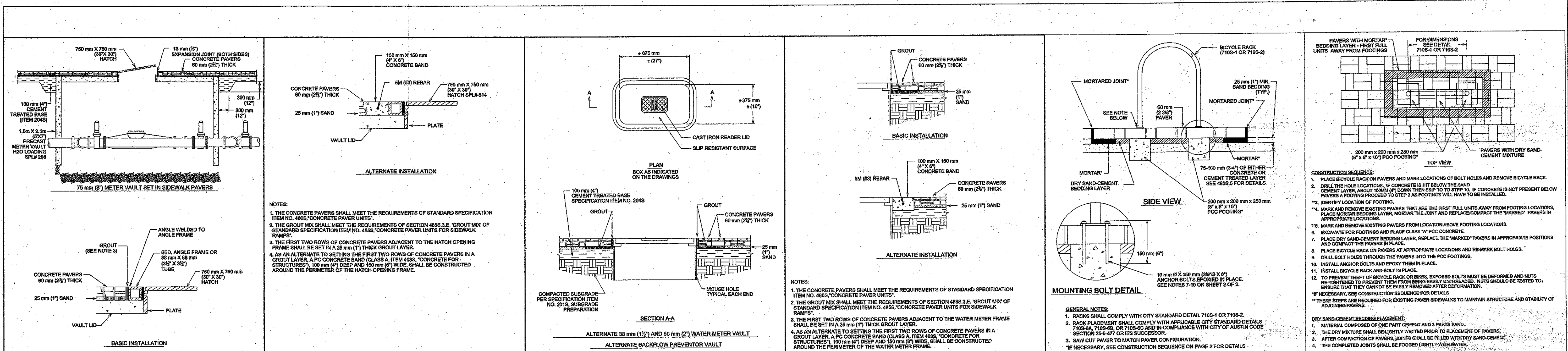
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23 OF 34

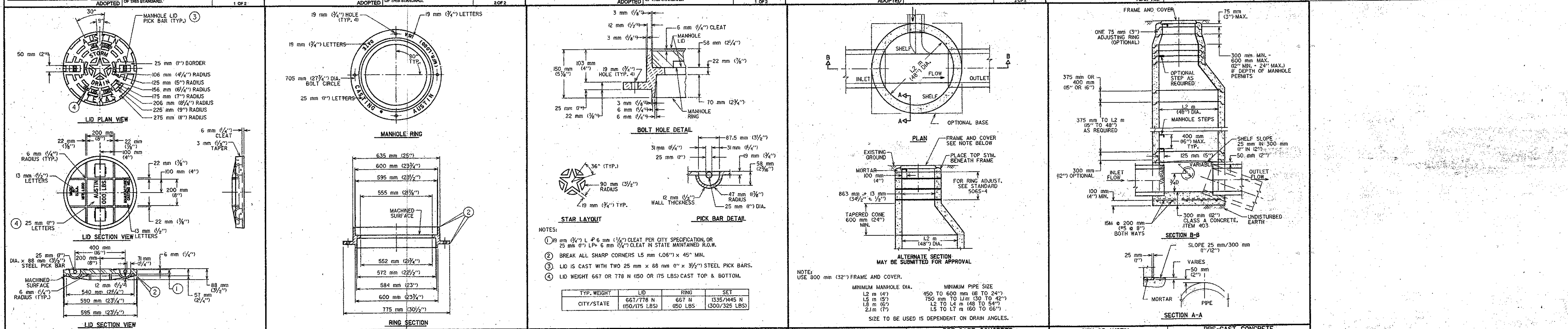
SP-2017-0038C



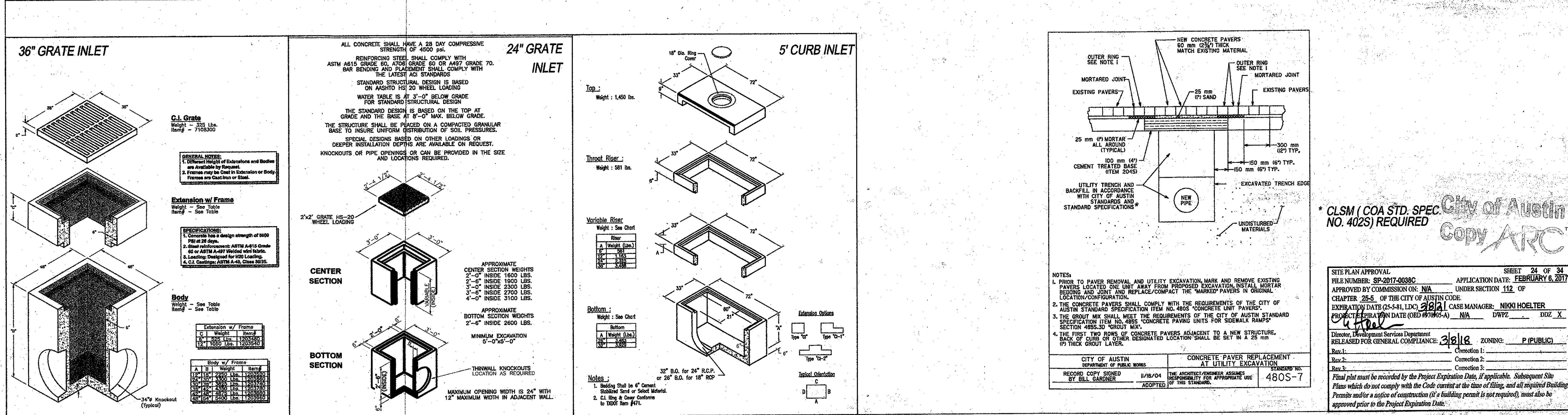
SITE PLAN APPROVAL SHEET 23 OF 34  
FILE NUMBER: SP-2017-0086C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 255 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE 05-31-2018 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #77063-A) N/A DWTS DDZ X  
WALSH  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/9/18 ZONING: P (PUBLIC)  
Rev 1: \_\_\_\_\_ Correction 1: \_\_\_\_\_  
Rev 2: \_\_\_\_\_ Correction 2: \_\_\_\_\_  
Rev 3: \_\_\_\_\_ Correction 3: \_\_\_\_\_  
*Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*



| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | SIDEWALK PAVEMENT INSTALLATION-<br>HATCH OPENING FOR METER VAULT<br>STANDARD NO. 480S-1<br>1 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | SIDEWALK PAVEMENT INSTALLATION-<br>HATCH OPENING FOR METER VAULT<br>STANDARD NO. 480S-1<br>2 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | SIDEWALK PAVEMENT INSTALLATION-<br>WATER METER VAULT<br>STANDARD NO. 480S-2<br>1 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | SIDEWALK PAVEMENT INSTALLATION-<br>WATER METER VAULT<br>STANDARD NO. 480S-2<br>2 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | BICYCLE RACK INSTALLATION IN<br>CONCRETE PAVEMENT SIDEWALK ALTERNATE 1<br>STANDARD NO. 710S-3<br>1 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | BICYCLE RACK INSTALLATION IN<br>CONCRETE PAVEMENT SIDEWALK ALTERNATE 2<br>STANDARD NO. 710S-3<br>2 OF 2 |
|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
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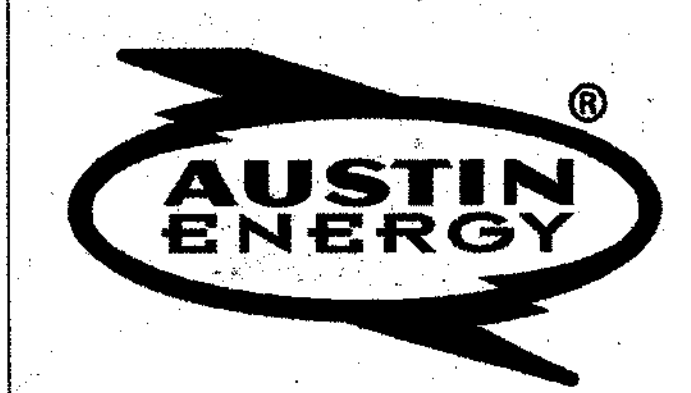
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY GEORGE E. OSWALD<br>2/14/02<br>ADOPTED | STORM DRAIN MANHOLE<br>RING AND 60" DIA. (24") COVER<br>STANDARD NO. 503S-2S<br>1 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY GEORGE E. OSWALD<br>2/14/02<br>ADOPTED | STORM DRAIN MANHOLE<br>RING AND 60" DIA. (24") COVER<br>STANDARD NO. 503S-2S<br>2 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY GEORGE E. OSWALD<br>2/14/02<br>ADOPTED | PRE-CAST CONCRETE<br>STORM DRAIN MANHOLE<br>STANDARD NO. 506S-3<br>1 OF 2 | CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY GEORGE E. OSWALD<br>2/14/02<br>ADOPTED | PRE-CAST CONCRETE<br>STORM DRAIN MANHOLE<br>STANDARD NO. 506S-3<br>2 OF 2 |
|--------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|
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| REVISIONS |      |             |
|-----------|------|-------------|
| NO        | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040  
Urban Design Group PC  
TX Registered Engineering Firm #21943

**EEA CONSULTING**  
6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeac.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

**CANDACE CRAIG**  
115687  
LICENSED PROFESSIONAL ENGINEER  
2/20/2018

TITLE: **STANDARD DETAILS 2**

PROJECT NUMBER: 15-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET: **C1.16**  
24 OF 34

\* CLSM (COA STD. SPEC. NO. 402S) REQUIRED

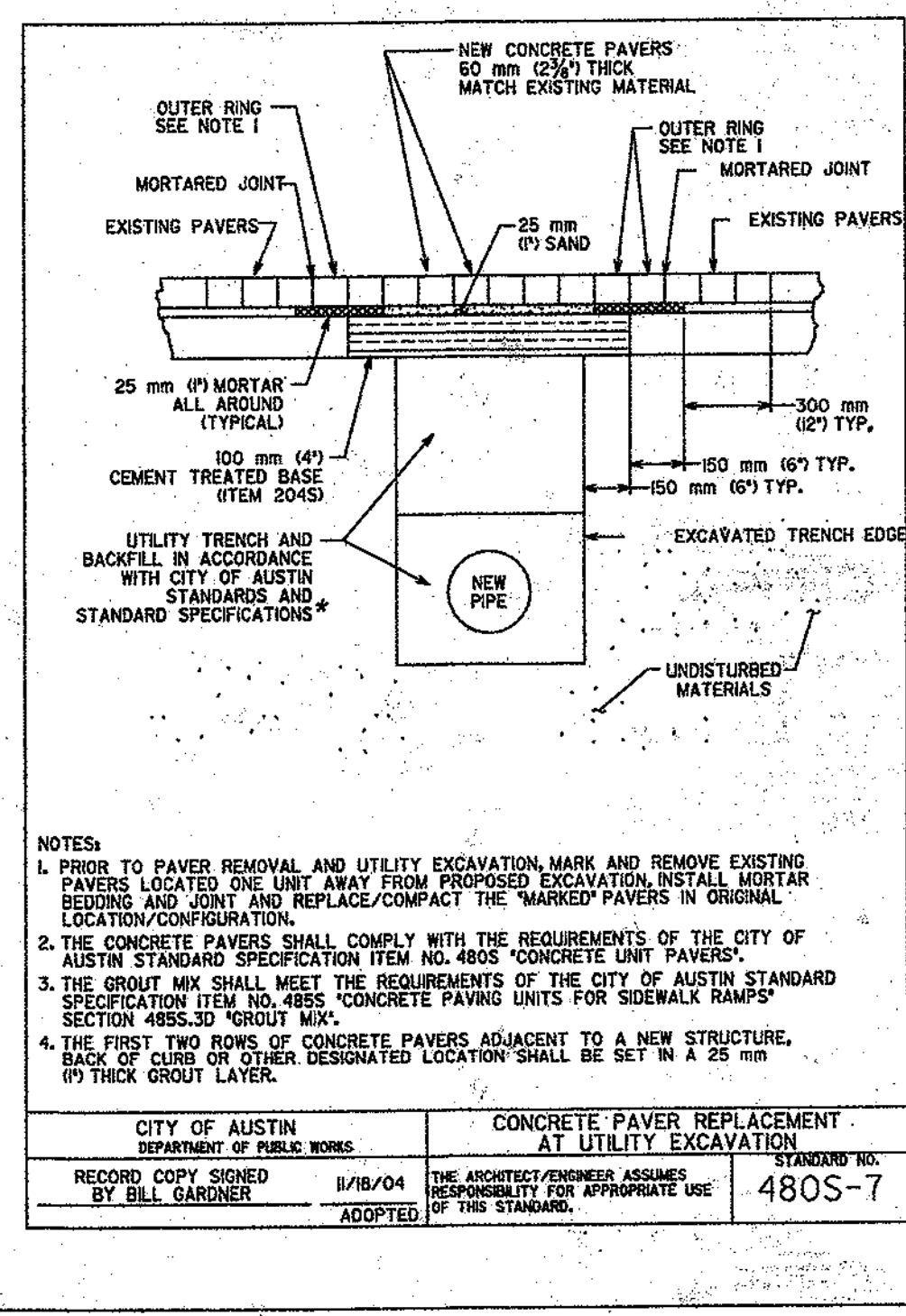
**City of Austin**  
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SITE PLAN APPROVAL  
FILE NUMBER: SP-2017-0038C  
APPROVED BY COMMISSION ON: N/A  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-81, LDC): 3/8/18  
CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #77063-A): N/A  
DWG: DUZ X

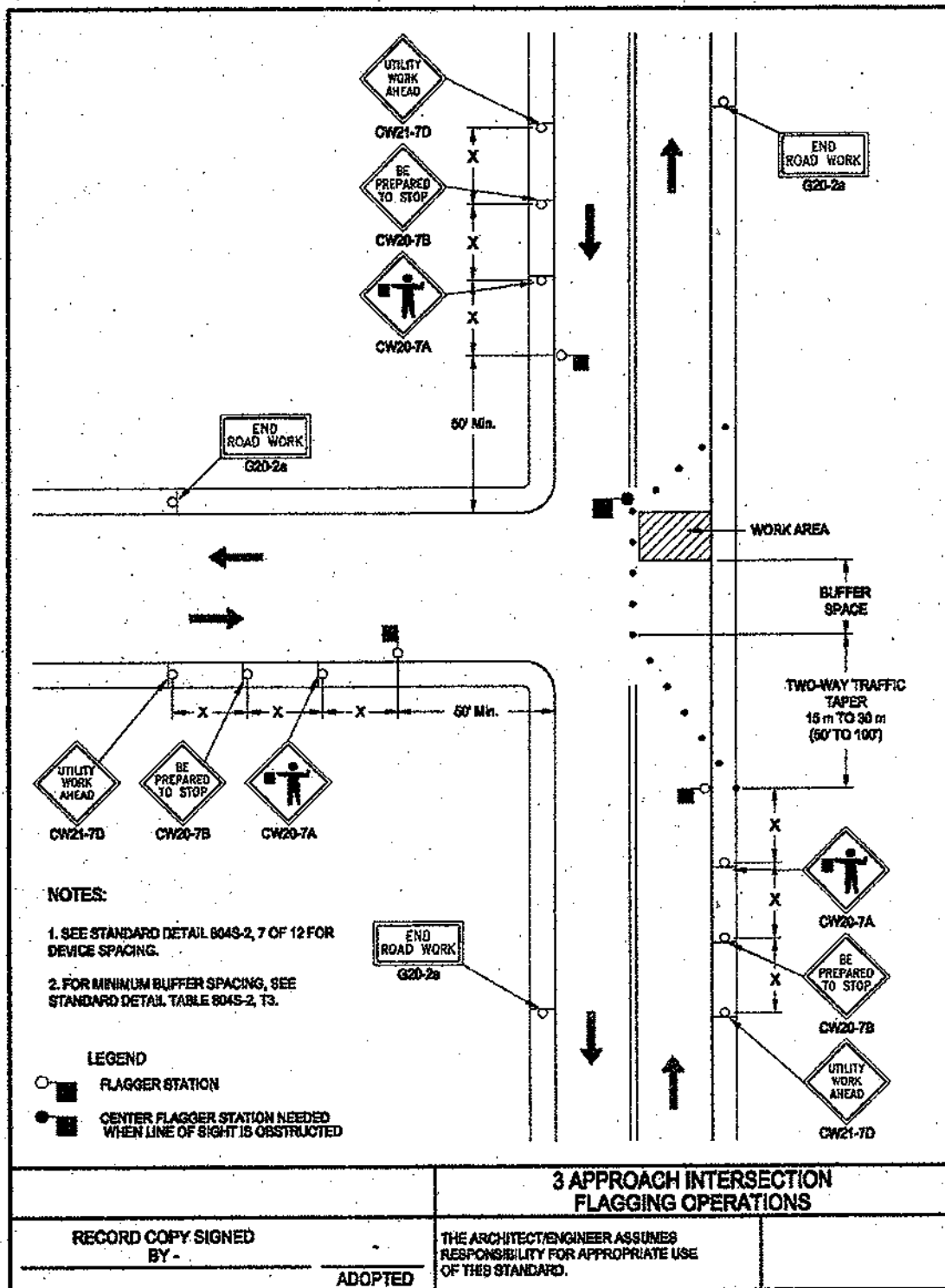
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/8/18 ZONING: P (PUBLIC)

Rev. 1: Correction 1:  
Rev. 2: Correction 2:  
Rev. 3: Correction 3:

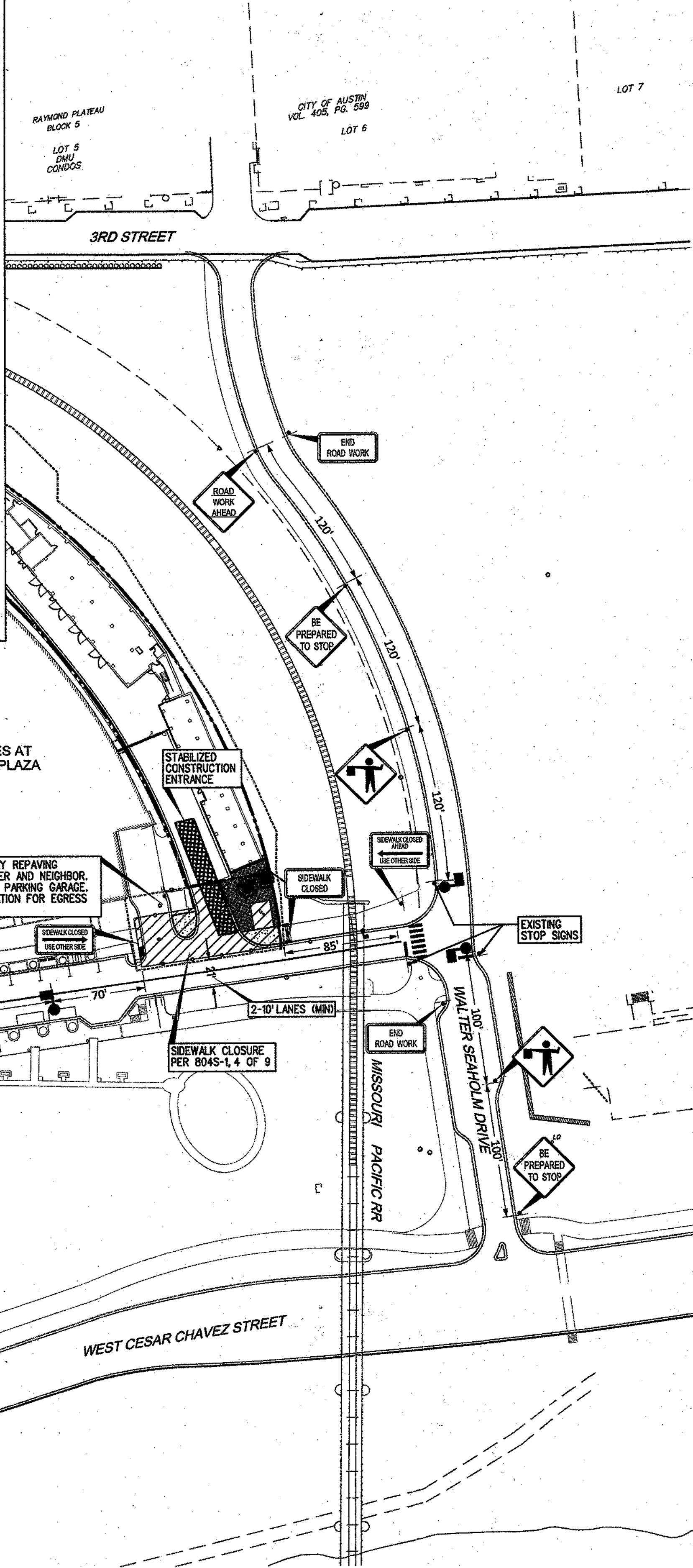
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS<br>RECORD COPY SIGNED BY BILL GARDNER<br>9/14/08<br>ADOPTED | CONCRETE PAVEMENT REPLACEMENT<br>AT UTILITY EXCAVATION<br>STANDARD NO. 480S-7 |
|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|



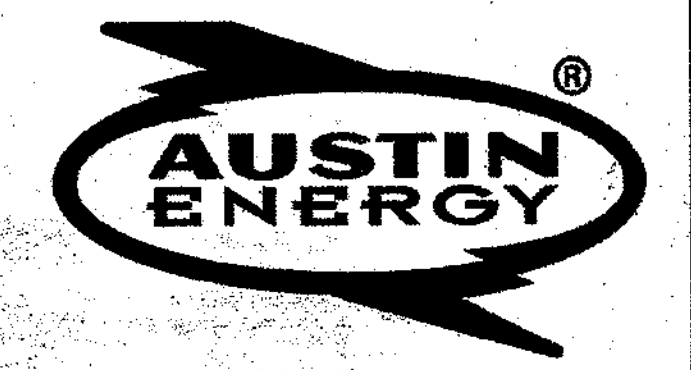
| 3 Approach Intersection Flagging Operations                                                                                                                                                                                                                                                                                      |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|-------------|----------------|----|----|----|----|----|----|----|-----|----|-----|----|-----|----|-----|----|-----|
| <b>Standard:</b>                                                                                                                                                                                                                                                                                                                 |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 1. Flagger stations shall be located such that approaching road users will have sufficient distance to stop at the intended stopping point.                                                                                                                                                                                      |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 2. All flagger personnel shall follow standard detail 804S-2, 1 & 2 of 9 when conducting flagging operations.                                                                                                                                                                                                                    |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 3. All flaggers shall have good visual contact or two-way radio contact with each other.                                                                                                                                                                                                                                         |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 4. Flagger stations shall be located far enough in advance of the work space so that approaching road users will have sufficient distance to stop before entering the work space.                                                                                                                                                |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| <b>Guidance:</b>                                                                                                                                                                                                                                                                                                                 |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 5. Floodlights should be provided as needed to mark flagger stations at night.                                                                                                                                                                                                                                                   |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 6. Table 804S-2, T3:                                                                                                                                                                                                                                                                                                             |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| <table><tr><th>Speed (mph)</th><th>Distance (ft.)</th></tr><tr><td>20</td><td>35</td></tr><tr><td>25</td><td>35</td></tr><tr><td>30</td><td>35</td></tr><tr><td>35</td><td>120</td></tr><tr><td>40</td><td>170</td></tr><tr><td>45</td><td>220</td></tr><tr><td>50</td><td>280</td></tr><tr><td>55</td><td>335</td></tr></table> |                | Speed (mph) | Distance (ft.) | 20 | 35 | 25 | 35 | 30 | 35 | 35 | 120 | 40 | 170 | 45 | 220 | 50 | 280 | 55 | 335 |
| Speed (mph)                                                                                                                                                                                                                                                                                                                      | Distance (ft.) |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 20                                                                                                                                                                                                                                                                                                                               | 35             |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 25                                                                                                                                                                                                                                                                                                                               | 35             |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 30                                                                                                                                                                                                                                                                                                                               | 35             |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 35                                                                                                                                                                                                                                                                                                                               | 120            |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 40                                                                                                                                                                                                                                                                                                                               | 170            |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 45                                                                                                                                                                                                                                                                                                                               | 220            |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 50                                                                                                                                                                                                                                                                                                                               | 280            |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 55                                                                                                                                                                                                                                                                                                                               | 335            |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| <b>Standard:</b>                                                                                                                                                                                                                                                                                                                 |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| 7. An Austin Police Officer shall be present for flagging operations performed at a traffic signal controlled intersection.                                                                                                                                                                                                      |                |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |
| RECORD COPY SIGNED BY: _____                                                                                                                                                                                                                                                                                                     | ADOPTED _____  |             |                |    |    |    |    |    |    |    |     |    |     |    |     |    |     |    |     |



- ### RIGHT OF WAY MANAGEMENT STANDARD NOTES
- For Right of Way violations including but not limited to working without a permit or an expired permit within the City of Austin ROW an investigation fee will be assessed for each offense until the violation is corrected. Following is the investigation fee schedule for violations of public safety:
    - a. No or Expired Permit = Equal to the cost of the permit
    - b. Violation of permit conditions, restriction limits, times and locations on ROW Permit = \$250
    - c. Improper Advance Warning Sign = \$250
    - d. Improper Use of Device = \$250
    - e. Failure to Correct Deficiency = \$500
    - f. Restricting Traffic During Peak Hours = Equal to the cost of the permit
    - g. Multiple Violations = Up to a 4 day Suspension of work
  - Contractors and their subcontractors must be licensed by the City of Austin for conducting work within the Right Of Way.
  - Contractor must obtain Right Of Way excavation permits from Right of Way Management Division, for each street prior to commencement of work. Please call (512) 974-1150 for additional information regarding permitting process and the most current right of way permitting fee schedule.
  - For work at signalized intersections Contractor must dial 311 or (512) 974-2000 to initiate a Citizens Service Request (CSR) for the Traffic Signals Group; to coordinate and gain approval a minimum of 1 week prior to change of project location or phase.
  - Contractor shall have an approved Right of Way permit on site at all times when working in the ROW.
  - Contractor must dial 311 or (512) 974-2000 to initiate a Citizens Service Request (CSR) for Right of Way Management a minimum of 1 week prior to start of work.
  - Contractor must provide training certification of competent person that will be responsible for the traffic control placement, to Right of Way Inspector, prior to start of work.
  - Storage of Equipment and/or Material within the ROW:
    - a. Storage of equipment in the ROW is permissible only within the current limits of long-term or intermediate-term closures and shall be limited to the equipment required for the current work activity. This equipment shall be protected behind barricades.
    - b. Storage of material in the ROW is permissible only within the current limits of long-term or intermediate-term closures and shall be limited to no more than the material required for three days of production. This material shall be protected behind water-filled barrier.
    - c. Equipment or material stored in the ROW shall not create a visual barrier to traffic.
  - No more than one work zone location may be set at one time.
  - Peak Hours for arterial and collector streets are 6am to 9am and 4pm to 6 pm, Monday through Friday. No disruption or reduction of active roadway or pedestrian route capacity shall occur during these times, unless allowed by traffic control plan.
  - Excavations shall be backfilled or plated when required to open impacted traffic lanes. For excavations exceeding a transverse width of 6 feet, the Contractor shall provide an engineered plating plan to the Owner's Representative for review by Right of Way Management Division. Per 804S-4, 5 of 9
  - Existing sidewalks and beaten paths shall be maintained as ADA compliant throughout the project duration with the exception of final flatwork and utility ties. Any work overhead within 25 feet of existing pedestrian pathways will require pedestrian covered walkways. Sidewalk closures for major sidewalk improvements have a 14-day maximum period and shall be completed in phases as to not close more than one block at a time.
  - "Road Work Ahead" and "Construction Entrance Ahead" signs must be placed at all approaches to Stabilized Construction Entrance. See the City of Austin standard details for sign spacing.
  - Driveways shall not be closed for more than 3 consecutive calendar days.
  - ADA compliance shall be maintained through Stabilized Construction Entrance.
  - Barrier shall be placed within guidelines set forth by the TML/OTD crash testing requirements (NCHRP Report 350) for that particular barrier used. Any modifications to that testing application shall be approved by the Engineer of Record.
  - For overnight protection of work zones within the ROW, refer to City of Austin Standard 804S-4 Series Details.
  - All temporary paving shall conform to City of Austin Standard Detail 1100S-4.
  - Initial and phase change traffic control changes shall be installed on the weekends.
  - The name and telephone number of the Contractor or Supplier shall be shown on the non-reflective surface of all channelizing devices in accordance with the City of Austin Standard 800 Series Details.

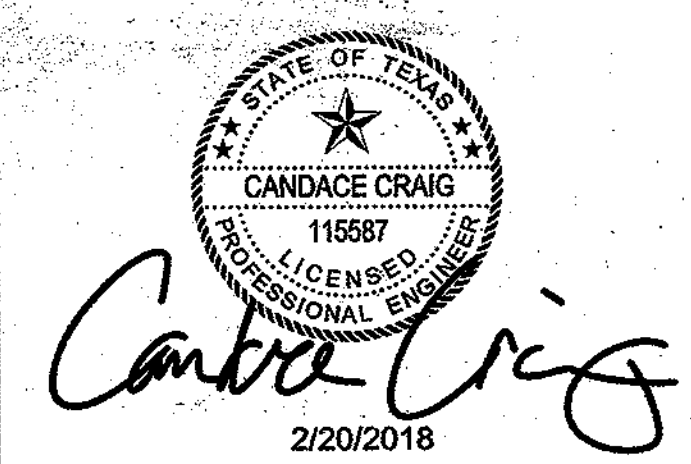
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**AUSTIN ENERGY**  
**DISTRICT COOLING**  
**PLANT NO. 3**  
812 W. 2ND STREET AUSTIN, TX 78701



**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #F-1843

**EEA CONSULTING ENGINEERS**  
6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com  
State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



TITLE:  
**TRAFFIC CONTROL PLAN**  
PROJECT NUMBER: 15-843  
DRAWN BY: NT/SC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
**C1.17**  
25 OF 34

| Street       | Classification | Protection         | Street From        | Street To          | Planned Improvements       | Traffic Control Plan Sheet / Detail | Allowed Barricading Hours         | Duration | Comments                                                        |
|--------------|----------------|--------------------|--------------------|--------------------|----------------------------|-------------------------------------|-----------------------------------|----------|-----------------------------------------------------------------|
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Water & Storm installation | C1.18                               | 9am-4pm Mon-Fri; 7am-7pm Weekends |          |                                                                 |
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Driveway & Sidewalk        | C1.17; 804-1, 4 OF 9                | 9am-4pm Mon-Fri; 7am-7pm Weekends |          |                                                                 |
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Construction Entrance      | C1.17                               | 9am-4pm Mon-Fri; 7am-7pm Weekends |          | Lay down construction entrance signs when other TCP is in place |

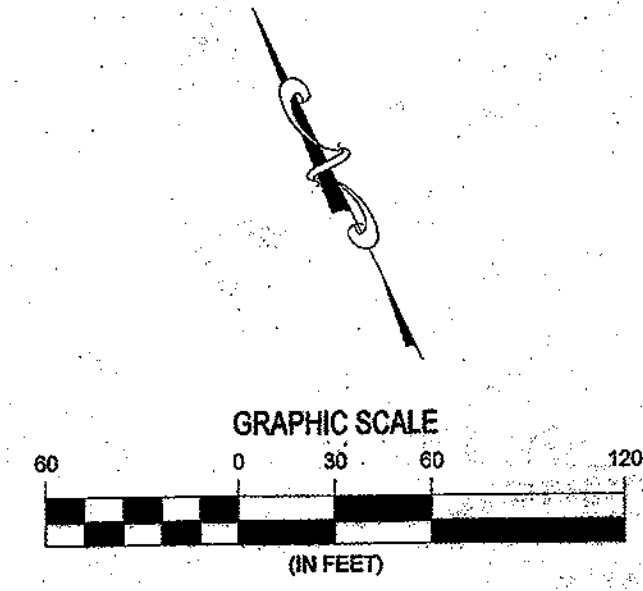
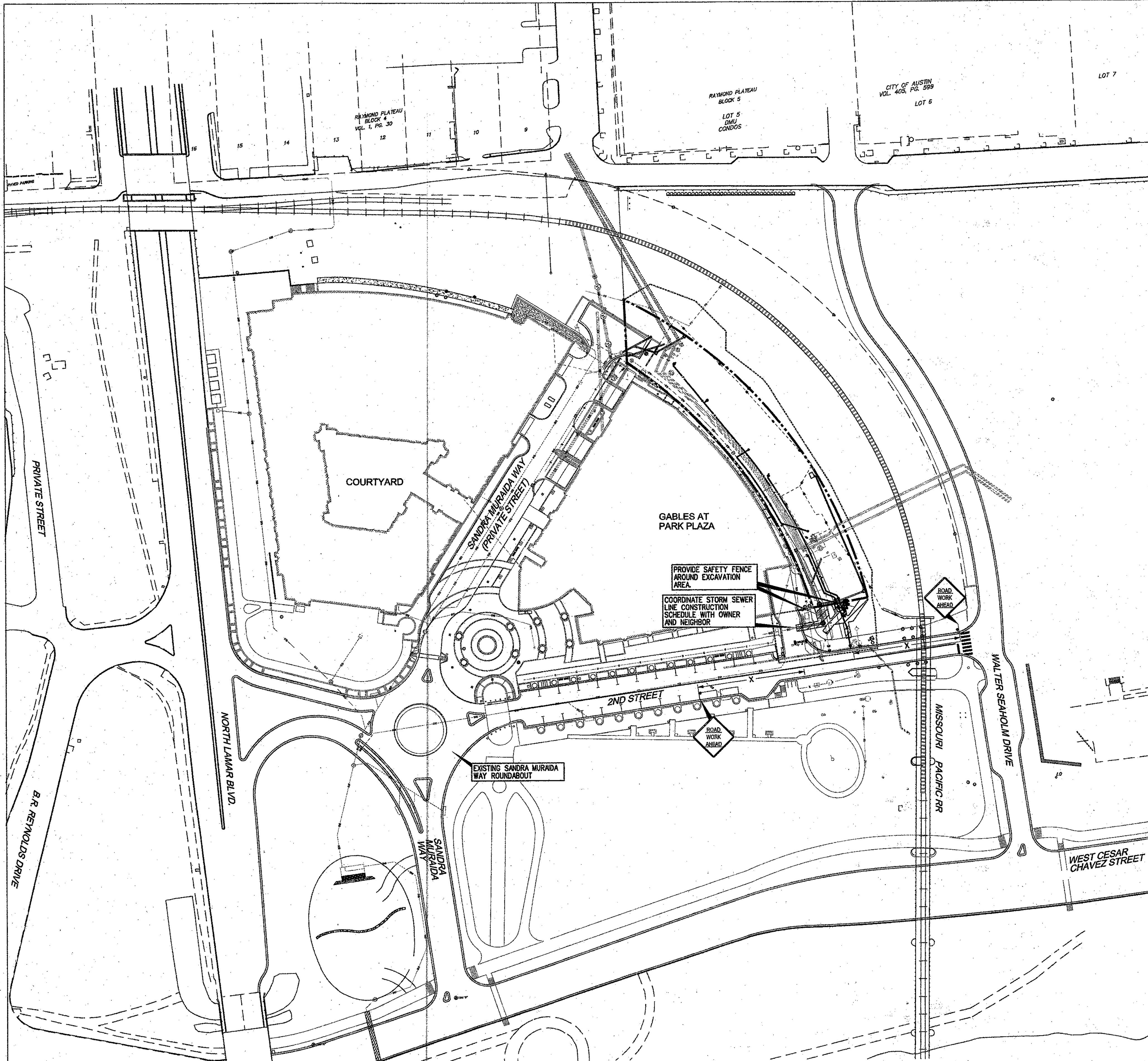
**City of Austin**  
**Copy ARC**

PHASE 1 & 3 -  
CONSTRUCTION ENTRANCE,  
DRIVEWAY, & SIDEWALK

|                                           |                                    |
|-------------------------------------------|------------------------------------|
| SITE PLAN APPROVAL                        | SHEET 25 OF 34                     |
| FILE NUMBER: SP-2017-0038C                | APPLICATION DATE: FEBRUARY 6, 2017 |
| APPROVED BY COMMISSION ON: N/A            | UNDER SECTION 112 OF               |
| CHAPTER 25-5 OF THE CITY OF AUSTIN CODE   |                                    |
| EXPIRATION DATE (2-5-81, LDC) 2/2/18      | CASE MANAGER: NIKKI HOELTER        |
| PROJECT OPERATING DATE (OED #0000-A) N/A  | DWZ: DWZ X                         |
| Director, Development Services Department | ZONING: P (PUBLIC)                 |
| RELEASED FOR GENERAL COMPLIANCE: 2/18/18  |                                    |
| Rev 1:                                    | Correction 1:                      |
| Rev 2:                                    | Correction 2:                      |
| Rev 3:                                    | Correction 3:                      |

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

S:\Projects\Austin\District Cooling Plant No. 3 - 15-843\CAD\Plans\Site Plan\Sheet025-DCP3-4-TCP1.dgn



LEGEND :

WORK ZONE IN ROW [Symbol]

SIGN [Symbol]

FLAGGER [Symbol]

CHANNELIZING DEVICES [Symbol]

BARRICADE [Symbol]

RIGHT OF WAY MANAGEMENT STANDARD NOTES

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- The name and telephone number of the Contractor or Supplier shall be shown on the non-reflective surface of all channelizing devices in accordance with the City of Austin Standard 800 Series Details.

City of Austin  
Copy ARC

PHASE 2  
WATER LINE & STORM  
SEWER CONSTRUCTION

| Street       | Classification | Protection         | Street From        | Street To          | Planned Improvements       | Traffic Control Plan Sheet / Detail | Allowed Barricading Hours         | Duration | Comments                                                        |
|--------------|----------------|--------------------|--------------------|--------------------|----------------------------|-------------------------------------|-----------------------------------|----------|-----------------------------------------------------------------|
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Water & Storm installation | C1.18                               | 9am-4pm Mon-Fri; 7am-7pm Weekends |          |                                                                 |
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Driveway & Sidewalk        | C1.17; 804-1, 4 OF 9                | 9am-4pm Mon-Fri; 7am-7pm Weekends |          |                                                                 |
| West 2nd St. | Collector      | Protected - 7 Year | Sandra Muraida Way | Walter Seaholm Dr. | Construction Entrance      | C1.17                               | 9am-4pm Mon-Fri; 7am-7pm Weekends |          | Lay down construction entrance signs when other TCP is in place |

SITE PLAN APPROVAL

FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017

APPROVED BY COMMISSION ONE: N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE: 02-5-31, LDC 2012 CASE MANAGER: NIKKI HOELTER

PROJECT EXPIRATION DATE (OED #30905-A): N/A DWG: DOZ: X

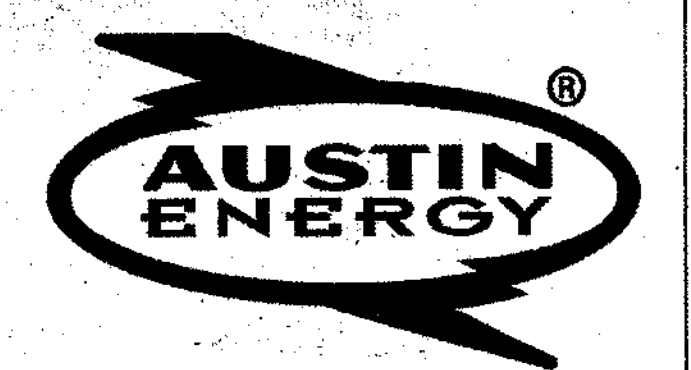
Director, Development Services Department RELEASED FOR GENERAL COMPLIANCE: 3/8/18 ZONING: P (PUBLIC)

Rev.1: Correction 1: Rev.2: Correction 2: Rev.3: Correction 3:

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

| REVISIONS |      |             |
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AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701



UDG  
Urban Design Group PC  
TX Registered Engineering Firm #P-1849

EEEA CONSULTING ENGINEERS  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

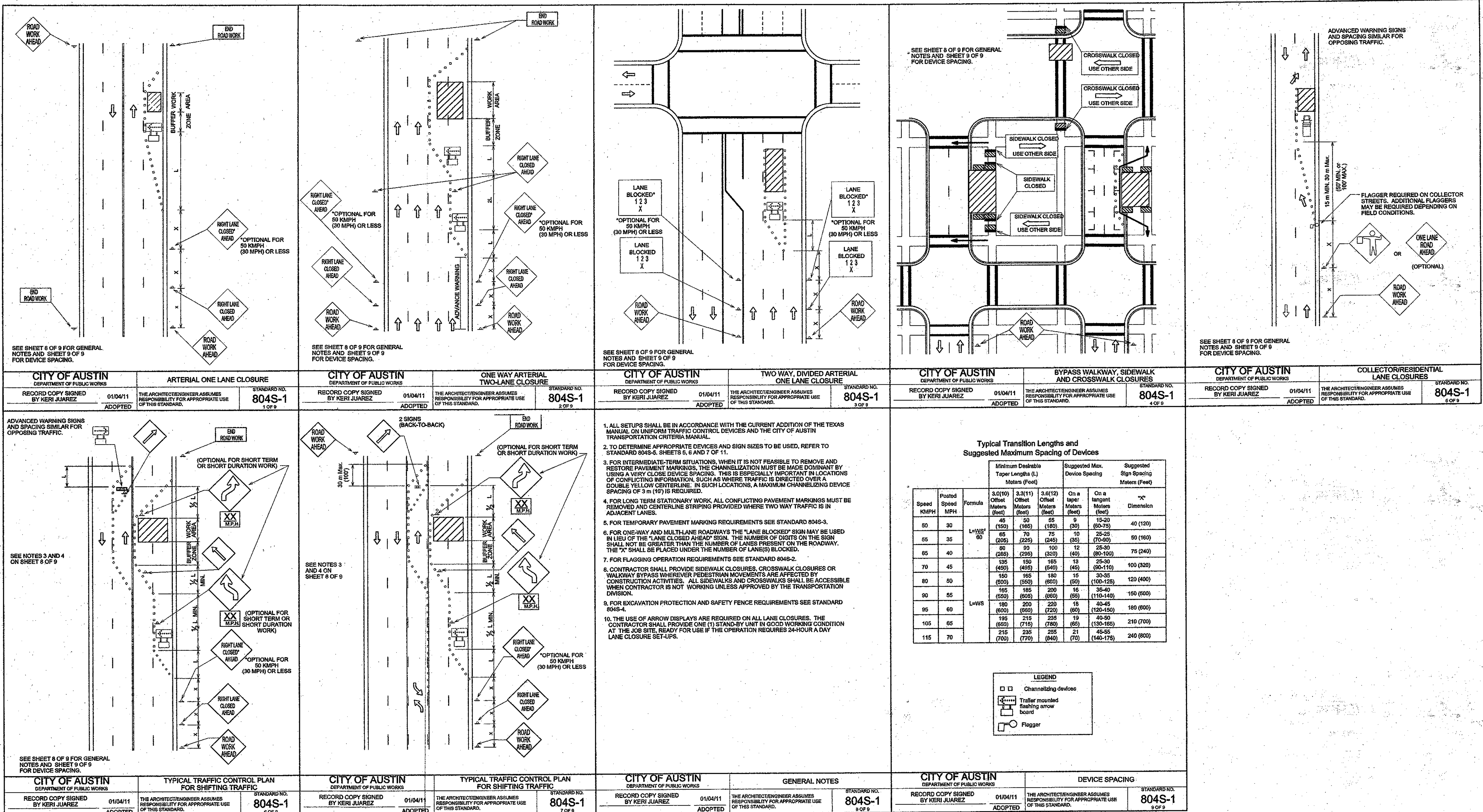
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119

Professional Engineer Seal for Candace Craig, License No. 115587, State of Texas. Signature of Candace Craig dated 2/20/2018.

Traffic Control Plan

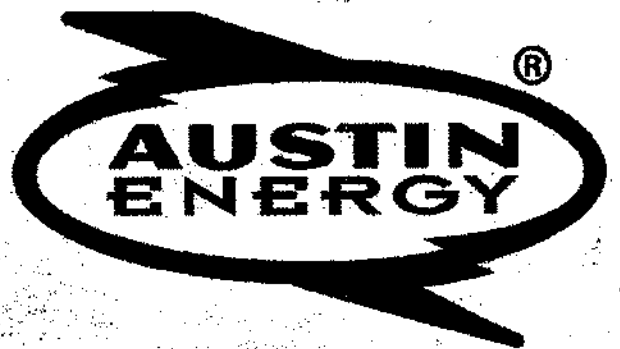
PROJECT NUMBER: 15-843  
DRAWN BY: NITCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET: C1.18  
26 OF 34



| REVISIONS |      |             |
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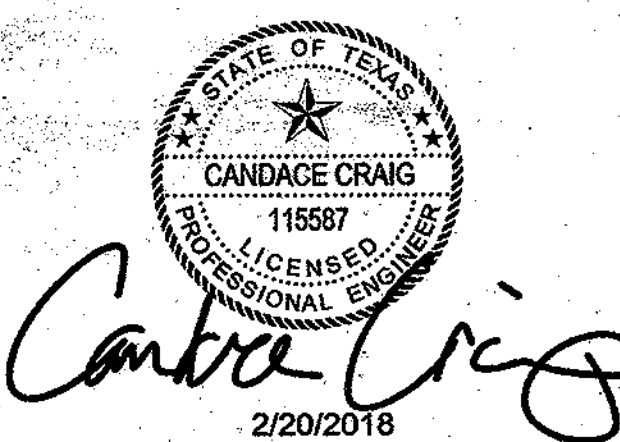
AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3  
812 W. 2ND STREET AUSTIN, TX 78701



UDG  
Urban Design Group PC  
TX Registered Engineering Firm #P-1843

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512.744.4400 main - 512.744.4444 fax  
www.eeace.com

State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



TITLE:  
TRAFFIC CONTROL PLAN  
DETAIL 804S-1

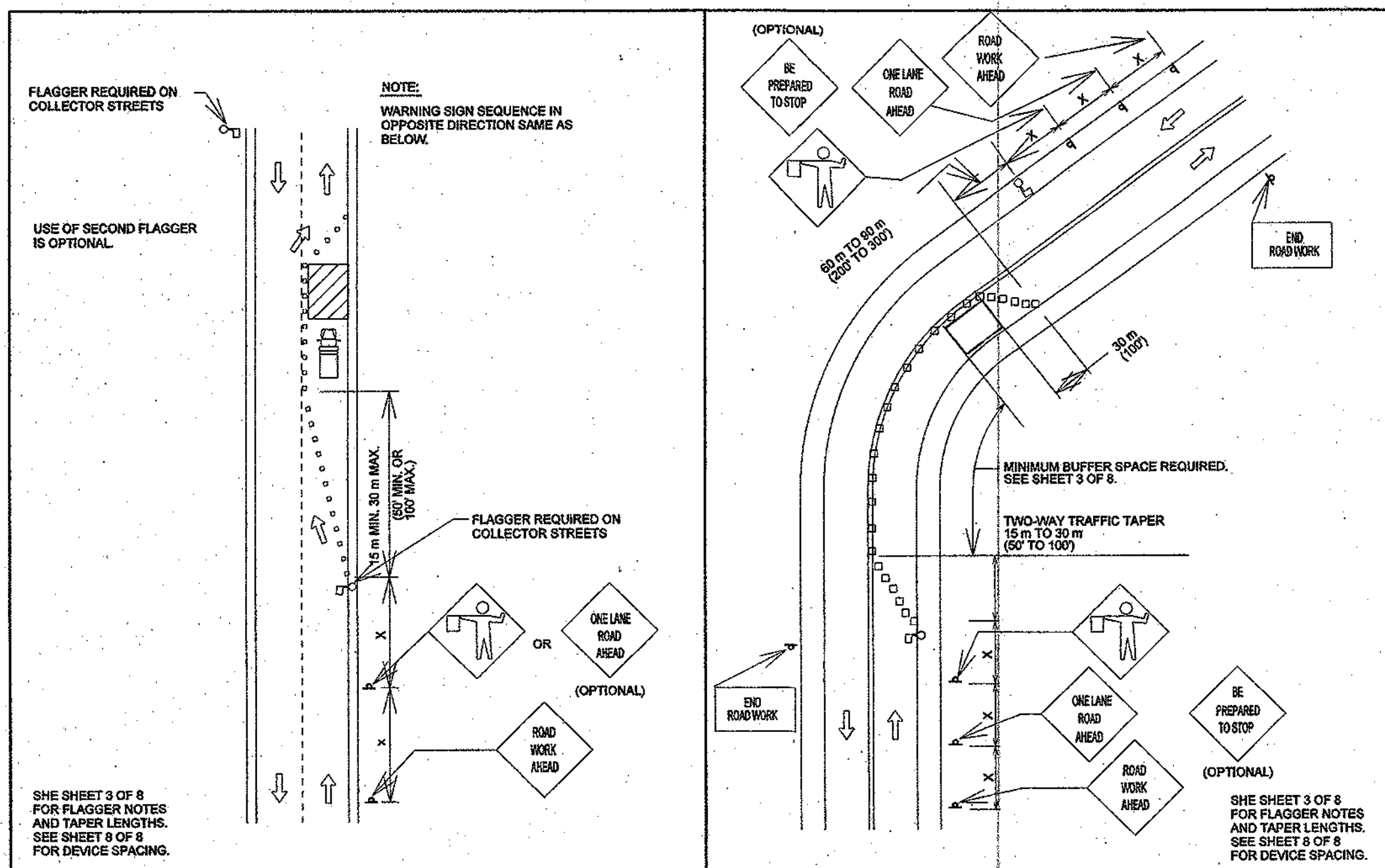
PROJECT NUMBER: 15-843  
DRAWN BY: NITCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
C1.19  
27 OF 34

TRAFFIC CONTROL

This note is being placed on the plan set in place of a temporary traffic control strategy with the full understanding that, at a minimum of 6 weeks prior to the start of construction, a temporary traffic control plan must be reviewed and approved by the Right of Way Management Division. The owner/representative further recognizes that a review fee, as prescribed by the most current version of the City's fee ordinance, shall be paid each time a plan or plan revision is submitted to Right of Way Management Division for review. The following must be taken into consideration when developing future traffic control strategies:  
- Pedestrian and bicycle traffic access must be maintained at all times, unless otherwise authorized by Right of Way Management.  
- No long-term lane closures will be authorized, unless Right of Way Management determines that adequate accommodations have been made to minimize traffic impact.  
Project should be phased so that utility installation minimally impacts existing or temporary pedestrian facilities.

SITE PLAN APPROVAL SHEET 27 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-31, LDC 38/21) CASE MANAGER: NIKKI HOELTER  
PROBATION DATE (OED #7005-A) N/A DWIZ DOZ X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE 2/18/18 ZONING: P (PUBLIC)  
Rev. 1: Correction 1:  
Rev. 2: Correction 2:  
Rev. 3: Correction 3:  
Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



**FLAGGER SETUP FOR 2 LANE ROADWAY**

STANDARD NO. 804S-2

RECORD COPY SIGNED BY BILL GARDNER 03/13/06 ADOPTED

THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

**TAPER LENGTHS**

| SPEED (kmph) | SPEED (mph) | LENGTH (meters) | LENGTH (feet) |
|--------------|-------------|-----------------|---------------|
| 30           | 20          | 11              | 35            |
| 40           | 25          | 17              | 55            |
| 50           | 30          | 26              | 85            |
| 55           | 35          | 36              | 120           |
| 65           | 40          | 51              | 170           |
| 70           | 45          | 66              | 220           |
| 80           | 50          | 84              | 280           |
| 90           | 55          | 101             | 335           |
| 95           | 60          | 125             | 415           |
| 105          | 65          | 146             | 485           |

\*POSTED SPEED

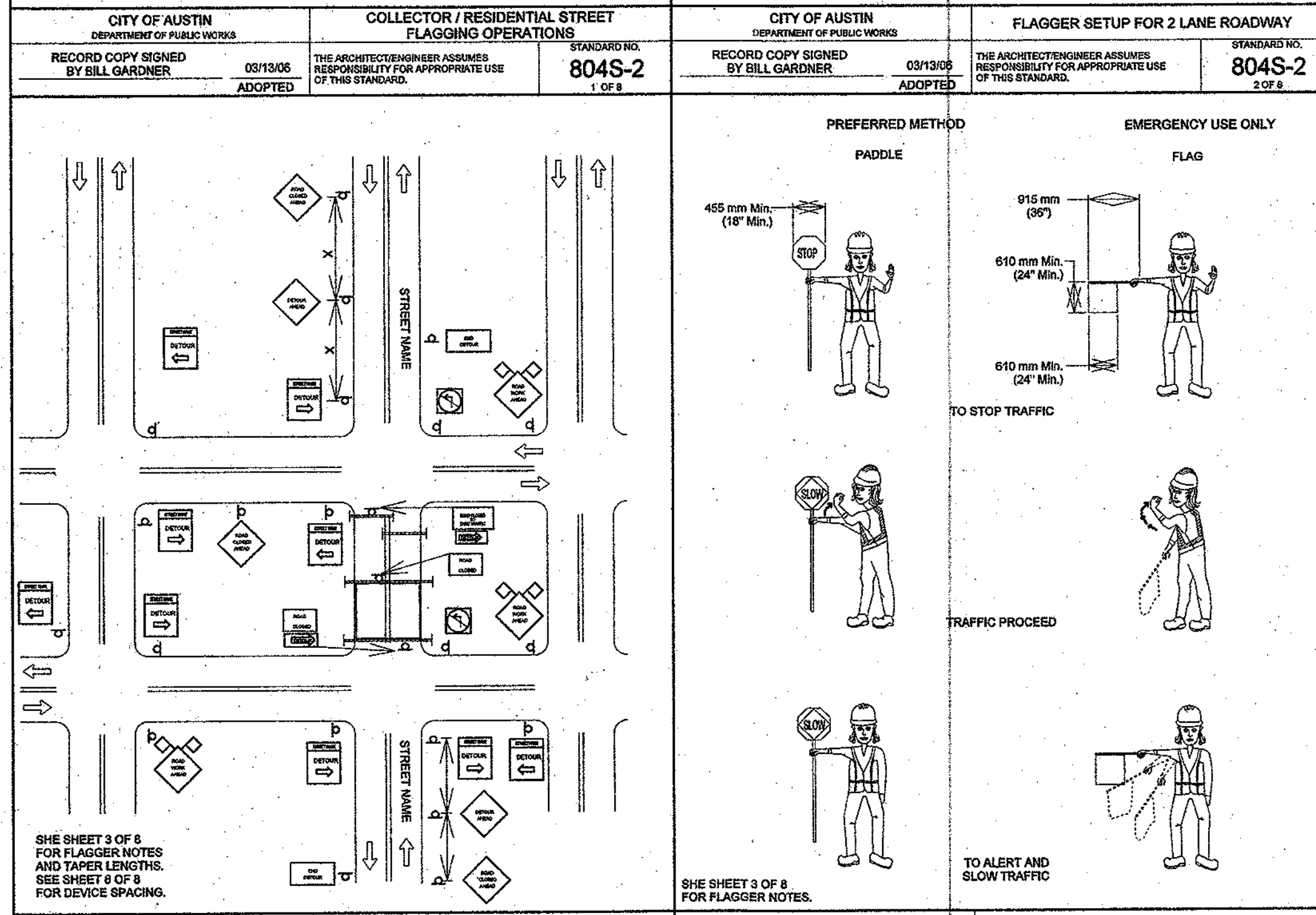
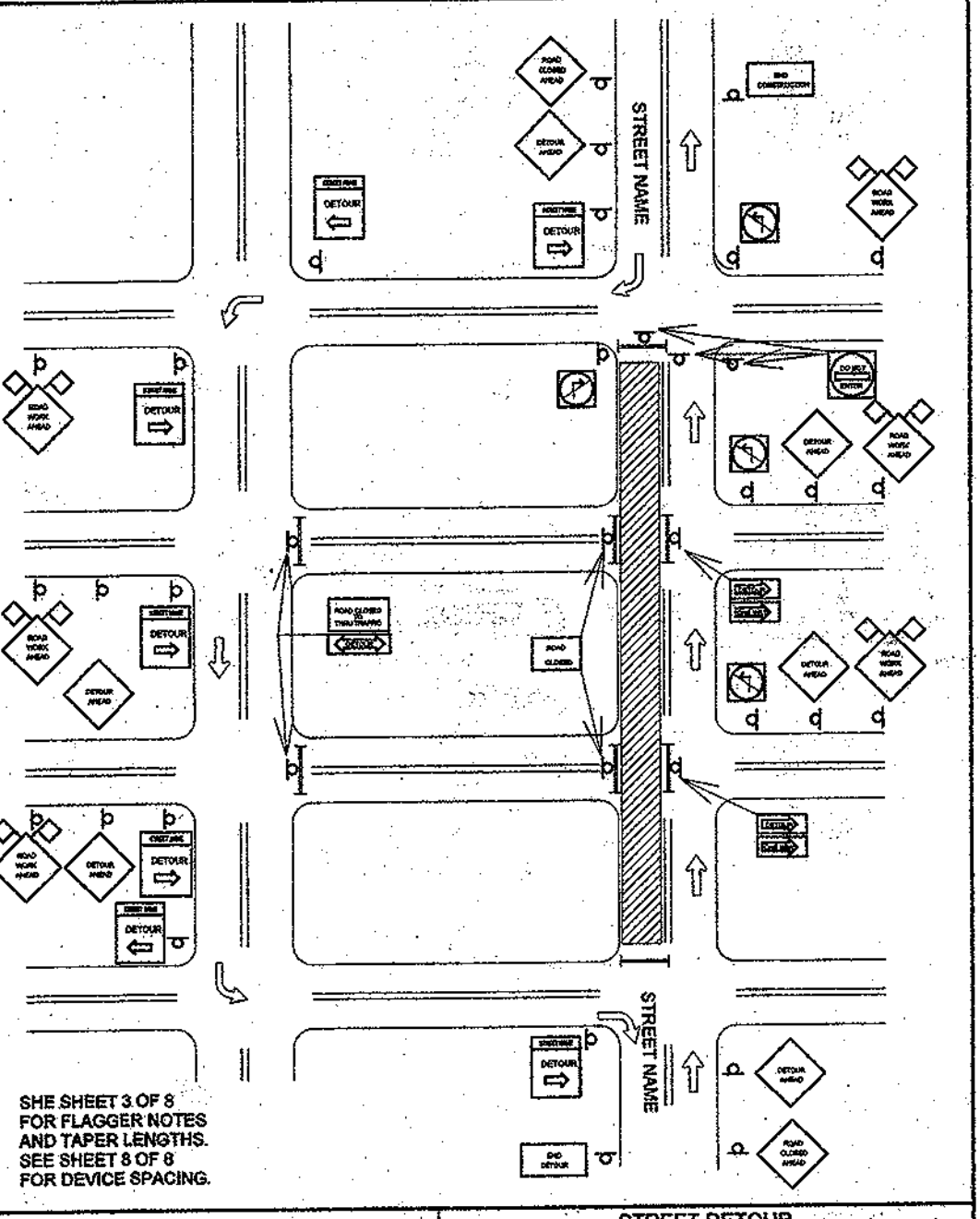
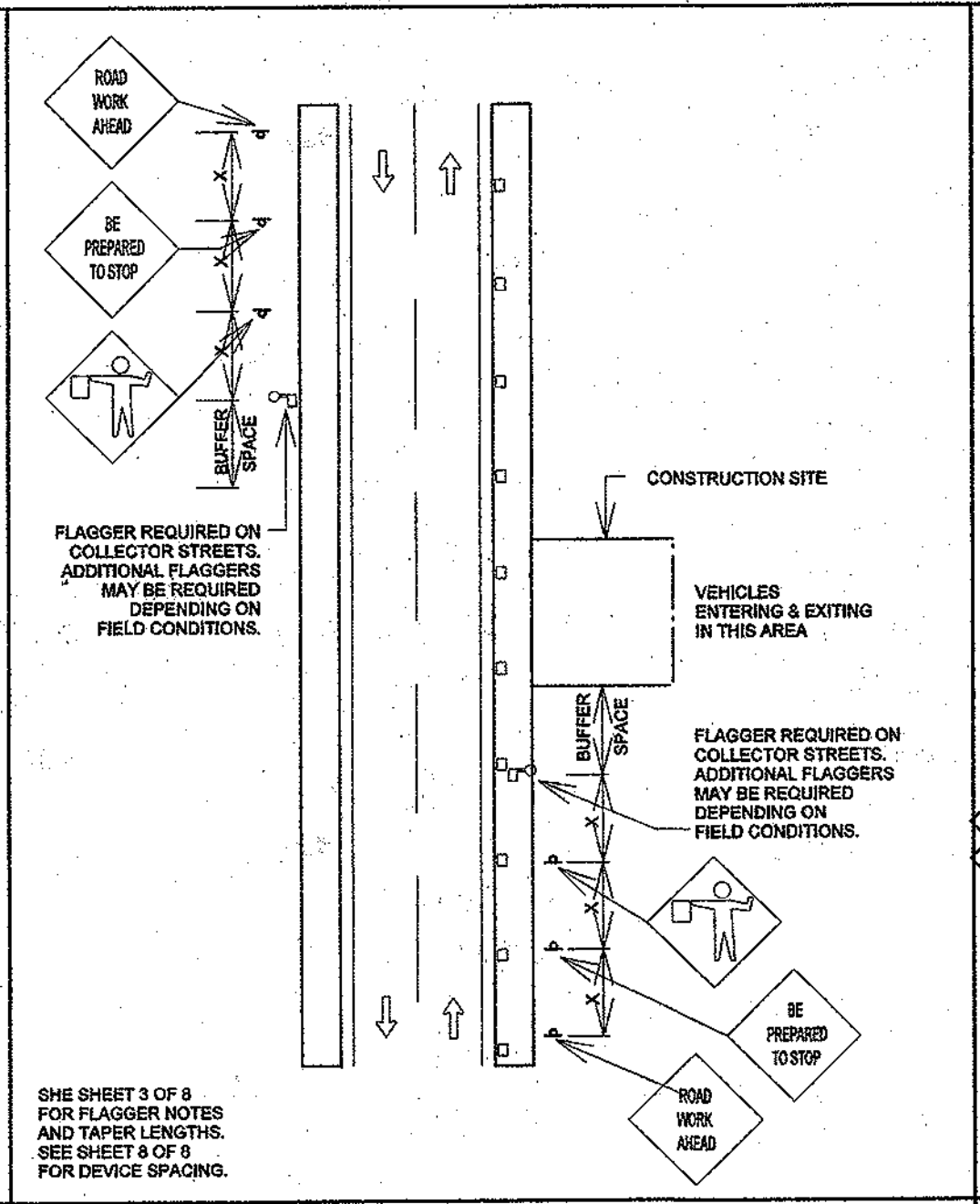
MINIMUM BUFFER SPACE REQUIRED. SEE SHEET 3 OF 8.

TWO-WAY TRAFFIC TAPER 15 m TO 30 m (50' TO 100')

ONE LANE ROAD AHEAD (OPTIONAL)

ROAD WORK AHEAD (OPTIONAL)

SEE SHEET 3 OF 8 FOR FLAGGER NOTES AND TAPER LENGTHS. SEE SHEET 8 OF 8 FOR DEVICE SPACING.



**TYPICAL TRANSITION LENGTHS AND SUGGESTED MAXIMUM SPACING OF DEVICES**

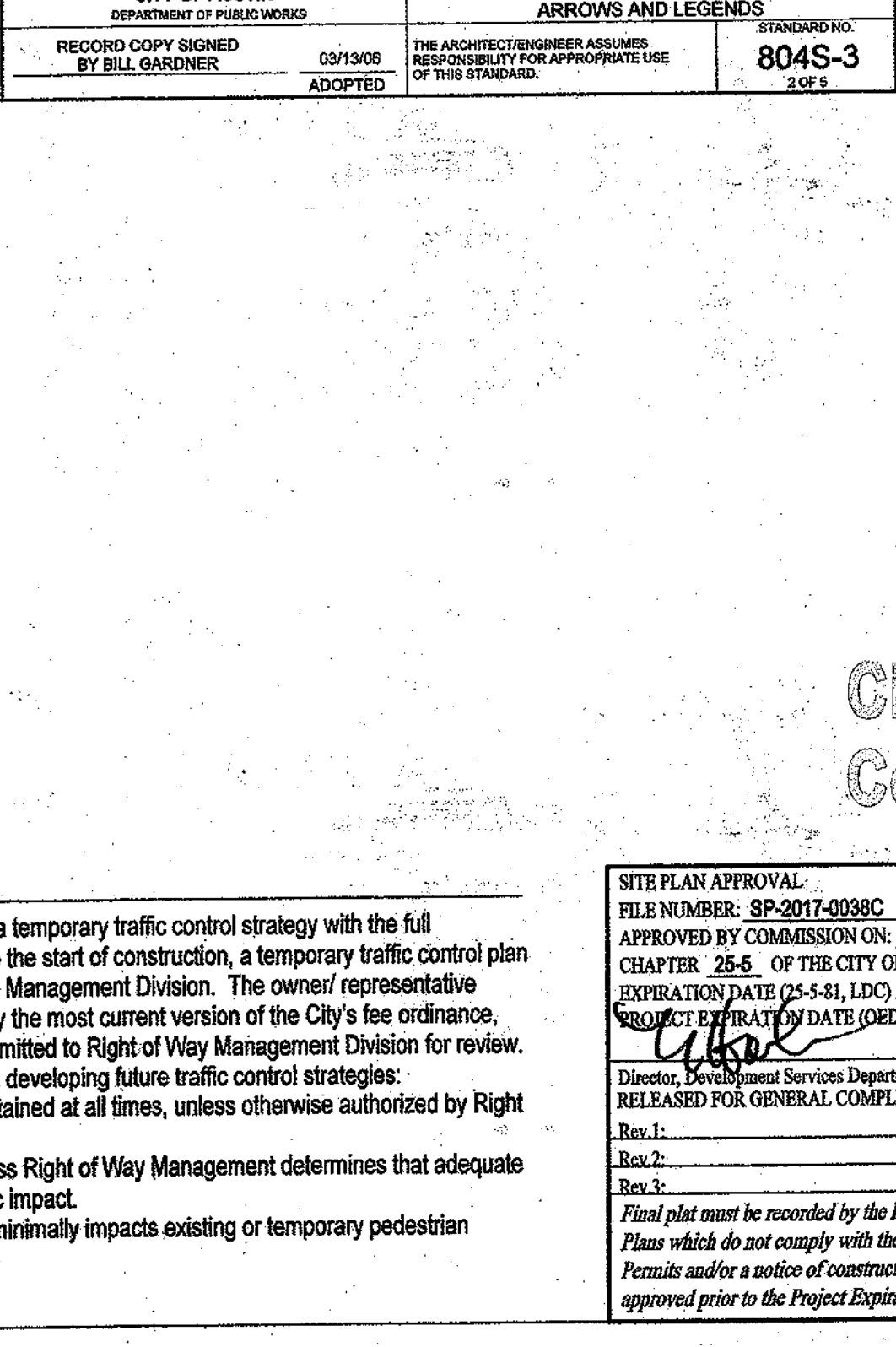
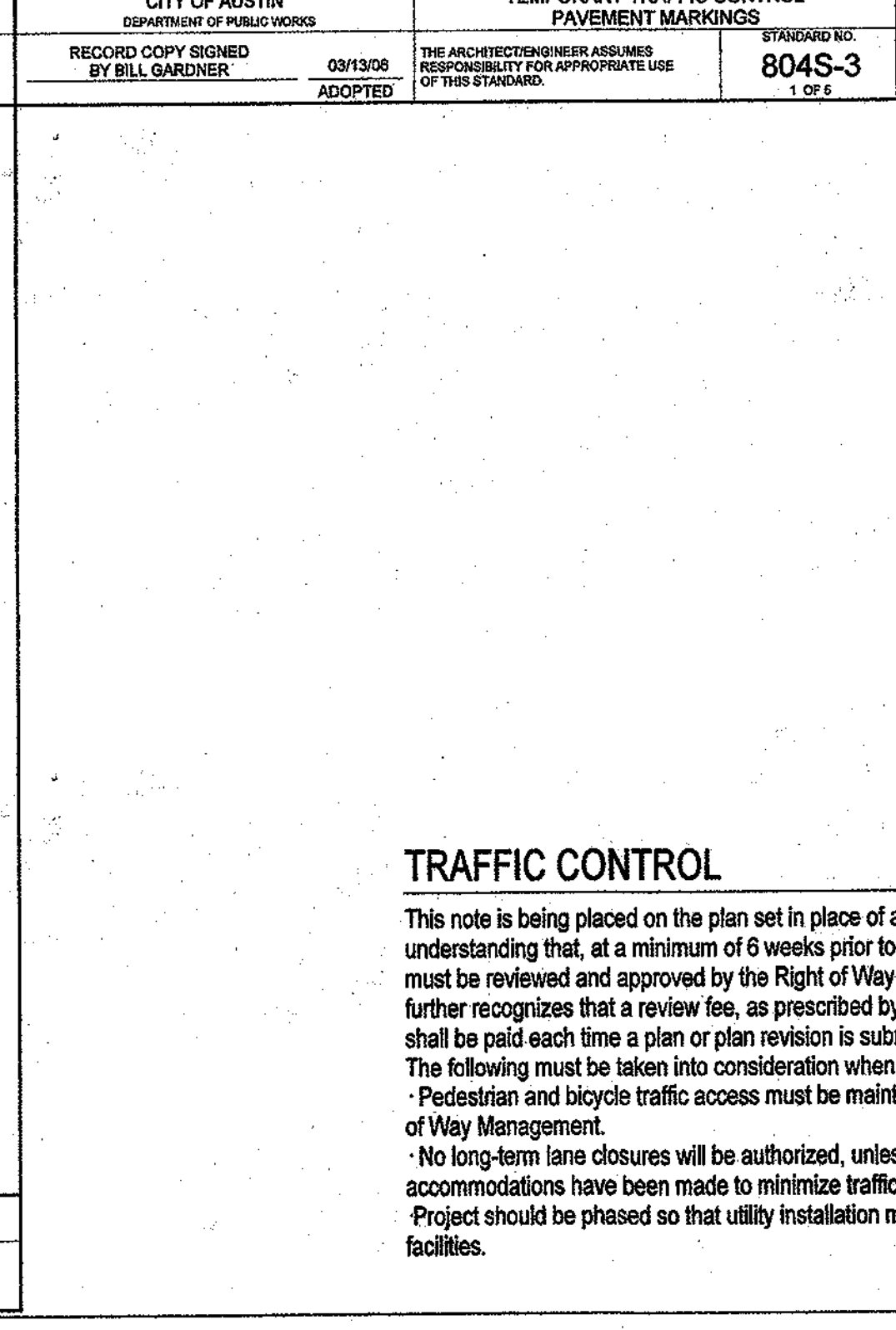
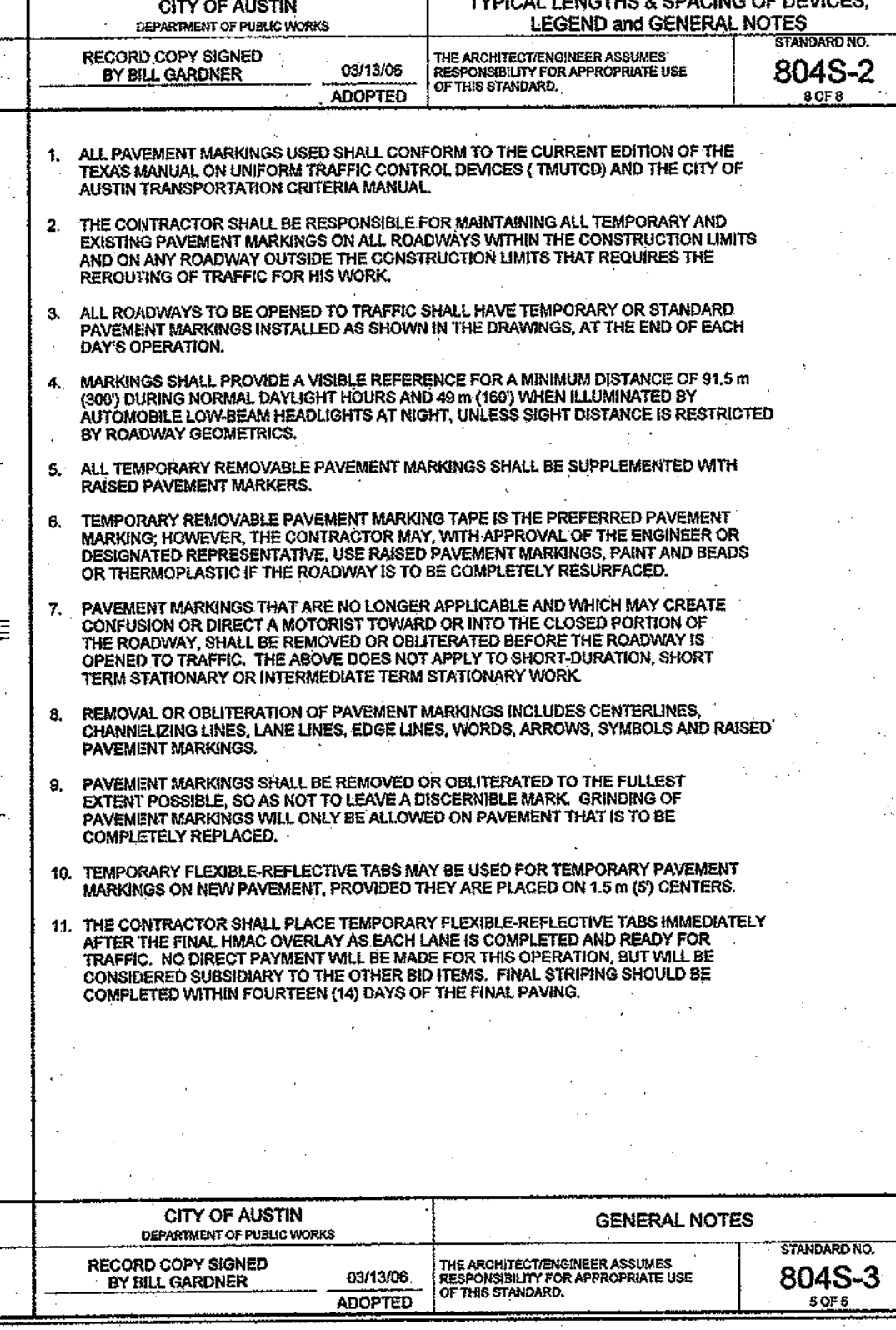
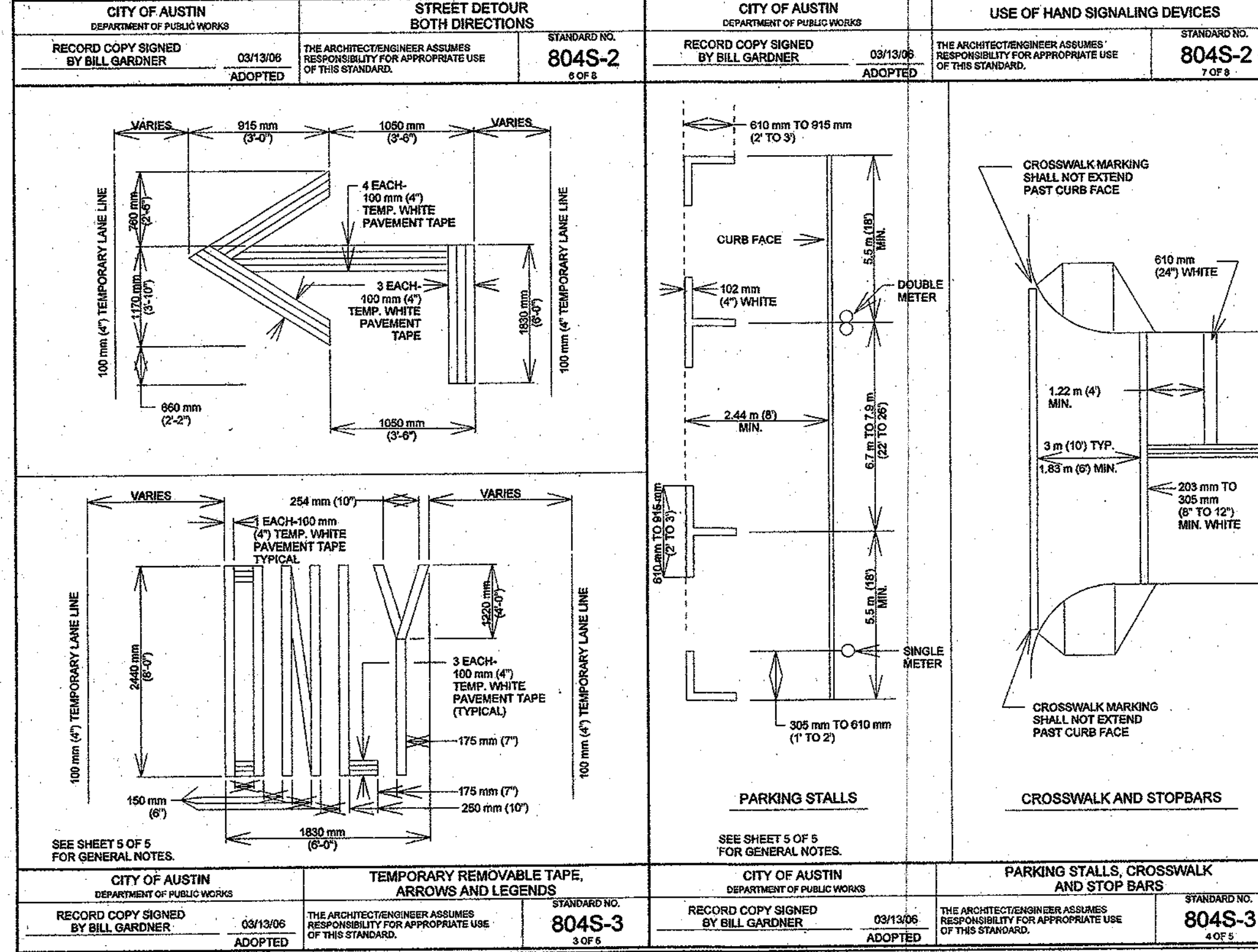
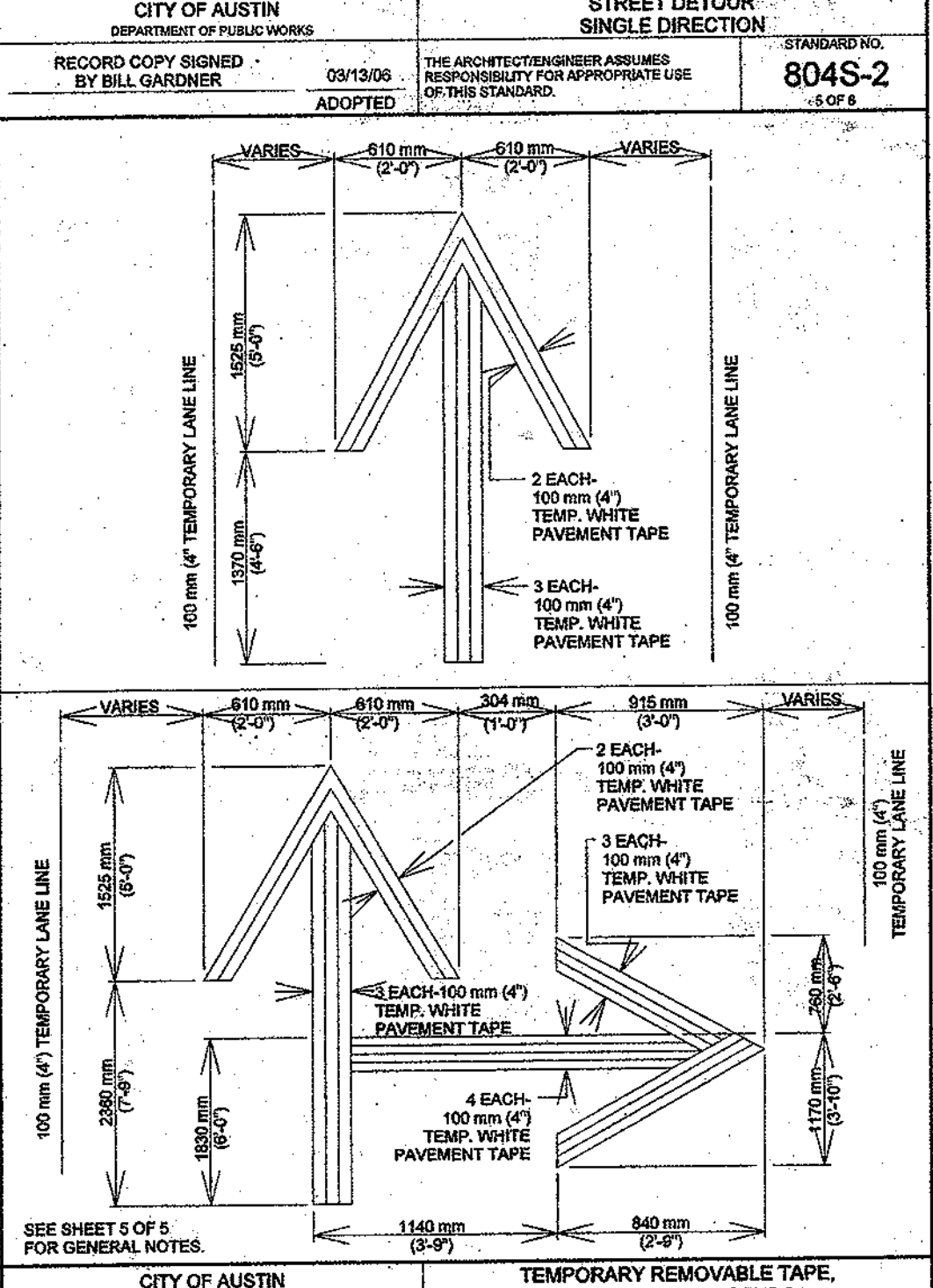
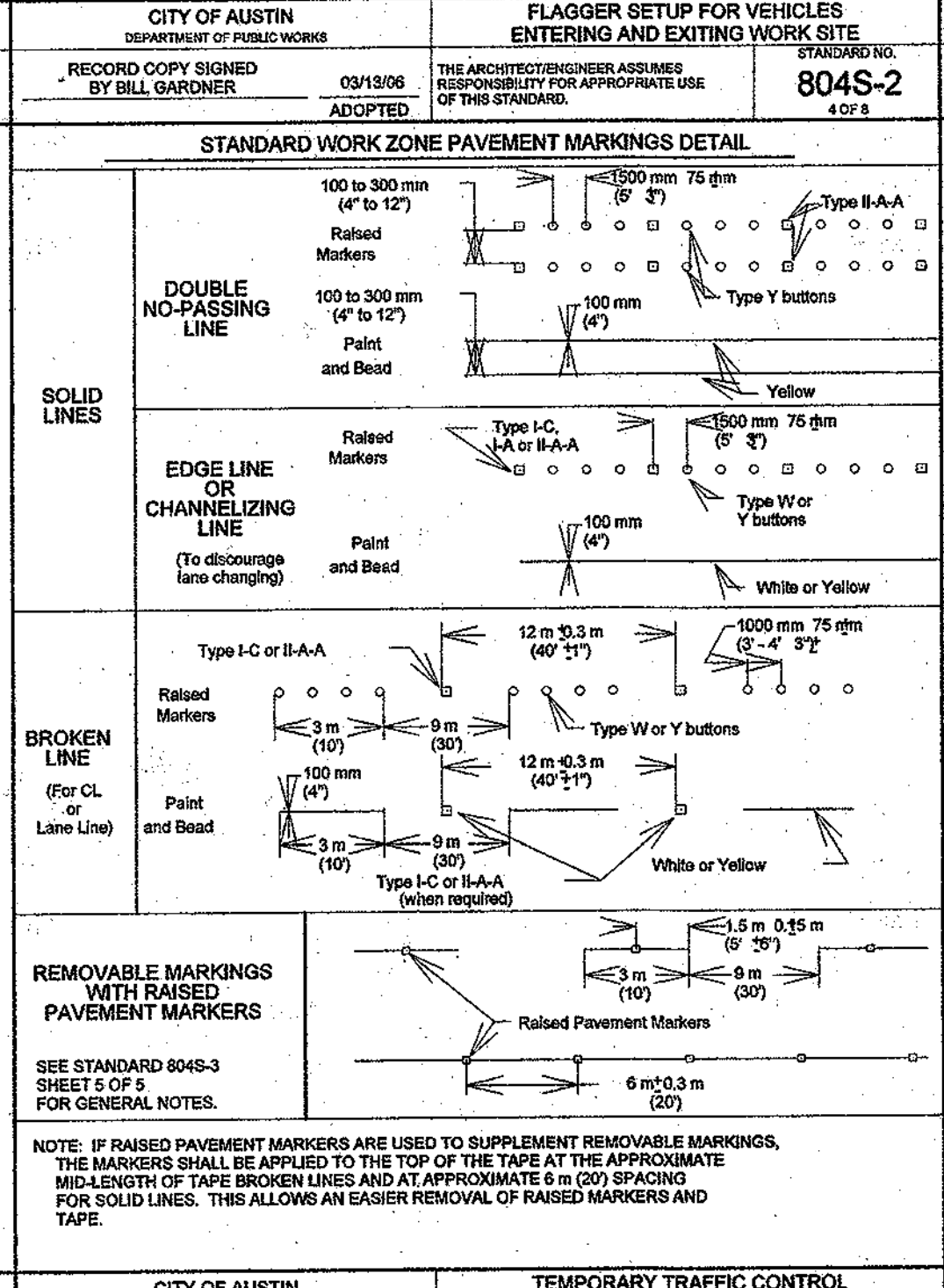
| Speed (kmph) | Speed (mph) | Formula     | Minimum Desirable Taper Lengths (L) Meters (Feet) | Suggested Max. Device Spacing Meters (Feet) | Suggested Sign Spacing Meters (Feet) |
|--------------|-------------|-------------|---------------------------------------------------|---------------------------------------------|--------------------------------------|
| 50           | 30          | L = 100 * S | 3,0 (10) (164)                                    | 3,3 (11) (209)                              | 3,3 (11) (209)                       |
| 55           | 35          | L = 100 * S | 3,3 (11) (209)                                    | 3,8 (12) (249)                              | 3,8 (12) (249)                       |
| 65           | 40          | L = 100 * S | 3,8 (12) (249)                                    | 4,5 (15) (295)                              | 4,5 (15) (295)                       |
| 70           | 45          | L = 100 * S | 4,5 (15) (295)                                    | 5,1 (17) (332)                              | 5,1 (17) (332)                       |
| 80           | 50          | L = 100 * S | 5,1 (17) (332)                                    | 6,1 (20) (400)                              | 6,1 (20) (400)                       |
| 90           | 55          | L = 100 * S | 6,1 (20) (400)                                    | 7,3 (24) (479)                              | 7,3 (24) (479)                       |
| 95           | 60          | L = 100 * S | 7,3 (24) (479)                                    | 8,4 (28) (558)                              | 8,4 (28) (558)                       |
| 105          | 65          | L = 100 * S | 8,4 (28) (558)                                    | 9,8 (32) (640)                              | 9,8 (32) (640)                       |
| 115          | 70          | L = 100 * S | 9,8 (32) (640)                                    | 11,3 (37) (738)                             | 11,3 (37) (738)                      |

**LEGEND**

- Channelizing devices
- Trailer mounted flashing arrow boards
- Flagger

**TRAFFIC DETOUR NOTES:**

- STREET CLOSED AND "STREET CLOSED TO TRAFFIC" MAY BE USED IN PLACE OF "ROAD CLOSED" AND "ROAD CLOSED TO TRAFFIC".
- THE USE OF A STREET SIGN NAME PLATE MOUNTED WITH THE "ROAD CLOSED" SIGN IS REQUIRED. THE STREET NAME PLATE SHOULD BE PLACED ON THE TRAFFIC SIGN. THE PLATE MAY HAVE EITHER A WHITE OR GREEN OR A BLACK-ON-ORANGE LEGEND.
- ADDITIONAL "DO NOT ENTER" SIGNS MAY BE DESIRABLE AT INTERSECTIONS WITH INTERVENING STREETS.
- A MAJOR DETOUR SIGN WITH AN ADVANCE TURN ARROW MAY BE USED IN ADVANCE OF A TURN ON MULTILANE STREETS. SUCH SIGNS SHOULD BE USED.
- A MAJOR DETOUR SIGN MAY BE LOCATED ON THE FAR SIDE OF INTERSECTIONS.
- TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES



# AUSTIN ENERGY

## DISTRICT COOLING

### PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701

**AUSTIN ENERGY**

3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #1545

6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314-USA  
512.744.4400 main • 512.744.4444 fax  
www.eaace.com

State of registration TEXAS  
Firm Registration No. P-2497  
EIA Project No. 20140119

**EEA CONSULTING ENGINEERS**

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Austin, Texas 78730-2314-USA  
512.744.4400 main • 512.744.4444 fax  
www.eaace.com

State of registration TEXAS  
Firm Registration No. P-2497  
EIA Project No. 20140119

**City of Austin**  
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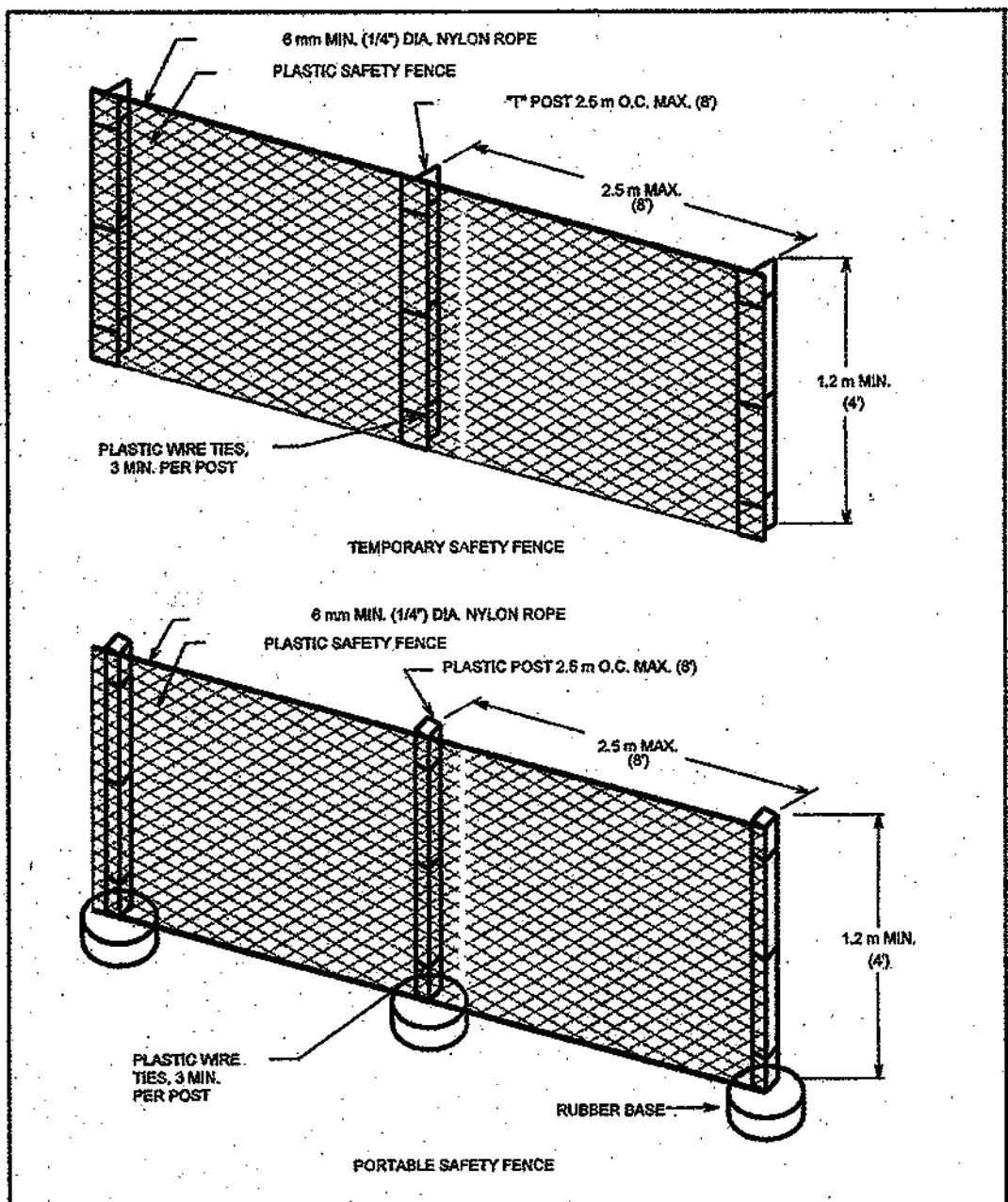
2/20/2018

TITLE: **TRAFFIC CONTROL PLAN DETAILS 804S-2 & 804S-3**

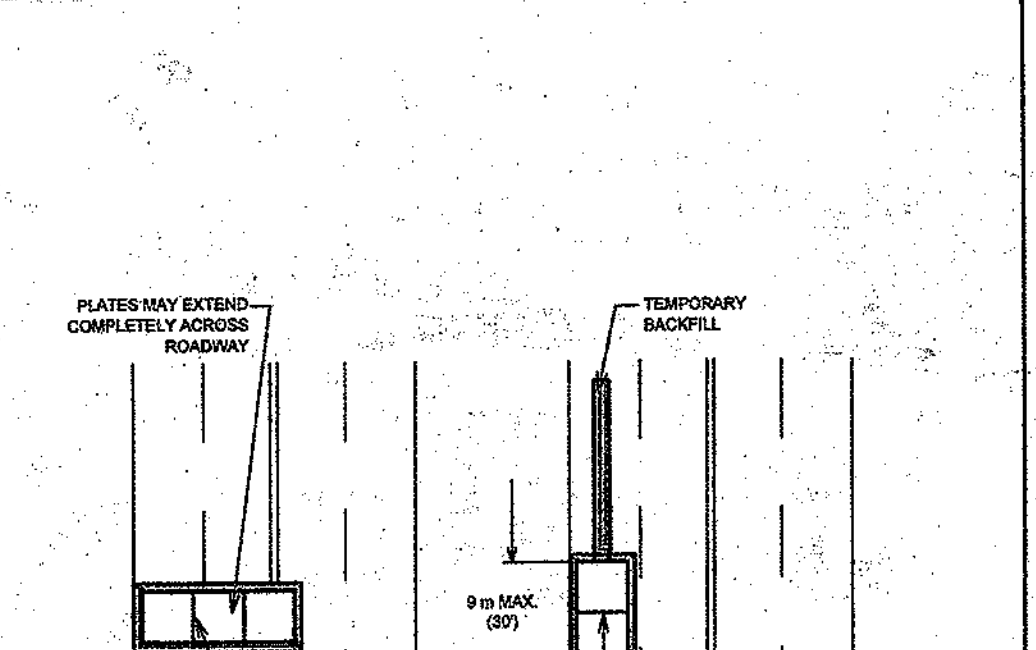
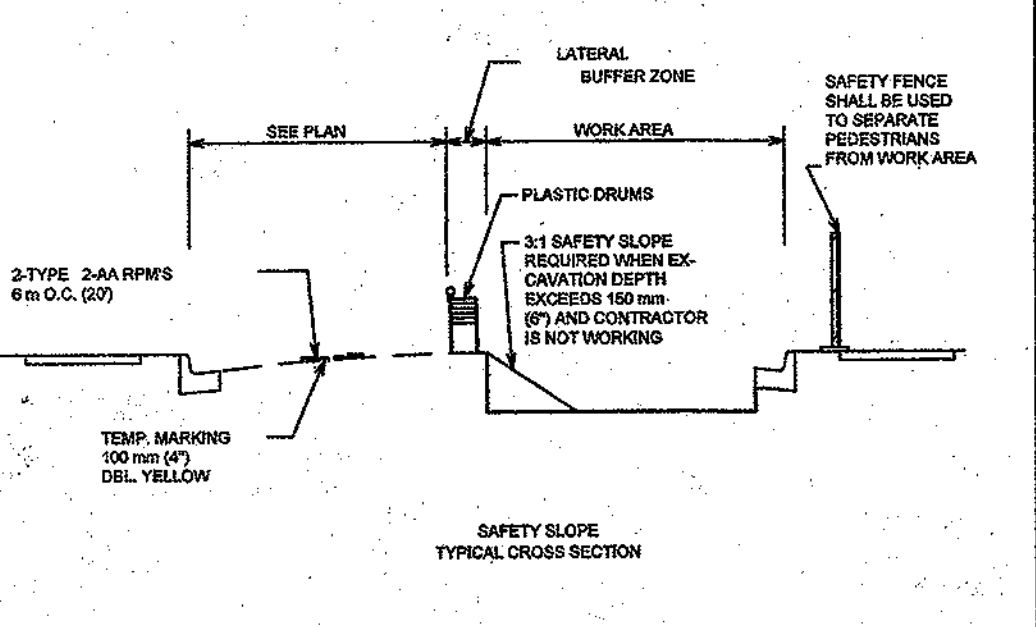
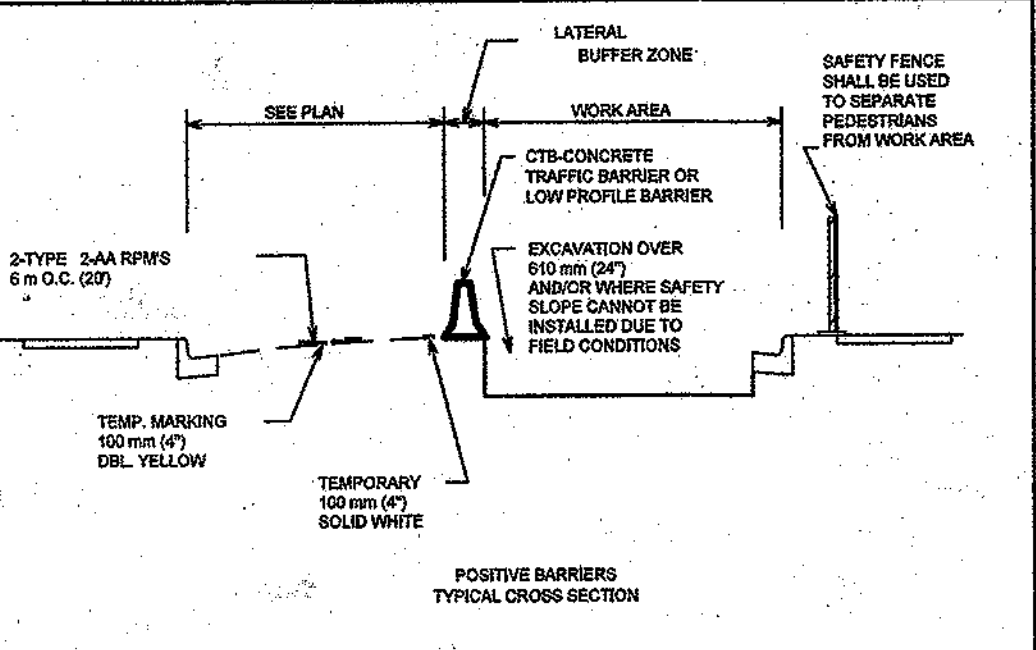
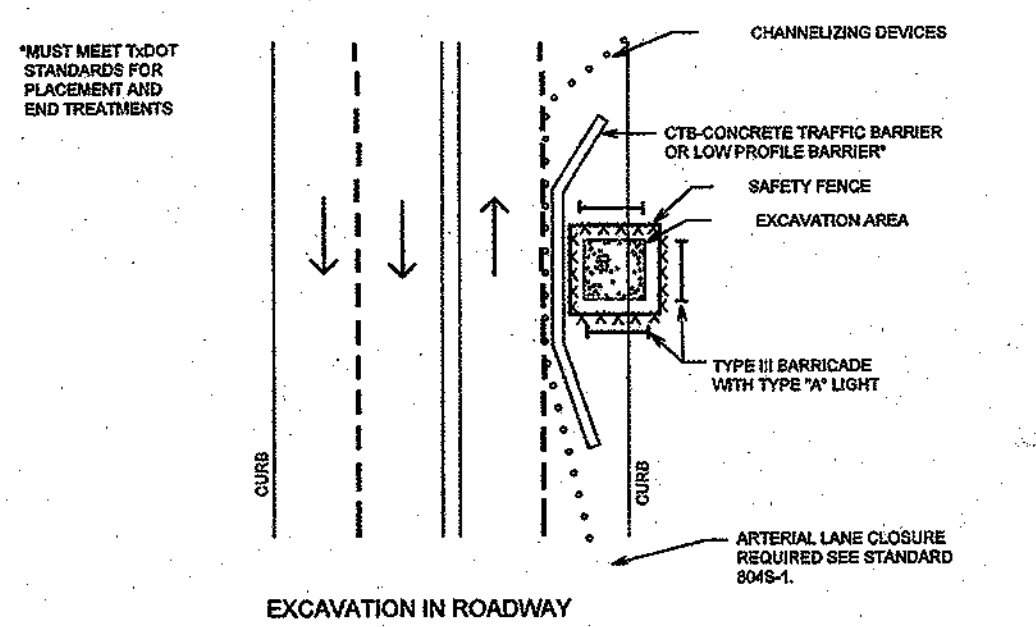
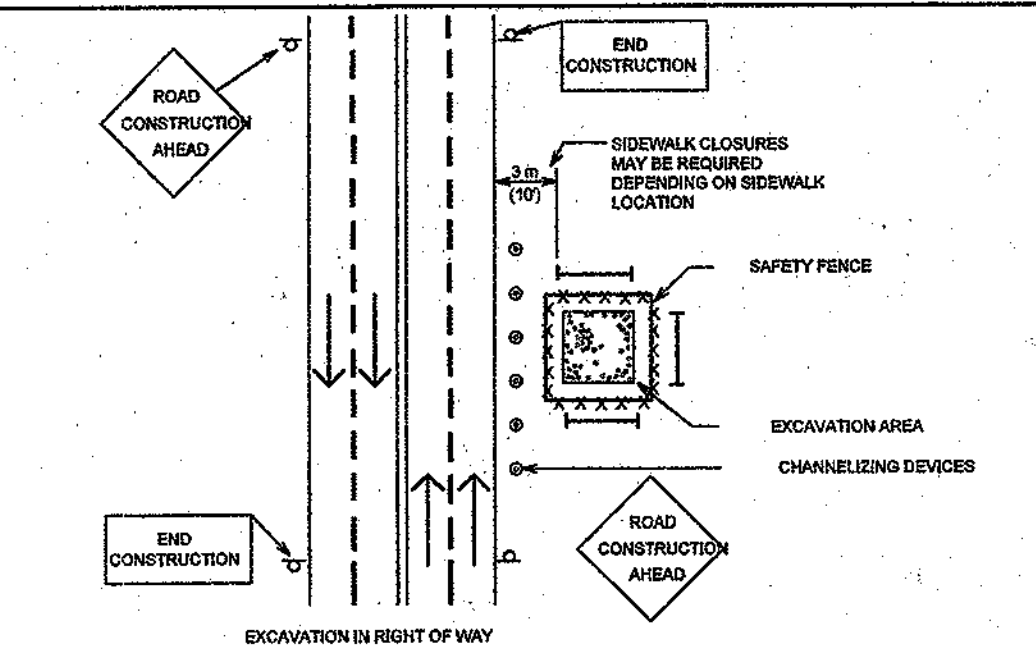
PROJECT NUMBER: 15-843  
DRAWN BY: NTKCC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET: **C1.20**  
28 OF 34

SP-2017-0038C



1. SAFETY FENCE SHALL BE USED TO PROTECT ALL EXCAVATIONS IN THE RIGHT-OF-WAY.
2. SAFETY FENCES SHALL BE USED TO SEPARATE CONSTRUCTION ACTIVITIES FROM PEDESTRIAN.
3. ALL SAFETY FENCING SHALL BE PLASTIC, 1.200 mm (48") MINIMUM HEIGHT AND ORANGE IN COLOR.
4. SAFETY FENCE USED WITHIN THE ROADWAY SHALL BE REINFORCED WITH A MINIMUM OF TWO (2) STRIPS OF RETROREFLECTIVE MATERIAL, A MINIMUM OF 25 mm (1") WIDE, THE LENGTH OF THE FENCE OR DELINEATED BY CHANNELIZING DEVICES.
5. SAFETY FENCE USED TO SEPARATE SIDEWALKS FROM CONSTRUCTION ACTIVITIES SHALL HAVE MINIMUM ENCROACHMENT TO THE SIDEWALK.
6. AS A MINIMUM, SAFETY FENCING IS REQUIRED IN AREAS ADJACENT TO EXCAVATIONS GREATER THAN OR EQUAL TO 150 mm (6").
7. SAFETY FENCING SHALL BE PAID FOR UNDER ITEM 8008-SF, BARRICADES, SIGNS AND TRAFFIC HANDLING, PAY ITEM NO. 8008-SF.
8. PORTABLE SAFETY FENCE MOUNTS SHALL BE APPROVED BY THE TRANSPORTATION DIVISION PRIOR TO CONSTRUCTION.



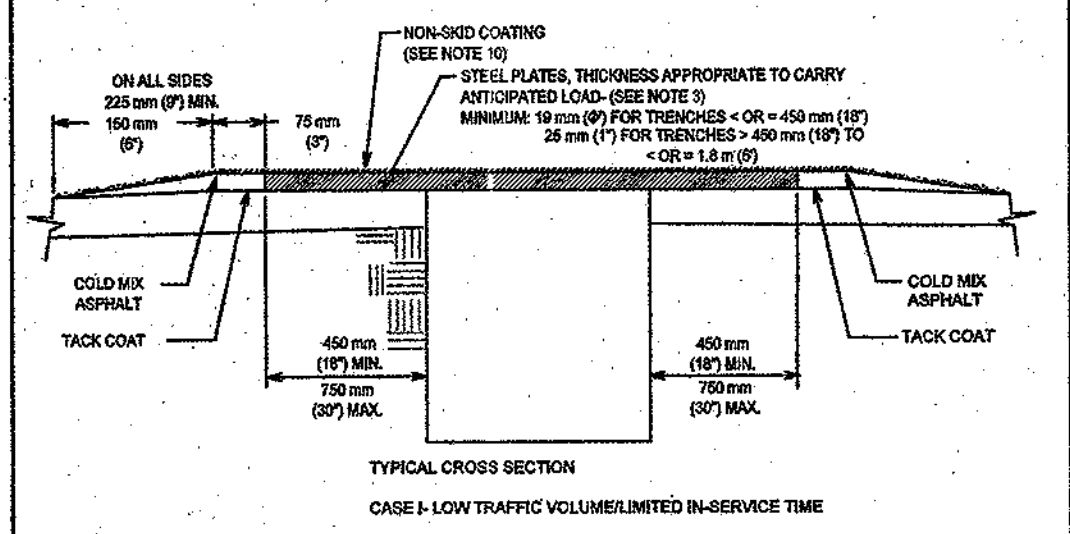
| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>1 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>2 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
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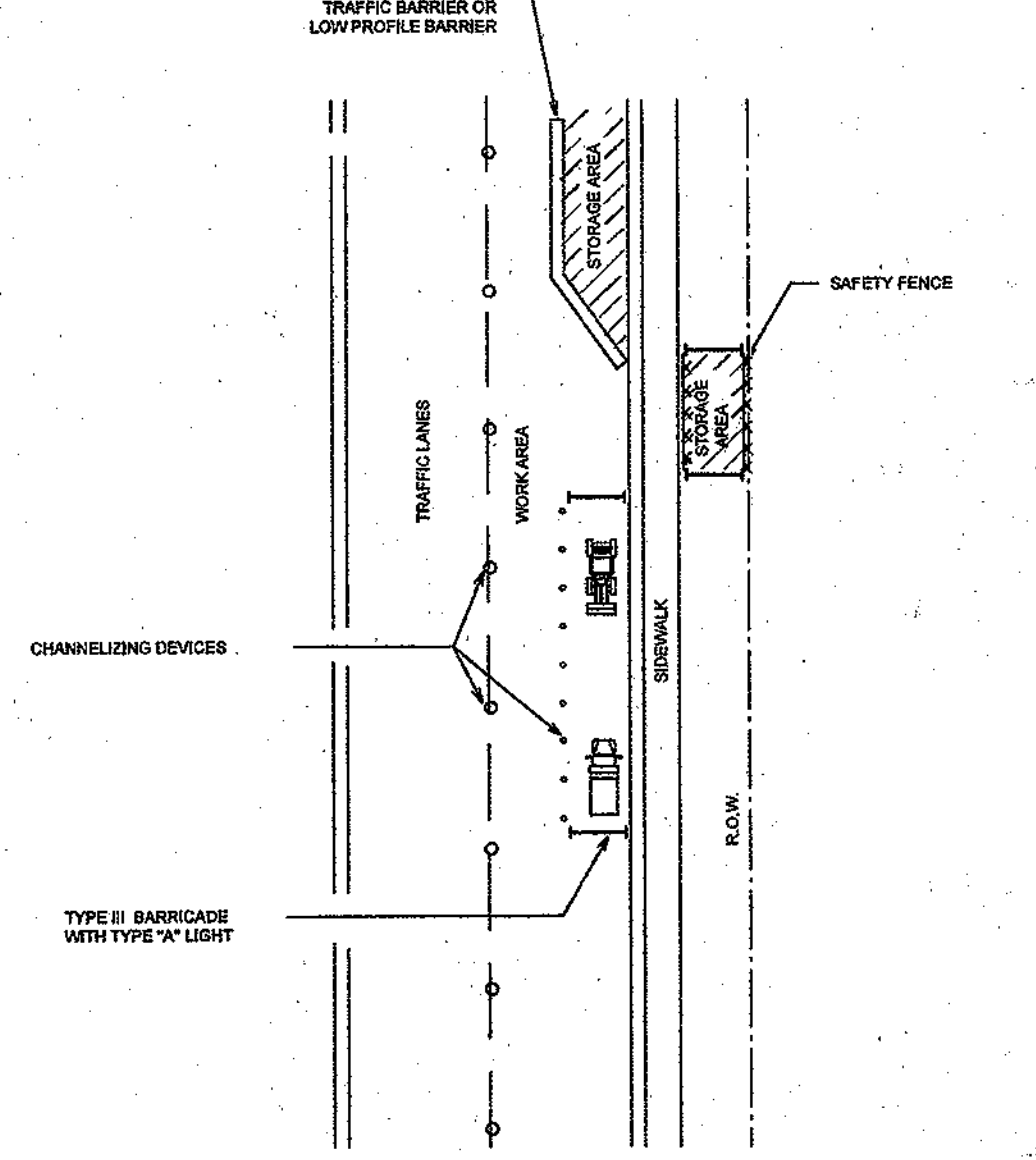
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|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>4 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

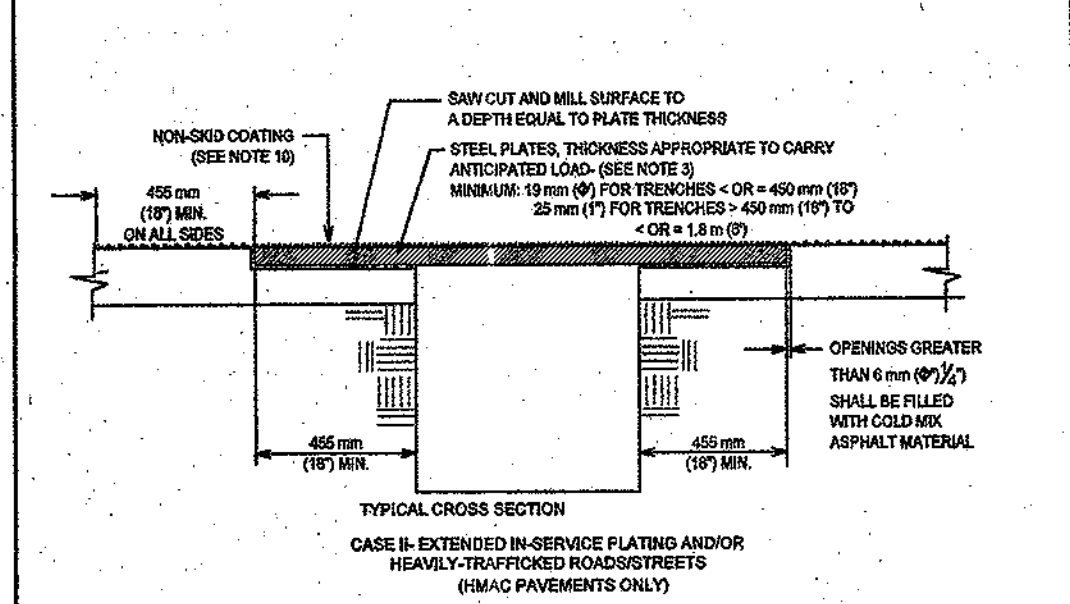
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|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |



- NOTES:
1. WHERE TRAFFIC MUST CROSS TRENCHES, THE CONTRACTOR SHALL PROVIDE SUITABLE BRIDGES.
  2. THE USE OF STEEL PLATES SHALL BE APPROVED BY THE RIGHT OF WAY MANAGEMENT DIVISION OF WATERSEED PROTECTION AND DEVELOPMENT DEPARTMENT PRIOR TO INITIATION OF CONSTRUCTION.
  3. THE THICKNESS OF PLATES FOR TRENCH WIDTHS EXCEEDING 1.8 m (6') SHALL BE ESTABLISHED IN AN ANALYSIS COMPLETED BY A LICENSED PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF TEXAS. THE ANALYSIS SHALL BE BASED ON HS-20 TRAFFIC LOADING WITH A MINIMUM PLATE DEFLECTION OF 15 mm (5/8") WHEN EXPERIENCING SAID LOADING. FOR SITUATIONS WHERE MULTIPLE LAYERS OF PLATES (OR STACKED PLATES) ARE TO BE EMPLOYED, THE SPACING OF THE INTERFACES BETWEEN PLATES (END-TO-END) OF THE UPPER LAYER SHALL BE PLACED PERPENDICULAR TO THE SEAMS OF THE UNDERLYING PLATES.
  4. WHEN APPROVED, THE TYPE OF PLATE INSTALLATION SHALL BE BASED ON THE ANTICIPATED LENGTH OF TIME THE PLATE WILL BE IN SERVICE.  
CASE I: A CASE I INSTALLATION SHALL APPLY FOR NO LONGER THAN 1 WEEK PERIOD.  
CASE II: A CASE II INSTALLATION SHALL APPLY FOR NO LONGER THAN 1 WEEK PERIOD.
  5. THE TOPSIDE OF THE STEEL PLATE SHALL BE FLAT AND FREE OF ANY CLIPS, CHAINS, ATTACHMENTS, WELDMENTS OR SURFACE IRREGULARITIES.
  6. PLATES WITH A PERMANENT DISPLACEMENT (I.E. REPLACEMENT ANYWHERE ON THE SURFACE OF THE PLATE WITH RESPECT TO A PLANE FORMED BY THE OUTSIDE EDGES THAT EXCEEDS 15 mm (5/8") SHALL NOT BE USED FOR PLATING PURPOSES. PLATES THAT DEVELOP A PERMANENT DISPLACEMENT EXCEEDING 12 mm (1/2") DURING SERVICE SHALL BE REMOVED AND REPLACED.
  7. THE PLATES SHALL BE PROVIDED WITH APPROPRIATE NUMBER OF KEYHOLE SLOTS OR CIRCULAR HOLES FOR HANDLING, LIFTING, INSTALLATION AND REMOVAL PURPOSES.
  8. THE CONTRACTOR SHOULD AVOID USING A LONG SERIES OF PLATES THAT RUN PARALLEL TO VEHICULAR TRAFFIC WHEELS PATHS.
  9. ADDITIONAL METHODS OF SECURING PLATES MAY BE REQUIRED DEPENDING ON FIELD CONDITIONS.
  10. FOR PLATES 1.8 m (6') OR GREATER IN DIRECTION OF TRAFFIC, A NON-SKID COATING SHOULD BE APPLIED TO THE ENTIRE SURFACE AREA OF ALL PLATES, AS WELL AS ADJACENT AREAS. THE NON-SKID COATING SHALL BE TGA (TEXTURED COATING OF AMERICA, INC.) STRATA-GRIP DECK COATING SYSTEM SUPPLY, INC. SPECIFIED PROTECTION SURFACES OR AN EQUIVALENT PRODUCT APPROVED BY THE ENGINEER OR DESIGNATED REPRESENTATIVE.



1. STORAGE OF EQUIPMENT AND MATERIALS SHALL BE RESTRICTED TO LOCATIONS WHERE DOUBT SHORT DISTANCES TO TRAFFIC, PEDESTRIANS, BUSINESS AND SIDE STREET INTERSECTIONS ARE NOT OBSTRUCTED OR WHERE AN UNSIGHTLY APPEARANCE AS DETERMINED BY THE ENGINEER, WILL NOT EXIST.
2. EQUIPMENT MUST BE PARKED AS FAR AWAY FROM THE TRAVELWAYS AS PRACTICAL.
3. TOTAL AREA USED FOR EQUIPMENT STORAGE SHALL BE MAINTAINED IN A NEAT AND ORGANIZED MANNER.
4. ALL MATERIALS STORED IN THE RIGHT-OF-WAY MUST BE MAINTAINED IN A NEAT AND ORGANIZED MANNER.
5. MATERIALS STORED MAY NOT BE MORE THAN 915 mm (30") IN HEIGHT.
6. ALL MATERIALS STORED MUST BE USED WITHIN THREE (3) DAYS.



| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>6 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>7 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>8 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

| CITY OF AUSTIN<br>DEPARTMENT OF PUBLIC WORKS | SAFETY FENCE                                                                        | STANDARD NO.<br>804S-4<br>9 OF 8 |
|----------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------|
| RECORD COPY SIGNED BY SAM ANGOORI            | THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD. | 04/03/09 ADOPTED                 |

### TRAFFIC CONTROL

This note is being placed on the plan set in place of a temporary traffic control strategy with the full understanding that, at a minimum of 6 weeks prior to the start of construction, a temporary traffic control plan must be reviewed and approved by the Right of Way Management Division. The owner's representative further recognizes that a review fee, as prescribed by the most current version of the City's fee ordinance, shall be paid each time a plan or plan revision is submitted to Right of Way Management Division for review. The following must be taken into consideration when developing future traffic control strategies:

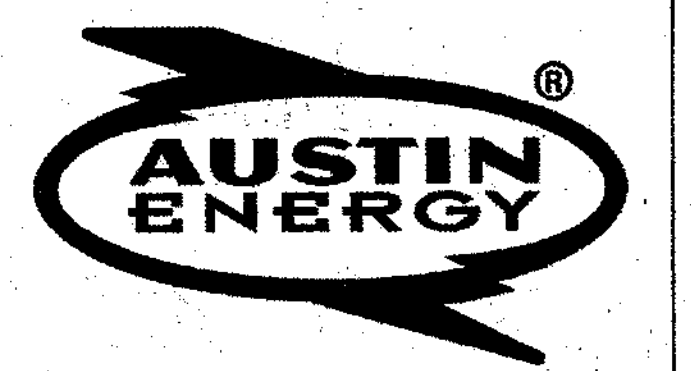
- Pedestrian and bicycle traffic access must be maintained at all times, unless otherwise authorized by Right of Way Management.
- No long-term lane closures will be authorized, unless Right of Way Management determines that adequate accommodations have been made to minimize traffic impact.
- Project should be phased so that utility installation minimally impacts existing or temporary pedestrian facilities.

SITE PLAN APPROVAL SHEET 29 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.  
EXPIRATION DATE (25-5-41, LDC) 3/31/21 CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (25-5-41, LDC) N/A DWG: DWG X  
Director, Development Services Department: 3/18/18 ZONING: P (PUBLIC)  
RELEASED FOR GENERAL COMPLIANCE: 3/18/18  
Rev 1: Correction 1:  
Rev 2: Correction 2:  
Rev 3: Correction 3:  
Final plat must be recorded by the Project Expiration Date, if applicable: Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

| REVISIONS |      |             |
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| NO        | DATE | DESCRIPTION |
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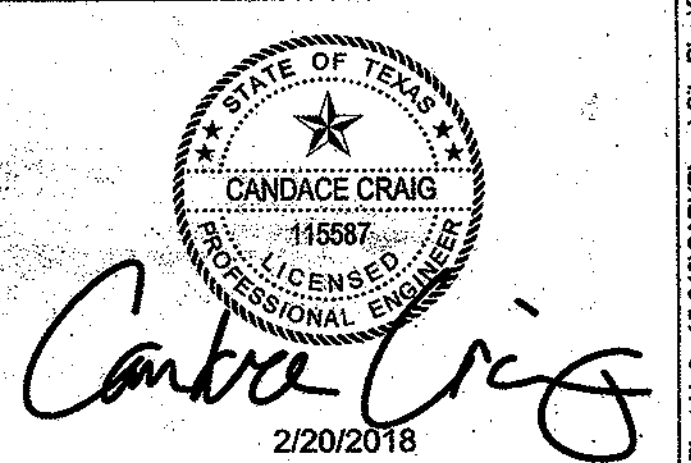
# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

812 W. 2ND STREET AUSTIN, TX 78701



UDG  
Urban Design Group PC  
TX Registered Engineering Firm #E-1943

EEA CONSULTING ENGINEERS  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 TOLL-FREE - 512.744.4444 FAX  
www.eeacorp.com  
State of registration TEXAS  
Firm Registration No. P-2497  
EEA Project No. 20140119



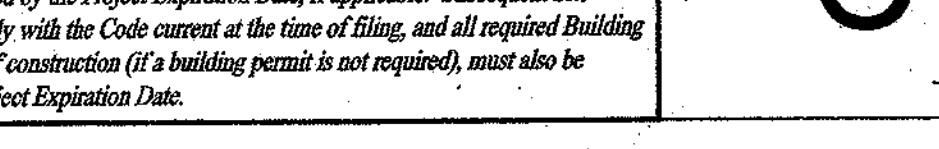
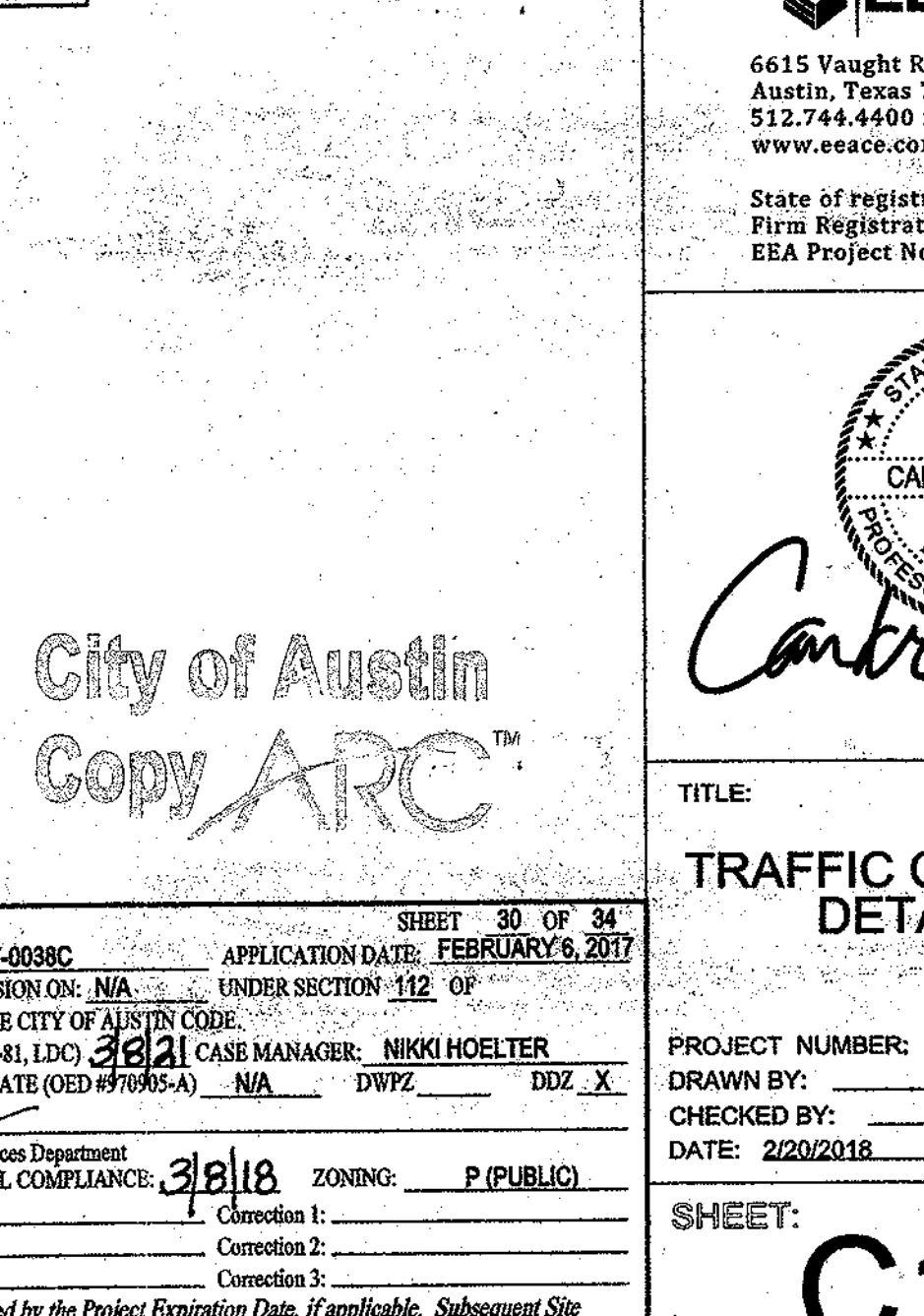
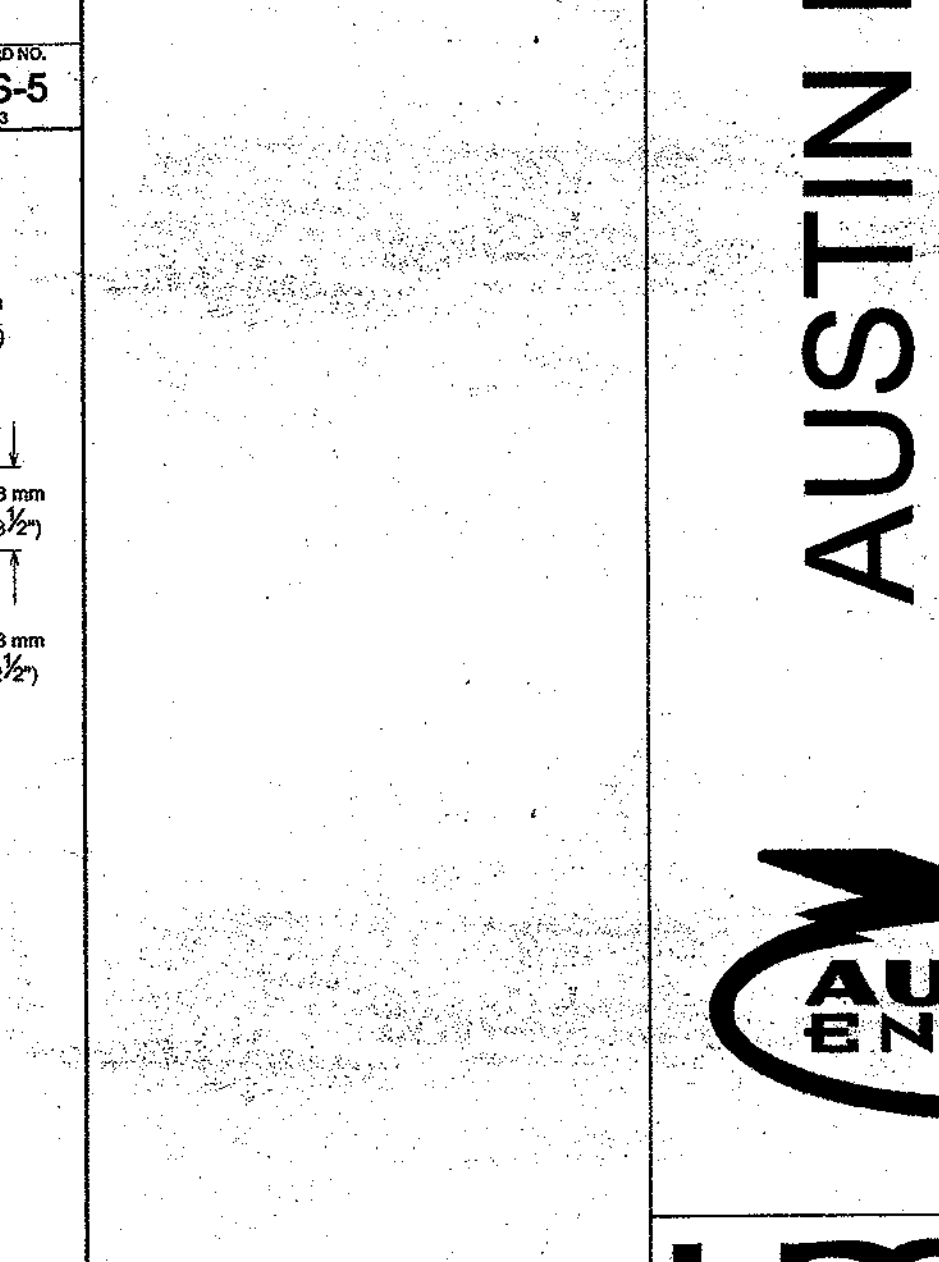
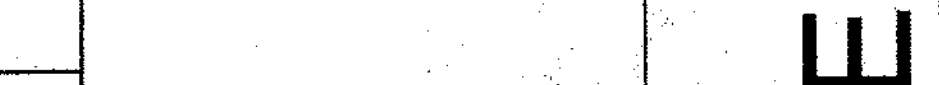
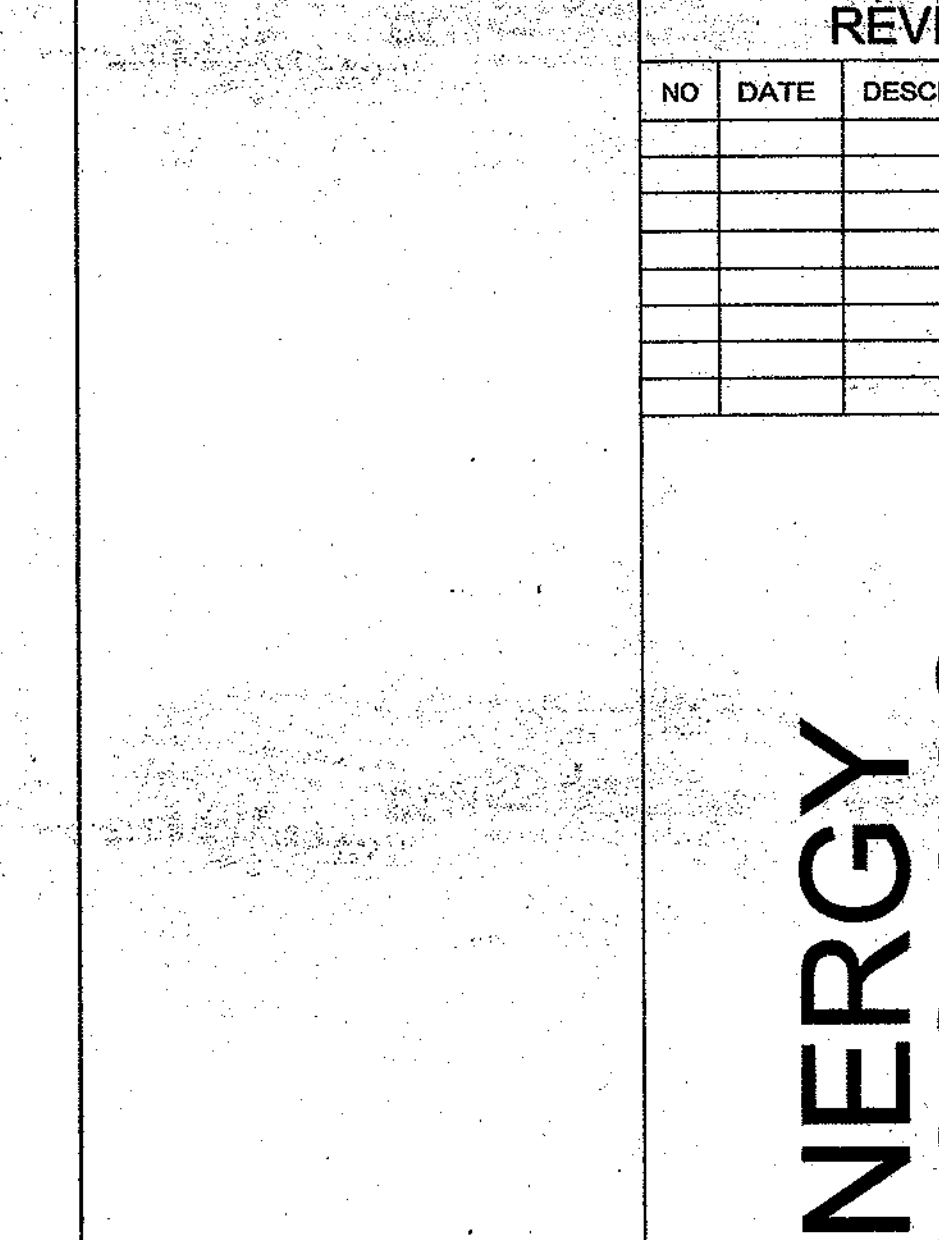
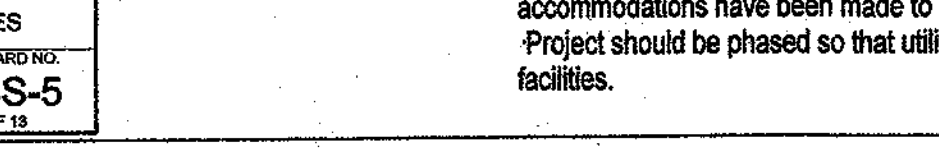
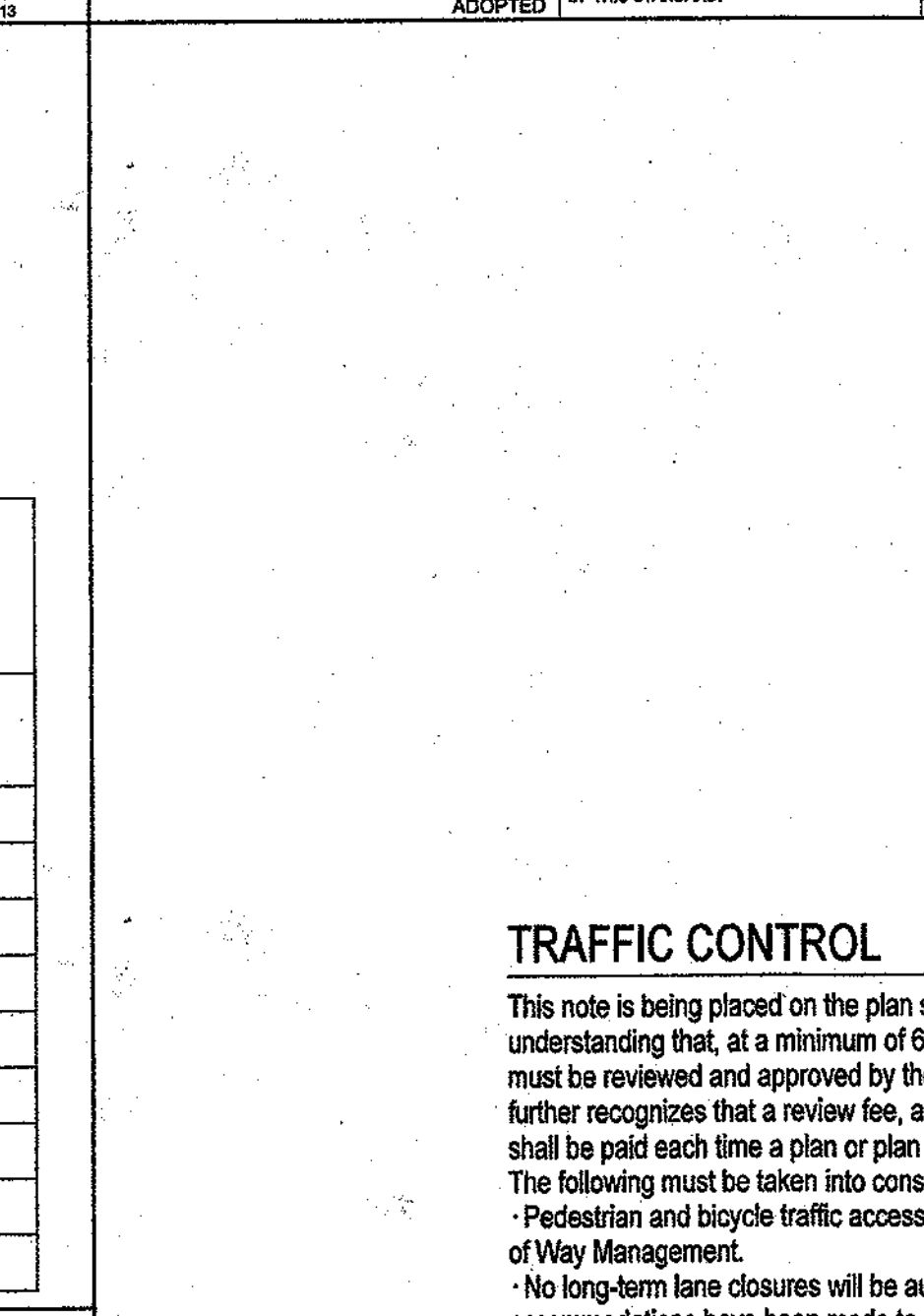
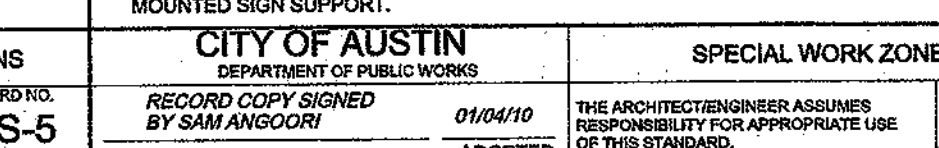
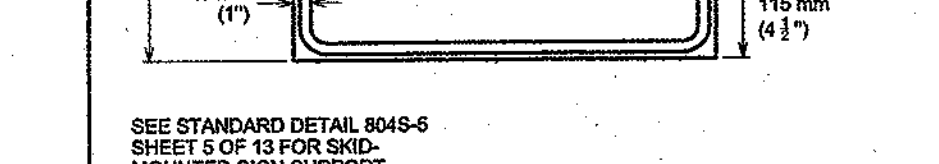
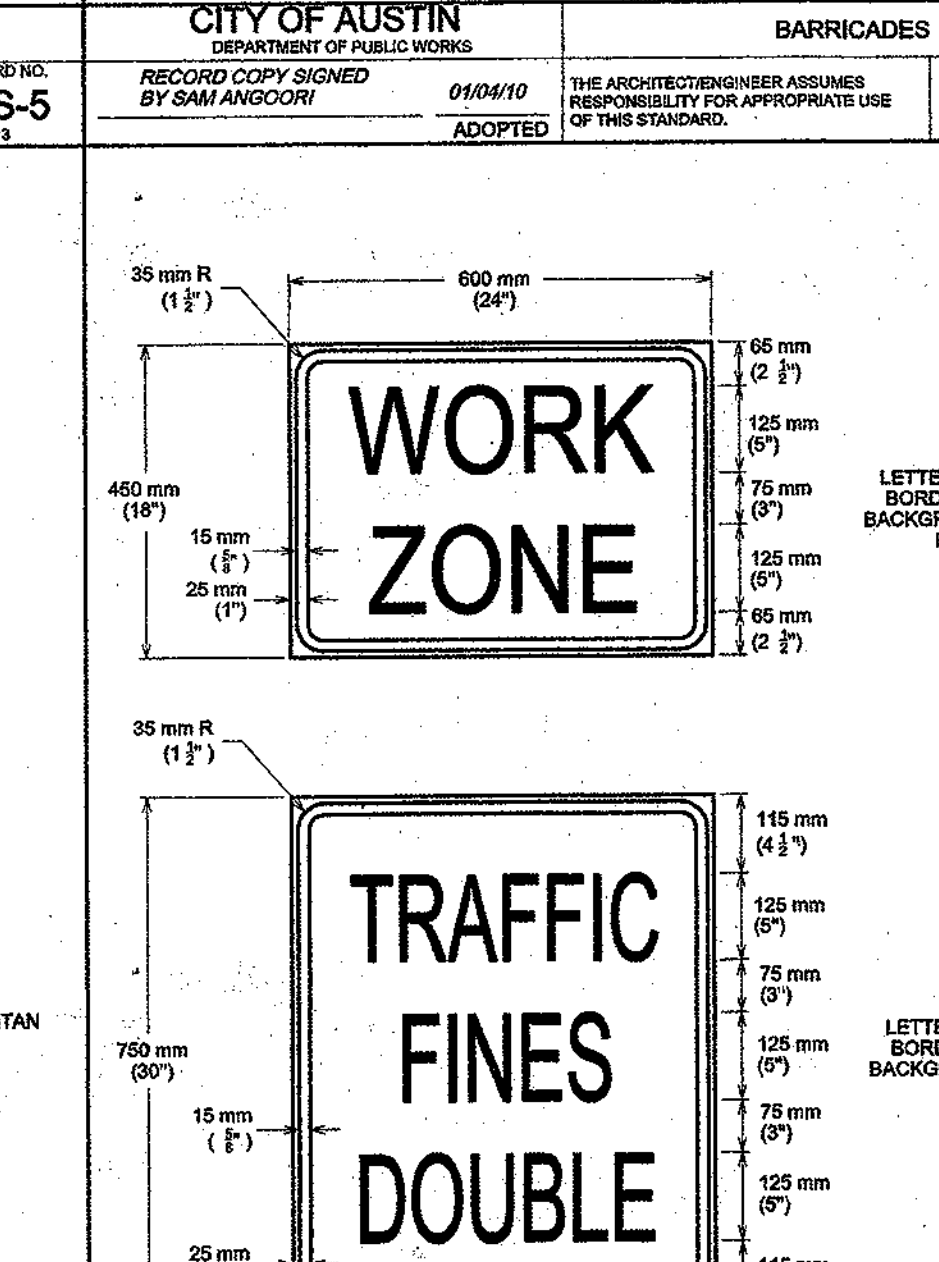
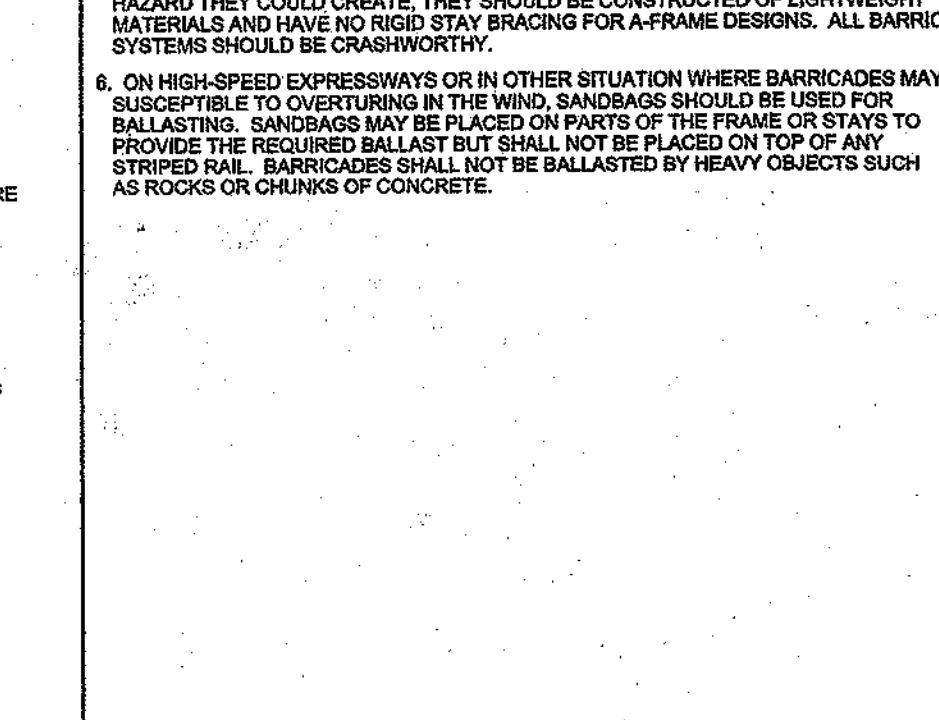
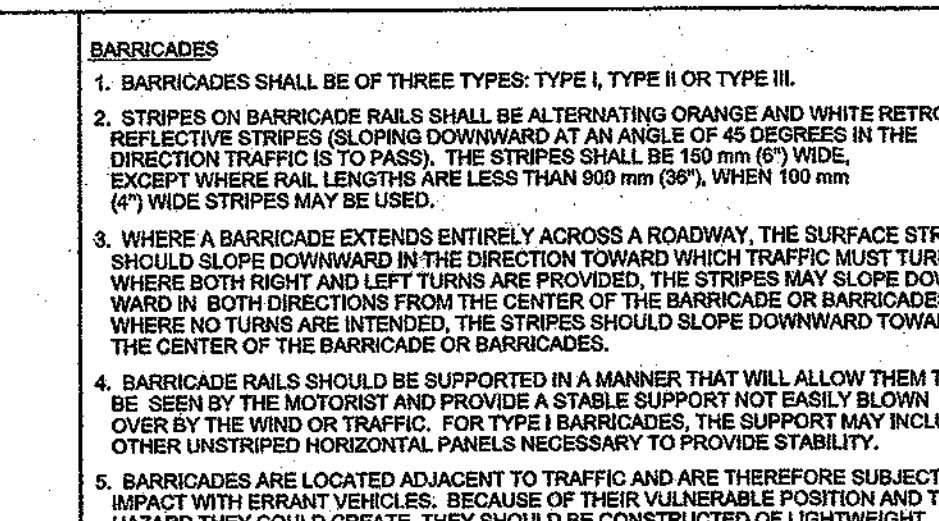
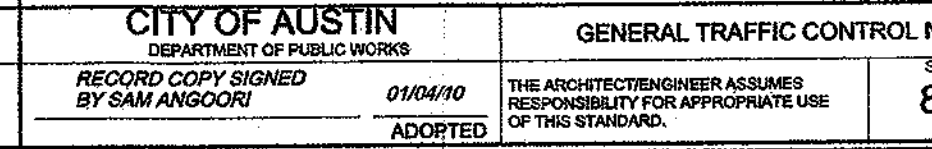
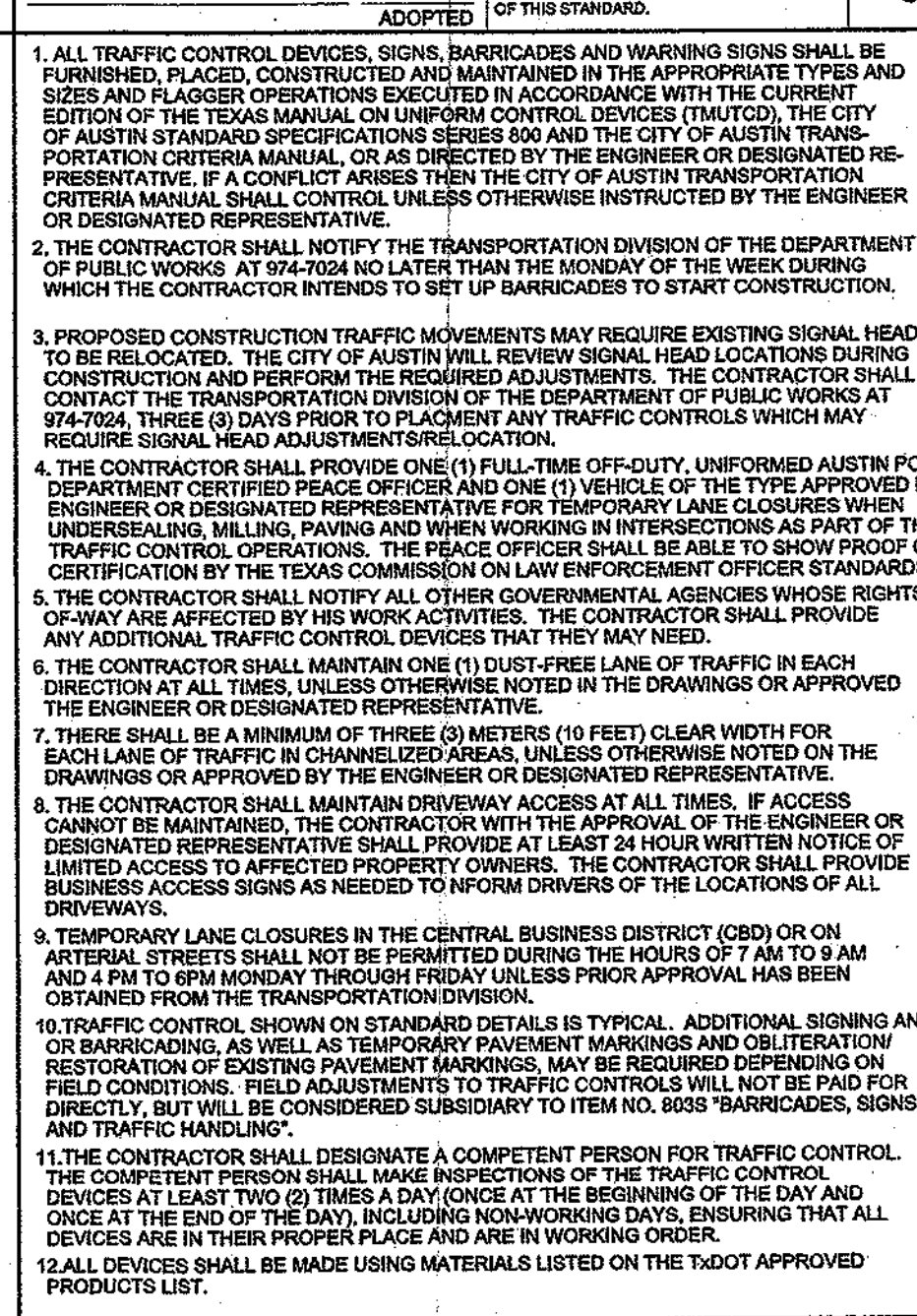
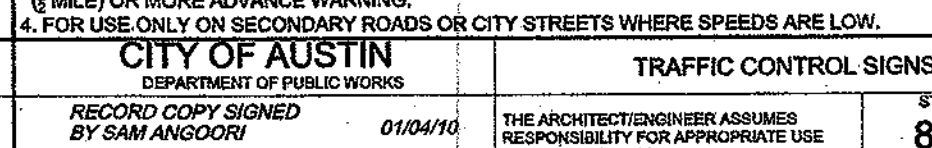
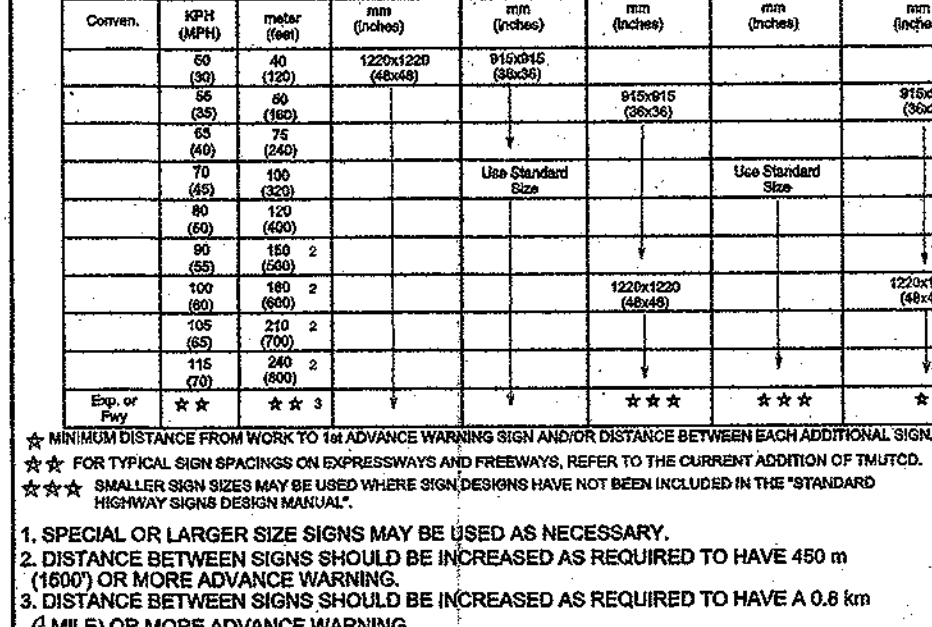
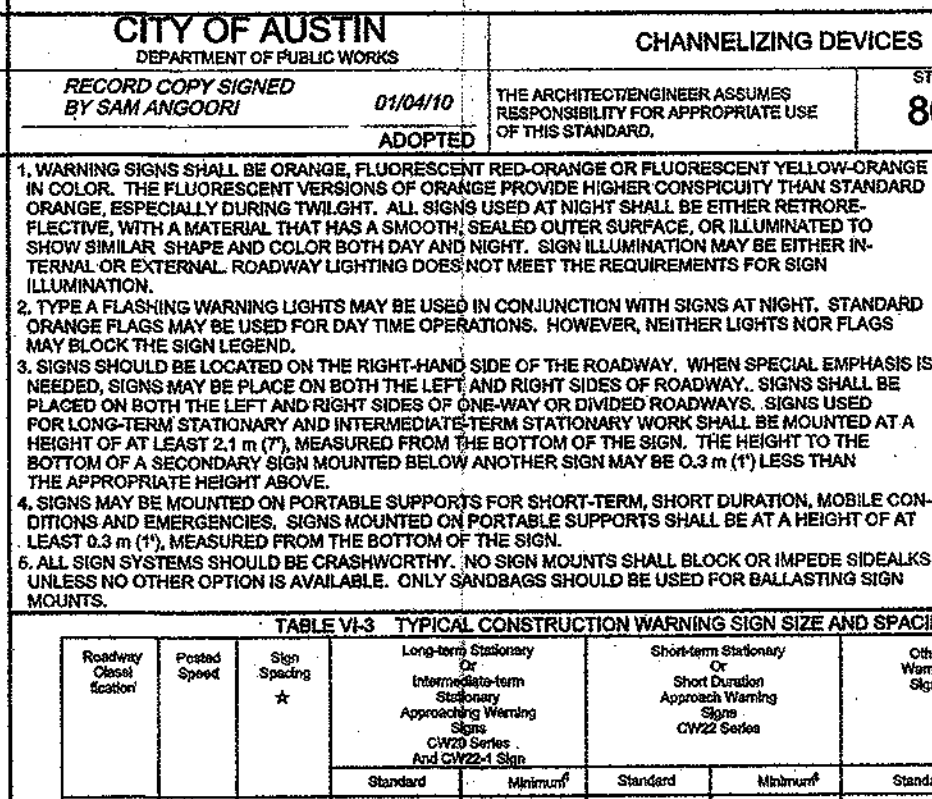
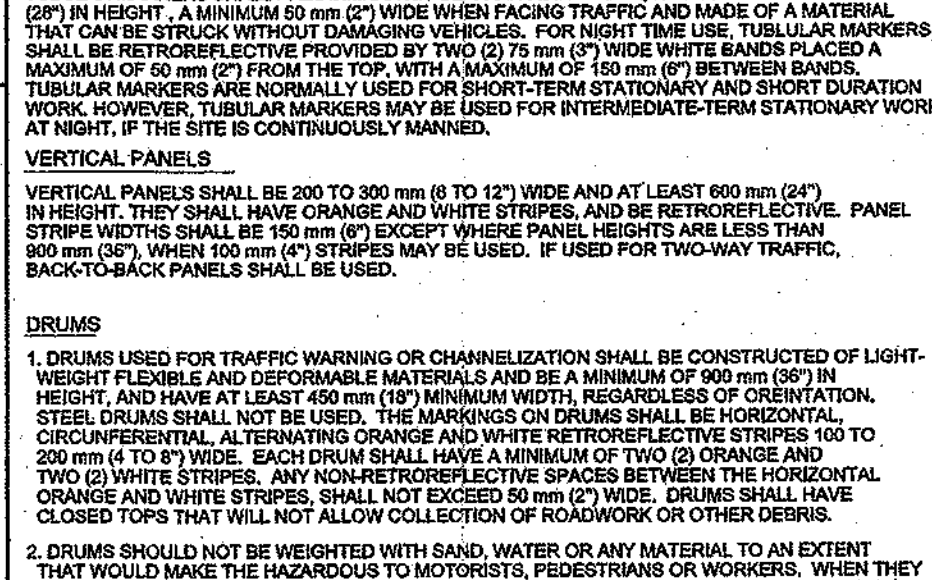
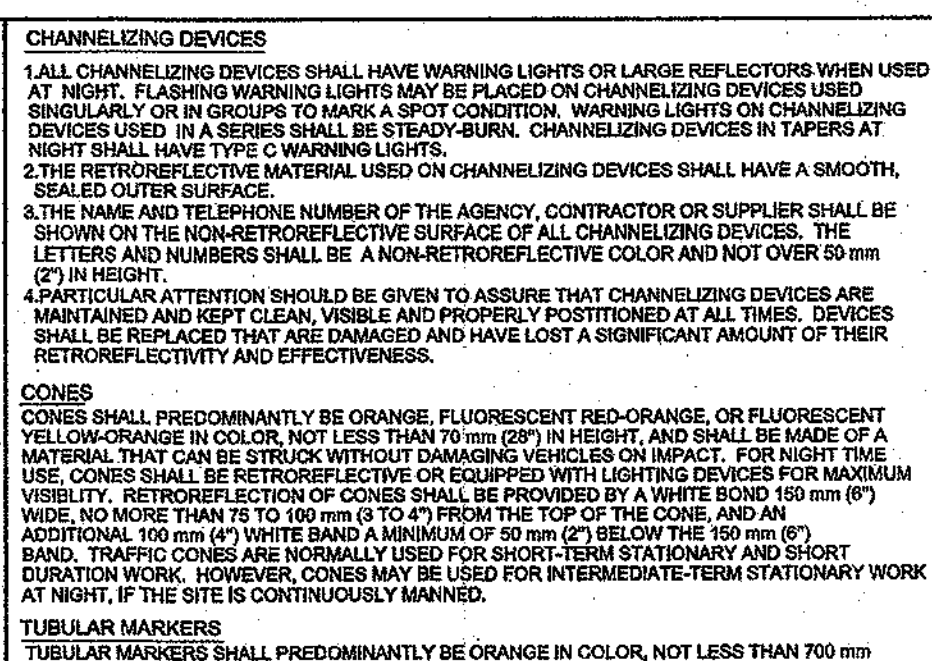
### TRAFFIC CONTROL PLAN DETAIL 804S-4

PROJECT NUMBER: 15-843  
DRAWN BY: NTCCG  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:  
**C1.21**  
29 OF 34

City of Austin  
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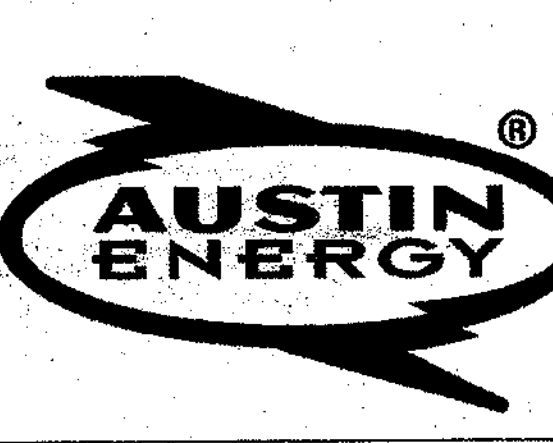
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| REVISONS |      |             |
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# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

## 812 W. 2ND STREET AUSTIN, TX 78701



UDG

3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

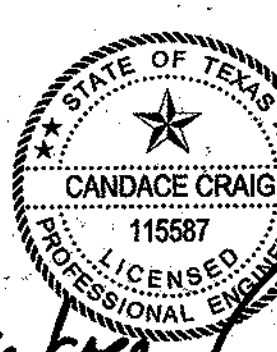
**Urban Design Group PC**  
TX Registered Engineering Firm #F-1843



EEA CONSULTING ENGINEERS

6615 Vaughn Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

State of registration — TEXAS  
Firm Registration No. F-2497  
EEA Project No.             20140119

STATE OF TEXAS  
  
CANDACE CRAIG  
115887  
LICENSED PROFESSIONAL ENGINEER  
*Candace Craig*  
2/20/2018

TITLE:

### TRAFFIC CONTROL PLAN DETAIL 804S-5

PROJECT NUMBER: 15-843

DRAWN BY: NT/C.C.

CHECKED BY: CC

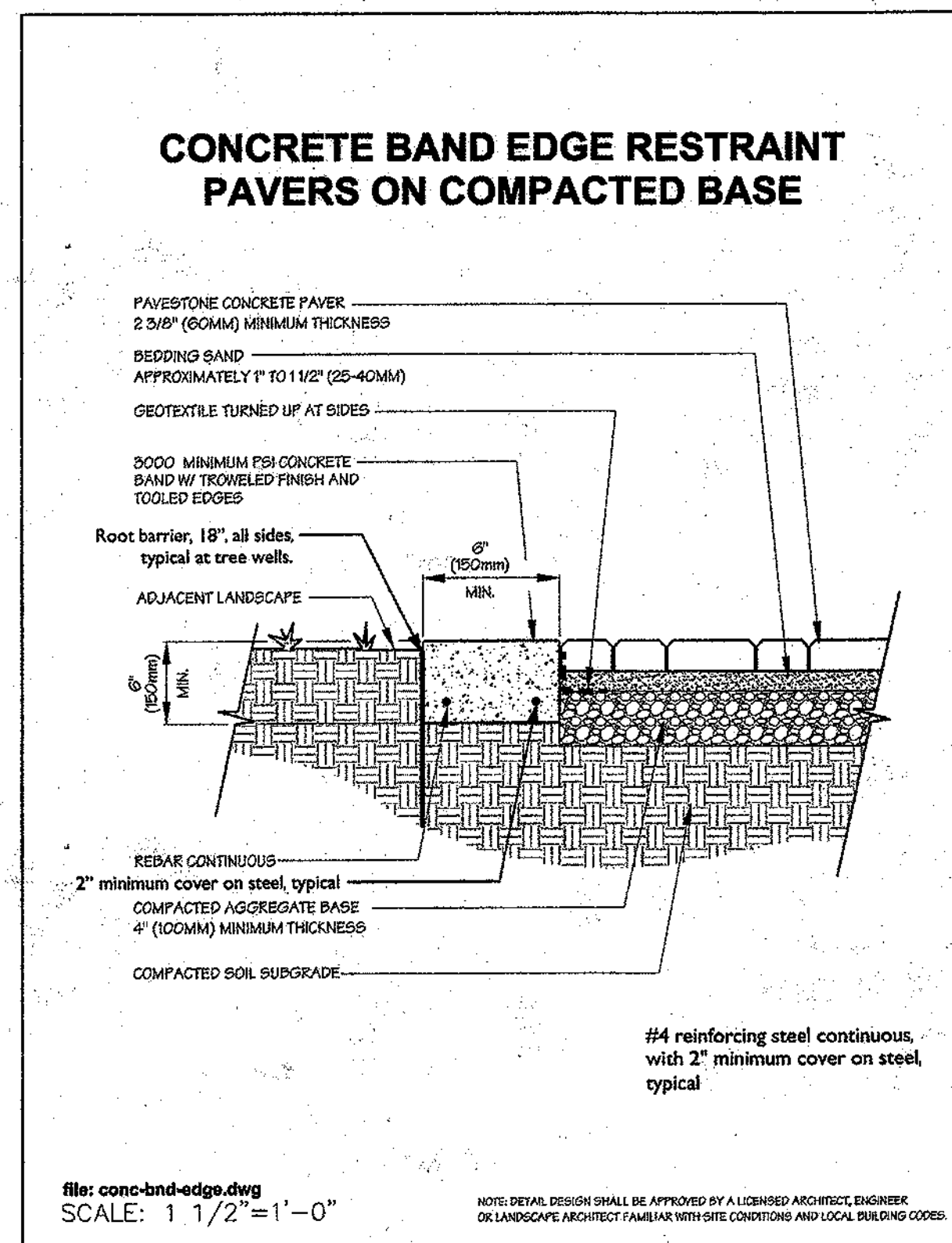
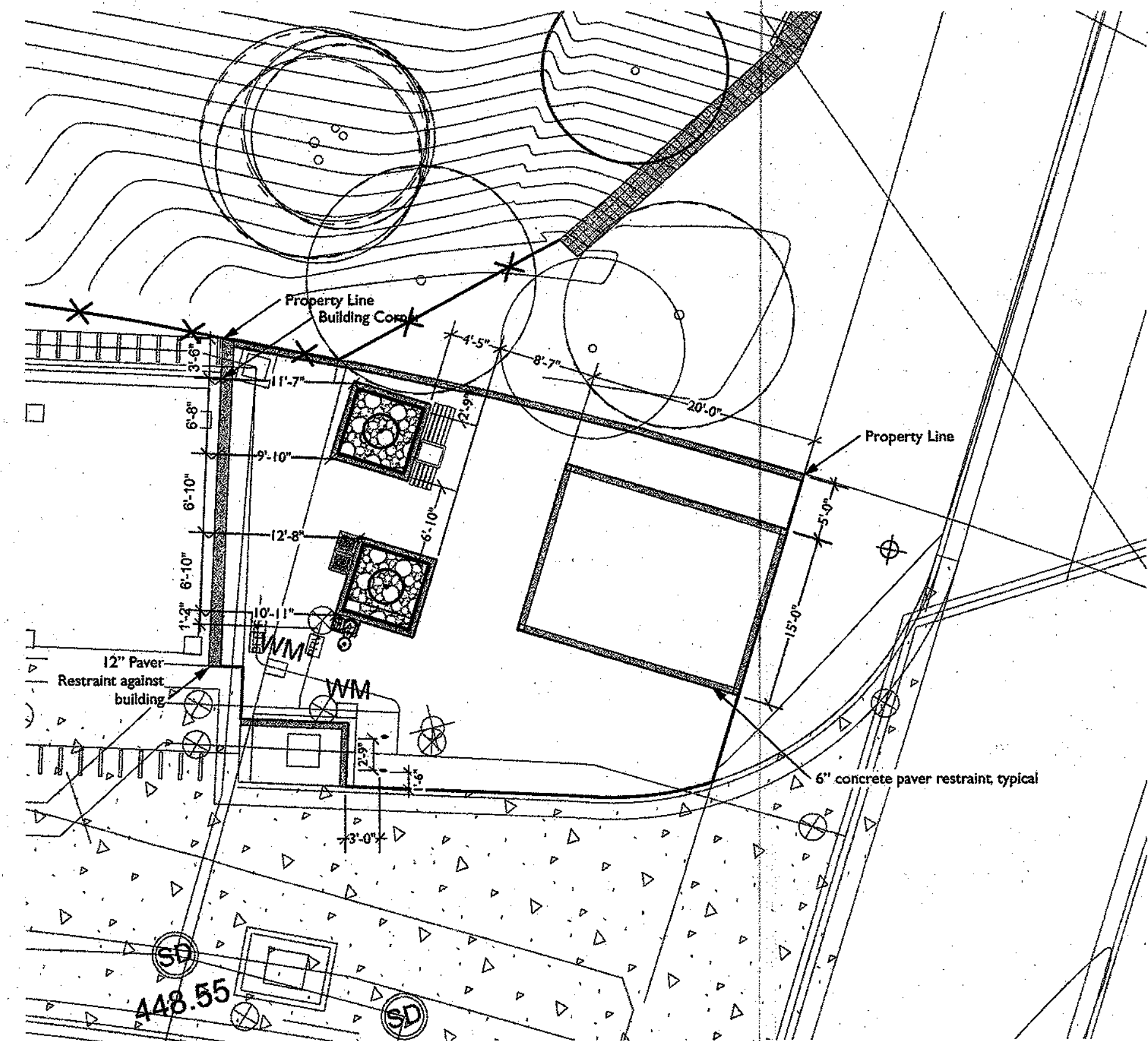
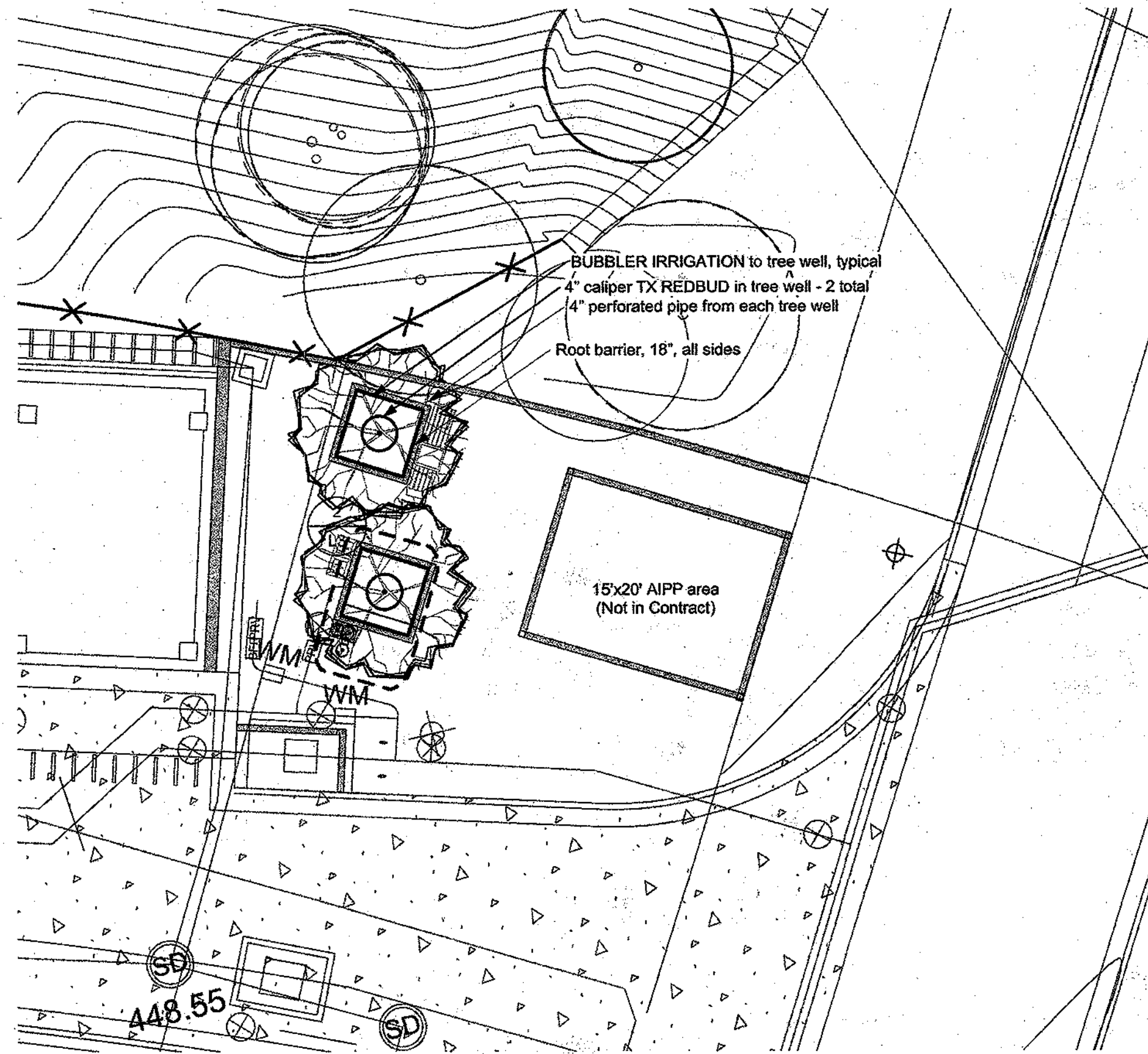
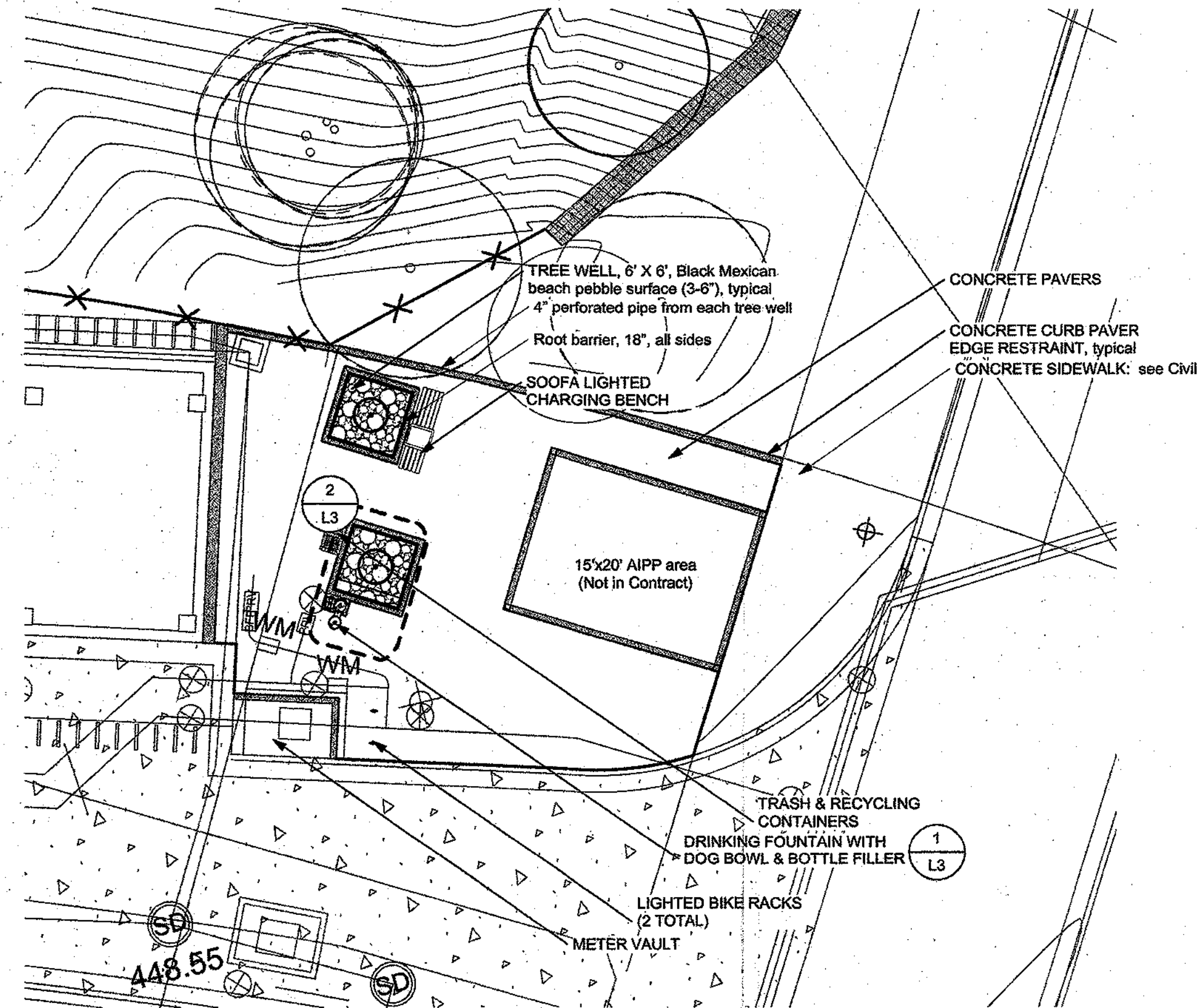
DATE: 2/20/2018

SHEET:

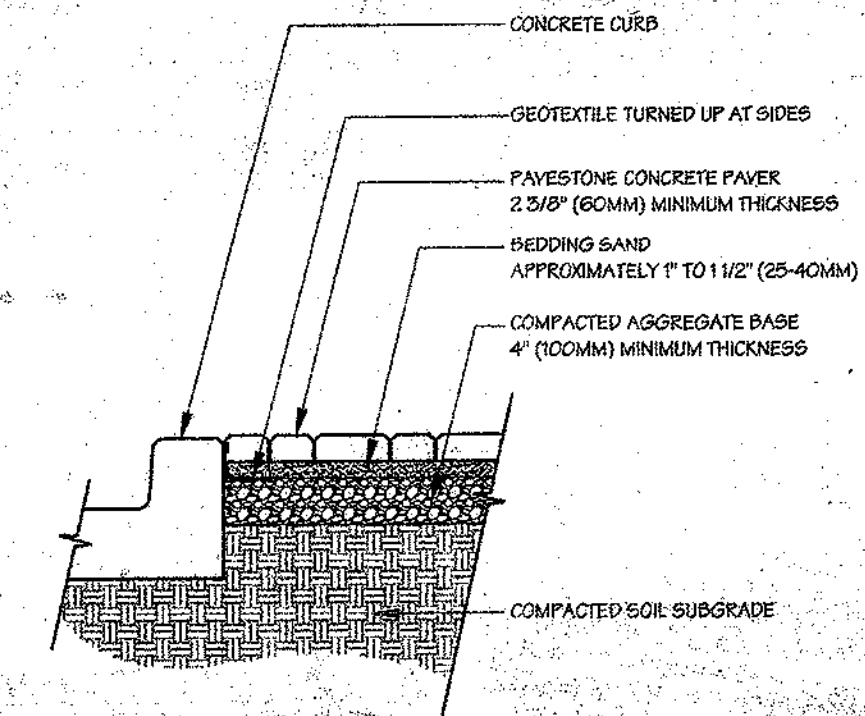
# C1.22

30 OF 34

SP-2017-00



## SIDEWALK/ PLAZA ON COMPACTED BASE



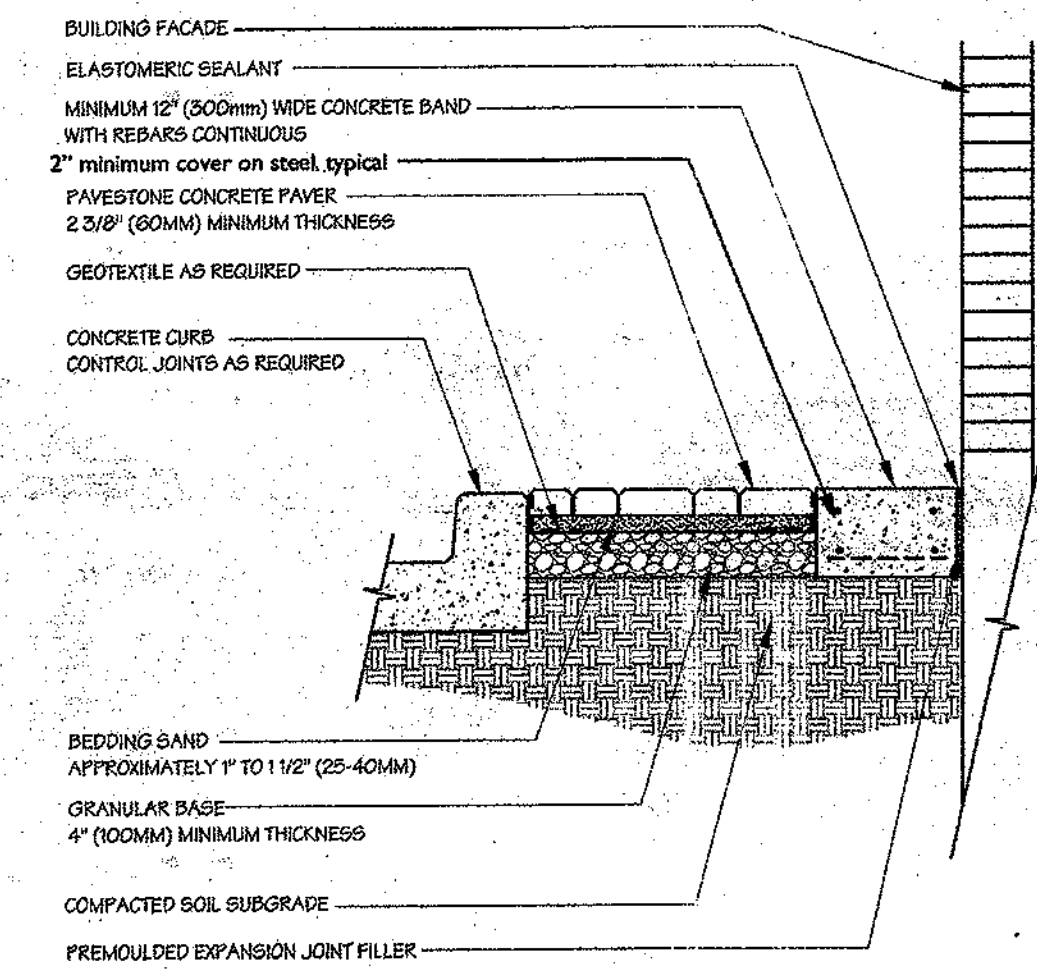
NOTES:  
1. THICKNESS OF AGGREGATE BASE WILL VARY WITH TYPE OF SOIL SUBGRADE AND CLIMATE.  
2. CONCRETE PAVERS AND BEDDING SAND CAN BE PLACED OVER AN ASPHALT OR CONCRETE BASE.

file: sw-comp-base.dwg  
SCALE: 1" = 1'-0"

NOTE: DETAIL DESIGN SHALL BE APPROVED BY A LICENSED ARCHITECT, ENGINEER OR LANDSCAPE ARCHITECT FAMILIAR WITH SITE CONDITIONS AND LOCAL BUILDING CODES.

## STANDARD PAVER INSTALLATION

### CONCRETE CONTINUITY BAND ADJACENT TO BUILDING FACADE W/ GRANULAR BASE



## STANDARD PAVER AT BLDG

City of Austin  
Copy ARC

|                                                                                                                                                                                                                                                                                                                                         |                             |                                             |                      |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|---------------------------------------------|----------------------|
| SITE PLAN APPROVAL                                                                                                                                                                                                                                                                                                                      |                             | SHEET 31 OF 34                              |                      |
| FILE NUMBER: SP-2017-0038C                                                                                                                                                                                                                                                                                                              | APPROVED BY: NIA            | APPLICATION DATE: FEBRUARY 6, 2017          | UNDER SECTION 112 OF |
| CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.                                                                                                                                                                                                                                                                                                |                             |                                             |                      |
| EXPIRATION DATE (25-5-81, LDC): 3/31/21                                                                                                                                                                                                                                                                                                 | CASE MANAGER: NIKKI HOELTER | PROJECT EXPIRATION DATE (OED #77005-A): N/A |                      |
| Director, Development Services Department                                                                                                                                                                                                                                                                                               |                             | ZONING: P (PUBLIC)                          |                      |
| RELEASED FOR GENERAL COMPLIANCE: 3/18/18                                                                                                                                                                                                                                                                                                |                             | DWG: DDZ_X                                  |                      |
| Rev 1:                                                                                                                                                                                                                                                                                                                                  | Correction 1:               |                                             |                      |
| Rev 2:                                                                                                                                                                                                                                                                                                                                  | Correction 2:               |                                             |                      |
| Rev 3:                                                                                                                                                                                                                                                                                                                                  | Correction 3:               |                                             |                      |
| Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date. |                             |                                             |                      |

Carolyn Kelley, ASLA  
Landscape Architect

512.445.0431  
512.857.1342 fax  
carolyn@ccla.net

## STANDARD PAVER EDGE RESTRAINT

| REVISIONS |          |                         |
|-----------|----------|-------------------------|
| NO        | DATE     | DESCRIPTION             |
| 0         | 12-22-17 | ISSUED FOR CONSTRUCTION |
| 1         | 2-2-18   | Addendum 1              |
|           |          |                         |
|           |          |                         |
|           |          |                         |
|           |          |                         |
|           |          |                         |

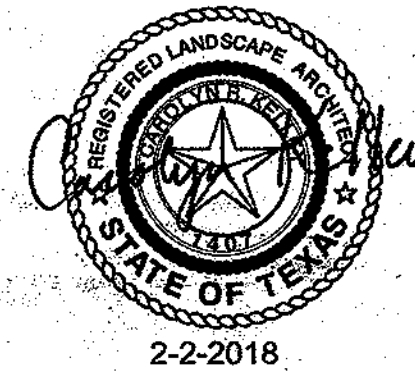
# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #F-1843

3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

**EEA ENGINEERING**  
6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

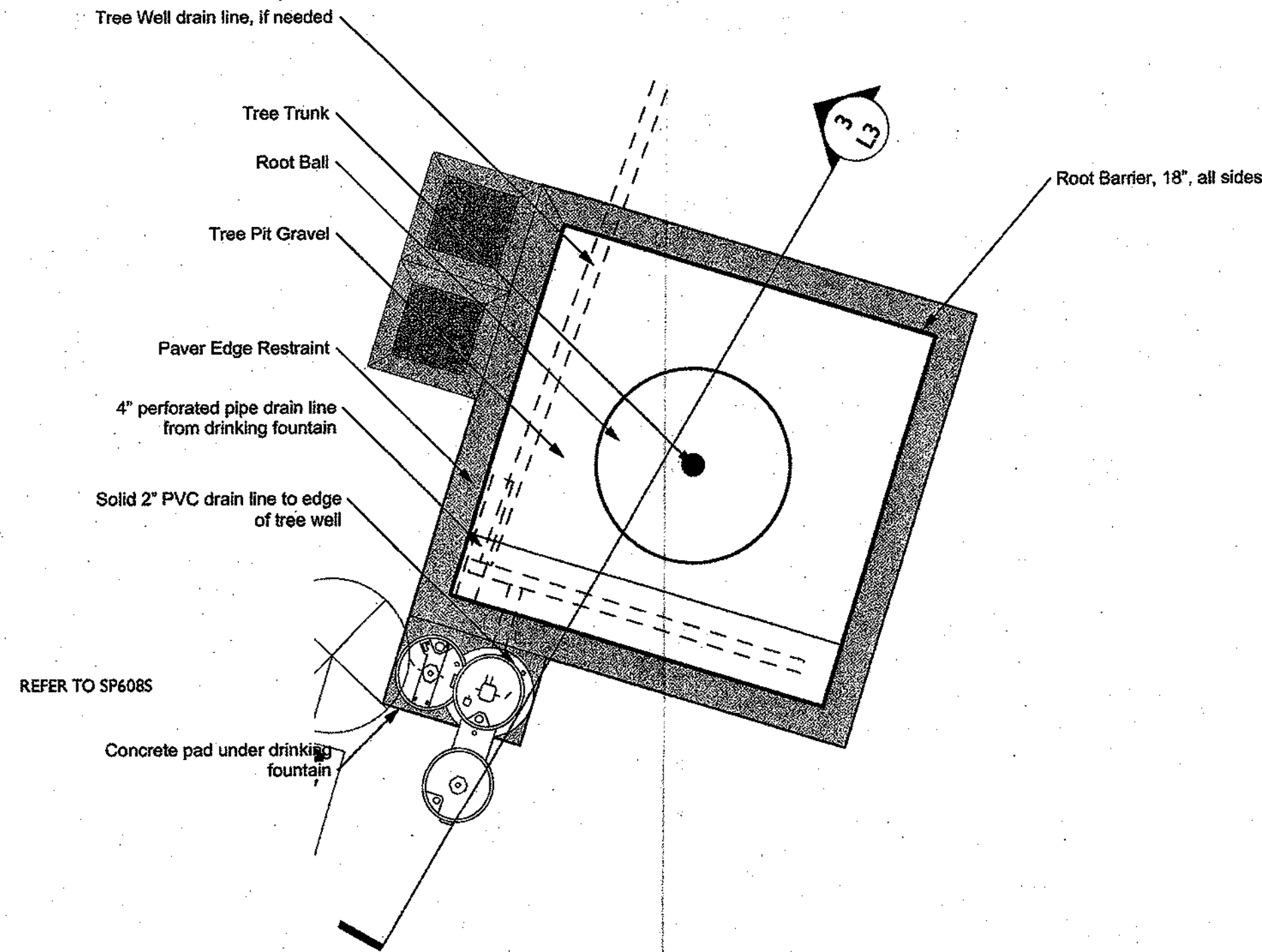
State of Registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



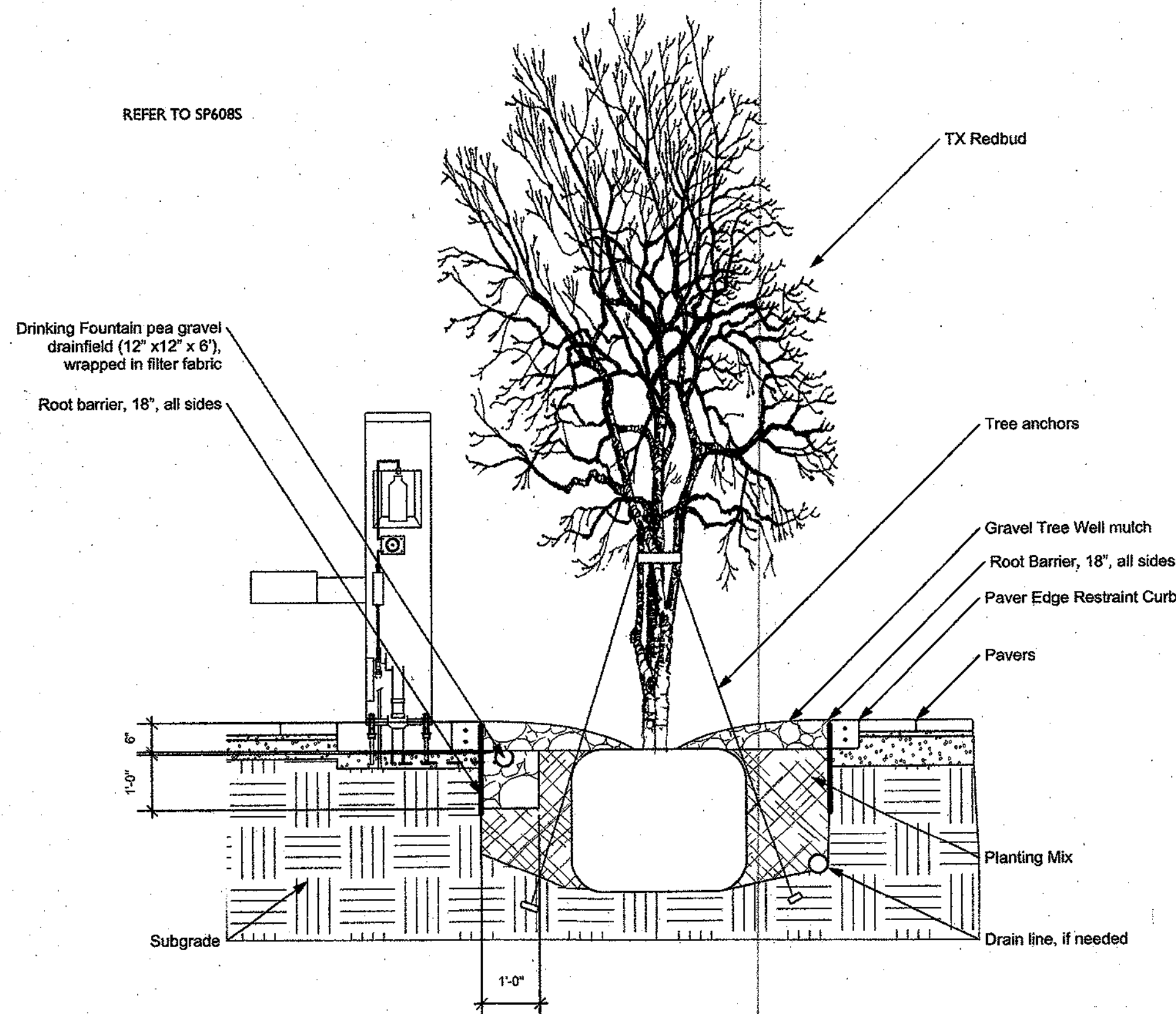
TITLE:  
**PLAZA PLAN**

PROJECT NUMBER: DCP3  
DRAWN BY: CK  
CHECKED BY: PB  
DATE: 2-2-2018

SHEET:  
**L2**  
31 OF 34

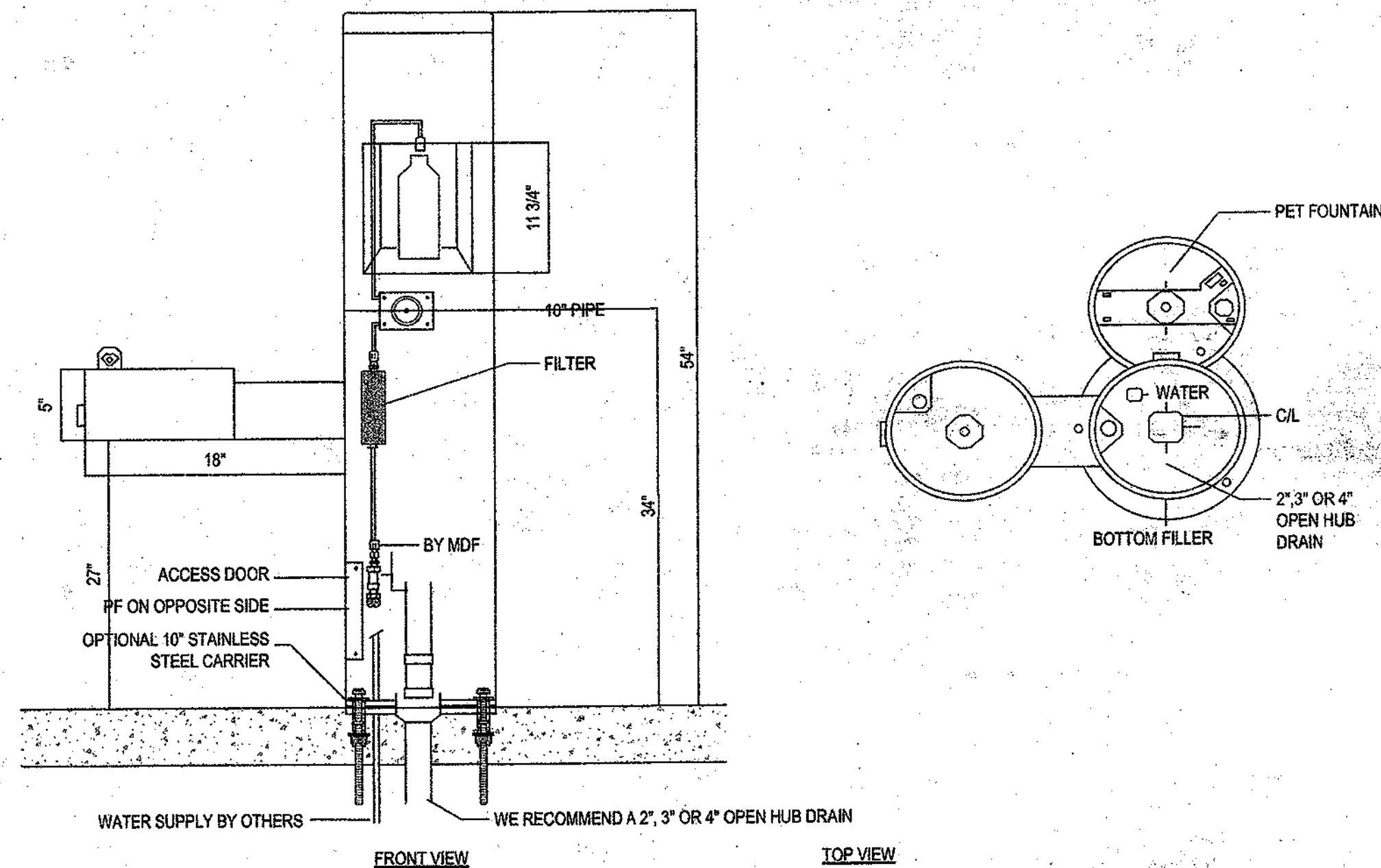


**2 Drinking Fountain Drainfield**  
Scale: 1/2" = 1'-0"



**3 Tree Well / Drainfield Section**  
Scale: 1/2" = 1'-0"

| COURTYARD FURNITURE SCHEDULE |                                   |                                             |                                                                          |                |                                           |
|------------------------------|-----------------------------------|---------------------------------------------|--------------------------------------------------------------------------|----------------|-------------------------------------------|
| NUMBER                       | MANUFACTURER                      | STYLE                                       | SIZE                                                                     | SIGNAGE        | INSTALLATION                              |
| 2                            | Landscape Forms or approved equal | REEDER illuminated bike racks               | 3000K luminaire                                                          | none           | Embedded                                  |
| 1                            | Landscape Forms or approved equal | SCARBOROUGH litter receptacle               | vertical strap, side opening                                             | #14 trash only | Surface Mount                             |
| 1                            | Landscape Forms or approved equal | SCARBOROUGH recycling receptacle            | vertical strap, standard side opening, single use                        | #10 recyclable | Surface Mount                             |
| 1                            | Scofa or approved equal           | CHARGING BENCH                              |                                                                          |                | Surface Mount                             |
| 1                            | MDF or approved equal             | 3 Bowl drinking fountain with bottle filler | model #10155SM, stainless steel, add recessed hose bib with locking door | none           | Surface Mount with 10" SS surface carrier |



- NOTES:**
- OPTIONAL STAINLESS STEEL SURFACE CARRIER RECOMMENDED.
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.
  - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 3364-17.7.

**MODEL 10155SM**  
10155SM SHOWN WITH OPTIONAL 10" SS SURFACE CARRIER

**1 DRINKING FOUNTAIN**  
L3

City of Austin  
Copy ARC™

Carolyn Kelley, ASLA  
Landscape Architect

512.445.0431  
512.857.1342 fax  
carolyn@ckla.net



**SITE PLAN APPROVAL**

FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017

APPROVED BY COMMISSION ONE: N/A UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-31, LDO 3/8/18) CASE MANAGER: NIKKI HOELTER

PROJECT EXPIRATION DATE (OED #2017-0038C-A) N/A DWG# DOZ X

Director, Development Services Department RELEASED FOR GENERAL COMPLIANCE 3/8/18 ZONING: P (PUBLIC)

Rev 1: Correction 1: \_\_\_\_\_

Rev 2: Correction 2: \_\_\_\_\_

Rev 3: Correction 3: \_\_\_\_\_

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

**FURNITURE DETAILS**

PROJECT NUMBER: DCP3

DRAWN BY: CK

CHECKED BY: PB

DATE: 2-2-2018

SHEET: **L3**

32 OF 34

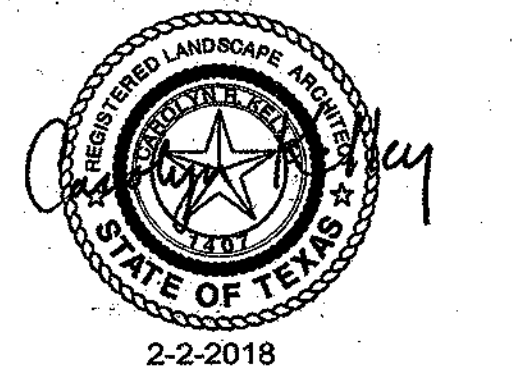
**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

Urban Design Group PC  
TX Registered Engineering Firm #F-1843

**EESA CONSULTING ENGINEERS**

6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.eeace.com

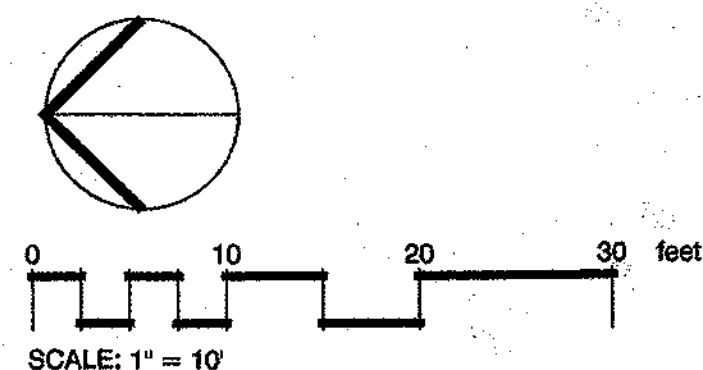
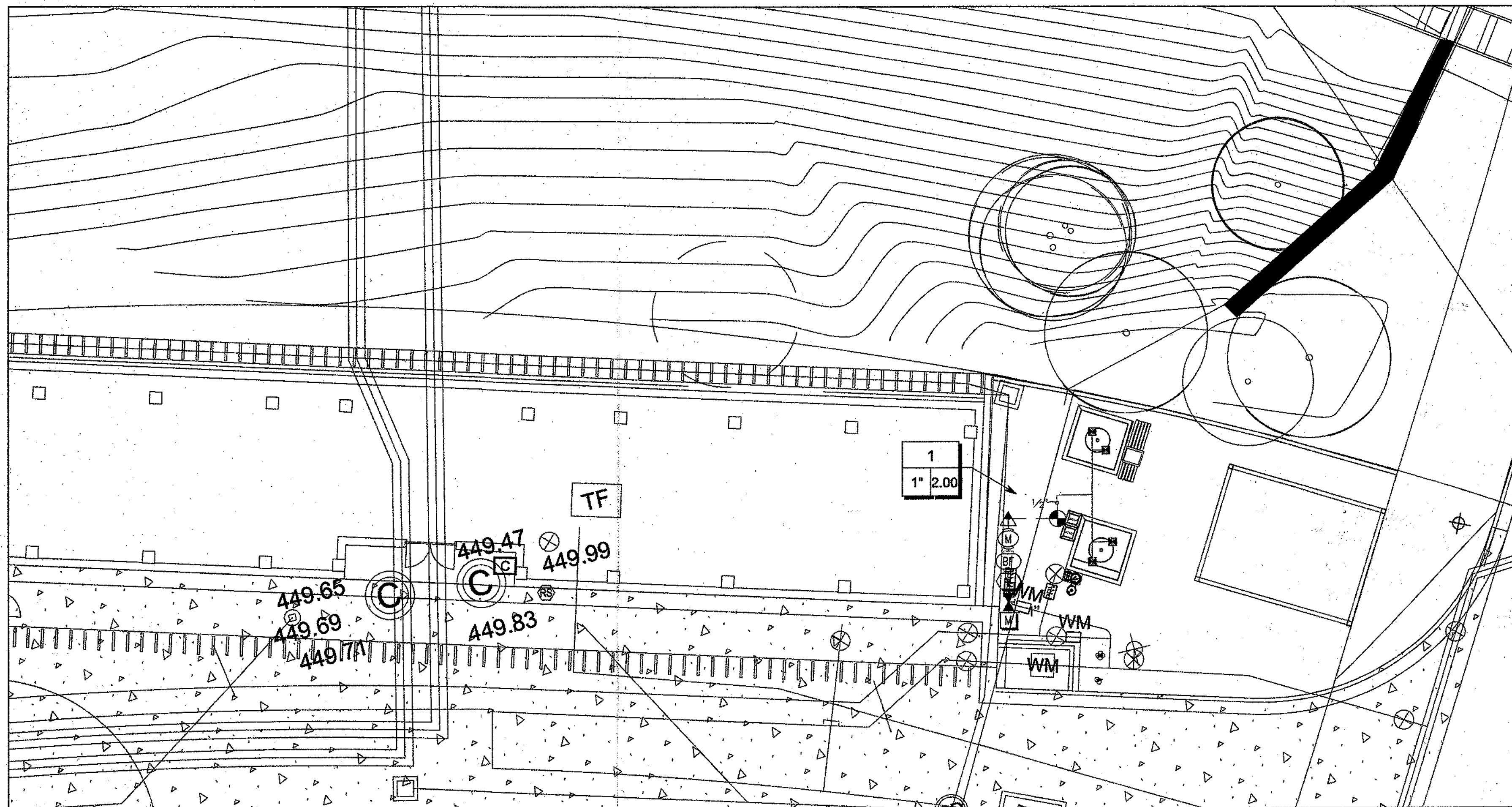
State of registration: TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



**REVISIONS**

| NO | DATE     | DESCRIPTION             |
|----|----------|-------------------------|
| 0  | 12-22-17 | ISSUED FOR CONSTRUCTION |
| 1  | 2-2-18   | Addendum 1              |
|    |          |                         |
|    |          |                         |
|    |          |                         |
|    |          |                         |
|    |          |                         |

**AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3**



### IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                      | QTY       |
|--------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
|        | Hunter PCB<br>Flood Bubbler, 1/2" FIPT.                                                                                                                             | 4         |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                      | QTY       |
|        | Hunter PGV-1016<br>1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Female NPT Inlet/Outlet. Globe Configuration, With Flow Control. | 1         |
|        | Matco-Norca 513TX<br>2"-3" Bronze Gate Valve, Full Port, Heavy Duty, Non-Rising Stem. IPS, Cross Handle. Same size as mainline pipe.                                | 1         |
|        | Hunter IGV-6 1"<br>1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.         | 1         |
|        | Pressure Reducing Valve<br>Pressure limited to 32.22 PSI<br>Set to 65 PSI                                                                                           | 1         |
|        | Febco 850 1"<br>Double Check Backflow prevention, 1/2" to 2"                                                                                                        | 1         |
|        | Hunter PG-400<br>Light Commercial & Residential Controller, 4-station base module controller, 120 VAC, Outdoor model                                                | 1         |
|        | Hunter MINI-CLIK<br>Rain Sensor, mount as noted                                                                                                                     | 1         |
|        | Nye Strainer - Bronze                                                                                                                                               | 1         |
|        | Water Meter 5/8"                                                                                                                                                    | 1         |
|        | Irrigation Lateral Line: PVC Class 200 SDR 21                                                                                                                       | 27.5 l.f. |
|        | Irrigation Mainline: PVC Class 200 SDR 21                                                                                                                           | 18.6 l.f. |
|        | Valve Callout                                                                                                                                                       |           |
|        | Valve Number                                                                                                                                                        |           |
|        | Valve Flow                                                                                                                                                          |           |
|        | Valve Size                                                                                                                                                          |           |

### VALVE SCHEDULE

| NUMBER | MODEL           | SIZE | TYPE    | GPM  | WIRE | PSI   | PSI @ POC | FREQIP    |
|--------|-----------------|------|---------|------|------|-------|-----------|-----------|
| 1      | Hunter PGV-1016 | 1"   | Bubbler | 2.00 | 15.5 | 32.22 | 34.66     | 2.08 in/h |
|        | Common Wire     |      |         |      | 18.6 |       |           |           |

### WATERING SCHEDULE

| NUMBER | MODEL           | TYPE    | FREQIP    | IN/WEEK | MIN/WEEK | GAL/WEEK | GAL/DAY |
|--------|-----------------|---------|-----------|---------|----------|----------|---------|
| 1      | Hunter PGV-1016 | Bubbler | 2.08 in/h | 1.20    | 35       | 70       | 70      |
|        | TOTALS:         |         |           |         | 35       | 70       | 70      |

### CRITICAL ANALYSIS

Generated: 2018-01-16 14:00

P.O.C. NUMBER: 01  
Water Source Information:

FLOW AVAILABLE  
Water Meter Size: 5/8"  
Flow Available: 15.00 gpm

PRESSURE AVAILABLE  
Static Pressure at POC: 65.00 psi  
Elevation Change: 5.00 ft  
Service Line Size: 1 1/2"  
Length of Service Line: 20.00 ft  
Pressure Available: 63.00 psi

DESIGN ANALYSIS  
Maximum Station Flow: 2.00 gpm  
Flow Available at POC: 15.00 gpm  
Residual Flow Available: 13.00 gpm

Critical Station:  
Design Pressure: 30.00 psi  
Friction Loss: 0.84 psi  
Fittings Loss: 0.08 psi  
Elevation Loss: 0.00 psi  
Loss through Valve: 1.30 psi  
Pressure Req. at Critical Station: 32.22 psi  
Loss for Fittings: 0.00 psi  
Loss for Main Line: 0.01 psi  
Loss for POC to Valve Elevation: 0.00 psi  
Loss for Backflow: 5.00 psi  
Loss for Master Valve: 2.15 psi  
Loss for Water Meter: 0.30 psi  
Critical Station Pressure at POC: 34.66 psi  
Pressure Available: 63.00 psi  
Residual Pressure Available: 23.34 psi

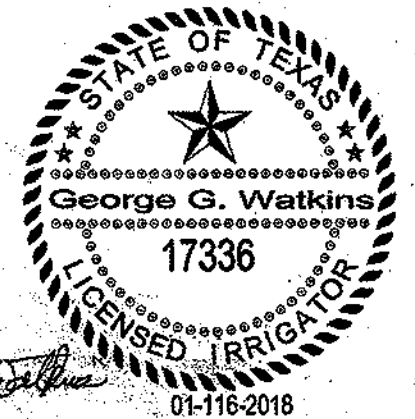
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|-----------|-----------|-------------------------|
| NO        | DATE      | DESCRIPTION             |
| 0         | 1/17/2018 | ISSUED FOR CONSTRUCTION |
|           |           |                         |
|           |           |                         |
|           |           |                         |
|           |           |                         |
|           |           |                         |

# AUSTIN ENERGY DISTRICT COOLING PLANT NO. 3

**UDG**  
Urban Design Group PC  
TX Registered Engineering Firm #E-1245

6615 Vaught Ranch Road, Suite 200  
Austin, Texas 78730-2314 USA  
512.744.4400 main - 512.744.4444 fax  
www.escce.com

State of registration TEXAS  
Firm Registration No. E-2497  
EEA Project No. 20140119



## PLAZA PLAN IRRIGATION

PROJECT NUMBER: DCF3  
DRAWN BY: GW  
CHECKED BY: GW  
DATE: 1-17-2017

SHEET:  
**IR1**  
33 OF 34

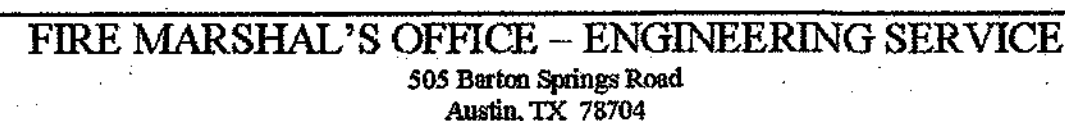
**MDIC**  
Mainline Design & Consulting  
Irrigation Consulting

5304 Fairhill Dr.  
Austin, TX 78745  
Ph: (512) 992-1865  
Fax: (512) 992-1865  
E-Mail: info@mdic.com  
Web: www.mdic.com

Carolyn Kelley, ASLA  
Landscape Architect

512.445.0431  
512.857.1342 fax  
carolyn@ckla.net

SITE PLAN APPROVAL SHEET 33 OF 34  
FILE NUMBER: SP-2017-0038C APPLICATION DATE: FEBRUARY 6, 2017  
APPROVED BY COMMISSION ON: N/A UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-41, LDC 28/21) CASE MANAGER: NIKKI HOELTER  
PROJECT EXPIRATION DATE (OED #7905-A) N/A DWTP: DDV X  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 2/8/18 ZONING: P (PUBLIC)  
Rev 1: Correction 1:  
Rev 2: Correction 2:  
Rev 3: Correction 3:  
Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



**REQUEST FOR MODIFICATION OR ALTERNATE METHOD OF COMPLIANCE**

|                                                              |             |               |                                                                                    |                           |                        |
|--------------------------------------------------------------|-------------|---------------|------------------------------------------------------------------------------------|---------------------------|------------------------|
| ADDRESS: 812 1/2 W. 2nd Street (SP-2017-0038C)               |             |               | USE: 2012 IBC F-IH-3/4A                                                            | TYPE OF CONST: IBC IIB    |                        |
| SUITE #:                                                     | BUILDING #: | # OF STORIES: | SPRINKLERED<br>YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> | TOTAL SQ. FT.<br>OF BLDG: | SQ. FT. OF<br>PROJECT: |
| NAME OF BUILDING: Austin Energy - District Cooling Plant # 3 |             | DATE:         | CONTACT PERSON:                                                                    |                           |                        |
| OWNER OR OWNER'S AGENT                                       |             |               |                                                                                    |                           |                        |

Proposed Description: (Print or Type) Explain how it is equivalent or what the hardship is. Attach documentation or use back of this form if needed.

Code Section: 2012 International Fire Code Section 503.2.4 (City of Austin amendment)

The applicant is requesting a reduction of the outside turning radii at the entrance to the fire department access road on the East side of the property. The entrance is on West 2<sup>nd</sup> Street. The proposed inside turn radii is 22.5 feet. Section 503.2.4 requires a minimum 25 foot inside turn radii at any change of direction on a fire department access road. The current design specifies a 30 foot inside radii. The reason for the reduction in the radii distance was initiated by the Austin Transportation Department (ATD). ATD requested the reduction as it serves as an improvement in an area with heavy pedestrian traffic because of its proximity to the Lake Ladybird Hike and Bike Trail.

Austin FD approved the site plan with a 20 foot wide fire department access road. This reduction in roadway width was approved because:

- [A] The cooling towers and its supporting structure are constructed using noncombustible materials and its height doesn't exceed 4 stories.
- [B] The chiller building is constructed as IBC Type IIB fire resistive building and is fully sprinklered. The building contains a Hazardous occupancy which houses Corrosive and Toxic fluids, which do not contribute to the building's fire load. All of the equipment inside the building is designed for the refrigeration and pumping of chilled water. The refrigerant is not flammable.

A computer model simulating the travel of a Pierce mobile fire apparatus with a mid-ship pump and 100 foot aerial platform ladder was prepared by the Engineer of Record. The Pierce mobile fire apparatus and the apparatus length dimensions are consistent with the AFD apparatus specifications for a Pierce 100 foot Quint. The roadway curb geometry is mountable by AFD apparatus. It is designed to comply with the 16'16" AFD and HD-20 roadway loading requirements in the Fire Protection Criteria Manual. The results of the model indicate that the reduction of the turn radii to 22.5 feet should not affect the ability of a Pierce Quint with an aerial platform to access the site from West 2<sup>nd</sup> Street.

Based on these findings Austin FD is approving this request in accordance with 2012 IFC Section 503.2.2. The Alternative Method of Compliance and the Exhibit titled *Fire Lane Swept Path Analysis* prepared by Urban Design Group on January 23, 2018 shall be included as part of the record drawings for SP-2017-0038C.

APPROVED BY:

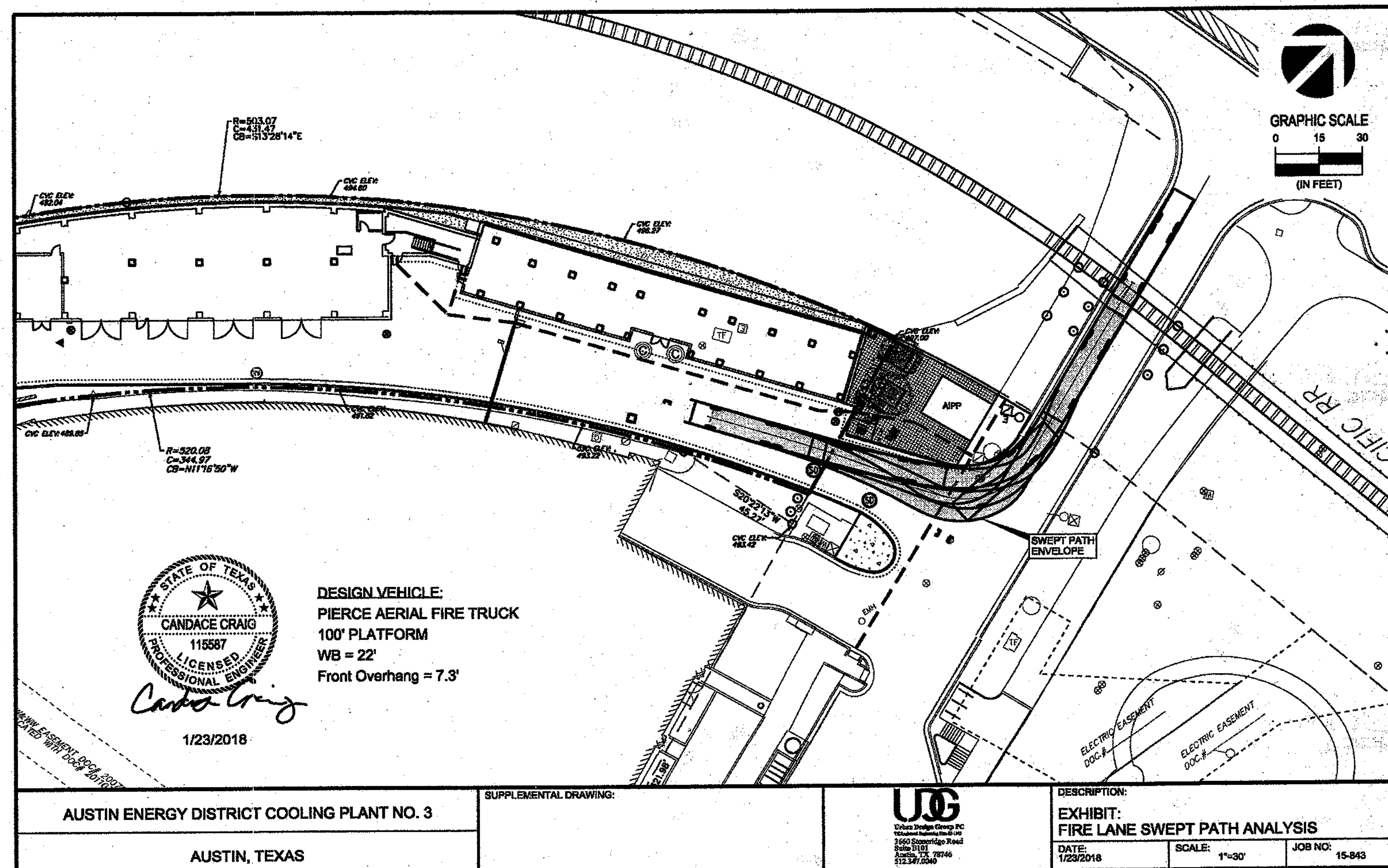
**APPROVED**

By S. Stookey - Austin Fire Dept at 3:42 pm Feb 07, 2013

APPROVED BY:

**TITLE:**

DATE: \_\_\_\_\_



S:\Projects\Downtown District cooling Plant No3 - 15-843\CAD\Plans\Site Plan\Sheets-Exhibits & Sketches\DCP3 - SWEPT PATH.dwg

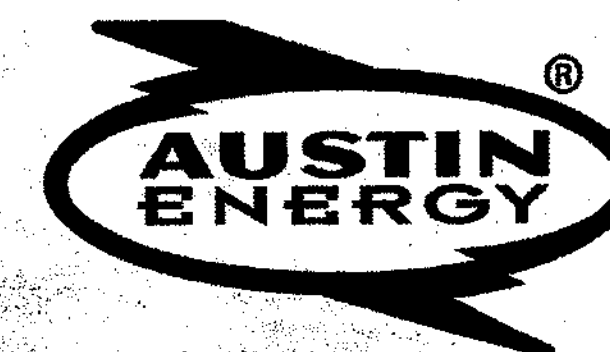


City of Austin  
Copy ~~ARC~~

SITE PLAN APPROVAL \_\_\_\_\_ SHEET 34 OF 34  
FILE NUMBER: SP-7-9039C \_\_\_\_\_ APPLICATION DATE: FEBRUARY 8, 2017  
APPROVED BY COMMISSION ON: N/A \_\_\_\_\_ UNDER SECTION 112 OF  
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE (25-5-1.1.DC) 3/31/18 CASE MANAGER: NIKKI HOELTER  
PROPOSED EXPIRATION DATE (RED #3005-A) N/A DWVT \_\_\_\_\_ DDZ X  
*[Signature]*  
Director, Development Services Department  
RELEASED FOR GENERAL COMPLIANCE: 3/31/18 ZONING: P (PUBLIC)  
Rev.1: \_\_\_\_\_ Correction 1: \_\_\_\_\_  
Rev.2: \_\_\_\_\_ Correction 2: \_\_\_\_\_  
Rev.3: \_\_\_\_\_ Correction 3: \_\_\_\_\_  
*Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.*

[illegible]

**AUSTIN ENERGY  
DISTRICT COOLING  
PLANT NO. 3**



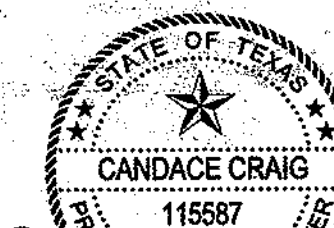
**UDG** 3660 Stoneridge Road  
Suite E101  
Austin, TX 78746  
512.347.0040

**Urban Design Group PC**  
TX Registered Engineering Firm #E-1843



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512.744.4400 main - 512.744.4444 fax  
[www.eeace.com](http://www.eeace.com)

State of registration TEXAS  
Firm Registration No. F-2497  
EEA Project No. 20140119



2/20/201

TITLE: FIRE DEPARTMENT  
ALTERNATIVE METHOD  
OF COMPLIANCE

PROJECT NUMBER: 15-843  
DRAWN BY: NT/CC  
CHECKED BY: CC  
DATE: 2/20/2018

SHEET:

## G1.1

34 OF 34