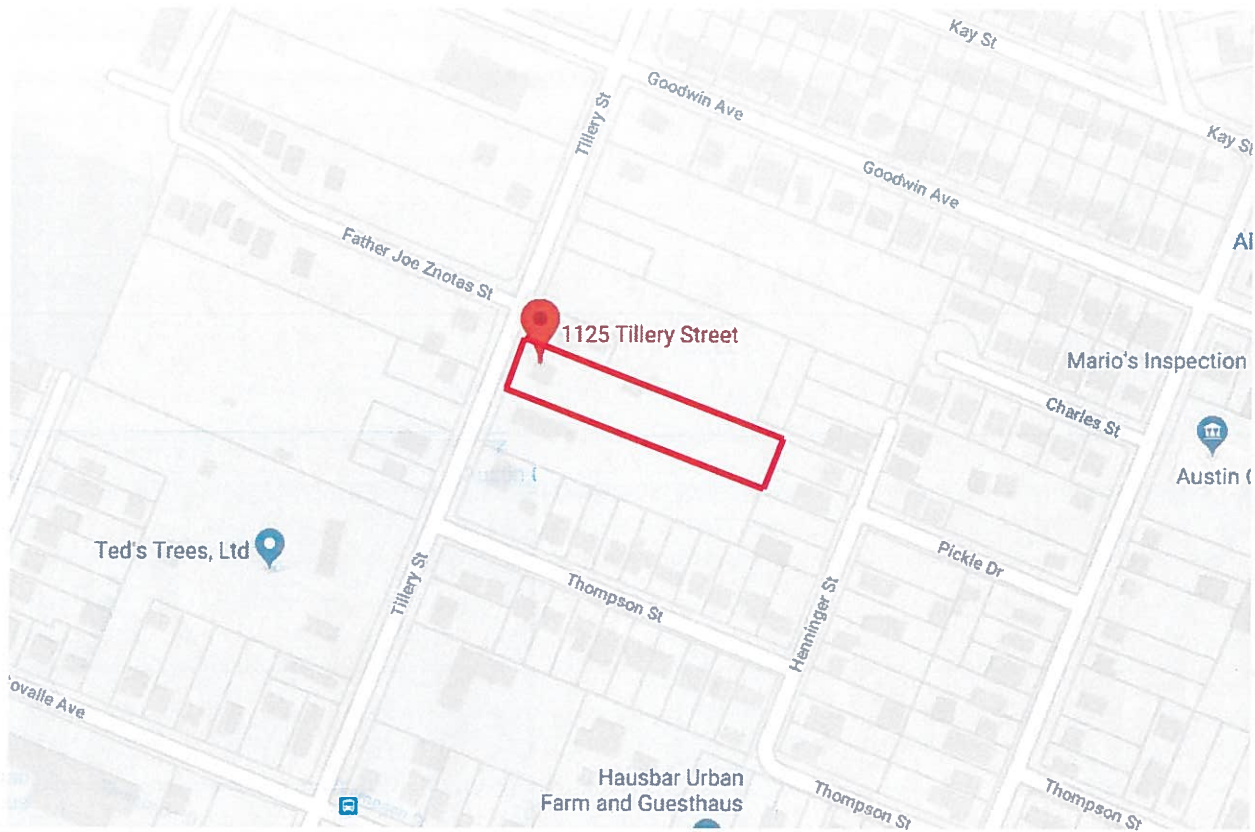


**SUBDIVISION REVIEW SHEET****CASE NO.:** C8-2018-0132.0A**PC DATE:** August 28, 2018**SUBDIVISION NAME:** 1125 Tillery Street Subdivision**AREA:** 1.09**LOT(S):** 4**OWNER/APPLICANT:** Urban Gravity, LLC (Denise Villa)**AGENT:** Southwest Engineers Inc (Russell Kotara)**ADDRESS OF SUBDIVISION:** 1125 Tillery Street**GRIDS:** L22**COUNTY:** Travis**WATERSHED:** Boggy Creek**JURISDICTION:** Full-Purpose**EXISTING ZONING:** SF-3-NP**MUD:** N/A**NEIGHBORHOOD PLAN:** Govalle, Govalle/Johnston Terrace Combined NPA**PROPOSED LAND USE:** Single Family**ADMINISTRATIVE WAIVERS:****VARIANCES:** None**SIDEWALKS:** Sidewalks will be provided on both sides of all internal streets and the subdivision side of boundary streets.**DEPARTMENT COMMENTS:** The request is for approval of the 1125 Tillery Street Subdivision Final Plat. The proposed plat is composed of 4 lots on 1.09 acres.**STAFF RECOMMENDATION:** The staff recommends disapproval of the plat. This plat does not meet all applicable State and City of Austin LDC requirements.**PLANNING COMMISSION / ZONING AND PLATTING ACTION:**

Tracking #  
12005027



# Location Map

*1125 Tillery Street*

*Austin, TX 78702*