

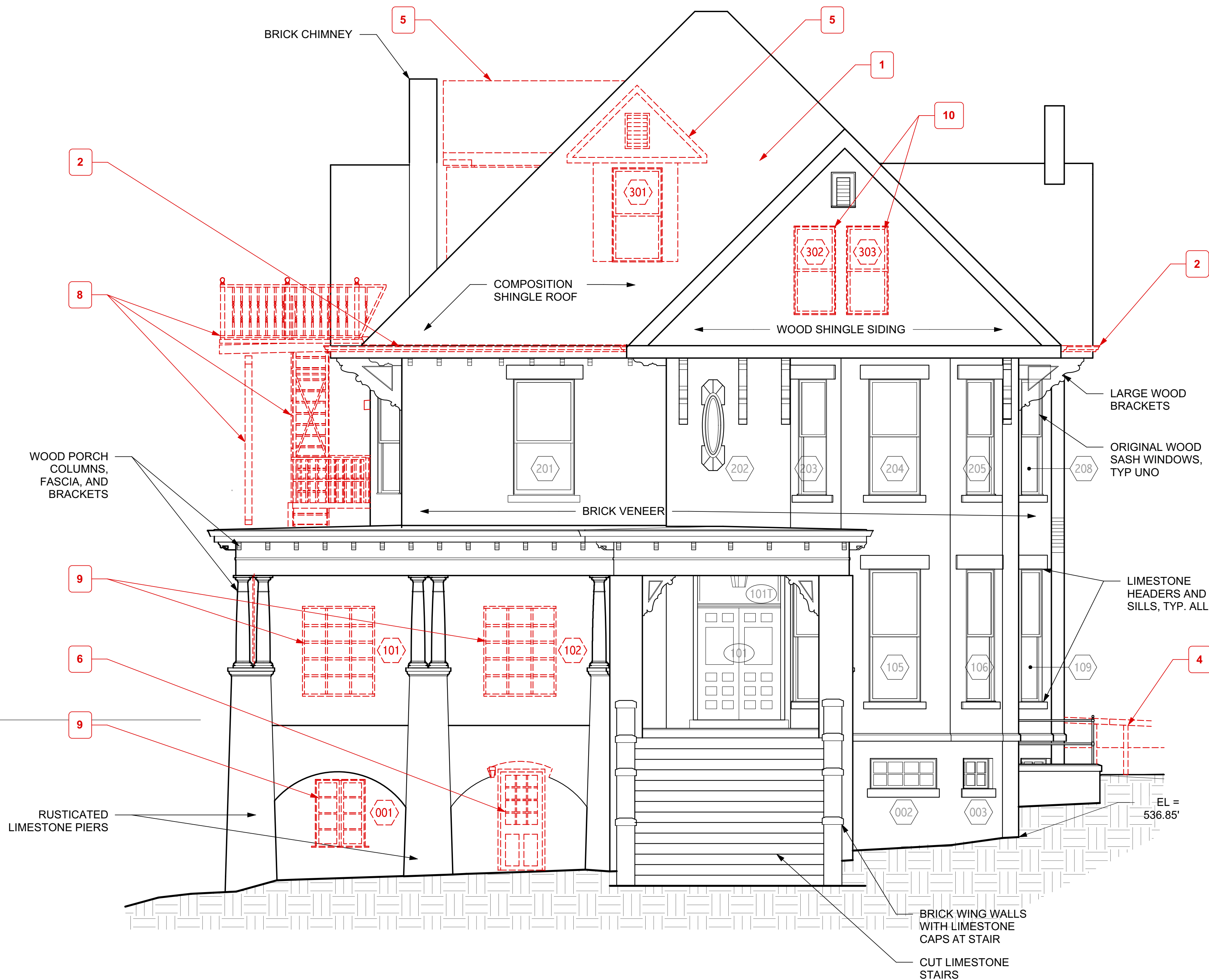
Roof
43' - 0"

Third Floor
22' - 7"

Second Floor
12' - 0"

First Floor
0' - 0"

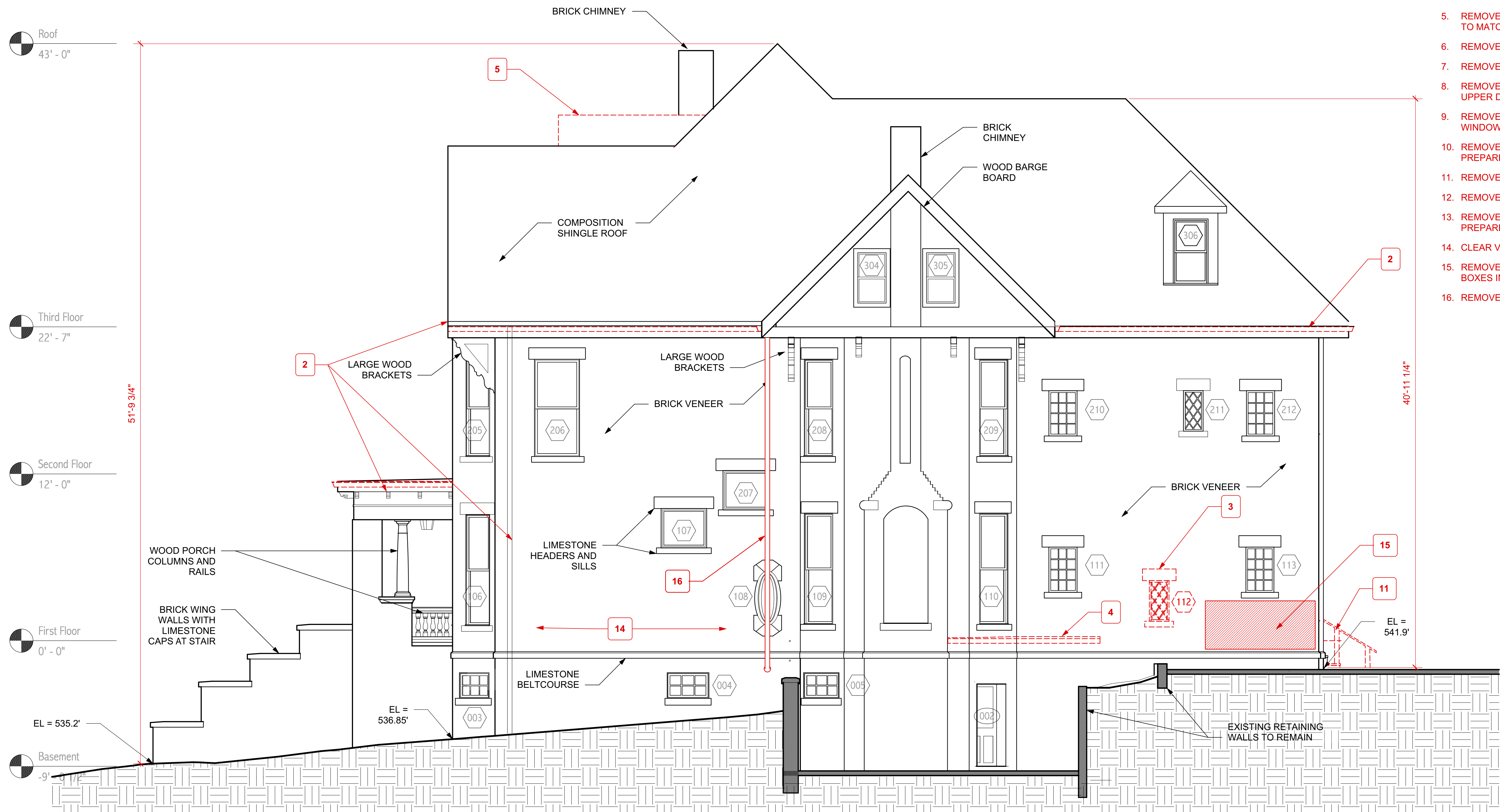
Basement
-9' - 0 1/2"



1 EAST ELEVATION DEMOLITION
Scale: 1/4" = 1'-0"

DEMOLITION KEYNOTES

1. REMOVE AND REPLACE COMPOSITION SHINGLE ROOF
2. REMOVE AND REPLACE GUTTERS
3. REMOVE AND SALVAGE WINDOW
4. REMOVE AWNING
5. REMOVE DORMER AND REPLACE WITH NEW TO MATCH ORIGINAL DESIGN
6. REMOVE NON-ORIGINAL DOOR AND INFILL
7. REMOVE NON-ORIGINAL DORMER
8. REMOVE NON-ORIGINAL METAL-FRAMED UPPER DECK AND FIRE ESCAPE
9. REMOVE NON-ORIGINAL PORCH INFILL AND WINDOW
10. REMOVE NON-ORIGINAL WINDOWS AND PREPARE FOR RESTORATION
11. REMOVE WOOD-FRAMED STAIR AND RAILS
12. REMOVE CONCRETE BULKHEAD
13. REMOVE BACK PORCH IN ENTIRETY AND PREPARE FOR REPLACEMENT
14. CLEAR VINES FROM AREA, TYP
15. REMOVE ELECTRIC METERS AND TELEPHONE BOXES IN THIS AREA
16. REMOVE EXPOSED CAST IRON PIPE



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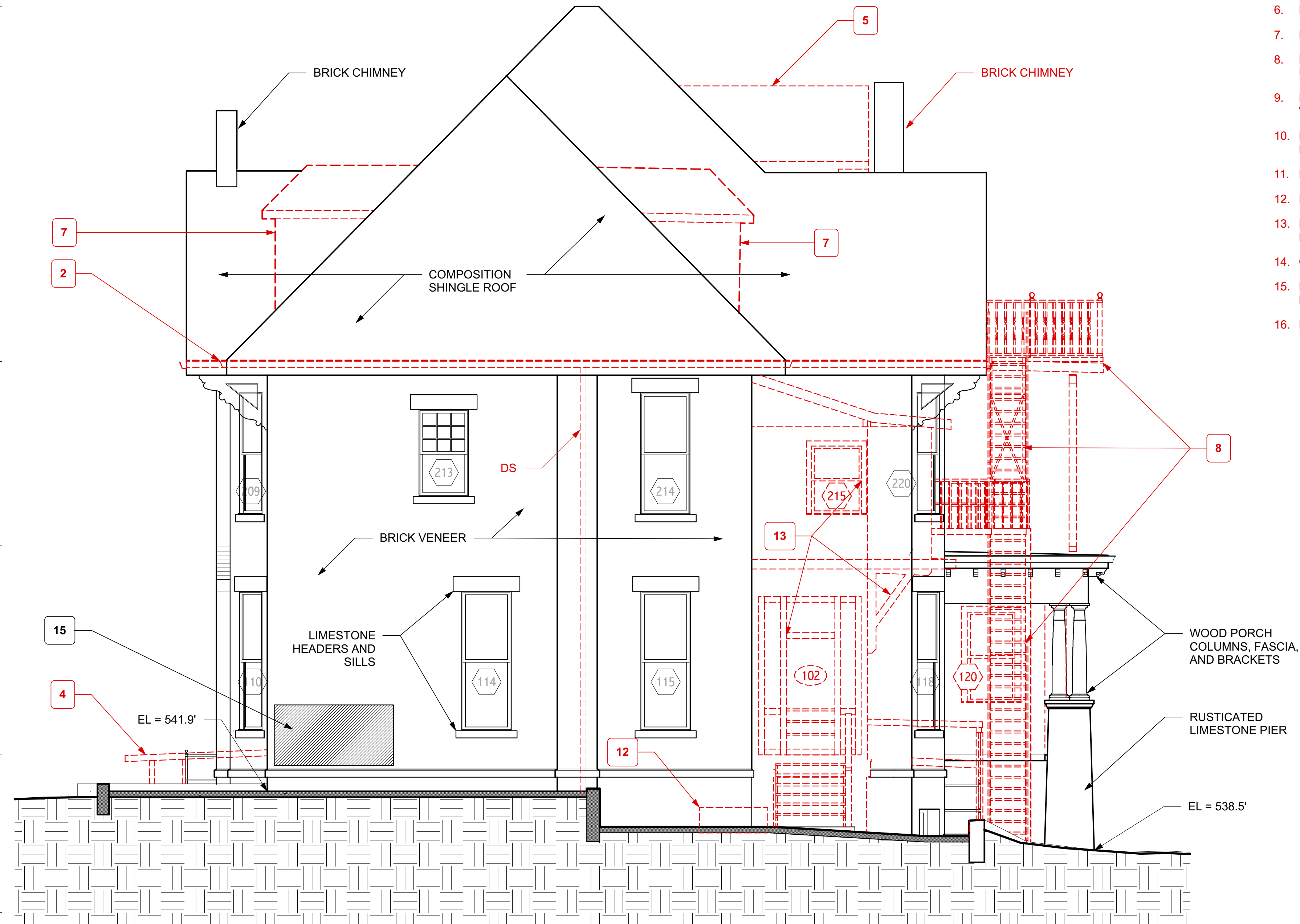
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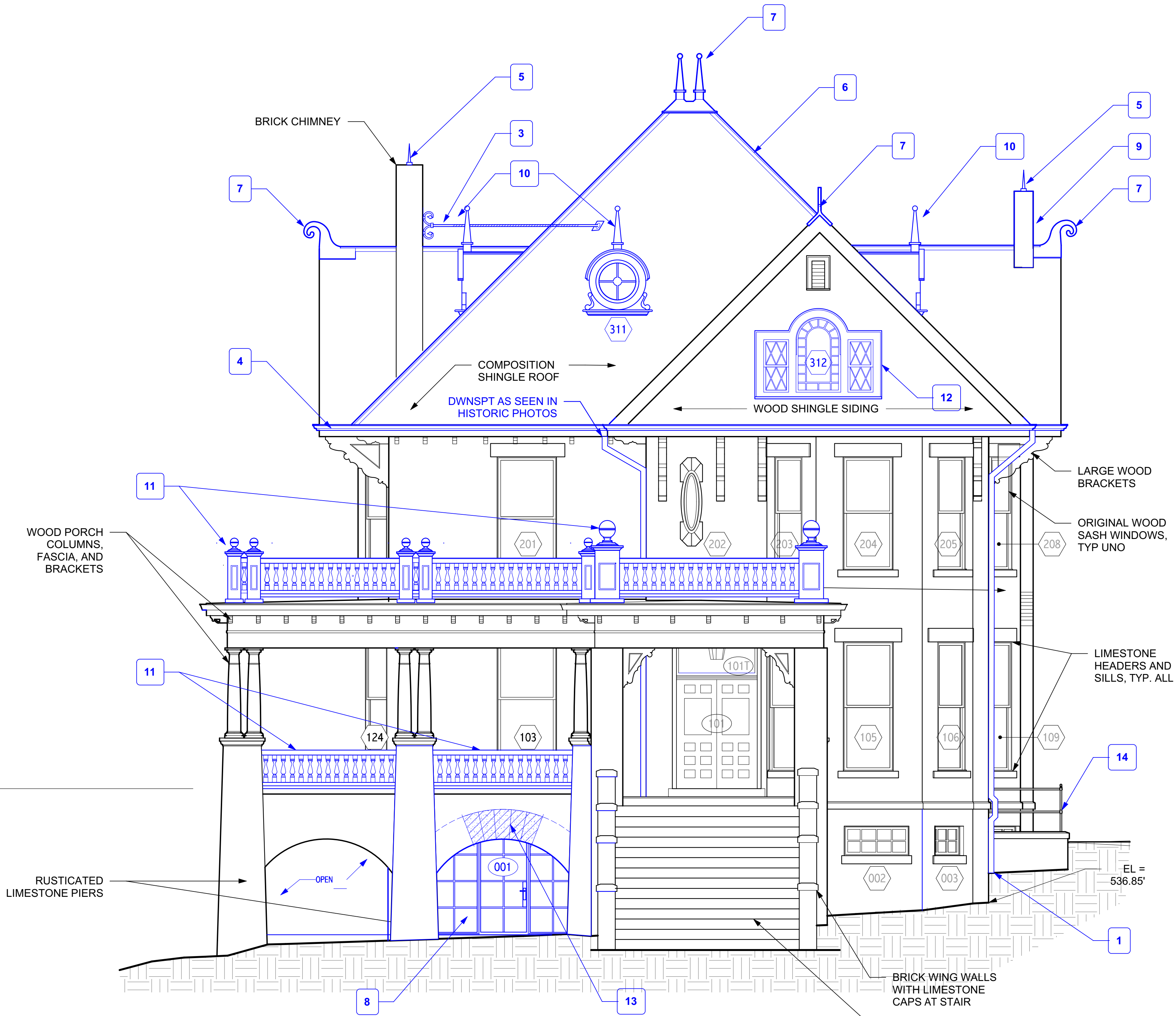
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WOOD PORCH
COLUMNS AND
RAILS

BRICK WING
WALLS WITH
LIMESTONE
CAPS AT STAIR

EL = 535.2'

EL =
536.85'

BRICK CHIMNEY

COMPOSITION
SHINGLE ROOF

BRICK CHIMNEY

WOOD BARGE
BOARD

LARGE WOOD
BRACKETS

LARGE WOOD
BRACKETS

BRICK VENEER

LIMESTONE
HEADERS AND
SILLS

LIMESTONE
BELTCOURSE

BRICK VENEER

EXISTING RETAINING
WALLS TO REMAIN

RESTORATION KEYNOTES

1. CONNECT DOWNSPOUT TO NEW SUBGRADE DRAINAGE SYSTEM, TYP ALL
2. INSTALL DUTCHMAN REPAIR AT DAMAGED MASONRY
3. INSTALL NEW CHIMNEY BRACE PER HISTORIC PHOTOGRAPH
4. INSTALL NEW GUTTERS AND DOWNSPOUTS
5. LIGHTNING PROTECTION
6. METAL RIDGE CAP
7. NEW FINIAL AND INTEGRATED LIGHTNING PROTECTION
8. NEW METAL-FRAMED ENTRY DOOR AND WINDOWS INFILL OPENING BEYOND. REF: PLAN AND DETAILS
9. RECONSTRUCT MISSING BRICK CHIMNEY
10. RECONSTRUCT MISSING ROUND DORMER AND FINIAL
11. RECONSTRUCT ORIGINAL BALCONY RAIL AND PIERS
12. RECONSTRUCT WINDOWS TO MATCH ORIGINAL DESIGN
13. REPLACE DAMAGED MASONRY AT ARCH TO MATCH ORIGINAL
14. RESTORE ORIGINAL RAILING
15. RECONSTRUCT WINDOW OPENING FROM NON-ORIGINAL DOOR OPENING, INCLUDING NEW STONE WINDOW SILL

O'Connell
ARCHITECTURE
1405 W. 10TH STREET
AUSTIN, TEXAS 78703
512/751-1374

DRAFT
Not for
Construction
Teresa O'Connell
#15432

BALL-PERRY HOUSE
610 BAYLOR STREET, AUSTIN, TEXAS 78703

ISSUE DATE

4/12/2018

SHEET NAME

NORTH
ELEVATION
RESTORATION

SHEET NUMBER

A-221

1 NORTH ELEVATION RESTORATION
Scale: 1/4" = 1'-0"

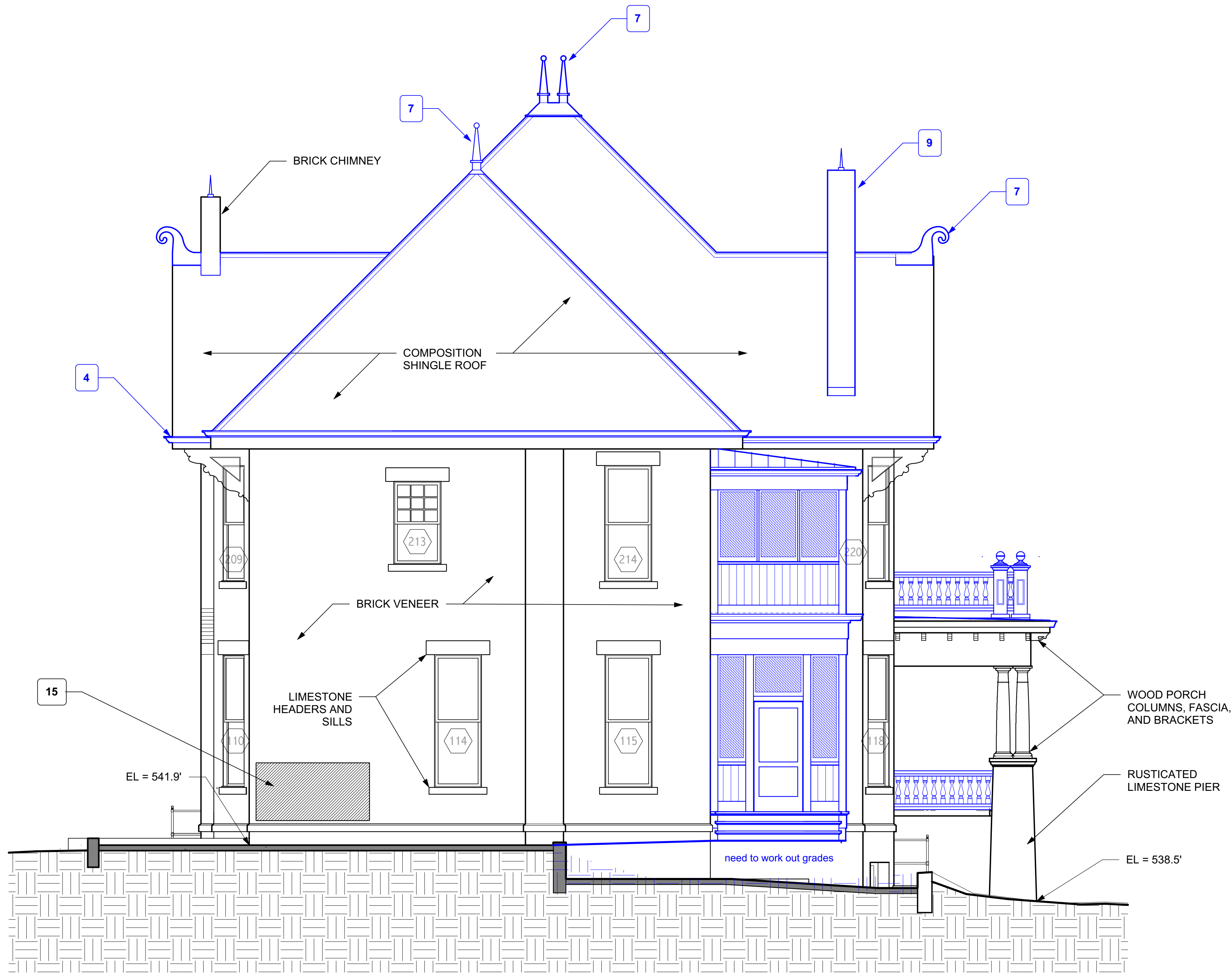
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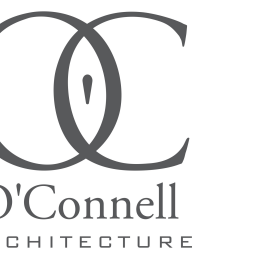
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WEST
ELEVATION
RESTORATION

SHEET NUMBER

A-222



A-223