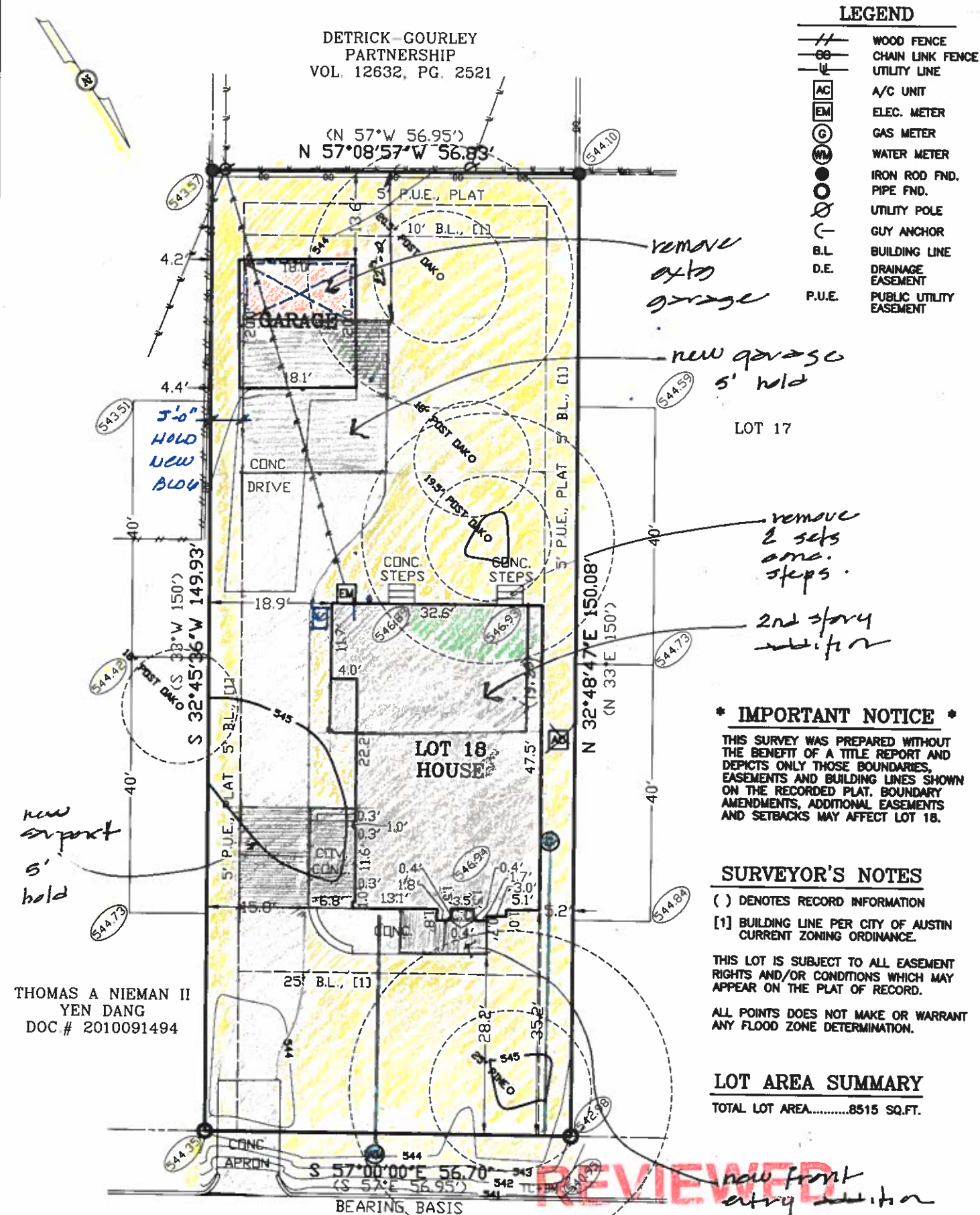


SCALE: 1"=20'



LEGEND

- WOOD FENCE
- CHAIN LINK FENCE
- UTILITY LINE
- A/C UNIT
- ELEC. METER
- GAS METER
- WATER METER
- IRON ROD FND.
- PIPE FND.
- UTILITY POLE
- GUY ANCHOR
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT

IMPORTANT NOTICE

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 18.

SURVEYOR'S NOTES

( ) DENOTES RECORD INFORMATION  
[1] BUILDING LINE PER CITY OF AUSTIN CURRENT ZONING ORDINANCE.  
THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.  
ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT AREA SUMMARY

TOTAL LOT AREA.....8515 SQ.FT.

1803 PALMA PLAZA  
(60' R.O.W.)

MAR 09 2018

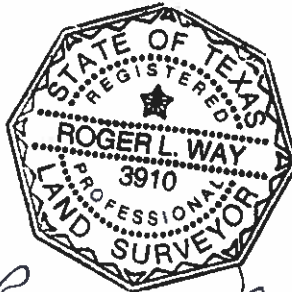
|         |        |               |   |                        |              |              |          |
|---------|--------|---------------|---|------------------------|--------------|--------------|----------|
| LOT No. | 18     | BLOCK         | - | SUBDIVISION / ADDITION | ENFIELD "H"  | By:          | Date:    |
| SECTION | -      | PHASE         | - | Book                   | 489          | FIELD WORK   | CR       |
|         | TRAMS  | COUNTY, TEXAS |   | Volume                 | 489          | DRAFTING     | SCN      |
| CITY    | AUSTIN |               |   | Document No.           | -            | SURVEY DATE: | 10-24-17 |
|         |        |               |   | Reference:             | TINA CONTROS | Job No.      | 10817617 |
|         |        |               |   |                        |              | SCALE:       | 1"=20'   |

All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes-this review DOES NOT include transmission power lines

AE APPROVED

MAR 09 2018

68-212  
JGM



Roger L. Way



ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200  
AUSTIN TX. 78704

TELE.: (512) 440-0071 - FAX: (512) 440-0199

FIRM REGISTRATION # 10118900

SCALE: 1"=20'

DETRICK-GOURLEY  
PARTNERSHIP  
VOL. 12632, PG. 2521

LEGEND

- WOOD FENCE
- CHAIN LINK FENCE
- UTILITY LINE
- A/C UNIT
- ELEC. METER
- GAS METER
- WATER METER
- IRON ROD FND.
- PIPE FND.
- UTILITY POLE
- GUY ANCHOR
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT

THOMAS A NIEMAN II  
YEN DANG  
DOC # 2010091494

1803 PALMA PLAZA  
(60' R.O.W.)

LOT No. 18 BLOCK -- SUBMISSION / ADDITION ENFIELD "H"  
SECTION -- PHASE -- Book -- Page(s) 806 Cabinet -- PLAT RECORDS  
CITY TRAVIS COUNTY, TEXAS Volume 499 Document No. -- Official Public Records of -- County, Texas  
Reference: TINA CONTRAS

By: Date:  
FIELD WORK CR 10-23-17  
DRAFTING SCN  
SURVEY DATE: 10-24-17  
Job No. 10817617  
SCALE: 1"=20'

TREE REVIEW PLAN

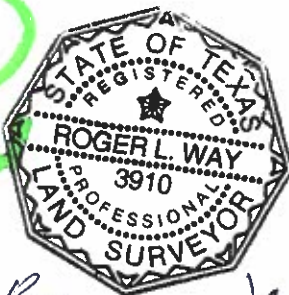
ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200

AUSTIN TX. 78704

TELE.: (512) 440-0071 - FAX: (512) 440-0199

FIRM REGISTRATION # 10118900



Roger L. Way

IMPORTANT NOTICE

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 18.

SURVEYOR'S NOTES

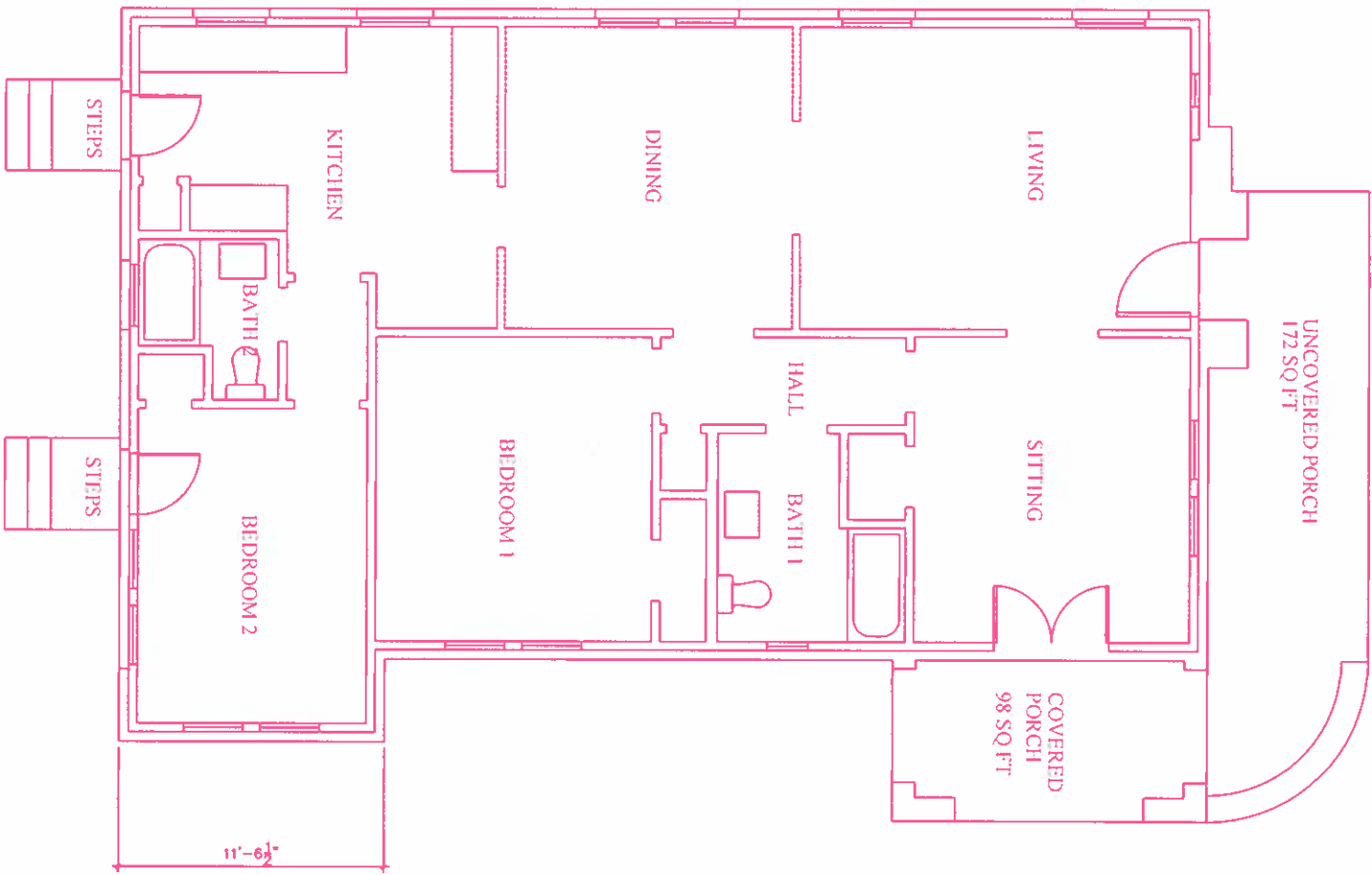
( ) DENOTES RECORD INFORMATION  
[1] BUILDING LINE PER CITY OF AUSTIN CURRENT ZONING ORDINANCE.  
THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.  
ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT AREA SUMMARY

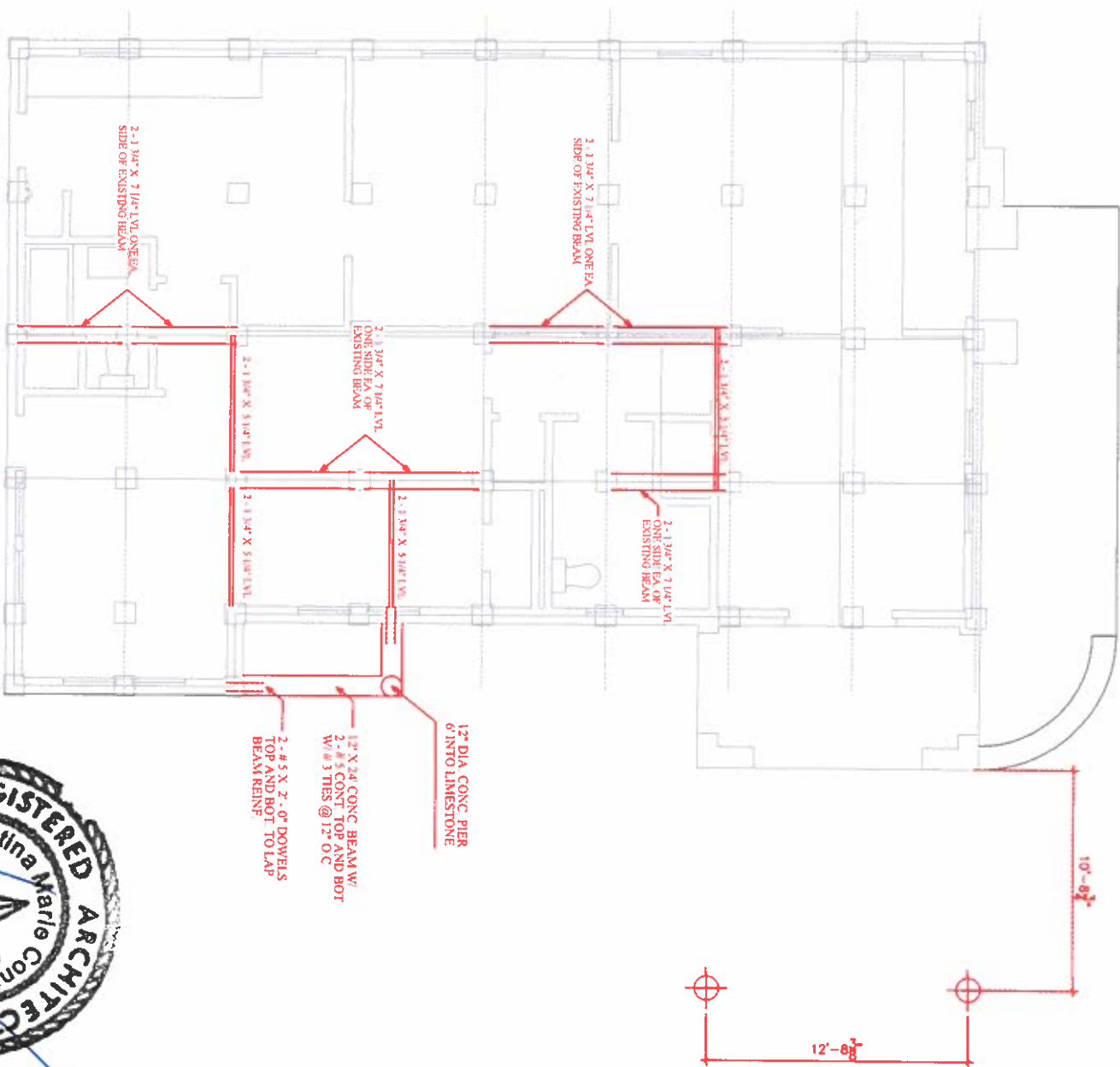
TOTAL LOT AREA.....8515 SQ.FT.

- remove ext. garage
- \* new 2 story garage
- store all materials & debris on driveway
- \* 2nd story addition
- dark green indicates mulch & all trees
- \* existing gas line
- \* existing water line
- \* all 4 trees to have plank protection, mulch & fencing

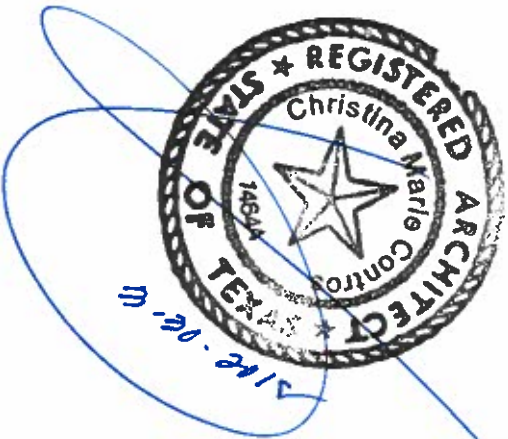
note: no trees to be removed !!



EXISTING FLOOR PLAN 1392 SQ. FT.  
SCALE 1/8" = 1'-0"



FOUNDATION PLAN  
SCALE 1/8" = 1'-0"



TINA CONTROS ARCHITECT

1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

RESIDENCE

ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT

DATE FEBRUARY 26, 2018

SCALE 1/8" = 1'-0"

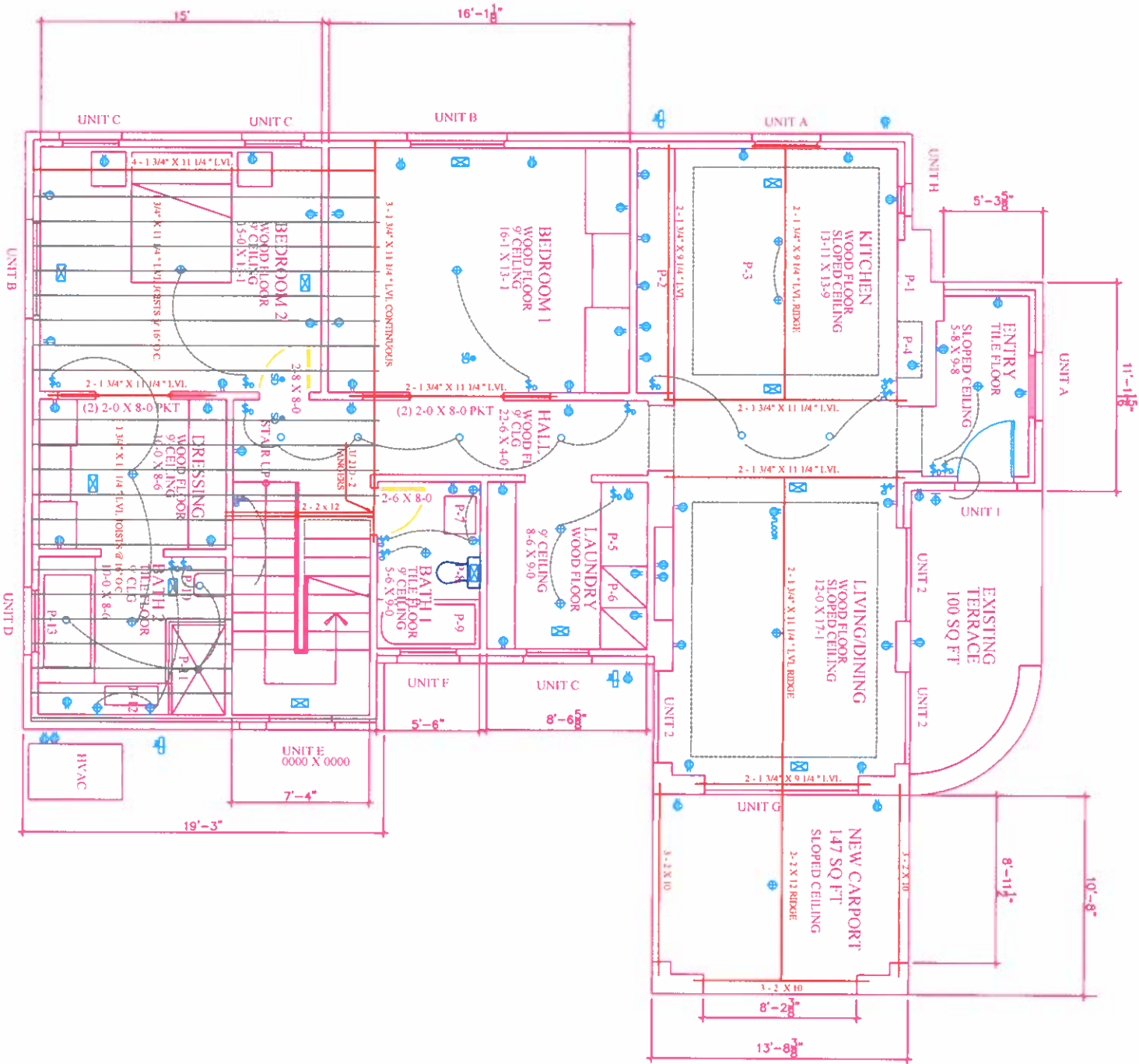
REVISIONS

SHEET NAME:

FOUNDATION PLAN  
EXISTING FLOOR PLAN

SHEET NO

A-1



|   |   |              |                 |                     |        |
|---|---|--------------|-----------------|---------------------|--------|
| 2 | A | 40 X 120     | PICTURE         | 11-0 HEAD           |        |
| 3 | B | 60 X 78      | CASEMENT        | 8-0 HEAD            | EGRESS |
| 5 | C | 36 X 74      | CASEMENT        | 8-0 HEAD            | EGRESS |
| 2 | D | 40 X 74      | PICTURE         | 8-0 HEAD            |        |
| 1 | E | 40 X 144     | PICTURE         | 8-0 HEAD at 2ND FLR |        |
| 1 | F | 40 X 84      | CASEMENT        | 8-0 HEAD            |        |
| 1 | G | 62.5 X 72.78 | PICTURE         | 8-0 HEAD            |        |
| 1 | H | 144 X 96     | CASEMENT        | 8-0 HEAD            |        |
| 3 | J | 62 X 84      | CASEMENT        | 8-0 HEAD            | EGRESS |
| A | K | 18 X 54      | CASEMENT        | 8-0 HEAD            |        |
| 2 | I | 36 X 96      | SWINGING FRENCH | 8-0 HEAD            |        |
| 3 | 2 | 60 X 96      | SWINGING FRENCH | 8-0 HEAD            |        |

NOTE: ALL UNITS MARVIN CLAD INSULATED GLASS R366  
NOTE: ALL UNITS TO BE TEMPERED GLASS

INTERIOR PARTITION:  
ONE LAYER BOTH SIDES  
1/2 INCH GYP. BD. ON  
2 X 4 FRAMING SPACED 16" O.C.  
PROVIDE R-13 SOUND ATTENUATION BATTS

EXTERIOR PARTITION:  
ONE LAYER ONE SIDE  
1/2 INCH GYP. BD. AND  
1 LAYER OF 3/4 EXTERIOR SHEATHING ON  
2 X 4 FRAMING SPACED 16" O.C.  
1 LAYER OF 15 LB FELT OR TYVEN  
AND BRICK VENEER  
PROVIDE R-19 INSULATION

ELECTRICAL/HVAC/PLUMBING SYMBOLS

- ⊕ DUPL EX OUTLET
- ⊕ SWITCH W/ DIMMER
- ⊕ CEILING MOUNTED FIXTURE
- RECESSED INCANDESCENT
- ⊕ WALL MOUNTED FIXTURE
- ⬇ COMMUNICATION WIRING
- ⊕ SMOKE DETECTOR
- ⊕ HVAC SUPPLY
- ⊕ HOSE BIB

PLUMBING LIST

- P-1 FIREPLAGE
- P-2 GAS RANGE
- P-3 SINK & DISHWASHER
- P-4 ICEMAKER
- P-5 SINK
- P-6 WASHER
- P-7 LAVATORY
- P-8 TOILET
- P-9 TUBSHOWER
- P-10 TOILET
- P-11 SHOWER
- P-12 LAVATORY
- P-13 TUB
- P-14 TOILET
- P-15 SHOWER

- P-16 LAVATORY
- P-17 TUB
- P-18 GAS FURNACE
- P-19 SINK
- P-20 TOILET
- P-21 SHOWER
- P-22 LAVATORY
- P-23 HOT WATER
- P-24 HOT WATER



TINA CONTROS ARCHITECT

1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512.350.3175

RESIDENCE

ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT 1

DATE FEBRUARY 26, 2018

SCALE 1/8" = 1'-0"

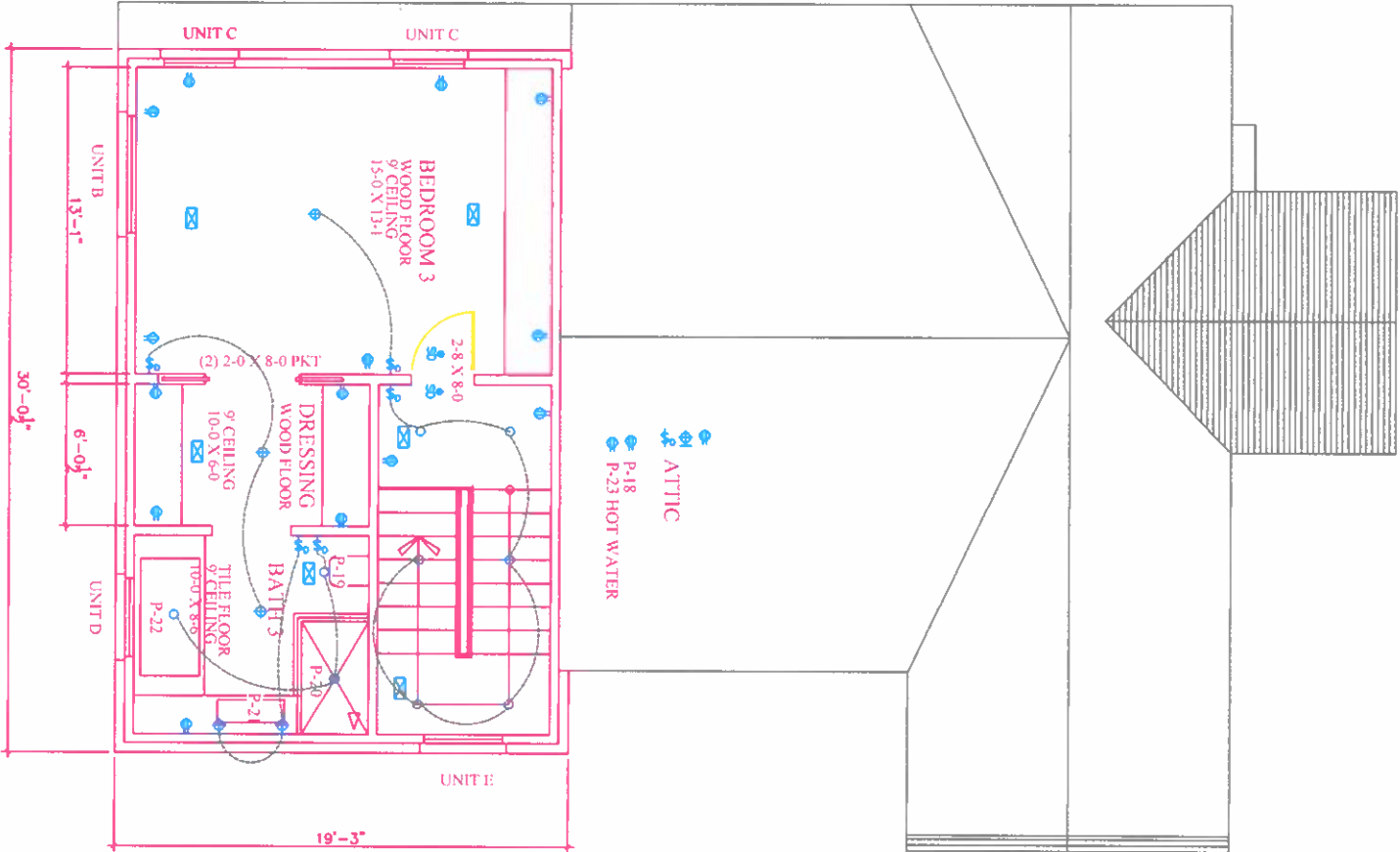
REVISIONS

SHEET NAME

PROPOSED FLOOR PLAN

SHEET NO

A-2

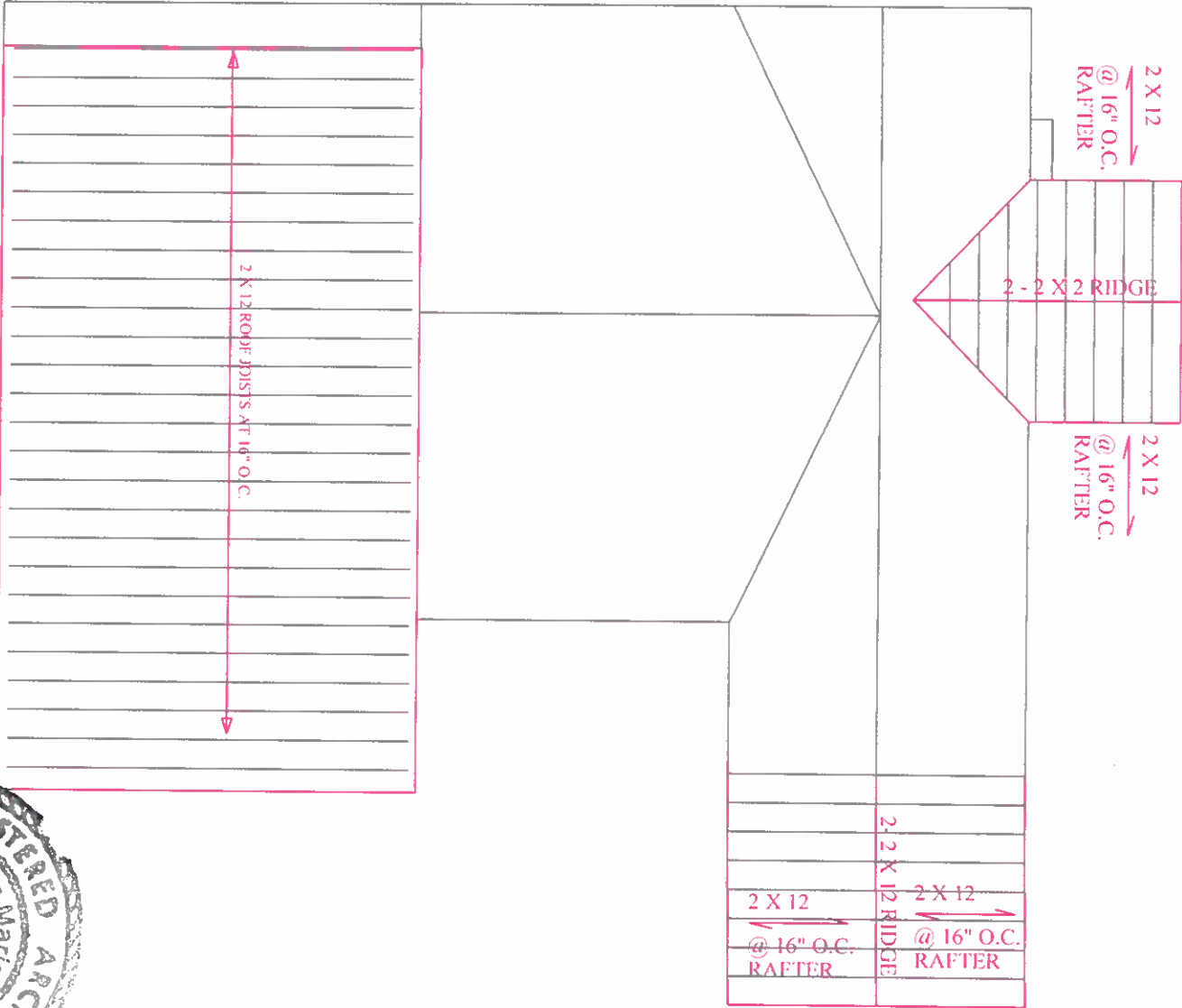


ATTIC  
P-18  
P-23 HOT WATER

DUPLEX OUTLET  
SWITCH W/ DIMMER  
CEILING MOUNTED FIXTURE  
RECESSED INCANDESCENT  
WALL MOUNTED FIXTURE  
COMMUNICATION WIRING  
SMOKE DETECTOR  
HVAC SUPPLY  
HOSE BIB

**PLUMBING LIST**  
P-1 FIREPLACE  
P-2 GAS RANGE  
P-3 SINK & DISHWASHER  
P-4 ICENMAKER  
P-5 SINK  
P-6 WASHER  
P-7 LAVATORY  
P-8 TOILET  
P-9 TUB/SHOWER  
P-10 TOILET  
P-11 SHOWER  
P-12 LAVATORY  
P-13 TUB  
P-14 TOILET  
P-15 SHOWER  
P-16 LAVATORY  
P-17 TUB  
P-18 GAS FURNACE  
P-19 SINK  
P-20 TOILET  
P-21 SHOWER  
P-22 LAVATORY  
P-23 HOT WATER

**PROPOSED FLOOR PLAN** 483 SQ FT  
SCALE 1/8" = 1'-0"



2 X 12  
@ 16" O.C.  
RAFTER  
2 - 2 X 2 RIDGE  
2 X 12  
@ 16" O.C.  
RAFTER

2 X 12  
@ 16" O.C.  
RAFTER  
2 X 12  
@ 16" O.C.  
RAFTER  
2 - 2 X 12 RIDGE

## RESIDENCE

ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

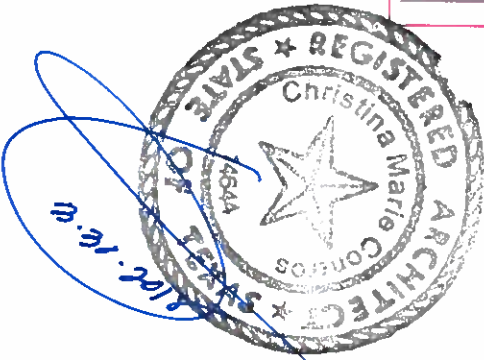
PROJECT 1  
DATE: FEBRUARY 26, 2018  
SCALE: 1/8" = 1'-0"  
REVISIONS

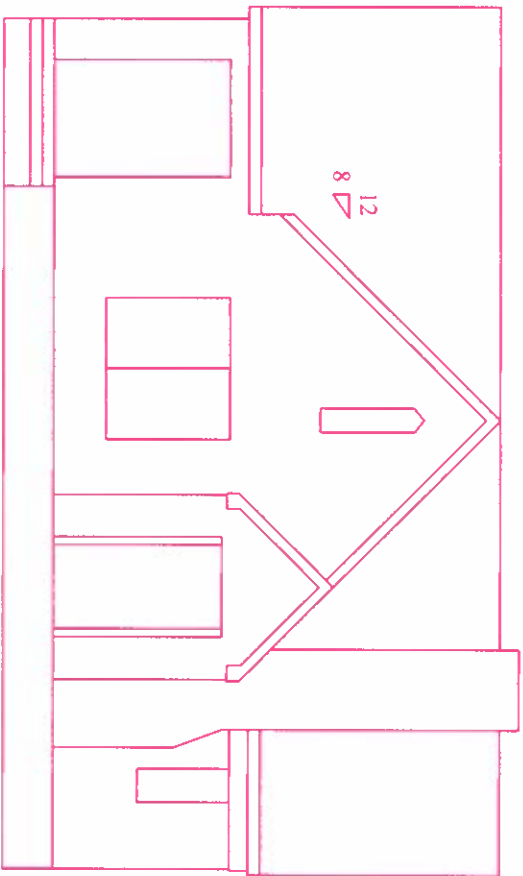
SHEET NAME  
**SECOND FLOOR PLAN**  
**ROOF PLAN**  
SHEET NO

A-3

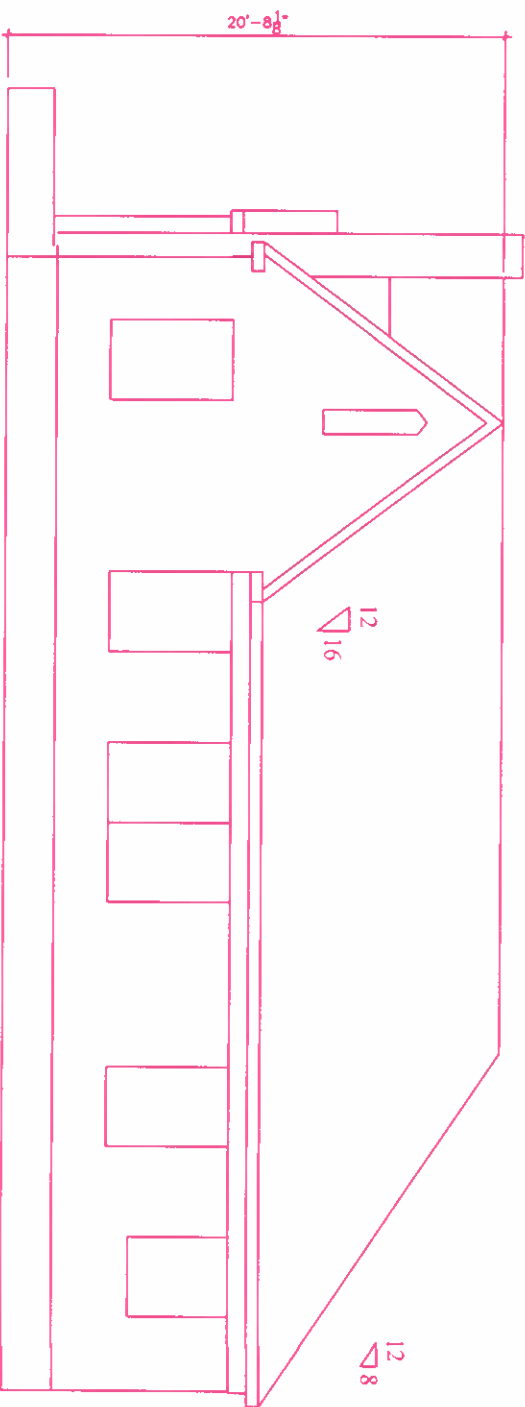
TINA CONTRAS ARCHITECT

1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175



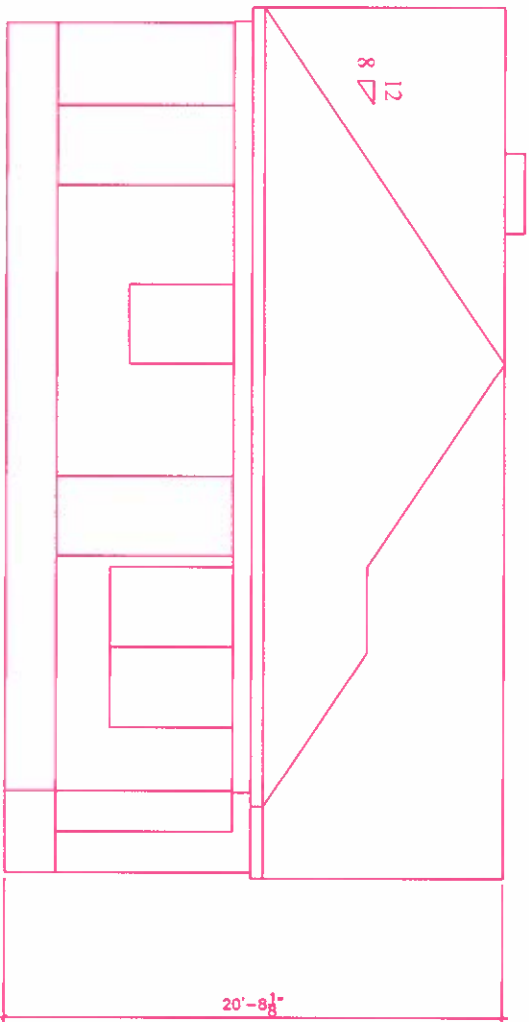


EXISTING NORTH FACING ELEVATION  
SCALE 1/8" - 1'-0"

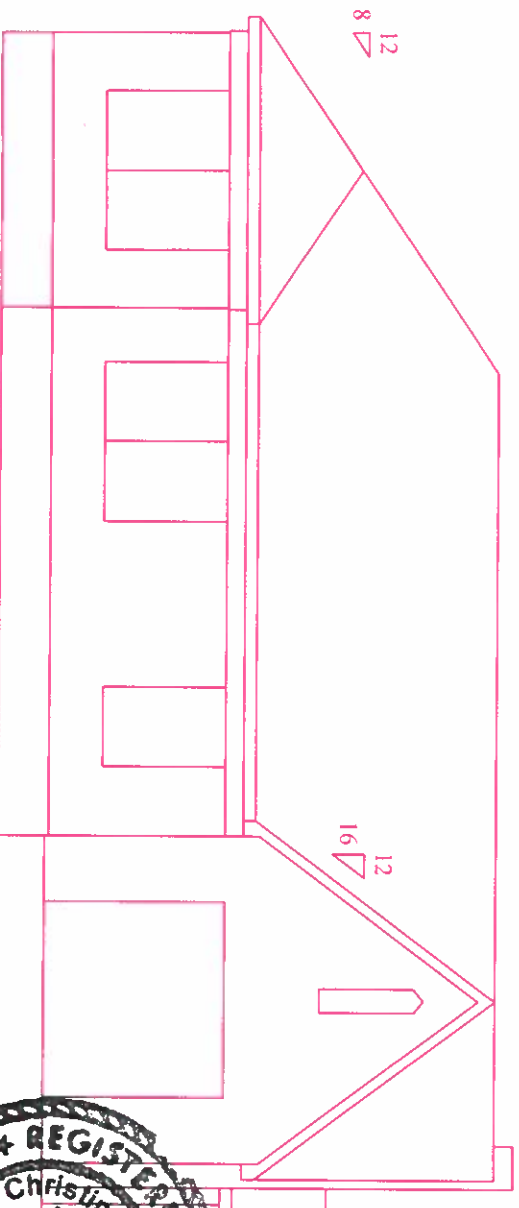


EXISTING WEST FACING ELEVATION  
SCALE 1/8" - 1'-0"

EXISTING MATERIALS  
BRICK VENEER FACADE  
COMPOSITION ROOF  
WOOD WINDOWS, DOORS & TRIM



EXISTING SOUTH FACING ELEVATION  
SCALE 1/8" - 1'-0"



EXISTING EAST FACING ELEVATION  
SCALE 1/8" - 1'-0"



TINA CONTROS ARCHITECT  
1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

RESIDENCE  
ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT  
DATE FEBRUARY 27, 2018  
SCALE: 1/8" = 1'-0"  
REVISIONS

SHEET NAME  
EXISTING CONDITIONS  
EXTERIOR ELEVATIONS  
SHEET NO

NOTES:  
CABLE END PROJECTION  
COMPLIES WITH  
SUBCHAPTER F, 2.6 E. b. (i)  
LESS THAN 18'-0"

NEW CARPORT

EXISTING

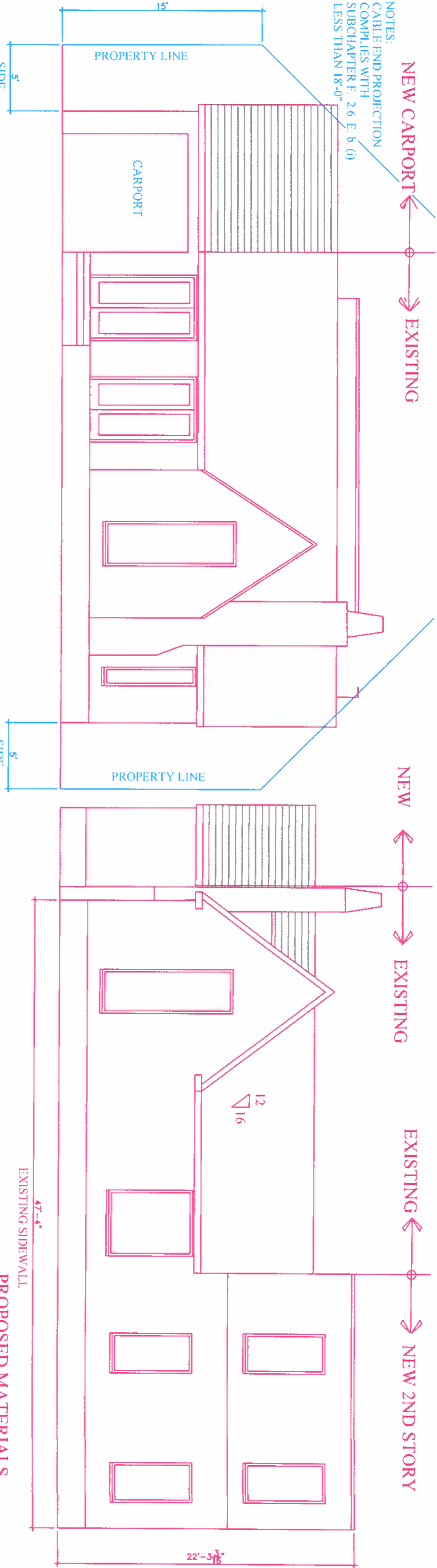
NEW

EXISTING

EXISTING

EXISTING

NEW 2ND STORY



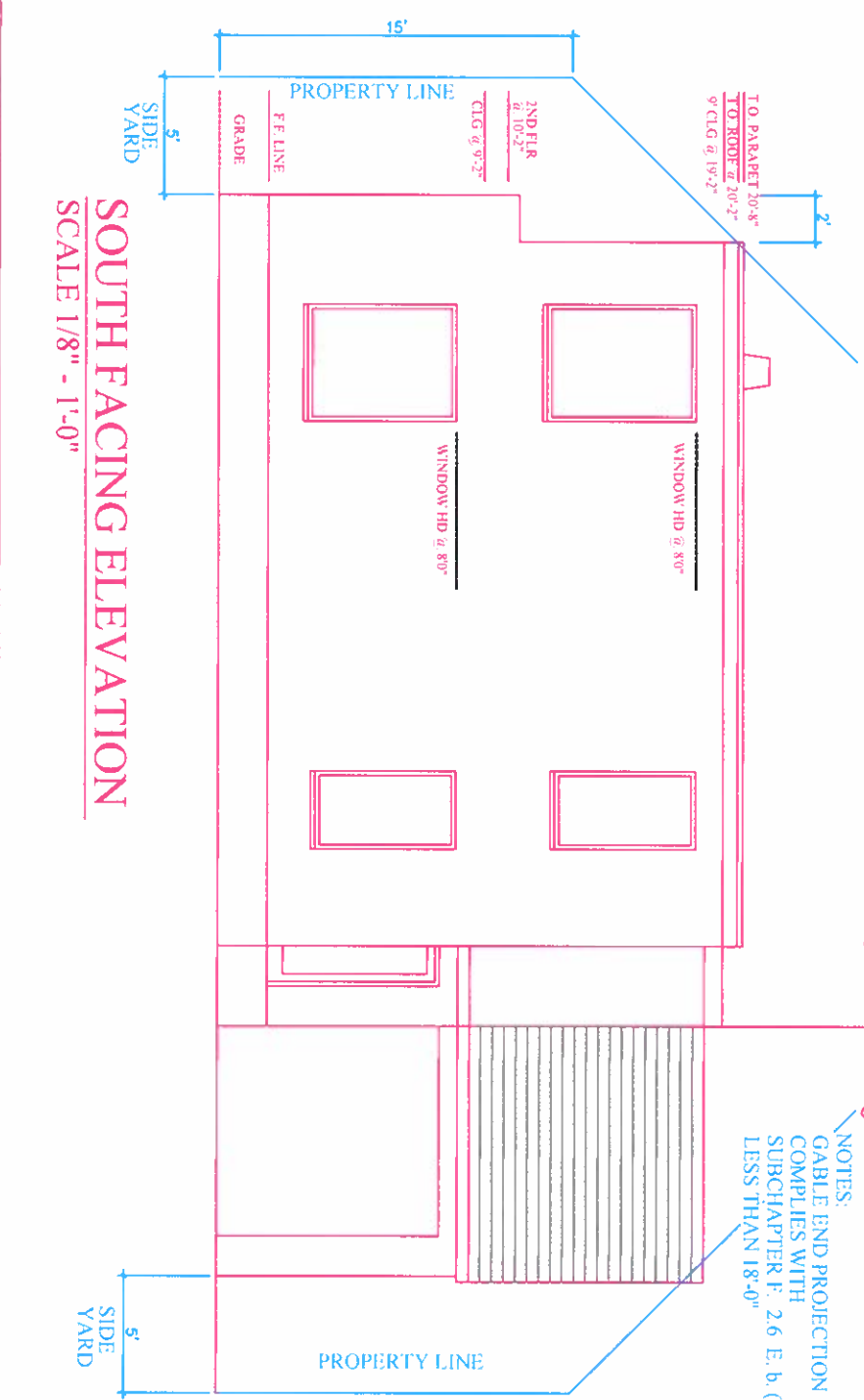
## NORTH FACING ELEVATION

SCALE 1/8" = 1'-0"

EXISTING

NEW CARPORT

NOTES:  
GABLE END PROJECTION  
COMPLIES WITH  
SUBCHAPTER F, 2.6 E. b. (i)  
LESS THAN 18'-0"



## SOUTH FACING ELEVATION

SCALE 1/8" = 1'-0"

## WEST FACING ELEVATION

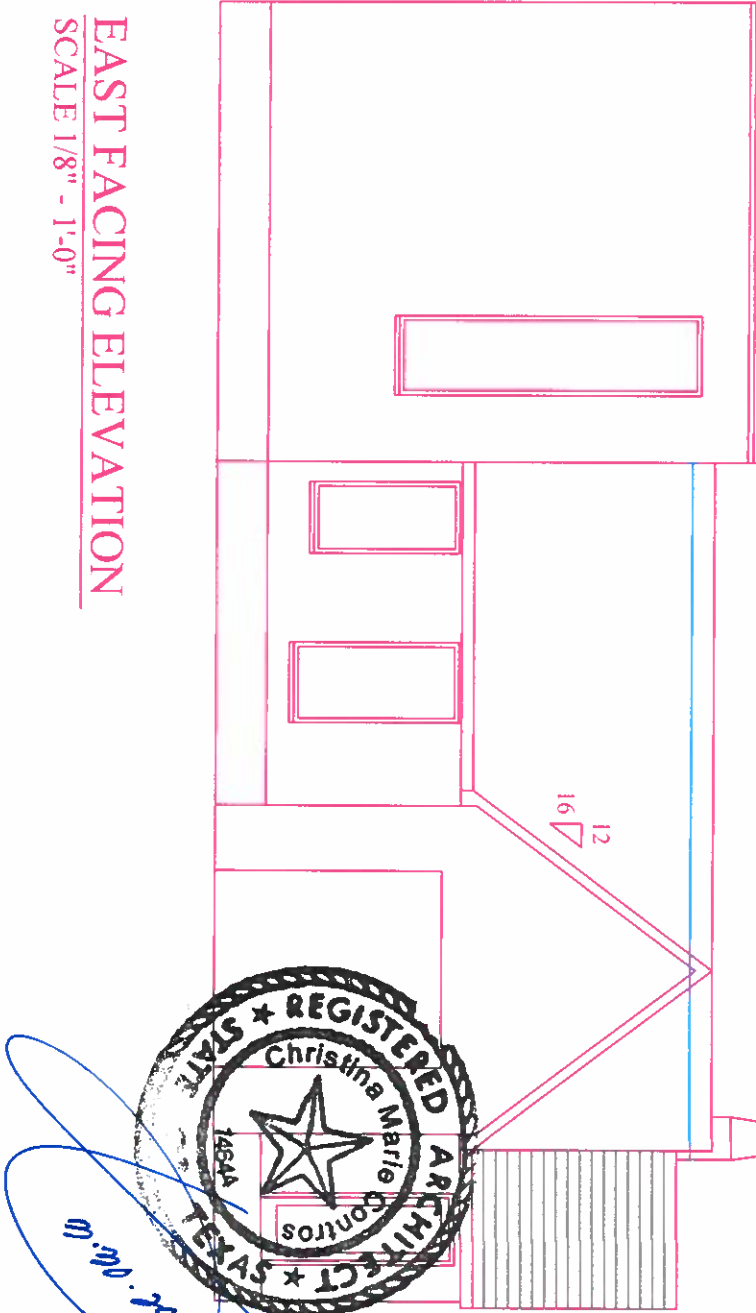
SCALE 1/8" = 1'-0"

NEW 2ND STORY

EXISTING

PROPOSED MATERIALS  
BRICK VENEER FACADE  
WOOD ROOF  
CLAD WINDOWS AND DOORS

NOTES:  
EXISTING GABLE END PROJECTION  
COMPLIES WITH  
SUBCHAPTER F, 2.6 E. b. (i)  
LESS THAN 18'-0"



## EAST FACING ELEVATION

SCALE 1/8" = 1'-0"



TINA CONTROS ARCHITECT  
1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

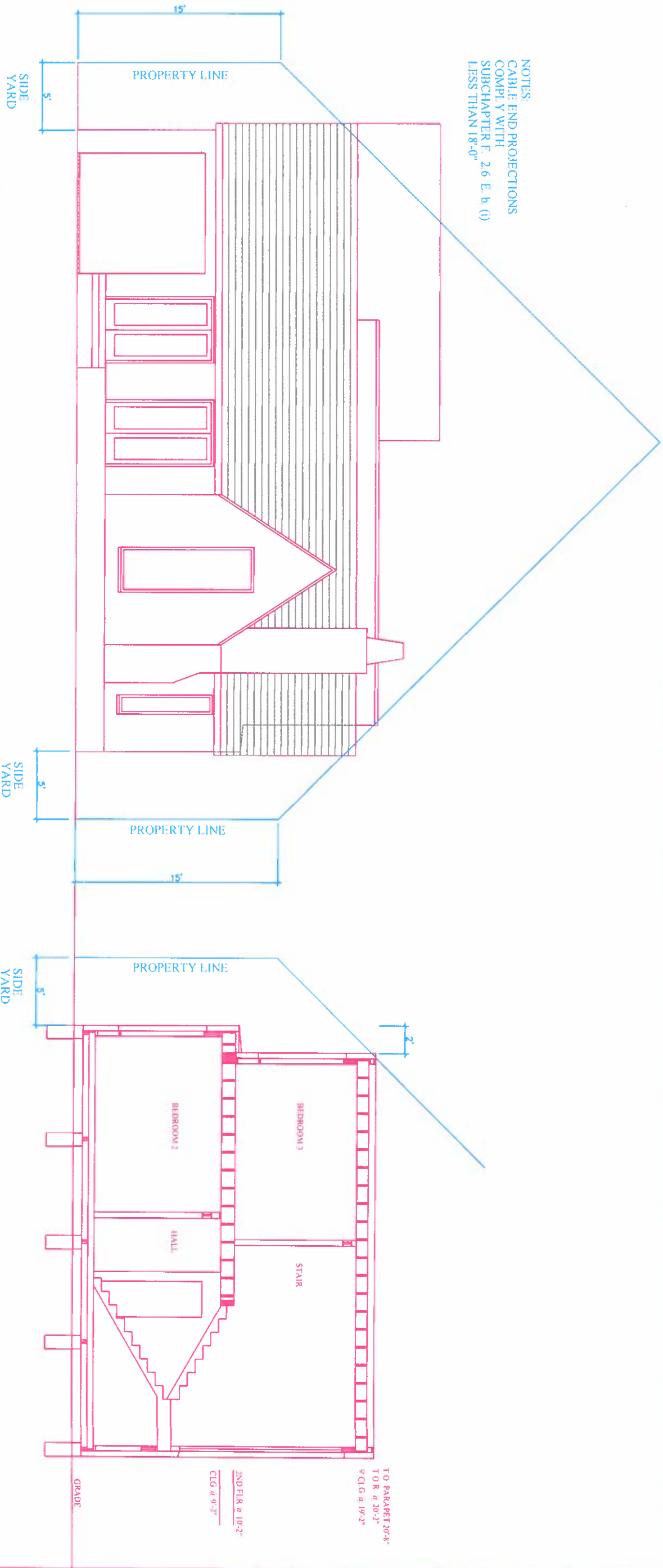
RESIDENCE  
ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT  
DATE: FEBRUARY 27, 2018  
SCALE: 1/8" = 1'-0"  
REVISIONS

SHEET NAME  
PROPOSED  
EXTERIOR ELEVATIONS  
SHEET NO

A-5

NOTES:  
CABLE END PROJECTIONS  
COMPLY WITH  
SUBCHAPTER F, 2.6 E. b. (i)  
LESS THAN 18'-0"



**COMBINED FRONT ELEVATION**  
SCALE 1/8" = 1'-0"

PROPOSED EXTERIOR MATERIALS  
BRICK VENEER  
WOOD SHINGLE ROOF @ SLOPED AREAS  
TPO ROOF AT FLAT ROOF ADDITION  
CLAD WINDOWS AND DOORS

**BUILDING SECTION @ 2ND FLR ADDITION**  
SCALE 1/8" = 1'-0"

NOTES:  
EXTERIOR PARTITION:  
ONE LAYER ONE SIDE  
1/2 INCH TYPE X GYP. BD. AND  
1 LAYER OF 3/4 EXTERIOR SHEATHING ON  
2 X 4 FRAMING, SPACED 16" O.C.  
1 LAYER OF 15 LB FELT OR TYVEK  
AND BRICK VENEER  
PROVIDE R-19 INSULATION IN PARTITIONS  
PROVIDE R-30 INSULATION IN FLOORS AND CEILING



TINA CONTROS ARCHITECT

1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

**RESIDENCE**

ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT

DATE FEBRUARY 27, 2018

SCALE: 1/8" = 1'-0"

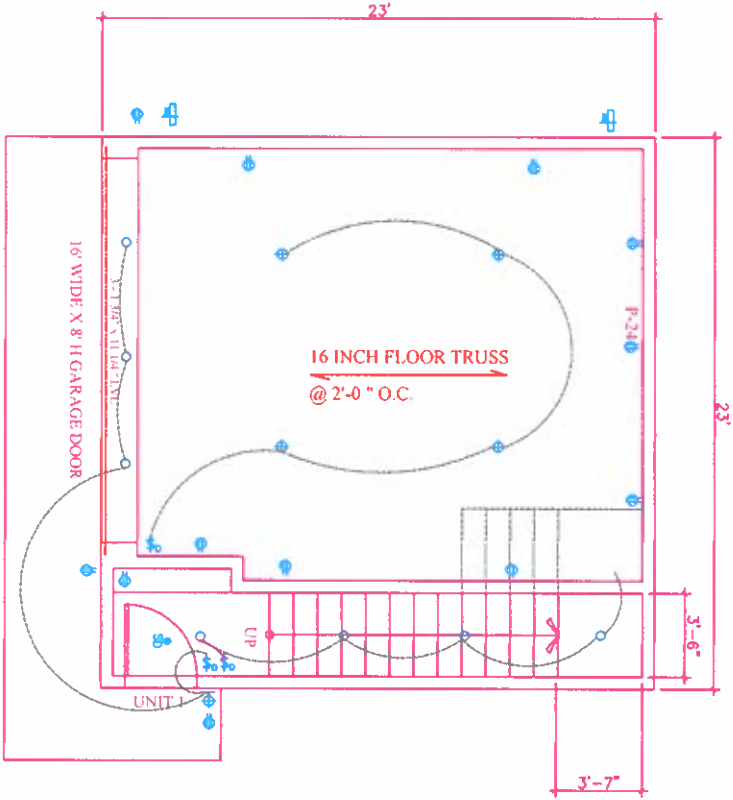
REVISIONS

SHEET NAME

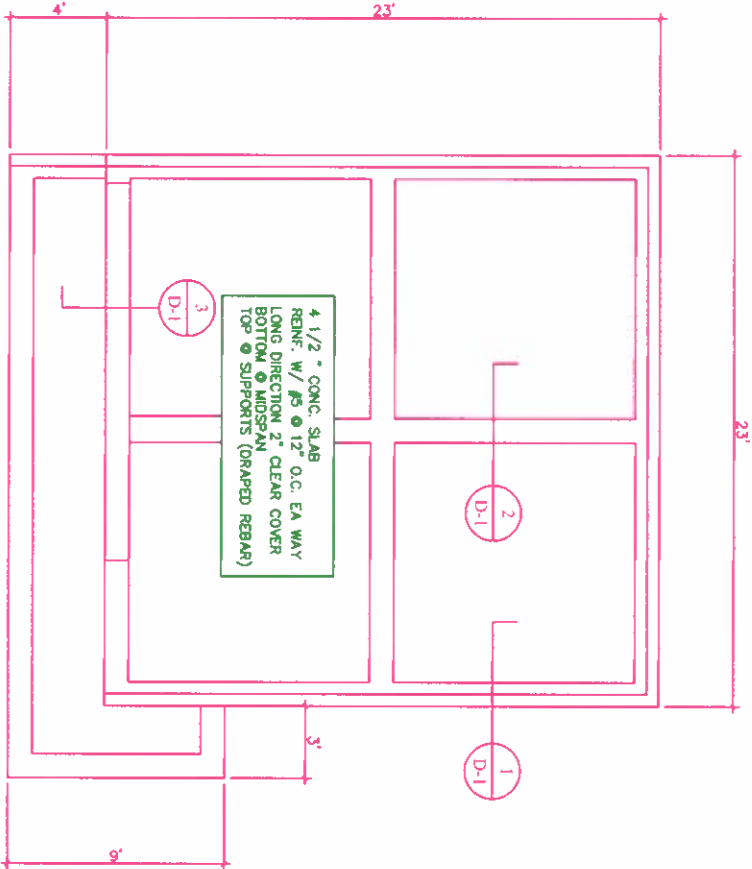
combined elevation

SHEET NO

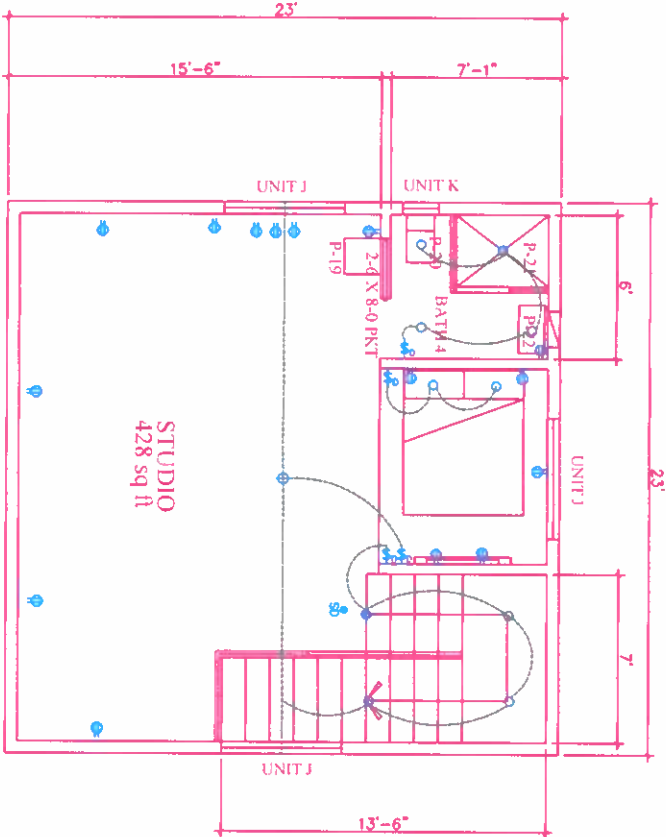
A-6



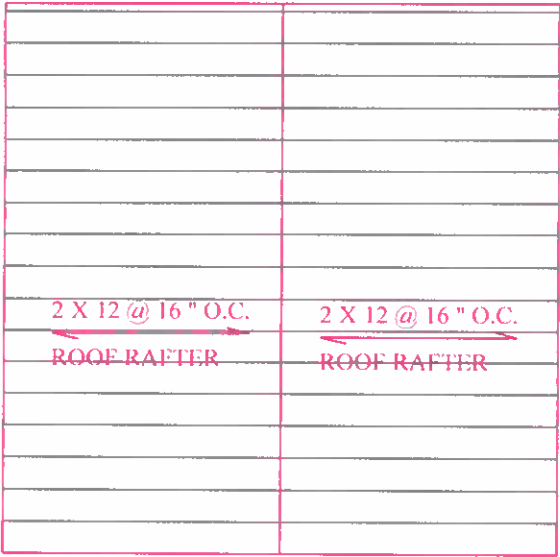
GARAGE 1ST FLOOR PLAN 529 sq ft  
SCALE 1/8" = 1'-0"



GARAGE FOUNDATION PLAN  
SCALE 1/8" = 1'-0"



GARAGE 2ND FLOOR PLAN 469 sq ft  
SCALE 1/8" = 1'-0"



GARAGE ROOF PLAN  
SCALE 1/8" = 1'-0"

|   |   |               |                 |                      |        |
|---|---|---------------|-----------------|----------------------|--------|
| 2 | A | 40 X 120      | PICTURE         | 11'-0" HEAD          |        |
| 1 | B | 60 X 78       | CASEMENT        | 8'-0" HEAD           | EGRESS |
| 5 | C | 36 X 74       | CASEMENT        | 8'-0" HEAD           | EGRESS |
| 2 | D | 40 X 74       | PICTURE         | 8'-0" HEAD           |        |
| 1 | E | 40 X 144      | PICTURE         | 8'-0" HEAD @ 2ND FLR |        |
| 1 | F | 40 X 84       | CASEMENT        | 8'-0" HEAD           |        |
| 1 | G | 62.38 X 72.78 | PICTURE         | 8'-0" HEAD           |        |
| 1 | H | 144 X 96      | CASEMENT        | 8'-0" HEAD           |        |
| 3 | J | 62 X 84       | CASEMENT        | 8'-0" HEAD           | EGRESS |
| A | K | 18 X 54       | CASEMENT        | 8'-0" HEAD           |        |
| 1 | L | 36 X 96       | SWINGING FRENCH | 8'-0" HEAD           |        |
| 5 | 2 | 60 X 96       | SWINGING FRENCH | 8'-0" HEAD           |        |

NOTE : ALL UNITS MARVIN GLAD INSULATED GLASS R366  
NOTE : ALL UNITS TO BE TEMPERED GLASS

FRAMING NOTES:

1. NEW FLOOR TRUSSES SHALL BE 16" DEEP @ 24" O.C., UNLESS OTHERWISE NOTED.
2. LOAD BEARING WALLS INDICATED AS SHADED SHALL BE 2 X 6 @ 16" O.C. TYP.
3. PROVIDE MINIMUM (3) 2 X STUDS BELOW ALL WOOD BEAMS.
4. PROVIDE (2) 2 X CRIPPLES BELOW ALL HEADERS LARGER THAN 2 - 2 X 10.
5. HEADERS IN 2 X 4 LOAD BEARING WALLS SHALL BE 2 - 2 X 8 UNLESS OTHERWISE NOTED.
6. HEADERS IN 2 X 6 LOAD BEARING WALLS SHALL BE 3 - 2 X 8 UNLESS OTHERWISE NOTED.

NOTES:

EXTERIOR PARTITION:  
ONE LAYER ONE SIDE  
1/2 INCH TYPE X GYP. BD. AND  
1 LAYER OF 3/4 EXTERIOR SHEATHING ON  
2 X 6 FRAMING SPACED 16" O.C.  
1 LAYER OF 15 LB FELT OR TYVEK  
AND SIDING OR STUCCO

PROVIDE R-19 INSULATION IN PARTITIONS  
PROVIDE R-30 INSULATION IN FLOORS AND CEILINGS

CEILING IN GARAGE TO BE 5/8 INCH TYPE X GYP BD  
CEILING IN STUDIO TO BE 5/8 INCH GYP BD

ELECTRICAL/HVAC/PLUMBING SYMBOLS

- DUPLEX OUTLET
- SWITCH W/ DIMMER
- CEILING MOUNTED FIXTURE
- RECESSED INCANDESCENT
- WALL MOUNTED FIXTURE
- COMMUNICATION WIRING
- SMOKE DETECTOR
- HVAC SUPPLY
- HOSE BIB

PLUMBING LIST

- P-1 FIREPLACE
- P-2 GAS RANGE
- P-3 SINK & DISHWASHER
- P-4 ICE MAKER
- P-5 SINK
- P-6 WASHER
- P-7 LAVATORY
- P-8 TOILET
- P-9 TUB SHOWER
- P-10 TOILET
- P-11 SHOWER
- P-12 LAVATORY
- P-13 TUB
- P-14 TOILET
- P-15 SHOWER

- P-16 LAVATORY
- P-17 TUB
- P-18 GAS FURNACE
- P-19 SINK
- P-20 OUTLET
- P-21 SHOWER
- P-22 LAVATORY
- P-23 HOT WATER
- P-24 HOT WATER



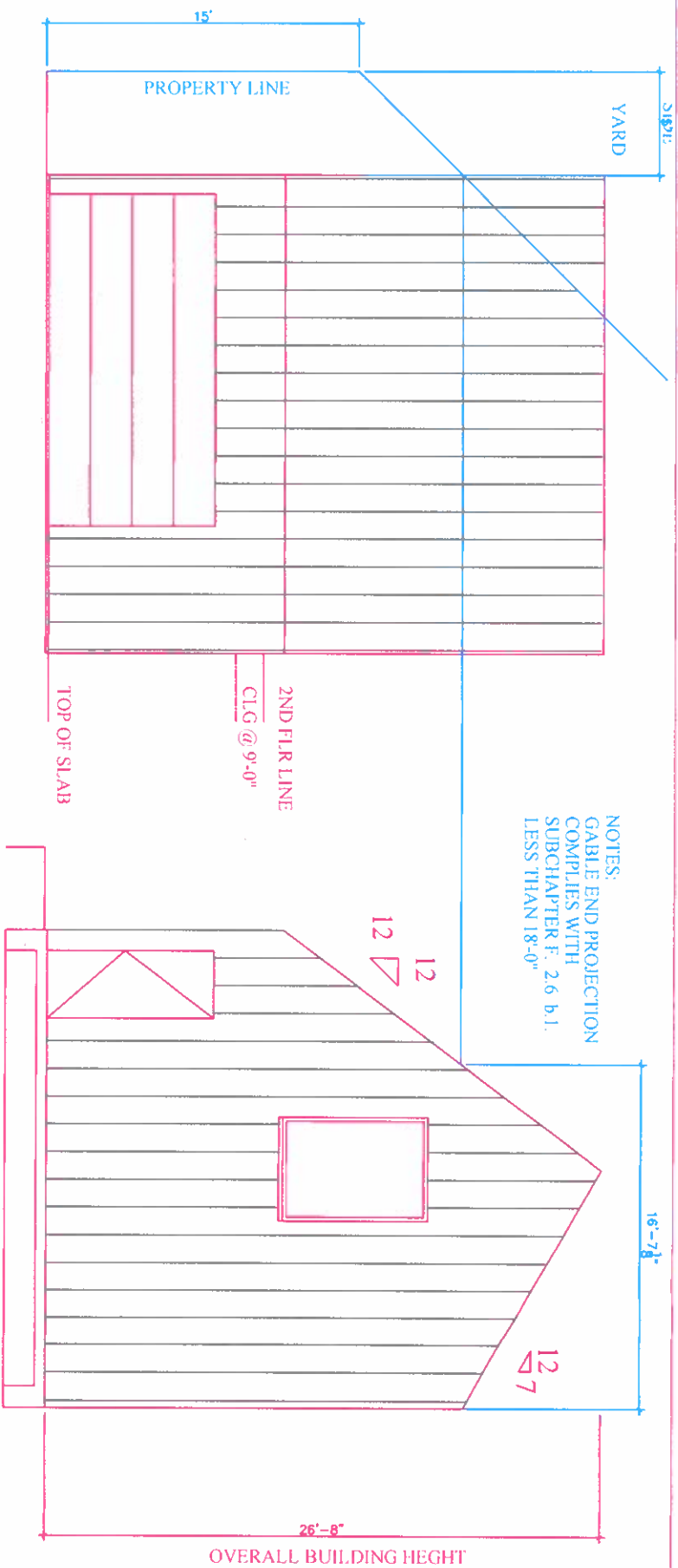
RESIDENCE  
ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

TINA CONTROS ARCHITECT  
1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

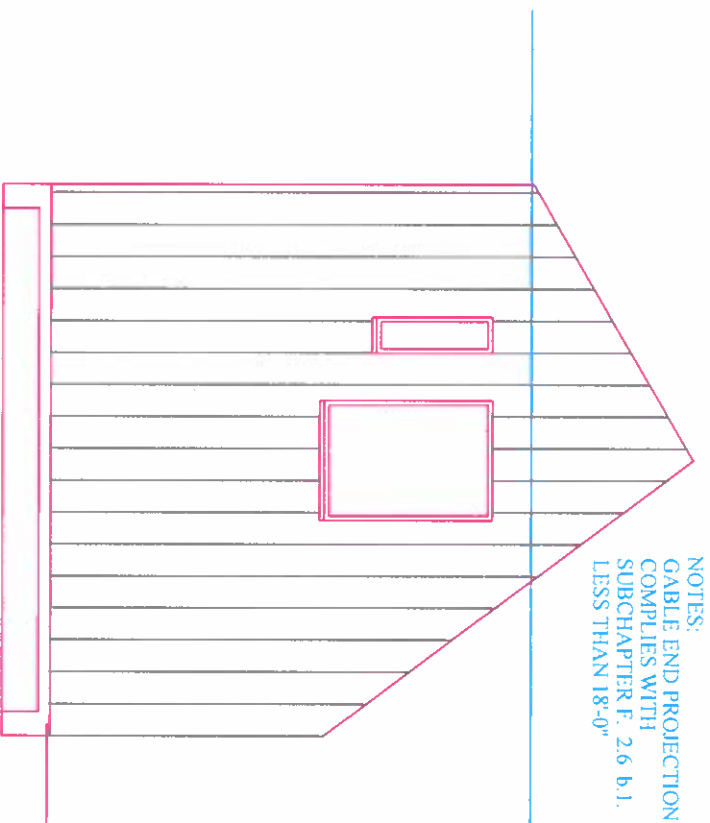
PROJECT 1  
DATE FEBRUARY 26, 2018  
SCALE 1/8" = 1'-0"  
REVISIONS

SHEET NAME  
GARAGE PLANS  
SHEET NO

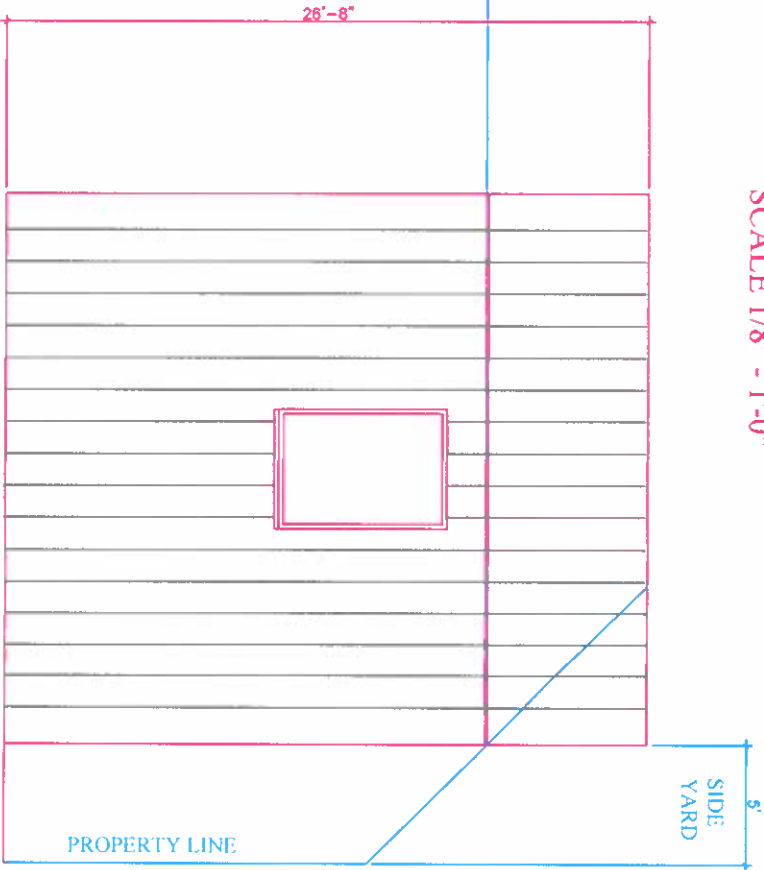
A-7



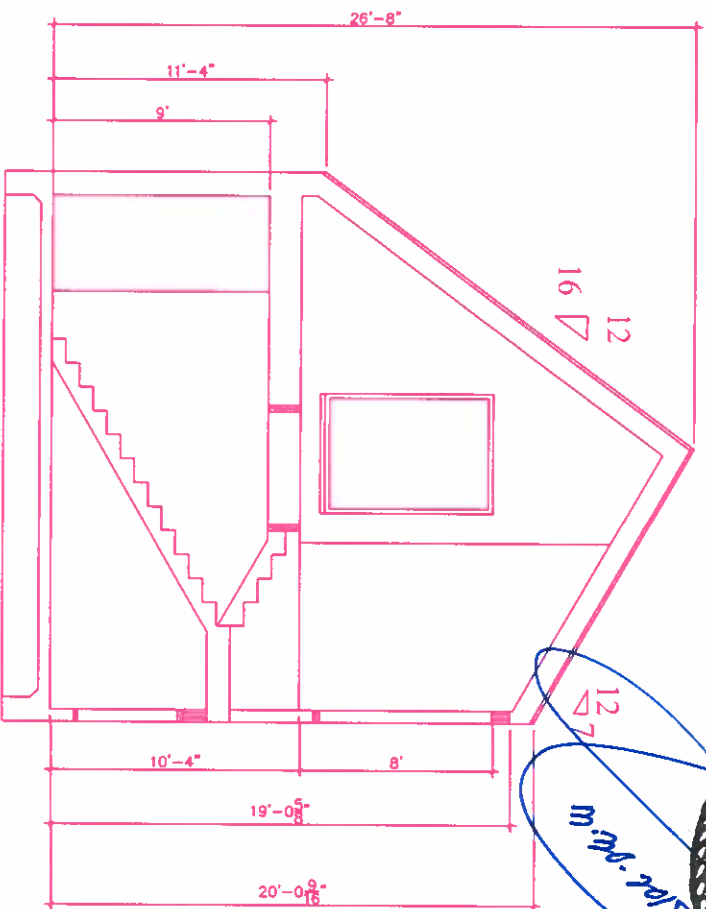
NORTH FACING ELEVATION  
SCALE 1/8" - 1'-0"



EAST FACING ELEVATION  
SCALE 1/8" - 1'-0"



WEST FACING ELEVATION  
SCALE 1/8" - 1'-0"



BUILDING SECTION  
SCALE 1/8" - 1'-0"

PROPOSED EXTERIOR MATERIALS  
METAL SIDING  
METAL ROOF  
CLAD WINDOWS AND DOORS

NOTES:  
EXTERIOR PARTITION:  
ONE LAYER ONE SIDE  
1/2 INCH TYPE X GYP. BD. AND  
1 LAYER OF 3/4 EXTERIOR SHEATHING ON  
2 X 6 FRAMING SPACED 16" O.C.  
1 LAYER OF 15 LB FELT OR TYVEK  
AND SIDING OR STUCCO  
PROVIDE R-19 INSULATION IN PARTITIONS  
PROVIDE R-30 INSULATION IN FLOORS AND CEILINGS  
CEILING IN GARAGE TO BE 5/8 INCH TYPE X GYP BD  
CEILING IN STUDIO TO BE 5/8 INCH GYP BD



RESIDENCE

ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

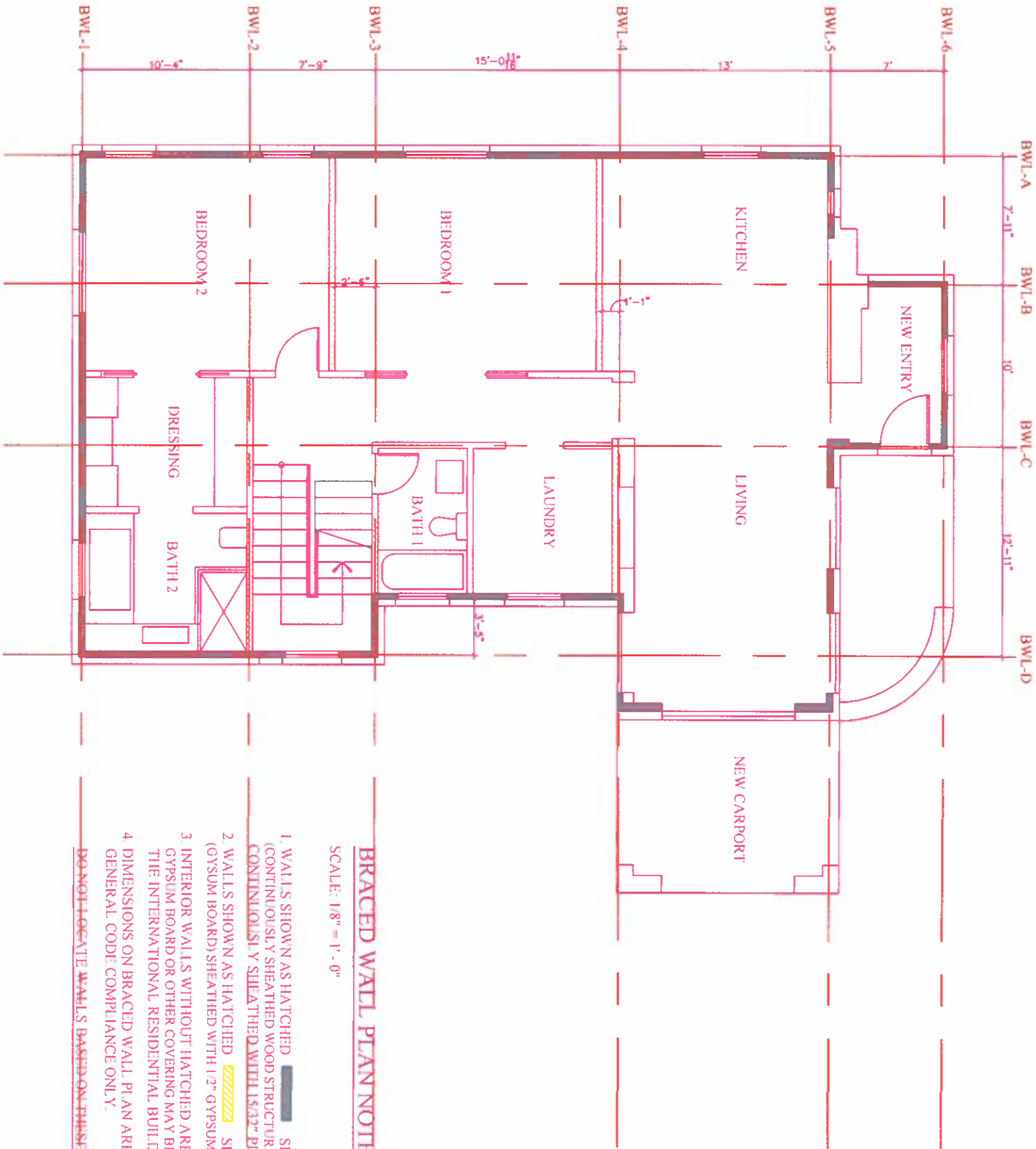
PROJECT 1  
DATE FEBRUARY 26, 2018  
SCALE: 1/8" = 1'-0"  
REVISIONS

SHEET NAME  
GARAGE ELEVATIONS  
BUILDING SECTION  
SHEET NO

A-8

TINA CONTROS ARCHITECT

1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175



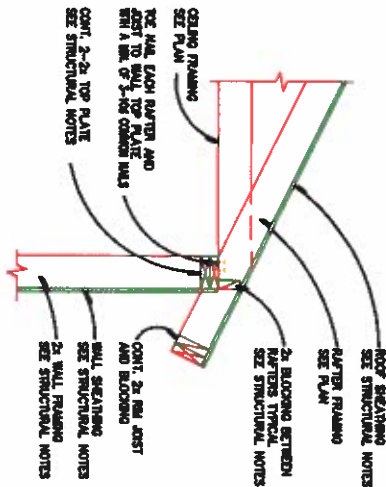
FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

BRACED WALL PLAN NOTES

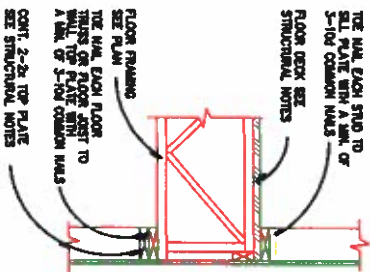
SCALE: 1/8" = 1' - 0"

1. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL TYPE "CS-WSP" (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS). WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 1 1/2" PL YWOOD OR OSB. (SEE STRUCTURAL NOTES)
2. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL TYPE "GB" (GYPSUM BOARD) SHEATHED WITH 1/2" GYPSUM BOARD. (SEE STRUCTURAL NOTES)
3. INTERIOR WALLS WITHOUT HATCHED ARE NON STRUCTURAL. GYPSUM BOARD OR OTHER COVERING MAY BE USED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
4. DIMENSIONS ON BRACED WALL PLAN ARE FOR THE PURPOSE OF GENERAL CODE COMPLIANCE ONLY.

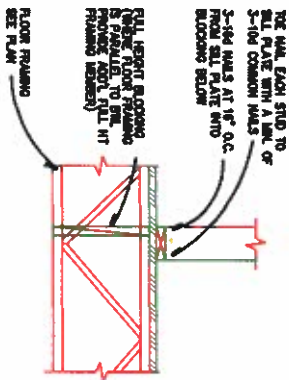
DO NOT LOCATE WALLS BASED ON THESE DIMENSIONS



1 TYPICAL ROOF FRAMING DETAIL  
AT EXTERIOR WALL



2 TYPICAL FLOOR FRAMING DETAIL  
AT EXTERIOR WALL  
(SIMILAR WHERE FLOOR FRAMING IS PARALLEL AT WALL)



3 TYPICAL FLOOR FRAMING DETAIL  
INTERIOR WALL AT BRACED WALL LINE  
(SIMILAR WHERE FLOOR FRAMING IS PARALLEL AT WALL)

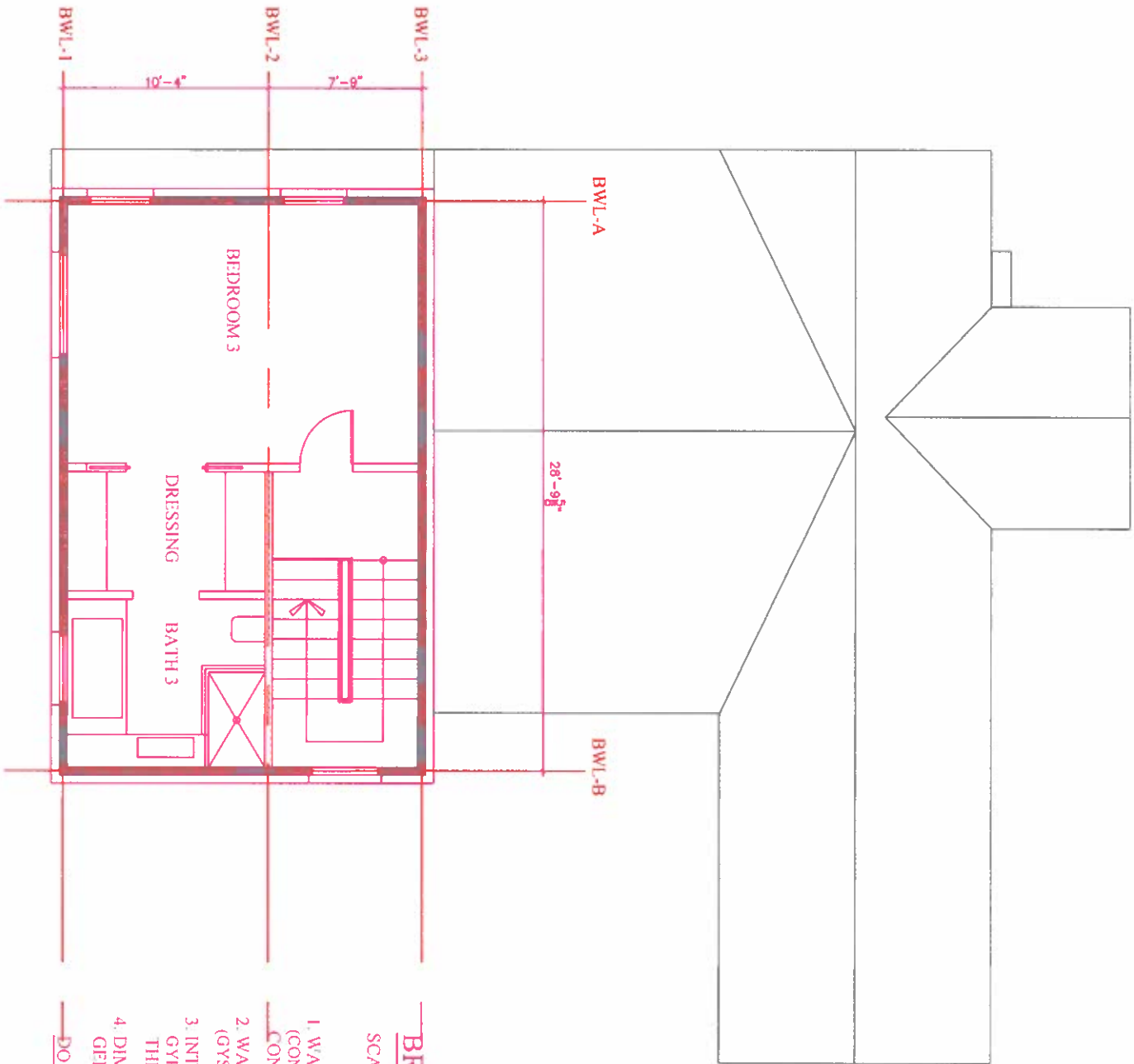


TINA CONTROS ARCHITECT  
1803 PALMA PLAZA  
AUSTIN, TEXAS 78703  
512 350 3175

RESIDENCE  
ADDITONS AND ALTERATIONS  
1803 PALMA PLAZA AUSTIN TX 78703

PROJECT |  
DATE | FEBRUARY 26, 2018  
SCALE | 1/8" = 1'-0"  
REVISIONS

SHEET NAME  
PROPOSED LOWER LEVEL  
BRACED WALL PLAN  
SHEET NO



PROPOSED SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

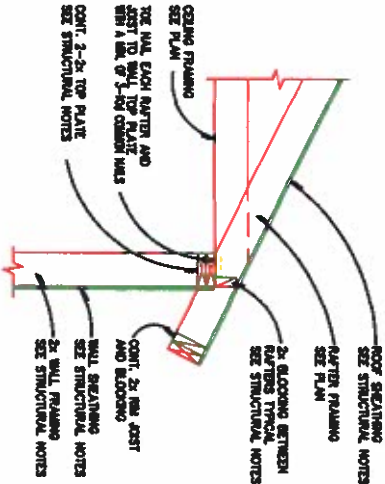
BRACED WALL PLAN NOTES

SCALE: 1/8" = 1'-0"

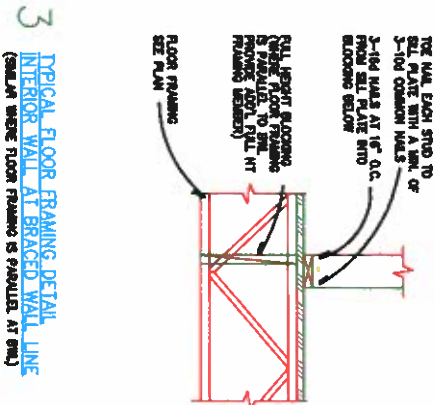
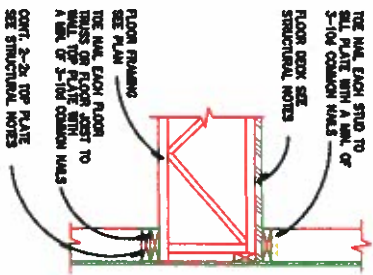
1. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL TYPE "CS-WSP" (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS) WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 5/32" PLYWOOD OR OSB (SEE STRUCTURAL NOTES)
2. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL TYPE "GB" (GYPSUM BOARD) SHEATHED WITH 1/2" GYPSUM BOARD (SEE STRUCTURAL NOTES)
3. INTERIOR WALLS WITHOUT HATCHED ARE NON STRUCTURAL. GYPSUM BOARD OR OTHER COVERING MAY BE USED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
4. DIMENSIONS ON BRACED WALL PLAN ARE FOR THE PURPOSE OF GENERAL CODE COMPLIANCE ONLY.

DO NOT LOCATE WALLS BASED ON THESE DIMENSIONS.

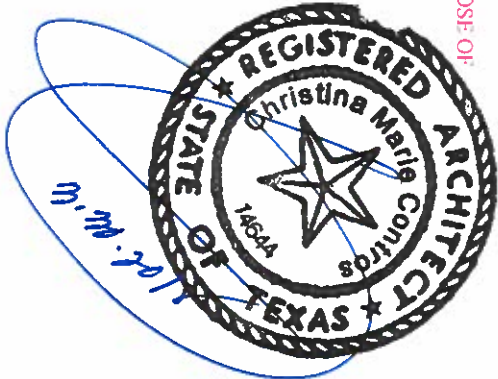
1 TYPICAL ROOF FRAMING DETAIL  
AT EXTERIOR WALL

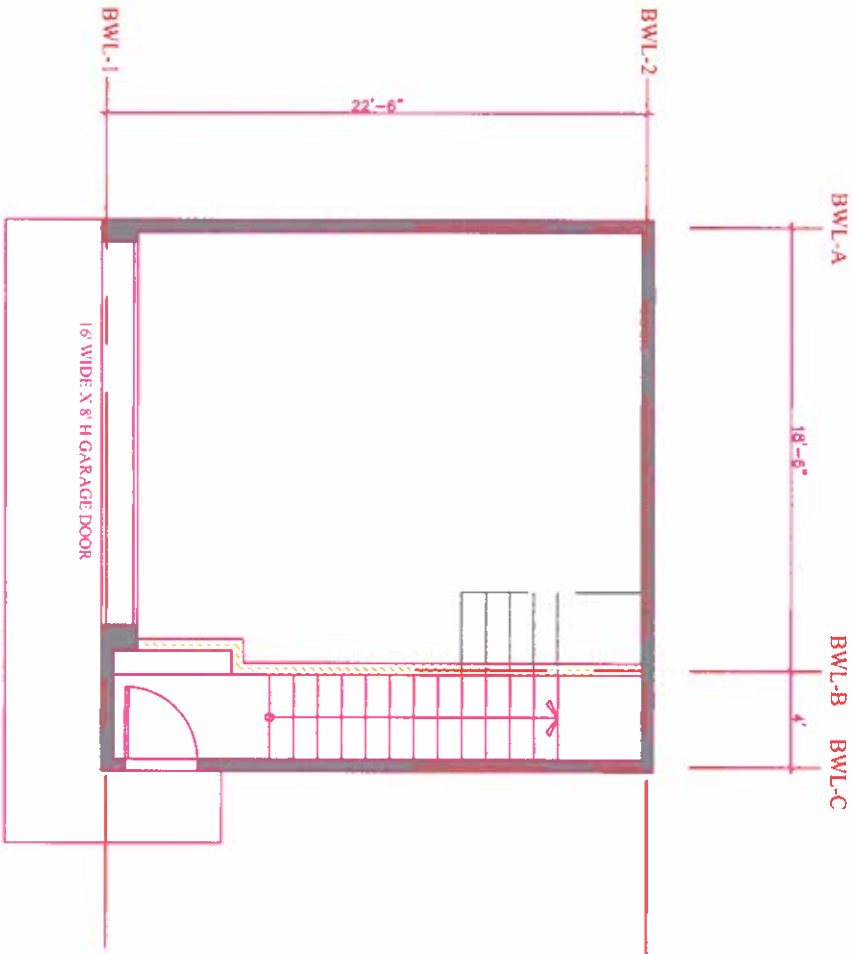


2 TYPICAL FLOOR FRAMING DETAIL  
AT EXTERIOR WALL  
(SMALLER WHERE FLOOR FRAMING IS PARALLEL AT ONLY)

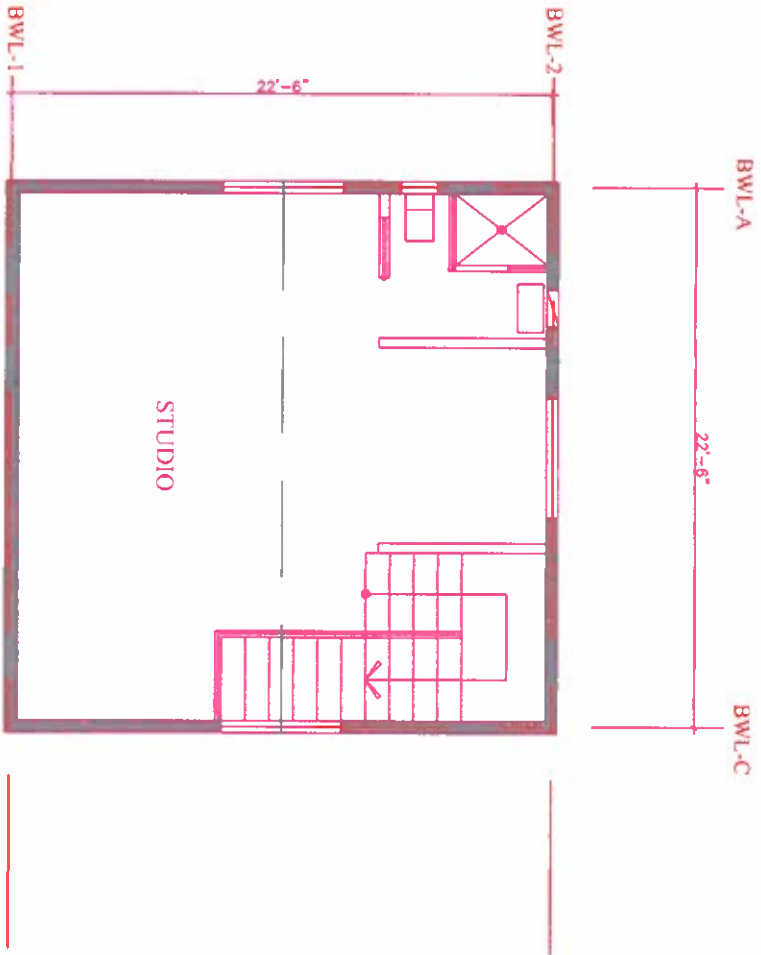


3 TYPICAL FLOOR FRAMING DETAIL  
INTERIOR WALL AT BRACED WALL LINE  
(SMALLER WHERE FLOOR FRAMING IS PARALLEL AT ONLY)





**GARAGE 1ST FLOOR PLAN**  
SCALE 1/8" = 1'-0"



**GARAGE 2ND FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**BRACED WALL PLAN NOTES**

SCALE: 1/8" = 1'-0"

1. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL. TYPICAL WALLS SHALL BE CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS. WALLS SHALL BE CONTINUOUSLY SHEATHED WITH 15/32" PLYWOOD OR OSB. (SEE SECTION 5.01)
  2. WALLS SHOWN AS HATCHED  SHALL BE SHEAR WALL (GYPSUM BOARD) SHEATHED WITH 1/2" GYPSUM BOARD (SEE STRUCTURAL NOTES)
  3. INTERIOR WALLS WITHOUT HATCHED ARE NON STRUCTURAL. GYPSUM BOARD OR OTHER COVERING MAY BE USED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
  4. DIMENSIONS ON BRACED WALL PLAN ARE FOR THE PURPOSE OF GENERAL CODE COMPLIANCE ONLY.
- DO NOT LOCATE WALLS BASED ON THESE DIMENSIONS.

