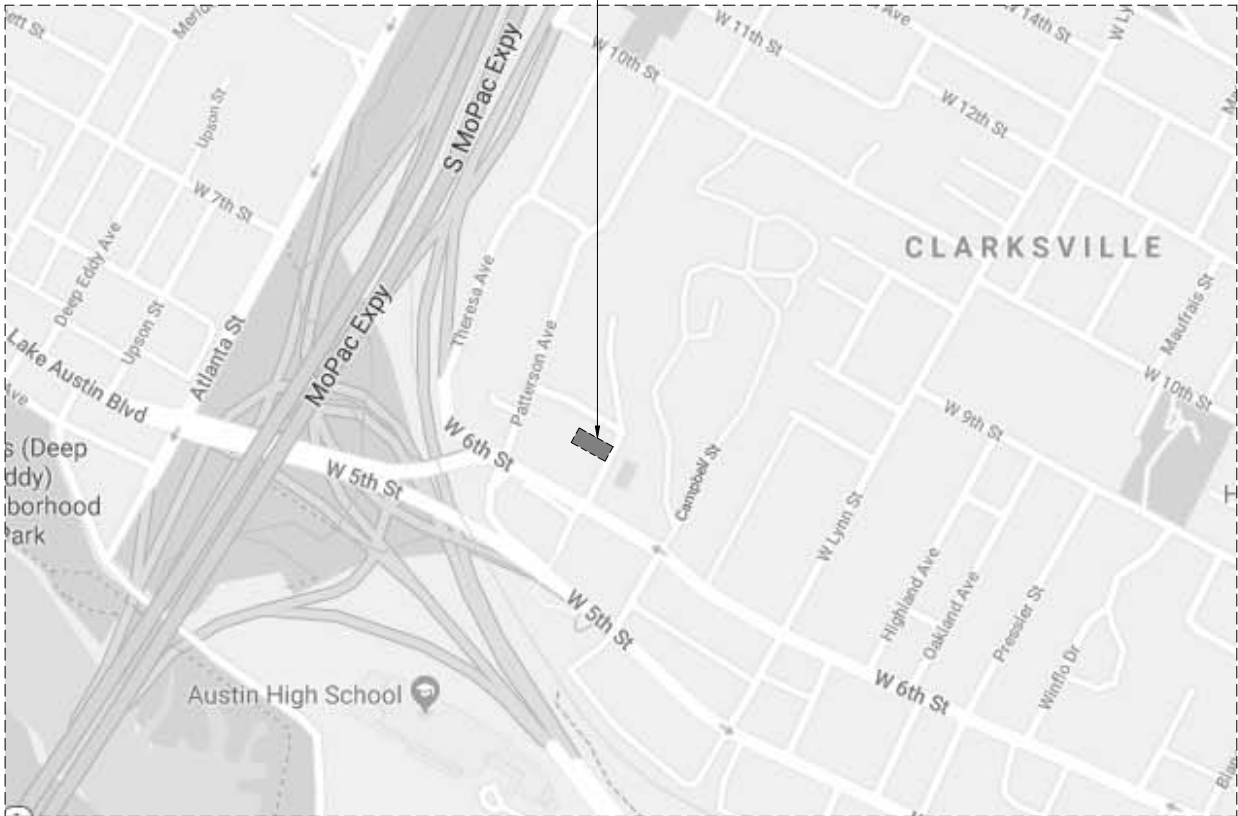


An architectural rendering of a two-story house. The main house features a dark grey gabled roof and white horizontal siding. It has several tall, narrow windows on both floors and a small dormer with four small windows. A front porch with a black railing and stairs leads to the entrance. To the left, a detached garage with a gabled roof and white siding is attached to the main house. The house is situated on a sloped lot with a driveway and a sidewalk.

606 augusta ave, austin, tx 78703



1. FIELD VERIFY DIMENSIONS PRIOR TO START OF THE WORK.
2. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
3. NOTIFY ARCHITECT OR OWNER OF ANY DISCREPANCIES OR NONCOMPLIANCE FOUND IN THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS.
4. THESE DRAWINGS ARE INTENDED TO COMPLY W/ THE 2012 INTERNATIONAL RESIDENTIAL CODE, & ANY APPLICABLE LOCAL REGULATIONS AND/OR LOCAL DEED RESTRICTIONS. CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL COMPLY W/ ALL APPLICABLE CODES.
5. CONTRACTOR AND HIS/HER SUBCONTRACTORS ACCEPT FULL RESPONSIBILITY TO ENSURE THAT DRAWINGS ARE CODE COMPLIANT. CONTRACTOR SHALL ACCEPT FULL LIABILITY FOR ANY CHANGES MADE TO THE DRAWINGS W/ OUT VERIFYING W/ THE ARCHITECT.
6. ARCHITECT IS GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512) 458-1363.
7. THESE DRAWINGS DO NOT SPECIFY ANY ACTUAL MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, OR EQUIPMENT. CONTRACTOR SHALL COORDINATE THE SELECTION OF THESE ITEMS W/ THE OWNER AND SHALL ACCEPT FULL RESPONSIBILITY FOR PROPER DETAILING & INSTALLATION OF THESE ITEMS.
8. ALL STANDARD ASSEMBLIES, MATERIALS, FINISHES, PAINT COLORS, FIXTURES, APPLIANCES, & EQUIPMENT SHALL BE CONSTRUCTED AND/OR INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS & ANY APPLICABLE CODES.
9. ARCHITECT IS NOT RESPONSIBLE FOR MEANS & METHODS OF CONSTRUCTION OF THAT WHICH IS NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ASPECTS OF CONSTRUCTION.
10. ALL ASSEMBLIES MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL PAYMENT, IN ADDITION TO ALL INDUSTRY STANDARD WARRANTIES.
11. CONTRACTOR SHALL PROVIDE ALL LABOR SERVICES, EQUIPMENT, & MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE ASSEMBLIES, MATERIALS, FINISHES, FIXTURES, APPLIANCES, & EQUIPMENT NOTED IN THESE DRAWINGS.
12. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS NECESSARY FOR THE COMPLETION OF THE WORK.
13. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS/HER OPERATIONS PRIOR TO COMMENCING WORK.
14. CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO SUBMIT & SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, & CERTIFICATES OF COMPLIANCE AS REQUIRED. CONTRACTOR ACCEPTS FULL RESPONSIBILITY TO ENSURE THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN APPROVED & OBTAINED PRIOR TO THE START OF WORK.
15. DURING CONSTRUCTION OF THE WORK, CONTRACTOR SHALL MAINTAIN A CLEAN & ORDERLY WORK AREA AT ALL TIMES.
16. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
17. THESE DRAWING DO NOT SHOW TYPICAL DETAILING AND/OR WATERPROOFING.
18. THE DESIGN & SIZING OF ALL STRUCTURAL MEMBERS IS THE RESPONSIBILITY OF THE ENGINEER CHOSEN BY THE CONTRACTOR/OWNER.
19. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.

Sheet List	
Sheet Number	Sheet Name
A000	cover sheet
A001	architectural site plan
A002	subchapter f elevations
A004	3D views
A101	first floor plan
A102	second floor plan
A103	third floor / roof plan
A200	building elevations
A201	building elevations

Historic Commission Review Set - 29 Aug 2018

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[illegible]

606 Augusta Ave,
Austin, TX 78703

Date 08.30.2018

project number	1075
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Drawn by bc

Checked by ack

contents

cover sheet

Scale: As indicated

A000

1. PRIOR TO START OF DEMOLITION & CONSTRUCTION, CONTRACTOR SHALL PROVIDE & INSTALL EROSION CONTROL BARRIERS AS REQUIRED.
2. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAR THE SITE OF ANY MATERIAL DEBRIS, & CLEAN UP ANY BUILDING OR SITE AREAS AFFECTED BY CONSTRUCTION.
3. EXTERIOR HVAC EQUIPMENT SHALL BE SCREENED IN COMPLIANCE W/ ANY CITY OF AUSTIN REGULATIONS AND/OR LOCAL DEED RESTRICTIONS.
4. EXISTING TREES SHALL BE MAINTAINED, UNLESS NOTED OTHERWISE.
5. BUILDER TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
6. VERIFY METER & UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
7. STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. CONFIRM ALL DRIVEWAY, WALKWAY & PVC LAYOUTS, LOCATIONS PRIOR TO COMMENCING WORK.
9. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS & PATIOS.
10. GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
11. CONTRACTOR TO PROVIDE LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHTS.
12. ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
13. TREES TO BE REMOVED SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
14. 1ST FLOOR POWDER BATH MUST QUALIFY AS A VISITABLE BATHROOM
A. CLEAR DOOR OPENING MUST BE 30"
B. LATERAL 2X6 BLOCKING MUST BE INSTALLED ALONG WALLS WITH CENTERLINE 34" ABOVE FINISHED FLOOR
15. VISITABLE NO STEP ENTRANCE TO HAVE BEVELED THRESHOLD OF 1/2" OR LESS AND CLEAR DOOR WIDTH OF AT LEAST 32"
16. SPOT GRADE ELEVATIONS REFERENCE THE LOWER ELEVATION BETWEEN EXISTING AND NEW

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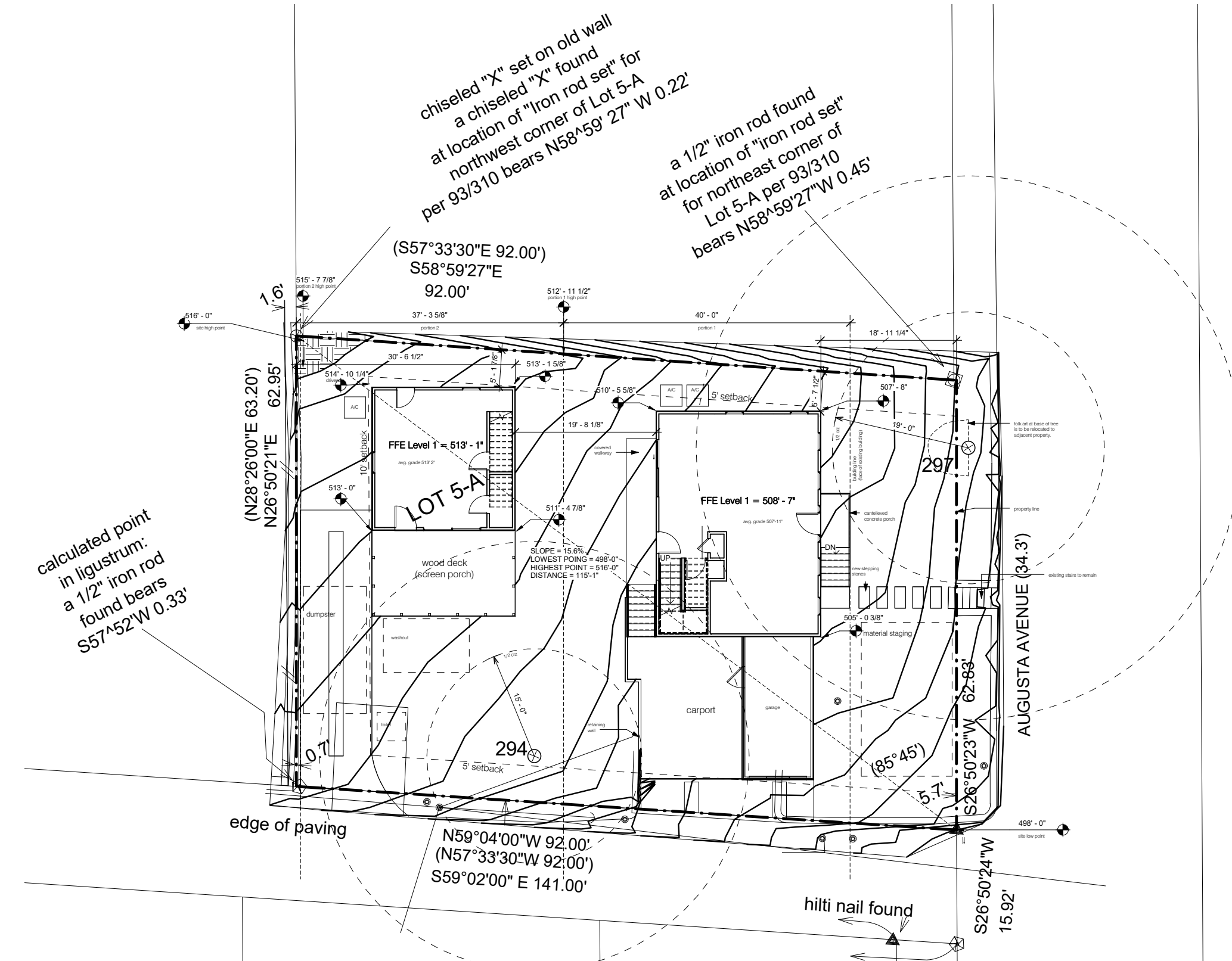
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Austin, TX 78703

project number	1075
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contents

Scale: As indicated

A001



294	30" Live Oak	
295	13" Hackberry	removed
296	16" Hackberry	removed
297	38" Live Oak	

IMPERVIOUS COVER	
AREA DESCRIPTION	SQ. FT
site	5,771
driveway/walking surfaces	938
sidewalk	----
building footprint	1,124
uncovered porches	----
AC pad	27
covered wood deck	240
garage	200
balcony	---
IMPERVIOUS COVER (2,597 allowed) - 43.8% (2,529)	

TOTAL BUILDING COVERAGE

AREA DESCRIPTION	SQ. FT
1st floor conditioned area	724.5
2nd floor conditioned area	724.5
attic exemption	
5 - 7' head height	283.5
greater than 7' head height	283.5
garage parking - attached	200
covered parking - carport	236
covered patio w/ habitable space above	---
covered patio w/o habitable space above	---
covered roof terrace	---
other covered or roofed area	---

TOTAL BUILDING COVERAGE

AREA DESCRIPTION	SQ. FT
1st floor conditioned area	400
2nd floor conditioned area	
with 60' AFF knee wall	458
with 72' AFF knee wall	398
3rd floor conditioned area	---
covered parking - attached garage	---
covered patio w/ habitable space above	127
covered patio w/o habitable space above	113
covered roof terrace	---
other covered or roofed area	---

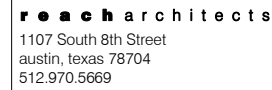
AREA DESCRIPTION	NEW SQ. FT	EXEMPT SQ. FT
1st floor conditioned area	400	
2nd floor conditioned area (72" aff)	398	
covered porch	240	240
garage (attached)	----	----

plan north



true north





08.30.2018

Riverside Homes LLC
606 Augusta Ave,
Austin, TX 78703

36' - 8 5/8" Portion 2

15' - 0"

36' - 6 1/8" top of gable

max building height

avg gable height

40' - 0" Portion 1

30' - 0"

28' - 1"

30' - 3 1/8"

32' - 0"

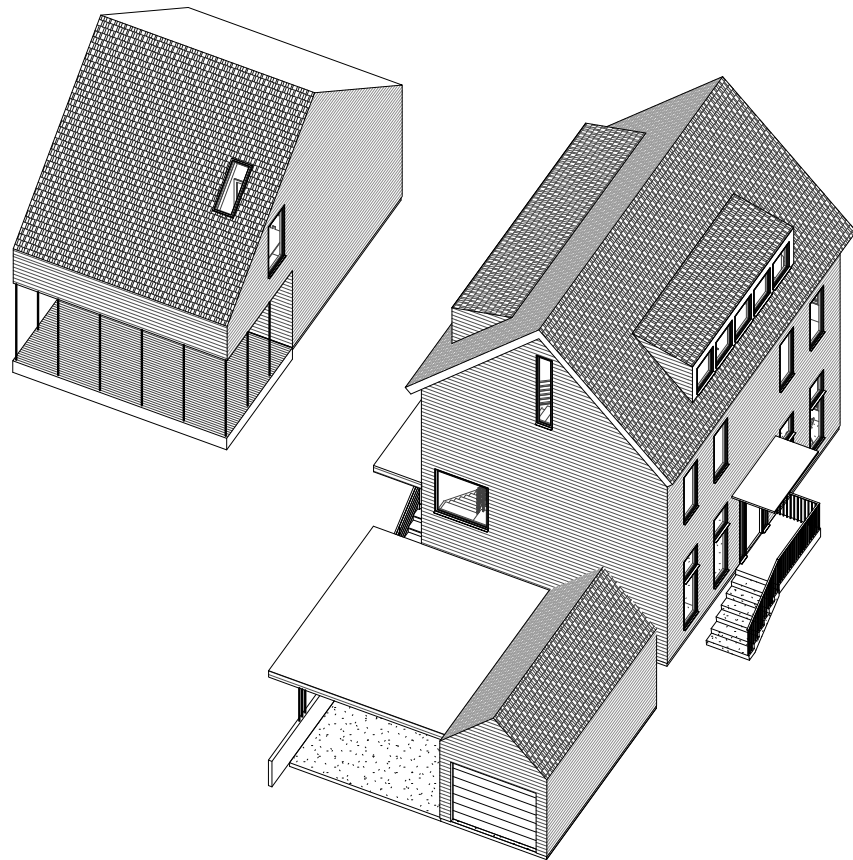
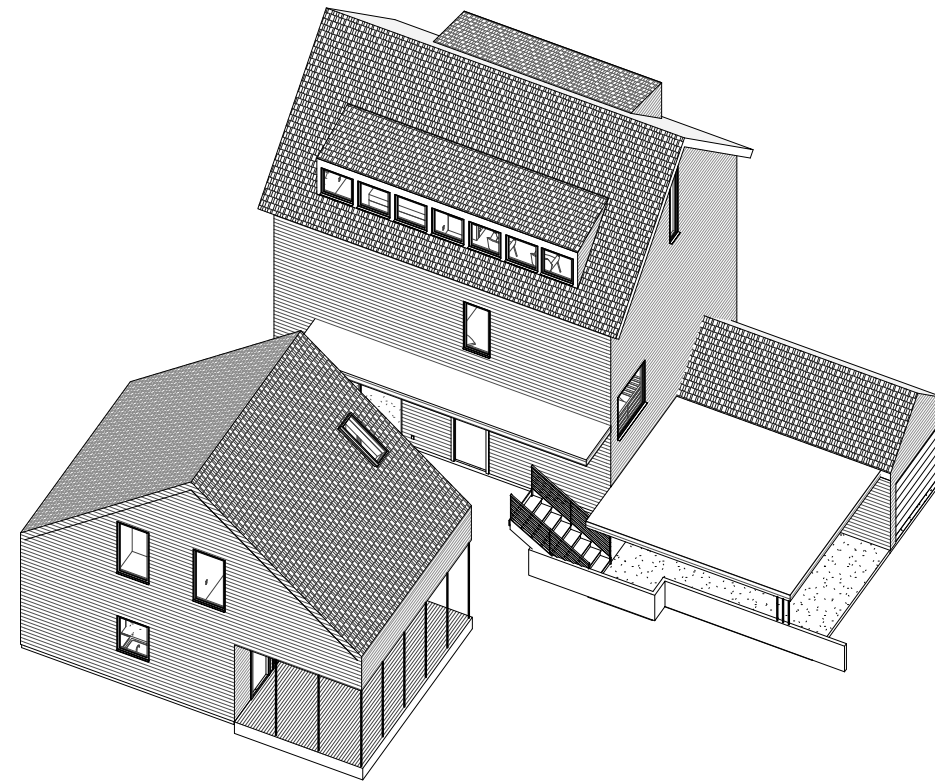
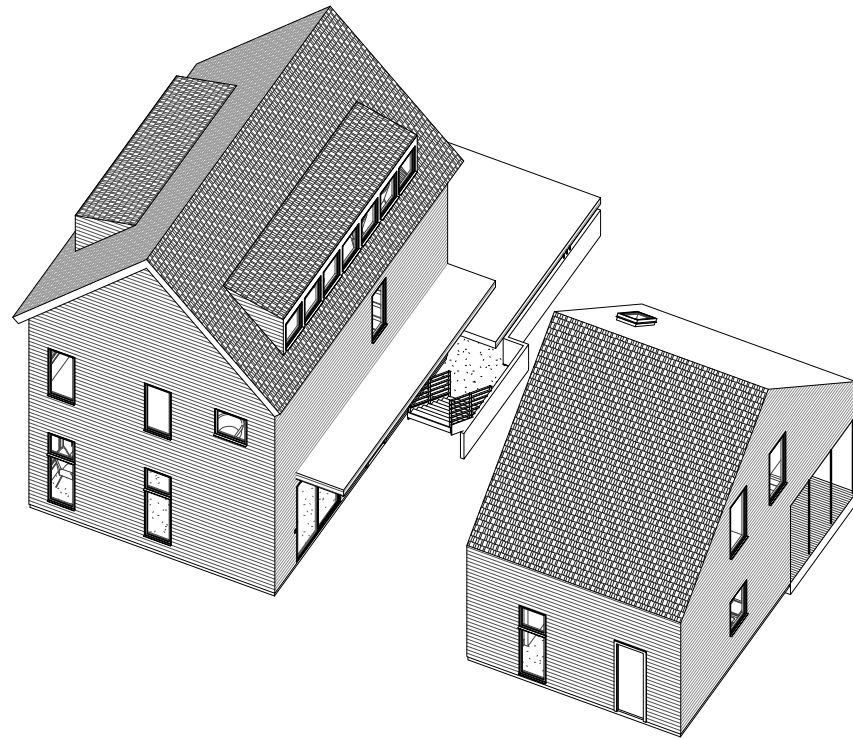
515' - 7 7/8" Portion 2 high point

512' - 11 1/2" Portion 1 high point

507' - 11" average grade unit A

South w/ McMansion Tent

1/8" = 1'-0"



3D VIEW NOTES

1. THIS SHEET FOR REFERENCE ONLY, NOT FOR CONSTRUCTION.
2. GRADE NOT SHOWN.

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project number	1075
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contents

3D views

Scale: $1/4" = 1'-0"$

A004

1. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN.
2. REF A101 FLOOR PLAN.
3. CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL WINDOWS & DOORS FOR PROPER DRAINAGE.
4. CONTRACTOR TO PROVIDE RAINSCREEN & FLASHING FOR ALL BRICK/MASONRY WALLS FOR PROPER DRAINAGE.
4. GRADE LINES SHOWN ON DRAWINGS ARE FOR REPRESENTATIONAL PURPOSES ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADE ELEVATIONS.
5. ALL PLUMBING, APPLIANCE & GAS VENTS SHALL VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS SHALL BE GROUPED TO MINIMIZE ROOF PENETRATIONS.
6. PAINT ALL GUTTERS & DOWNSPOUTS TO MATCH FIBER CEMENT SIDING.

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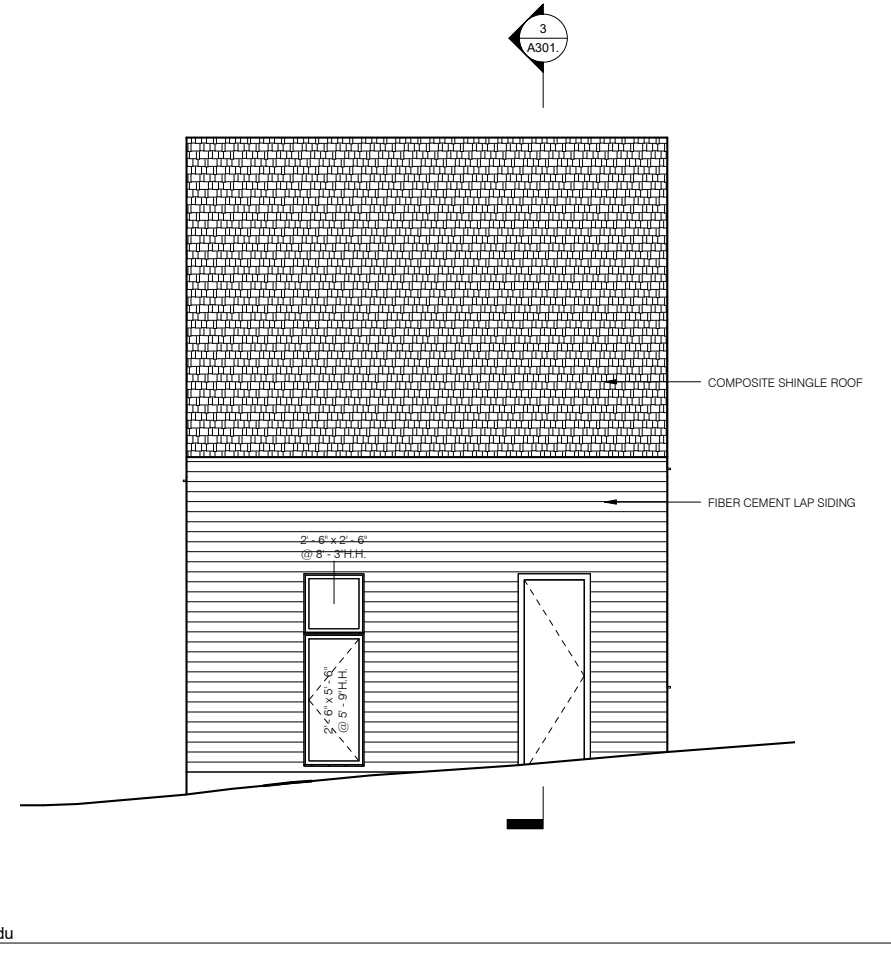
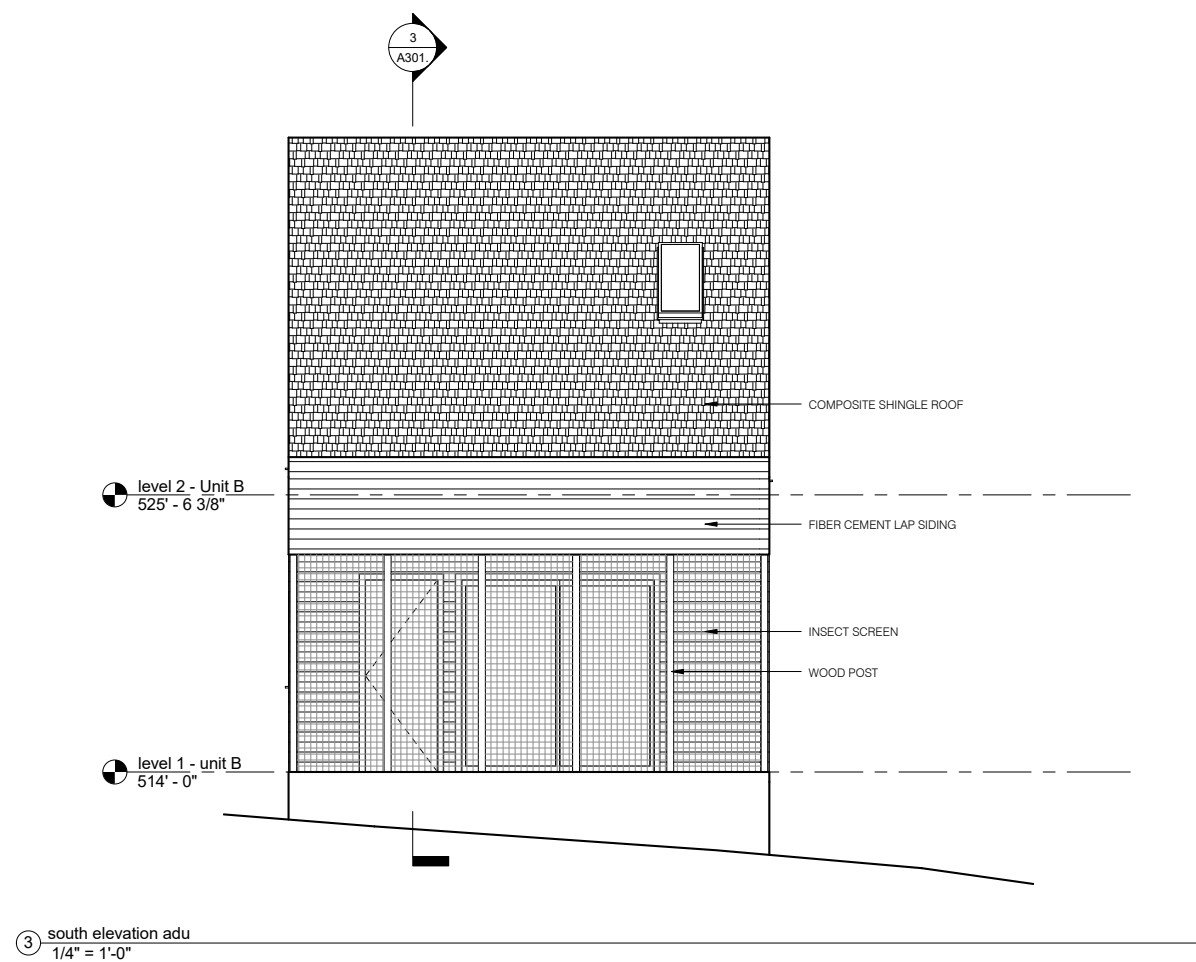
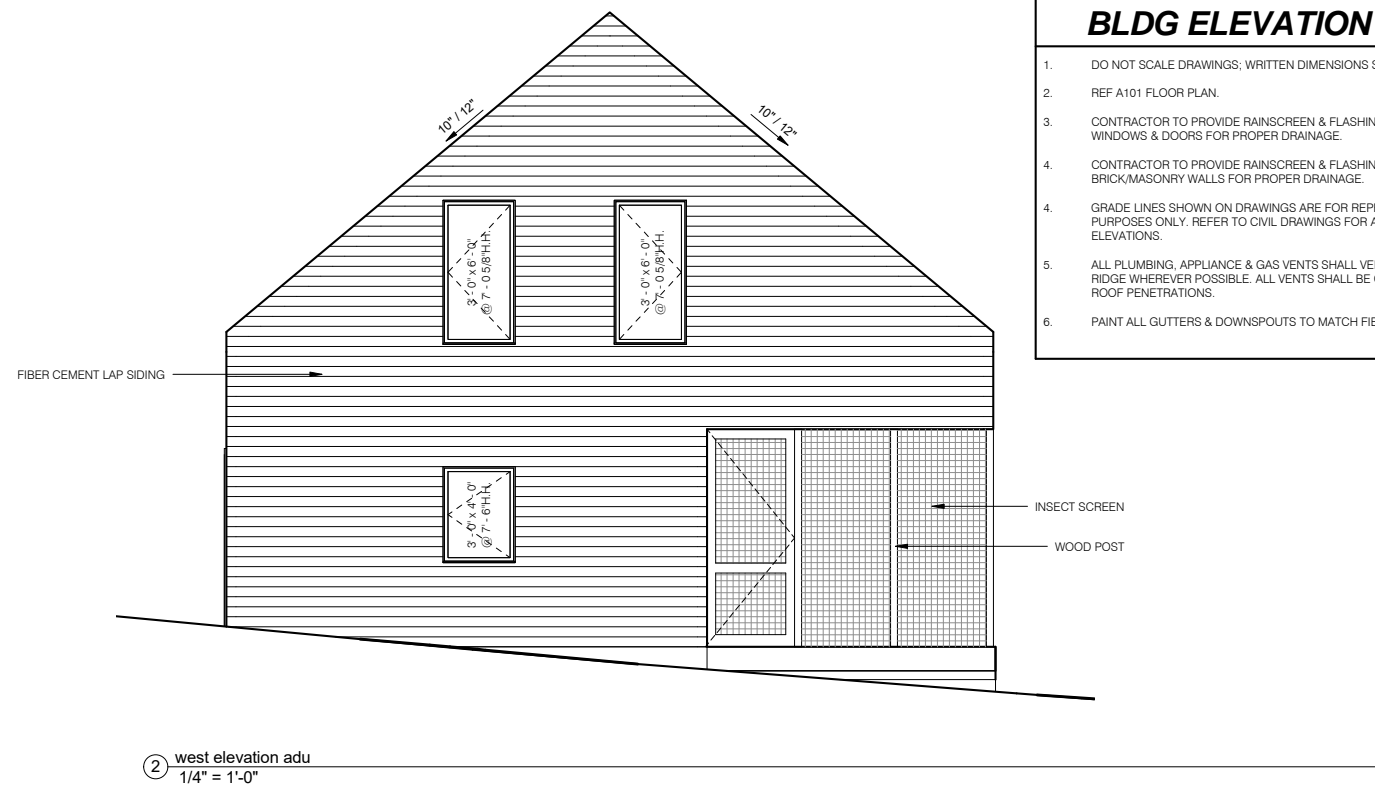
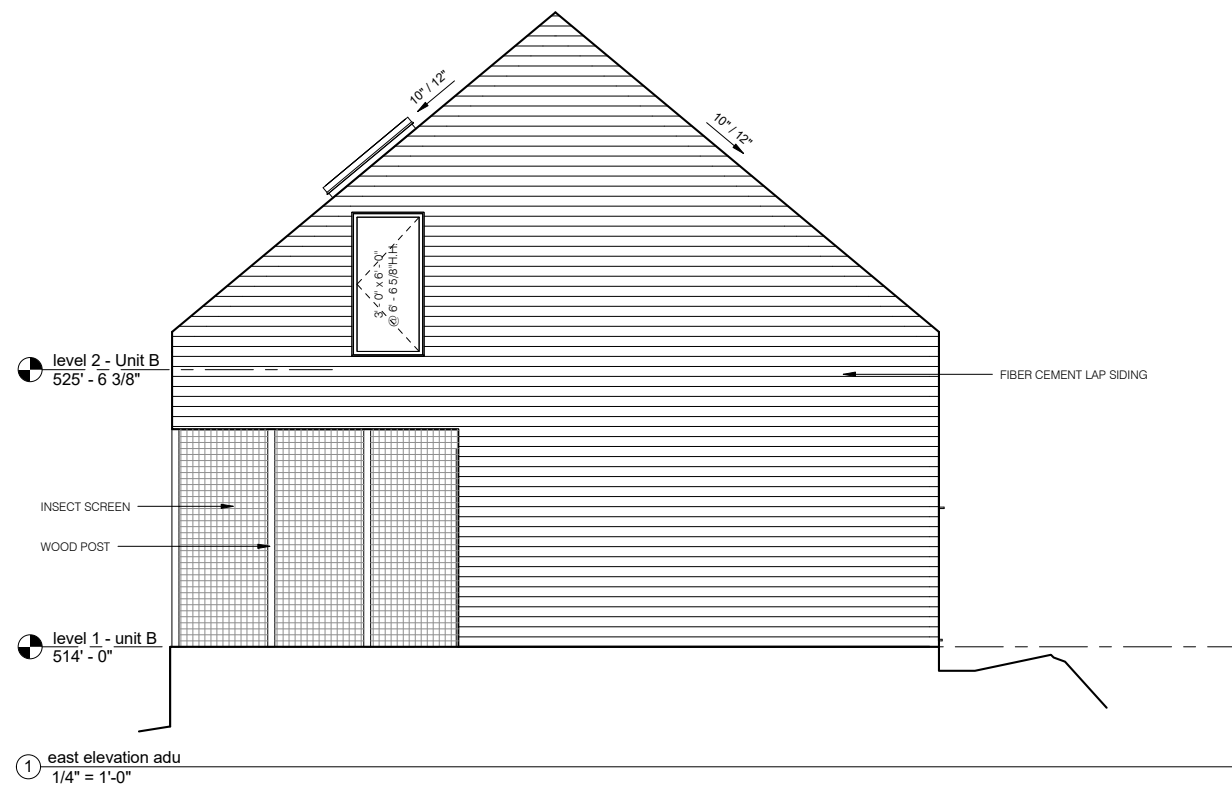
contents

building elevations

Scale: $1/4" = 1'-0"$

A200





BLDG ELEVATION NOTES

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contents

building elevations

Scale: $1/4" = 1'-0"$

A201