



# Development SERVICES DEPARTMENT

Residential Review – One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Residential New Construction and Addition Permit Application

To complete this form electronically: Open with  
Internet Explorer, then [Click Here to Save and continue.](#)

### Property Information

Project Address: 1701 Newton

Tax Parcel ID: 302091

Legal Description: Lot 12 BLK 28 Swisher Addition

Zoning District: SF3-NP

Lot Area (sq ft): 6,957.00

Neighborhood Plan Area (if applicable): BOULDIN CREEK

Historic District (if applicable): N

### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N

(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☐ N

(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☐ N

(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☐ N

(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y ☐ N

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☐ N

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☐ N

(If yes, EHZ review is required)

Is this property within 150 feet of the 100 year floodplain?

Y ☐ N (Proximity to floodplain may require additional review time.)

Is there a protected sized tree on this lot or adjacent lot(s)? ☐ Y N

Note: Include tree location(s) on plot plan.

(If yes, application for a tree permit with the [City Arborist](#) is required)

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y N

Does this site currently have: water availability? ☐ Y N

(If no, contact Austin Water Utility to apply for

wastewater availability? ☐ Y N

water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N

(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N

(If yes, submit approved auxiliary and potable plumbing plans.)

(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y ☐ N

(If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y ☐ N

(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☐ N

(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☐ Y N

(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? ☐ Y N

(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☐ N

Case # \_\_\_\_\_ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N

(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

### Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N

(If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: \_\_\_\_\_

Proposed Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: \_\_\_\_\_

Project Type: new construction

addition

☐ addition/remodel

other: \_\_\_\_\_

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y N

(Note: Removal of all or part of a structure requires a demolition permit application.)

# existing bedrooms: 2

# bedrooms upon completion: 3

# baths existing: 1.0

# baths upon completion: 3.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Complete renovation and addition to existing single family residence.

Trades Permits Required (Circle as applicable):

☐ electric

☐ plumbing

☐ mechanical (HVAC)

☐ concrete (R.O.W.)

Job Valuation		
Total Job Valuation: \$ <u>400</u>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>300</u>	Amount of Total Job Valuation dedicated to all Remodel/Repair:
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Amount for Primary Structure: \$ <u>300</u>	Bldg: \$ <u>35</u>
	Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Elec: \$ <u>30</u>
	Amount for Accessory Structure: \$ <u>0</u>	Plmbg: \$ <u>25</u>
	Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	Mech: \$ <u>10</u>
		TOTAL: \$ <u>100</u>

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	673.00		885.00		1,558.00	0.00
b) 2 <sup>nd</sup> Floor conditioned area	0.00		853.00		853.00	0.00
c) 3 <sup>rd</sup> Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)					0.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	167.00		315.00		482.00	0.00
g) Other covered or roofed area					0.00	0.00
h) Uncovered wood decks					0.00	0.00
<b>Total Building Area</b> (total a through h)	840.00	0.00	2,053.00	0.00	2,893.00	0.00
i) Pool					0.00	0.00
j) Spa					0.00	0.00
k) Remodeled Floor Area, excluding Addition / New Construction	—	—	—	—		

Building Coverage Information	
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Total Building Coverage (sq ft): <u>1,159.00</u>	% of lot size: <u>26</u>

Impervious Cover Information	
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)	
Total Impervious Cover (sq ft): <u>2,515.00</u>	% of lot size: <u>36</u>

Setbacks	
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)	Y <input checked="" type="checkbox"/> N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>26</u> ft <u>1</u> in Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

Right-of-Way Information	
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
Width of approach (measured at property line): <u>12.0</u> ft Distance from intersection (for corner lots only): _____ ft	
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
(If yes, drainage review is required)	

**Subchapter F****Gross Floor Area**

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	673.00	885.00			1,558.00
2 <sup>nd</sup> Floor		853.00			853.00
3 <sup>rd</sup> Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	167.00	315.00	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	482.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	840.00	2,053.00			2,411.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,411.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 35 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

# WATER SERVICE PERMIT Austin, Texas

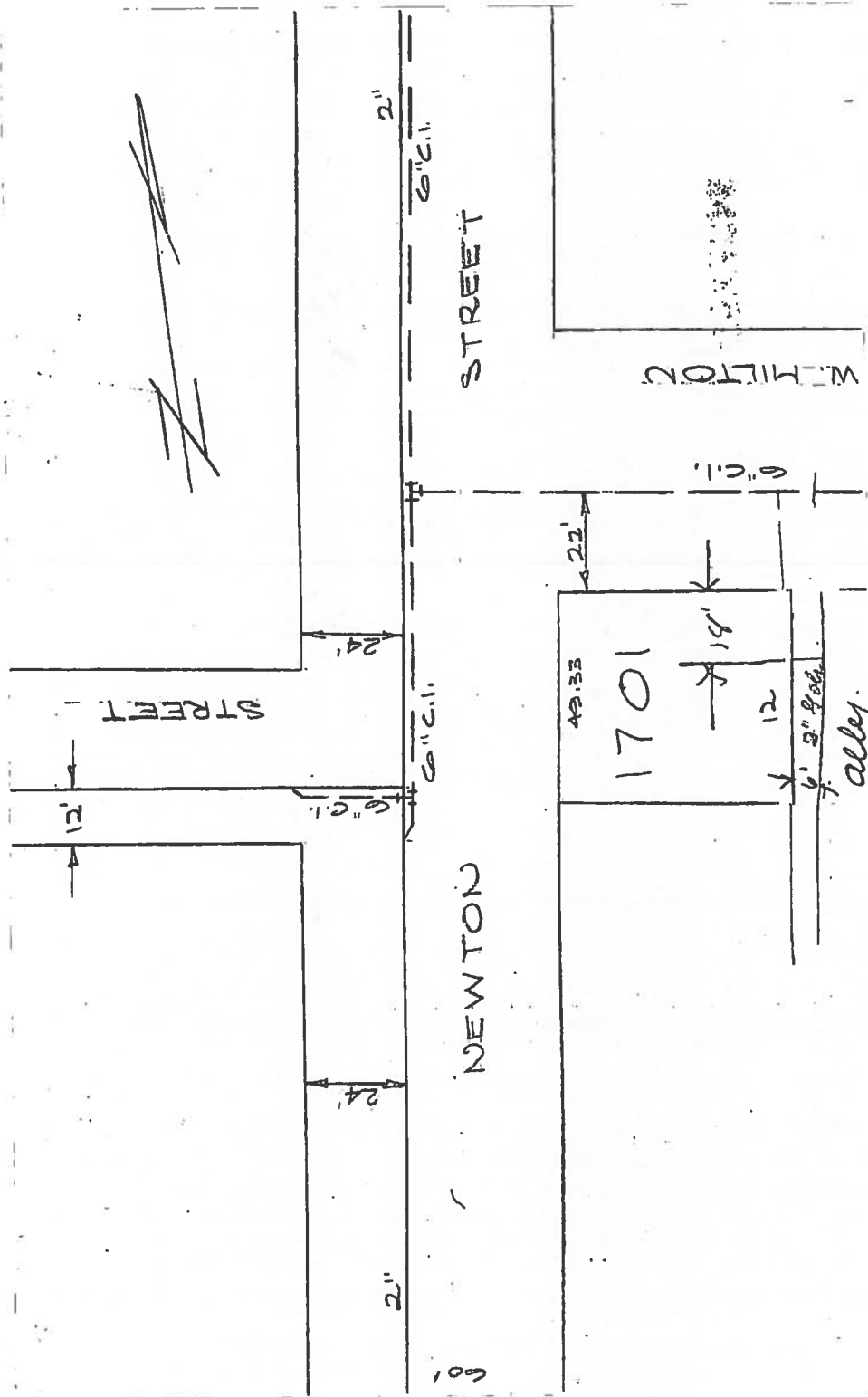
E N° 24859

122

Received of ..... Date.....  
 Address 1721 NEWTON - NO PREVIOUS RECORD -  
 Amount LOCATE & REPAIR IF NOT COOPER - \$  
 Plumber..... Size of Tap.....

Date of Connection 3/4  
 Size of Tap Made 3/4  
 Size Service Made 2" Galv  
 Size Main Tapped 2" Galv  
 From Front Prop. Line to Curb Cock  
 From Front Prop. Line to Curb Cock 3'  
 Location of Meter Alley  
 Type of Box Box  
 Depth of Main in St.  
 Depth INDEXED  
 From Curb Cock to Tap on Main 4'  
 Checked by Engr. Depts. JPH 1-10-61

No. Fittings  
 Size  
 Pipe  
 Corp. Cock  
 Cop. to Iron ell  
 Cop. to Cop. ell  
 Cop. to Iron Coupling  
 Cop. to Cop. Coupling  
 Angle Stop  
 Stop  
 Bushing  
 Nipples  
 Service Clamp  
 Valve  
 Meter Box  
 Lock Lid  
 Drain Tile  
 Drain Tile Lid  
 Stop & Drain  
 Job No. M-323-502  
 Foreman





# CITY OF AUSTIN Development SERVICES DEPARTMENT

One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Demolition Permit Application

Application Type: ☐ Commercial ☐ Residential

Fee Paid: \$ \_\_\_\_\_ Submission Date: \_\_\_\_\_

### For Office Use Only – Permit Information

BP- \_\_\_\_\_ PR- \_\_\_\_\_ LHD\_NRD\_HDP- \_\_\_\_\_ Ca. \_\_\_\_\_

Referred By: \_\_\_\_\_ NRHD/LHD: \_\_\_\_\_

☐ Release Permit ☐ Do Not Release Permit ☐ HLC Review- \_\_\_\_\_

\_\_\_\_\_  
Historic Preservation Office

\_\_\_\_\_  
Date

**IMPORTANT:** Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

**DO NOT LET YOUR PERMIT EXPIRE!!!!**

**HISTORIC LANDMARKS AND DISTRICTS:** If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/department/historic-preservation>).

**To complete this form electronically: Open with Internet Explorer, then Click Here to Save and continue.**

### Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page, **OR a NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- ☐ 5. Review Fee (see [fee schedule](#) for applicable fees)

#### Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

### Property Information

Address: 1701 Newton  
City: Austin Zip: 78704  
Current Use: Single Family Residential

### Demolition Type

☐ Total ☒ Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:

See sheet A1.10

### Demolition Contractor Information

Company: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_

### Structural Information

Square Feet: 840.00  
Building Materials: Wood  
Foundation Type: Pier & Beam  
Estimated Cost of Demolition: \_\_\_\_\_





**PRIMARY ELEVATION (WEST) AT PORCH TO BE REPLACED IN PLACE  
DEMO EXHIBIT | 1701 NEWTON**

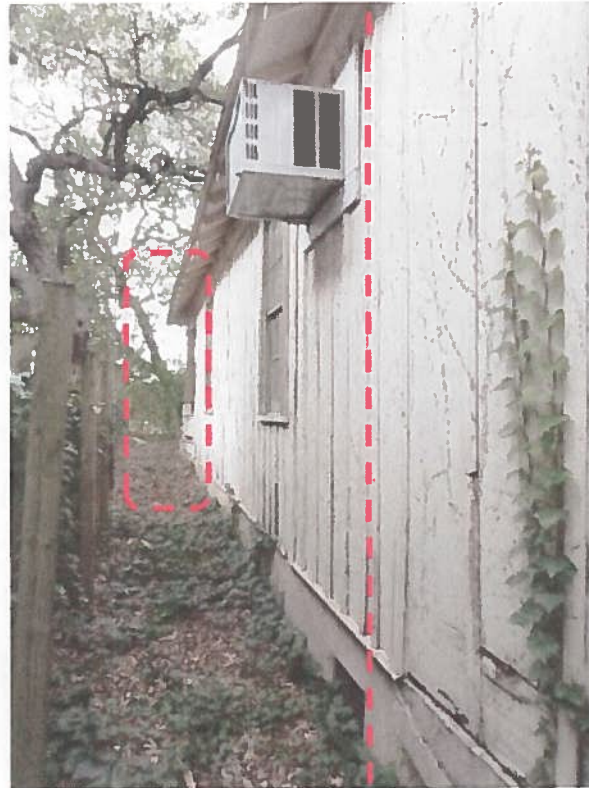


REAR ELEVATION (EAST) WITH EXISTING ADDITION AND SHED TO BE REMOVED  
DEMO EXHIBIT | 1701 NEWTON





SECONDARY STREET ELEVATION (NORTH) WITH PORTIONS TO BE REMOVED/REPLACED  
DEMO EXHIBIT | 1701 NEWTON



SIDE ELEVATION (SOUTH) WITH PORTIONS TO BE REMOVED; ALL SIDING TO BE REPLACED  
DEMO EXHIBIT | 1701 NEWTON





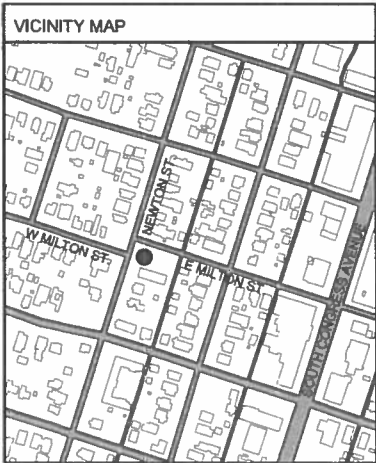
CORNER VIEW (NORTHWEST)  
DEMO EXHIBIT | 1701 NEWTON

# NEWTON RESIDENCE


1701 NEWTON ST., AUSTIN, TEXAS 78704

DRAWING INDEX	
<b>ARCHITECTURAL</b> A0.00 COVER SHEET A0.10 SURVEY, CODE REVIEW, & NOTES  PLANS A1.00 EXISTING & DEMO SITE PLAN A1.01 SITE PLAN A1.02 CRITICAL ROOT ZONE DIAGRAMS A1.10 EXISTING & DEMO FLOOR PLAN A1.11 EXISTING & DEMO ROOF PLAN A1.12 FLOOR PLAN A1.13 SECOND FLOOR PLAN A1.14 ROOF PLAN  ELEVATIONS A2.00 EXISTING & DEMO EXTERIOR ELEVATIONS A2.01 EXISTING & DEMO EXTERIOR ELEVATIONS A2.10 EXTERIOR ELEVATIONS A2.11 EXTERIOR ELEVATIONS  SECTIONS A3.00 BUILDING SECTION DIAGRAMS A3.01 BUILDING SECTION DIAGRAMS	<b>STRUCTURAL</b> S0.0 GENERAL NOTES S1.0 FOUNDATION PLAN S2.0 FLOOR, LOW ROOF & CLG FRAMING PLANS S2.1 LOWER LATERAL BRACING PLAN S2.2 UPPER ROOF AND CEILING FRAMING PLAN S2.3 UPPER LATERAL BRACING PLAN S3.0 FOUNDATION DETAILS S4.0 FRAMING DETAILS S4.1 FRAMING DETAILS S4.2 LATERAL BRACING DTLS & TYP DTLS

REVISION INDEX		
RVS.	DATE	DESCRIPTION
XXX	XX/XX/XXXX	XXX



ARCHITECTURAL SYMBOLS			
<b>DRAWING TITLE</b> DRAWING NUMBER FIRST FLOOR PLAN SCALE 1/4" = 1'-0"	<b>DETAIL KEY</b> DRAWING NUMBER SHEET NUMBER	<b>REVISION MARKER</b> REVISION ADDENDA NUMBER	<b>DOOR &amp; WINDOW NUMBERS</b> DOOR DESIGNATION NUMBER WINDOW DESIGNATION NUMBER MATERIAL TAG PARTITION TYPE
<b>INTERIOR ELEVATION KEY</b> SOLID ARROW WITH CORRESPONDING LETTER DESIGNATION INDICATES DRAWING SHEET NUMBER	<b>WALL SECTION KEY</b> DRAWING NUMBER SHEET NUMBER	<b>BUILDING SECTION CUT LINE</b> DRAWING NUMBER/SHEET NUMBER	<b>FINISH FLOOR ELEVATION</b> FIN. FLR. ENTRY 0'-0" F.F. FINISH FLOOR ELEVATION



CLARK | RICHARDSON  
ARCHITECTS


PROJECT:  
NEWTON RESIDENCE  
RENOVATION & ADDITION  
1701 NEWTON ST.  
AUSTIN, TX 78704

ARCHITECT:  
CLARK | RICHARDSON LLC  
618 LAVACA, SUITE #7  
AUSTIN, TX 78701  
CONTACT: EDWARD RICHARDSON  
512-529-9047  
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:  
ARCH CONSULTING ENGINEERING P  
T.B.P.E. # F-9361  
510 SOUTH CONGRESS  
SUITE B-100  
AUSTIN, TEXAS 78704  
CONTACT: JUSTIN BILLODEAU  
512-328-5353  
justin@archce.net

ARCHITECT'S SEAL:



7.29.2018

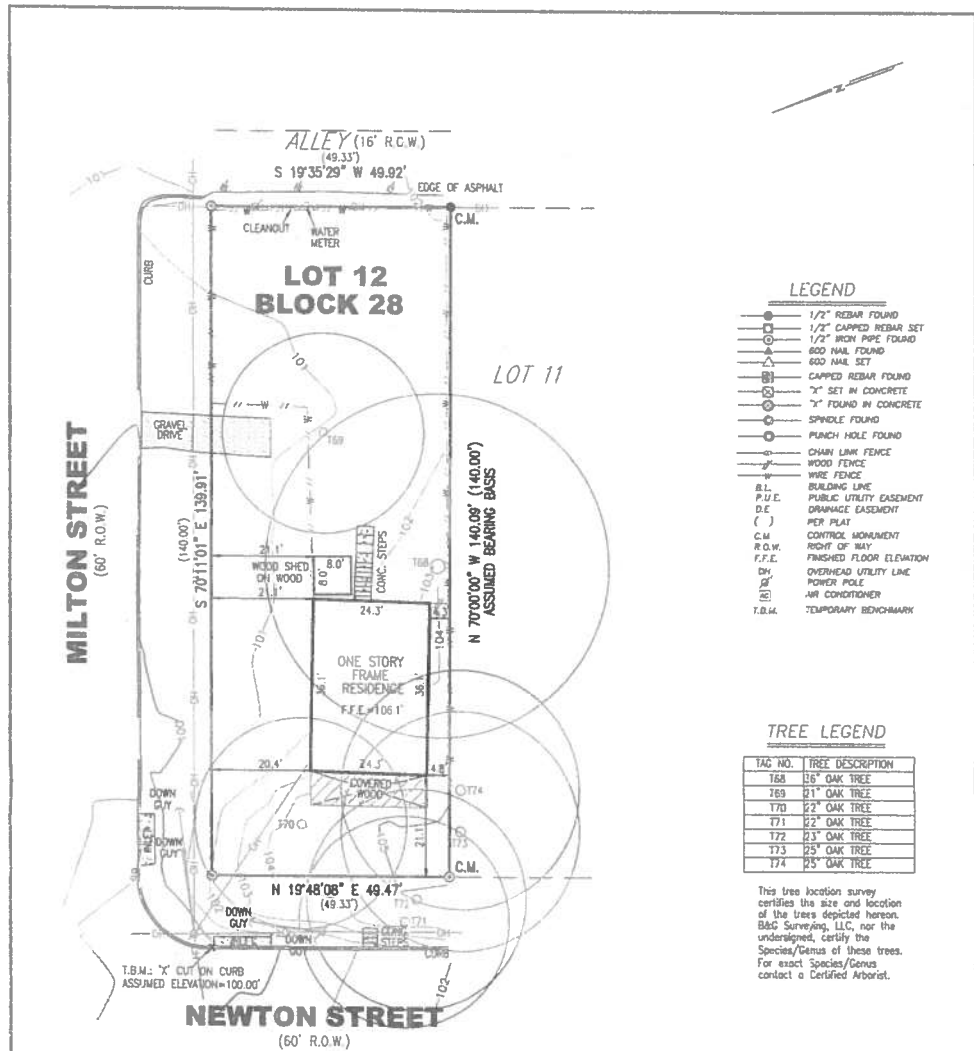
SCALE:  
22X34: N/A  
11X17: N/A

DATE:  
07.29.2018

COVER

A0.00

SITE SURVEY



IMPORTANT NOTICE

This Survey was prepared without the benefit of a current title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & G SURVEYING, LLC. Building Dimensions are rounded and are not to be used for design.



TO BE VERIFIED BY / OR PRESENT OFFICES OF THE PROPERTY SURVEYED

STREET ADDRESS: 1701 NEWTON STREET CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS  
 LOT: 12 BLOCK: 28 SUBDIVISION: SWISHER ADDITION VOL/CAB: 1 PG/BLD: 2 PLAT RECORDS  
 REFERENCE NAME: AVA COLE AND ERIN RESSO RECORDED IN VOL/CAB: 2 PG/BLD: 158 PLAT RECORDS



B & G SURVEYING, LLC  
 FIRM REGISTRATION NO. 100363-00

WWW.BANDGSURVEY.COM  
 1404 West North Loop Blvd.  
 Austin, Texas 78756  
 Office 512-458-6969

JOB #: B1210117\_TA  
 DATE: 12/29/17  
 SCALE: 1" = 20'

DATE: 12/29/17  
 CHECKED BY: ML 12/29/17

PROJECT CALCULATIONS

Subchapter F - "McMansion" 1701 Newton				
Lot	Totals		SQ FT	
	6,957	2,783	EXIST	NEW
40% of total lot or 2300sf				
1st Floor Gross Area			673	885
1st floor area*			0	0
1st floor area with ceiling height over 15 feet			167	249
Porch (New: 79 + 170)			66	-66
Porch with Conditioned Space Above				
2nd Floor Conditioned Area			0	853
2nd floor area			0	0
2nd floor area above detached garage			0	0
2nd floor area with ceiling height over 15 feet				
3rd Floor Conditioned Area			0	0
3rd floor area			0	0
3rd floor area with ceiling height over 15 feet				
Basement Gross Area			0	0
Floor area outside of footprint of first floor			0	0
Attic			0	0
LVL1: Garage (detached)			0	0
Carport (attached)			0	0
Accessory Building(s) (detached)			0	0
*Excluding covered or uncovered finished ground floor porches not connected to driveways.				
Total Gross Floor Area	2,411	2,411		
Floor Area Ratio	34.66%	34.66%		
40% of total lot				
Total FAR Coverage				
Remaining SQFT of FAR				
Is this project claiming a "parking area" exemption as described under Article 3?				
Is this project claiming a "ground floor porch" exemption as described under Article 3?				
Is this project claiming a basement exemption as described under Article 3?				
Is this project claiming a "habitable attic" exemption as described under Article 3?				
Is a sidewalk articulation required for this project?				
Does any portion of the structure extend beyond a setback plane?				

Impervious Cover Calculations				
1701 Newton				
Lot	Totals		SQ FT	
	6,957		Existing	New
45% of total lot	3,131		673	1,159
a. Total Building Coverage on lot*			673	1,159
b. Driveway area on private property	0		0	603
c. Sidewalks (incl Garage Wd Stair over Sidewalk)	0		0	0
d. Uncovered (impervious) patios	0		0	0
e. Uncovered wood decks (may be counted at 50%)	0		0	0
50% Wood Deck (Uncovered)	124 / 2		0	62
50% Wood Stairs (Uncovered)	0		0	0
50% Wood Deck 2nd Flr (Uncovered)	0		0	0
f. AC Pads	0		0	18
g. Concrete decks	0		0	0
h. Other (Pool Coping)	0		0	0
i. Pool Equipment			0	0
j. Retaining			0	0
k. Generator Pad			0	0
*Includes overhangs over 2' and covered decks, porches & patios			0	0
Total New		1,842		1,842
Total Existing		673	673	
45% of total lot		3,131		
Total Impervious Cover		2,515		
Total Percentage of Lot		36%		
Remaining SQFT of Impervious cover		616		

Building and Site Area 70 Julius					
Lot		Totals		SQFT	
		6,957	2,783	Existing	New
40% of total lot					
a.)	1st Floor Conditioned Area	0	0	873	885
a-1	Roof Overhangs over 2'			0	25
a-2	1st Floor Porches	0		167	249
b.)	2nd Floor Conditioned Area*	0	0	0	853
b-1	2nd Floor Balcony Over 1st floor Porch Or Conditioned			0	0
b-1	2nd Floor Balcony Not Over 1st floor Porch or Conditioned			0	0
b-3	2nd Floor Overhangs Over 2' (113 + 11)			0	0
c.)	3rd Floor Conditioned Area	0	0	0	0
d.)	Basement	0	0	0	0
e.)	Covered Parking (Garage & Carport)	0	0	0	0
f.)	Covered Patio, Deck or Porch	0	0	0	0
g.)	Balcony	0	0	0	0
h.)	Other	0	0	0	0
Total Building Coverage (exclude b, c & d from total)				673	1,159
i.)	Driveway	0	0	0	603
j.)	Sidewalks (Incl Garage Wd Stair over Sidewalk)	0	0	0	0
k.)	Uncovered Patio	0	0	0	0
l.)	Uncovered Wood Deck (Counts 50%)	0	0	0	0.0
m.)	AC Pads	0	0	0	18
n.)	Other (Pool Coping, Retaining Walls)	0	0	0	0
Site Coverage		0	0	0	0
o.)	Pool			0	0
p.)	Spa			0	0
* Does not contribute to building coverage					
*Measurements are to the outside surface of the exterior wall					
Total Building Area		1,832		673	1,159
Applicable per code exceptions as defined by Building Coverage					
40% of total lot		2,783			
Proposed Building Coverage on Lot		1,832			
Percentage of lot		26%			
Remaining SQFT of Building Coverage Allowable		951			

SITE NOTES

1. TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED-IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DEBRIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
2. CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
3. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

PROJECT INFORMATION

PROJECT DESCRIPTION: COMPLETE RENOVATION AND ADDITION TO EXISTING SINGLE FAMILY RESIDENCE.	GIS MINIMUM SETBACKS: FRONT YARD: 25' SIDE YARD: 15' REAR YARD: 10'
ZONING: NEIGHBORHOOD: DESCRIPTION:	SF-3 BOULDRY CREEK LOT 12 BLK 28 SWISHER ADDTN.
PARKING: (2) TWO REQUIRED FOR THE SINGLE FAMILY DWELLING	LANDSCAPING: THERE ARE PROTECTED TREES ON THE LOT.
MAX BUILDING HEIGHT: 32' PER MCMAHSON ORDINANCE	OCCUPANCY: OWNER OCCUPIED SINGLE FAMILY RESIDENCE
FLOODPLAIN: NOT LOCATED IN 100 YR FLOODPLAIN PER COA	APPLICABLE BUILDING CODES: 2015 IRC, 2015 IECC, 2011 NEC, 2012 IFG, 2012 UMC, 2012 UPC, TAS, AND LOCAL AMENDMENTS

GENERAL NOTES

1. AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION - PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED.
2. ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT.
3. COORDINATE MECHANICAL PLUMBING AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.
4. CONTRACTOR TO COORDINATE STAGING AREAS
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS.
6. THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED.
7. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK.
8. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
9. IN THE EVENT OF THEFT OR DAMAGE OF MATERIALS STORED ON SITE, EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL AFFECTED MATERIALS.
10. PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA.
11. GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY.
12. PROVIDE ARCHITECT W/SHOP DWGS. OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS.
13. ALL NEW & ORIGINAL CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR & INTERIOR PRIOR TO OWNERS OCCUPANCY.
14. SEE FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS.
15. CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATIONS OR LAYOUT.
16. SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUBCONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK.
17. EMPLOY THE FOLLOWING IN COMPLIANCE WITH THE ENERGY STAR CERTIFIED HOME CHECKLIST (MOST RECENT VERSION): ENSURE FULL AND PROPER INSULATION WITHOUT MISALIGNMENTS, COMPRESSIONS, GAPS, VOIDS, OR SAGGING IN ALL EXTERIOR WALL CAVITIES AT ALL EXTERIOR WALL CONDITIONS; USE RECESSED CORNERS OF NO MORE THAN 3 STUDS PER CORNER TO ALLOW FOR MAXIMUM THERMAL COVERAGE. UNLESS OTHERWISE STRUCTURALLY REQUIRED, AND LIMIT FRAMING TO MAX. OF ONE PAIR OF KING STUDS AND ONE PAIR OF JACK STUDS PER WINDOW OPENING. LIMIT EXTERIOR FRAMING IN GENERAL TO ONLY WHAT IS NECESSARY. INSTALL HEADERS OF R-5 MIN. INSULATION VALUE FOR ALL 2X6 EXTERIOR WALL ASSEMBLIES, UNLESS STRUCTURALLY INFEASIBLE. DOORS ADJACENT TO UNCONDITIONED SPACE OR AMBIENT CONDITIONS TO BE GASKETED OR OTHERWISE MADE TO BE AIR-TIGHT. ATTIC ACCESS PANELS AND DROP-DOWN STAIRS TO BE CONTINUOUSLY GASKETED AND EQUIPPED WITH A DURABLE R-10 INSULATED COVER.



PROJECT:

NEWTON RESIDENCE  
 RENOVATION & ADDITION  
 1701 NEWTON ST.  
 AUSTIN, TX 78704

ARCHITECT:

CLARK | RICHARDSON LLC  
 618 LAVACA, SUITE #7  
 AUSTIN, TX 78701  
 CONTACT: EDWARD RICHARDSON  
 512-529-9047  
 ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:

ARCH CONSULTING ENGINEERING F  
 T.B.P.E. # F-8361  
 510 SOUTH CONGRESS  
 SUITE B-100  
 AUSTIN, TEXAS 78704  
 CONTACT: JUSTIN BILLODEAU  
 512-328-5353  
 justin@archcoe.net

ARCHITECT'S SEAL:



7.29.2018

SCALE:

22X34: N/A  
 11X17: N/A

DATE:

07.29.2018

SURVEY, CODE  
 REVIEW, & NOTES

A0.10

**CONTRACTOR NOTES:**

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

**ARBORIST NOTES:**

1. ALL STAGING AND MATERIAL STORAGE TO TAKE PLACE ON THE NEW DRIVEWAY AREA.

2. NO NEW UTILITIES (PLUMBING OR ELECTRICAL) ARE ANTICIPATED BEING RUN AS PART OF THIS PERMIT.

3. NO IMPACTS PERMITTED AT ANY 1/2 CRZ.

TREE LIST	
EXISTING TREES TO BE DEMOLISHED	
TAG NO.	TREE DESCRIPTION
T09	21.65' PECAN
PER JIM GOBEL, CITY OF AUSTIN:	
DUE TO CONDITION OF TREE TO BE DEMOLISHED, ONLY 10' OF REMEDIATION WILL BE REQUIRED.	
EXISTING TREES TO REMAIN	
TAG NO.	TREE DESCRIPTION
T68	33.35' OAK
T70	22' OAK
T71	22' OAK
T72	23' OAK
T73	25' OAK
T74	23' OAK

**DEMOLITION NOTES**

- ALL INTERIOR PARTITIONS, FIXTURES, AND FINISHES TO BE REMOVED, U.O.N.\*
- ALL CROWN MOLDING AND TRIM TO BE REMOVED, U.O.N.\*
- ALL FLOORING TO BE DEMOLISHED, U.O.N.\*
- ALL EXT. DOORS TO BE REPLACED IN PLACE, U.O.N.\*
- ALL WINDOWS TO BE REPLACED IN PLACE, U.O.N.\*

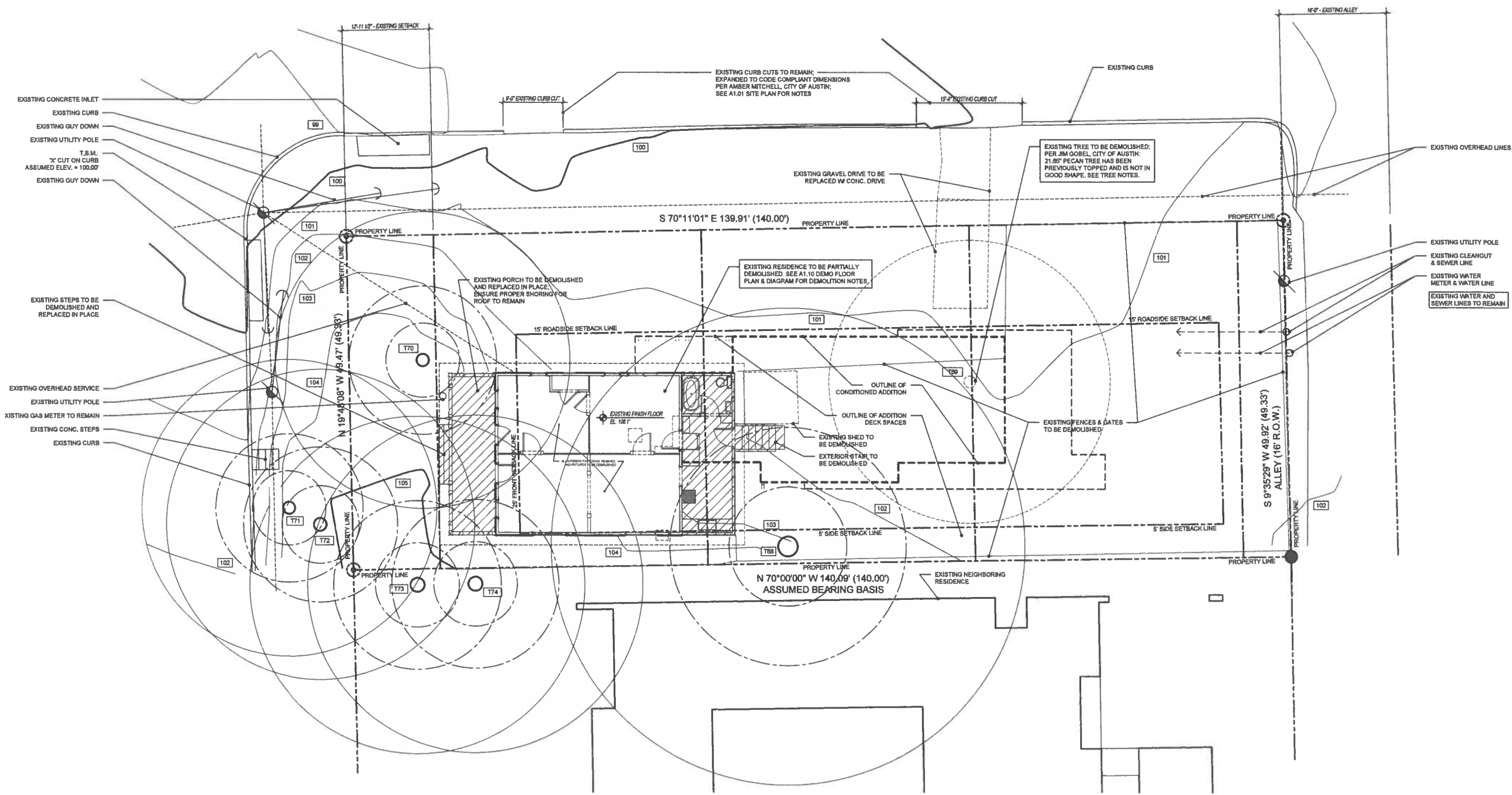
\* - U.O.N. = UNLESS OTHERWISE NOTED

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- SURFACE TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL


**GENERAL DEMOLITION NOTES**

- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.
- WHERE POSSIBLE RECYCLE ANY LIGHTLY USED FIXTURES, WINDOWS, CABINETS AND DOORS TO BE REMOVED AT LOCAL RE-USE STORES, SUCH AS HABITAT-FOR-HUMANITY RE-STORE.
- CEASE DEMOLITION IMMEDIATELY AND NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT, IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- SCRAPE, SAND, STRIP OR BRUSH AND PREPARE ALL SURFACES AS REQUIRED IN ORDER TO RECEIVE NEW FINISHES.
- PROTECT FROM DAMAGE ALL FINISH WORK THAT IS TO REMAIN IN PLACE.
- PROTECT ADJACENT TREES AND SHRUBS TO REMAIN IN PLACE FROM DAMAGE PER CITY OF AUSTIN ARBORIST REQUIREMENTS
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE CLEAN AND FREE OF DEBRIS.
- REPAIR ALL DEMOLITION OR DAMAGE CAUSED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL WALLS AND ROOF STRUCTURES TO REMAIN ARE TO BE PROPERLY SHORED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. SHORING IS RESPONSIBILITY OF CONTRACTOR AND IS TO BE ENGINEERED BY A REGISTERED ENGINEER. INSTALLED SHORING MUST BE REVIEWED BY ENGINEER RESPONSIBLE.
- CAP ALL WATER / WASTEWATER & GAS LINES WITHIN DEMO AREAS.



**EXISTING SITE PLAN**  
22X34 SCALE: 1/8" = 1'-0"  
11X17 SCALE: 1/16" = 1'-0"






PROJECT:  
NEWTON RESIDENCE  
RENOVATION & ADDITION  
1701 NEWTON ST.  
AUSTIN, TX 78704

ARCHITECT:  
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618 LAVACA, SUITE #7  
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512-529-9047  
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GENERAL CONTRACTOR:

STRUCTURAL:  
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CONTACT: JUSTIN BILLODEAU  
512-328-5353  
justin@archce.net

ARCHITECT'S SEAL:  
  
7-29-2018

SCALE: 22X34: 1/8" = 1' 11X17: 1/16" = 1'	DATE: 07.29.2018
-------------------------------------------------	---------------------

EXISTING SITE PLAN

**A1.00**





CLARK | RICHARDSON  
ARCHITECTS

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512-328-6353  
justin@archce.net

ARCHITECT'S SEAL:



7.29.2018

SCALE:  
22X34: 1/4" = 1'  
11X17: 1/8" = 1'

DATE:  
07.29.2018

EXISTING & DEMO  
FLOOR PLAN &  
DIAGRAM

A1.10

CONTRACTOR NOTES

CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

DEMOLITION NOTES

- ALL INTERIOR PARTITIONS, FIXTURES, AND FINISHES TO BE REMOVED, U.O.N.\*
- ALL CROWN MOLDING AND TRIM TO BE REMOVED U.O.N.\*
- ALL FLOORING TO BE DEMOLISHED, U.O.N.\*
- ALL EXT. DOORS TO BE REPLACED IN PLACE, U.O.N.\*
- ALL WINDOWS TO BE REPLACED IN PLACE, U.O.N.\*

\* - U.O.N. = UNLESS OTHERWISE NOTED

KEY

EXISTING FIXTURES, SWITCHES, AND CONNECTIONS TO DEMOLISH

WALL LEGEND

EXISTING WALL TO REMAIN

SURFACE TO BE DEMOLISHED

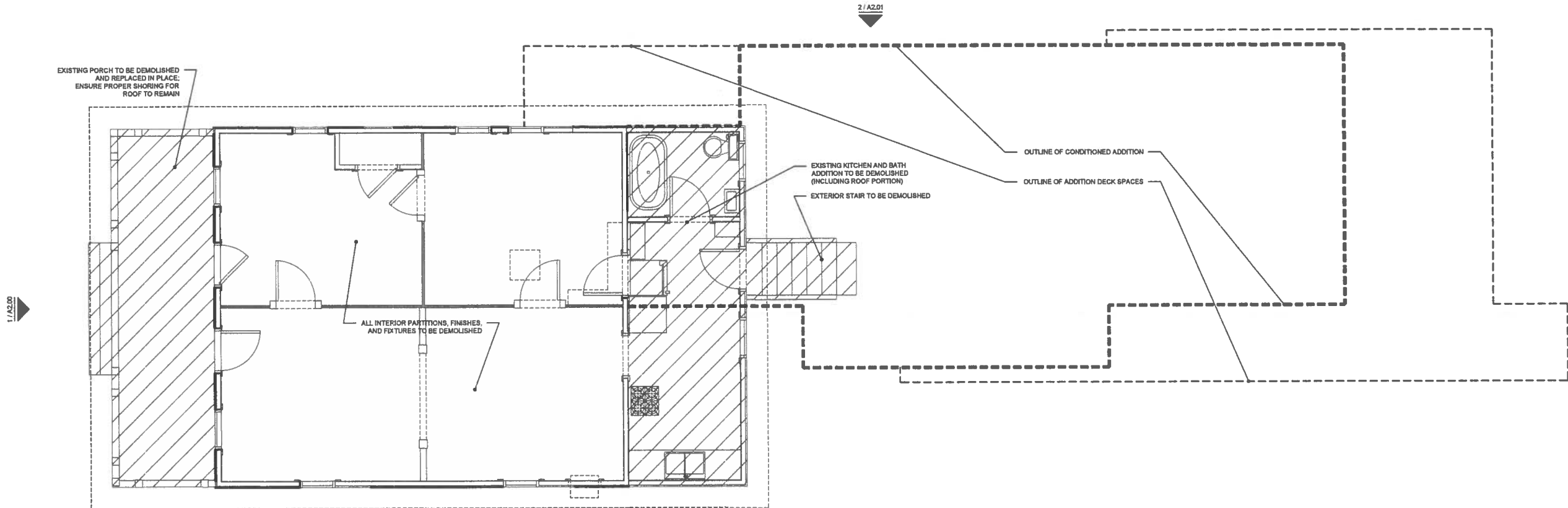
AREA TO BE DEMOLISHED

NEW WOOD FRAME WALL

GENERAL DEMOLITION NOTES

- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.
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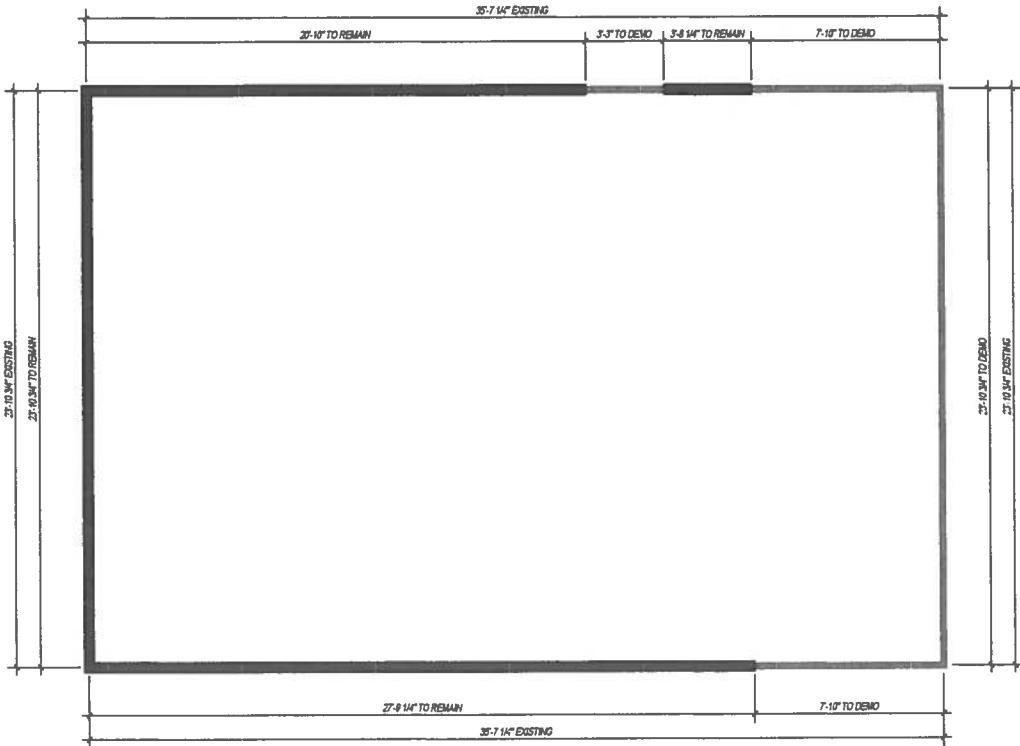
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- CAP ALL WATER / WASTEWATER & GAS LINES WITHIN DEMO AREAS.



EXISTING & DEMO FLOOR PLAN

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

1



DEMOLITION DIAGRAM NOTES

118'-0" TOTAL EXISTING LINEAR FEET OF EXTERIOR WALLS MEASURED TO OUTSIDE FACE OF STUD.

78'-2 1/2" EXISTING LINEAR FEET OF EXTERIOR WALLS TO REMAIN.

42'-8 1/2" EXISTING LINEAR FEET OF EXTERIOR WALLS TO DEMO.

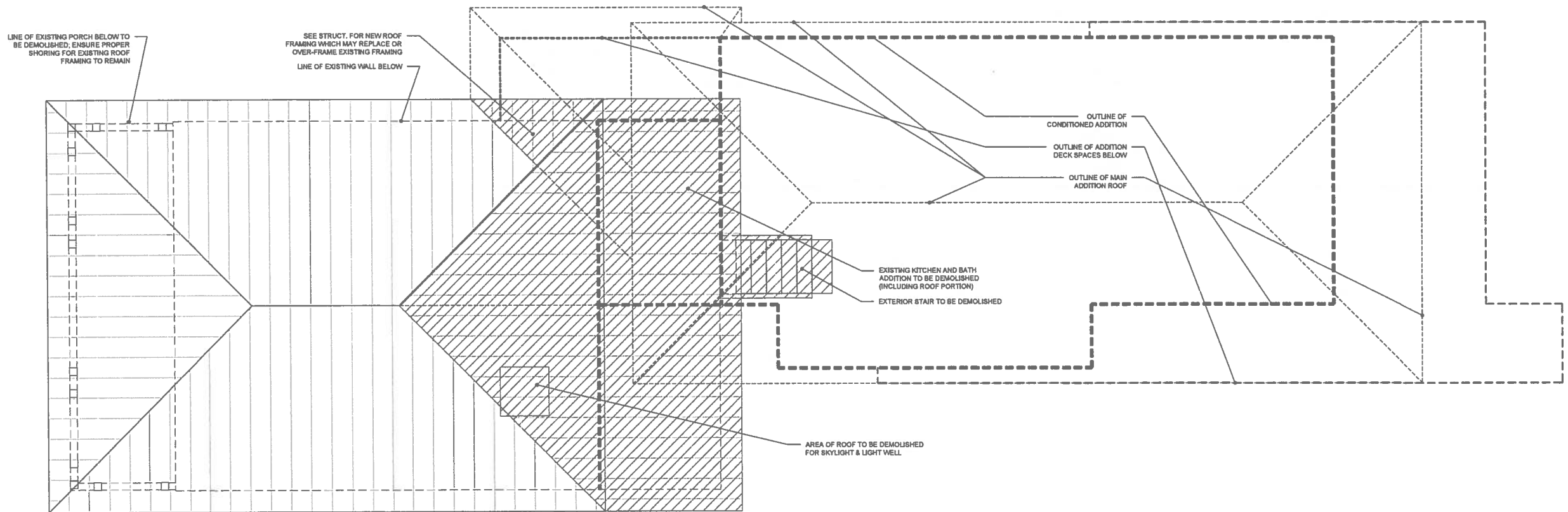
78'-2 1/2" / 118'-0" = 64% (50% COMPLIANCE MINIMUM)

DEMOLITION PERCENTAGE DIAGRAM

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

1

<b>CONTRACTOR NOTES</b> CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.	<b>KEY</b> <div><div></div>EXISTING FIXTURES, SWITCHES, AND CONNECTIONS TO DEMOLISH</div>	<b>GENERAL DEMOLITION NOTES</b> <ul style="list-style-type: none"><li>- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS</li><li>- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.</li><li>- WHERE POSSIBLE RECYCLE ANY LIGHTLY USED FIXTURES, WINDOWS, CABINETS AND DOORS TO BE REMOVED AT LOCAL RE-USE STORES, SUCH AS HABITAT-FOR-HUMANITY RE-STORE.</li><li>- CEASE DEMOLITION IMMEDIATELY AND NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT, IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.</li><li>- SCRAPE, SAND, STRIP OR BRUSH AND PREPARE ALL SURFACES AS REQUIRED IN ORDER TO RECEIVE NEW FINISHES.</li></ul>
<b>DEMOLITION NOTES</b> <ul style="list-style-type: none"><li>- ALL EXTERIOR CLADDING &amp; FINISHES TO BE DEMOLISHED OR REPLACED IN PLACE, U.O.N.</li><li>- U.O.N. = UNLESS OTHERWISE NOTED</li></ul>	<b>WALL LEGEND</b> <div><div></div>EXISTING WALL TO REMAIN</div> <div><div></div>SURFACE TO BE DEMOLISHED</div> <div><div></div>AREA TO BE DEMOLISHED</div> <div><div></div>NEW WOOD FRAME WALL</div>	<ul style="list-style-type: none"><li>- PROTECT FROM DAMAGE ALL FINISH WORK THAT IS TO REMAIN IN PLACE.</li><li>- PROTECT ADJACENT TREES AND SHRUBS TO REMAIN IN PLACE FROM DAMAGE PER CITY OF AUSTIN ARBORIST REQUIREMENTS</li><li>- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE CLEAN AND FREE OF DEBRIS.</li><li>- REPAIR ALL DEMOLITION OR DAMAGE CAUSED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO THE OWNER.</li><li>- ALL WALLS AND ROOF STRUCTURES TO REMAIN ARE TO BE PROPERLY SHORED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. SHORING IS RESPONSIBILITY OF CONTRACTOR AND IS TO BE ENGINEERED BY A REGISTERED ENGINEER. INSTALLED SHORING MUST BE REVIEWED BY ENGINEER RESPONSIBLE.</li><li>- CAP ALL WATER / WASTEWATER &amp; GAS LINES WITHIN DEMO AREAS.</li></ul>



EXISTING AND DEMOLITION ROOF PLAN  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

1



PROJECT:  
NEWTON RESIDENCE  
RENOVATION & ADDITION  
1701 NEWTON ST.  
AUSTIN, TX 78704

ARCHITECT:  
CLARK | RICHARDSON LLC  
618 LAVACA, SUITE #7  
AUSTIN, TX 78701  
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512-529-9047  
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:  
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T.B.P.E. # F-9361  
510 SOUTH CONGRESS  
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AUSTIN, TEXAS 78704  
CONTACT: JUSTIN BILLODEAU  
512-328-5353  
justin@archce.net

ARCHITECT'S SEAL:



SCALE:  
22X34: 1/4" = 1'  
11X17: 1/8" = 1'

DATE:  
07.29.2018

EXISTING AND  
DEMOLITION ROOF  
PLAN

A1.11

PROJECT:  
NEWTON RESIDENCE  
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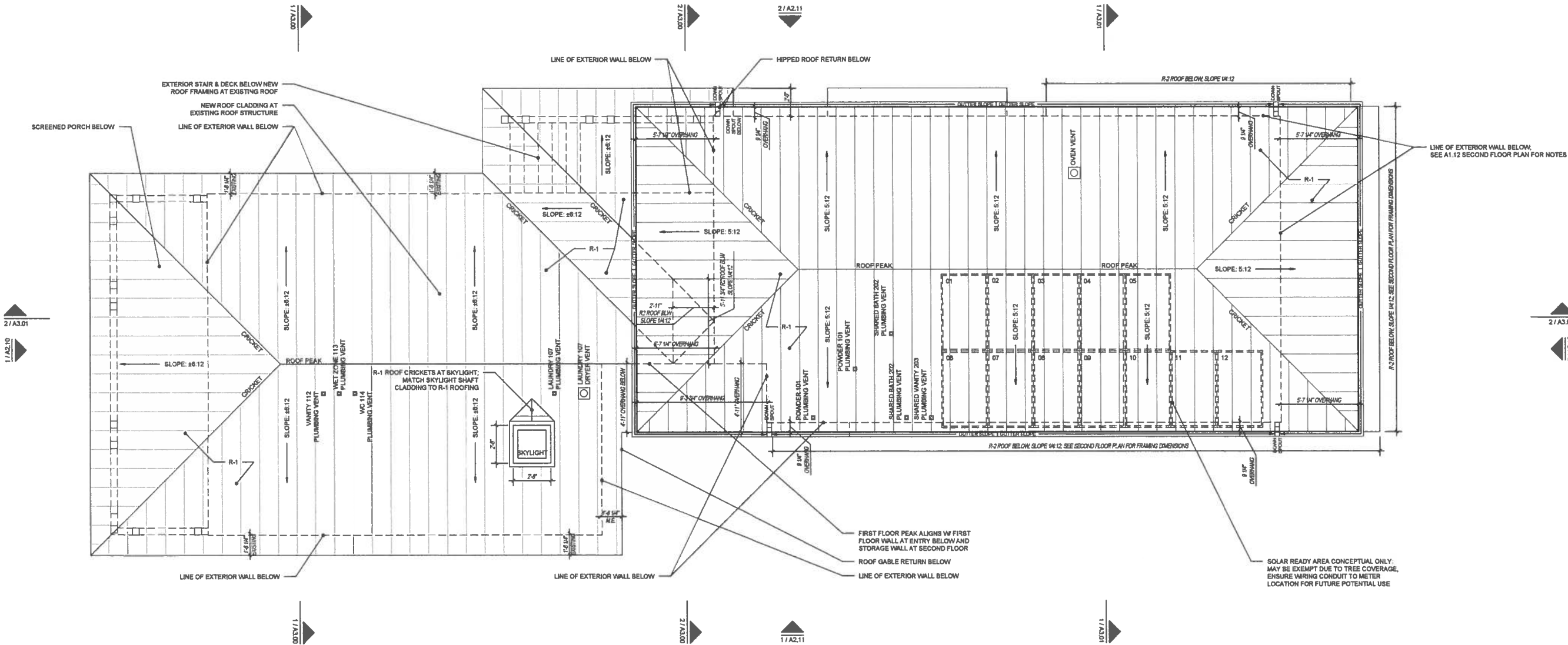
SCALE:  
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11X17: 1/8" = 1'

DATE:  
07.29.2018

ROOF PLAN

A1.14

MATERIALS LEGEND	
R-1:	DOUBLE LOCK STANDING SEAM MTL ROOF
R-2:	DOUBLE LOCK STANDING SEAM MTL ROOF OVER ICE & WATER SHIELD
ROOF NOTES	
1.	ALL ROOF OVERHANG DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF FASCIA.
2.	PV ARRAY FOR CONCEPTUAL PURPOSES ONLY. PER CODE, LAYOUT AND SPECS BY OTHERS.



ROOF PLAN  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

1



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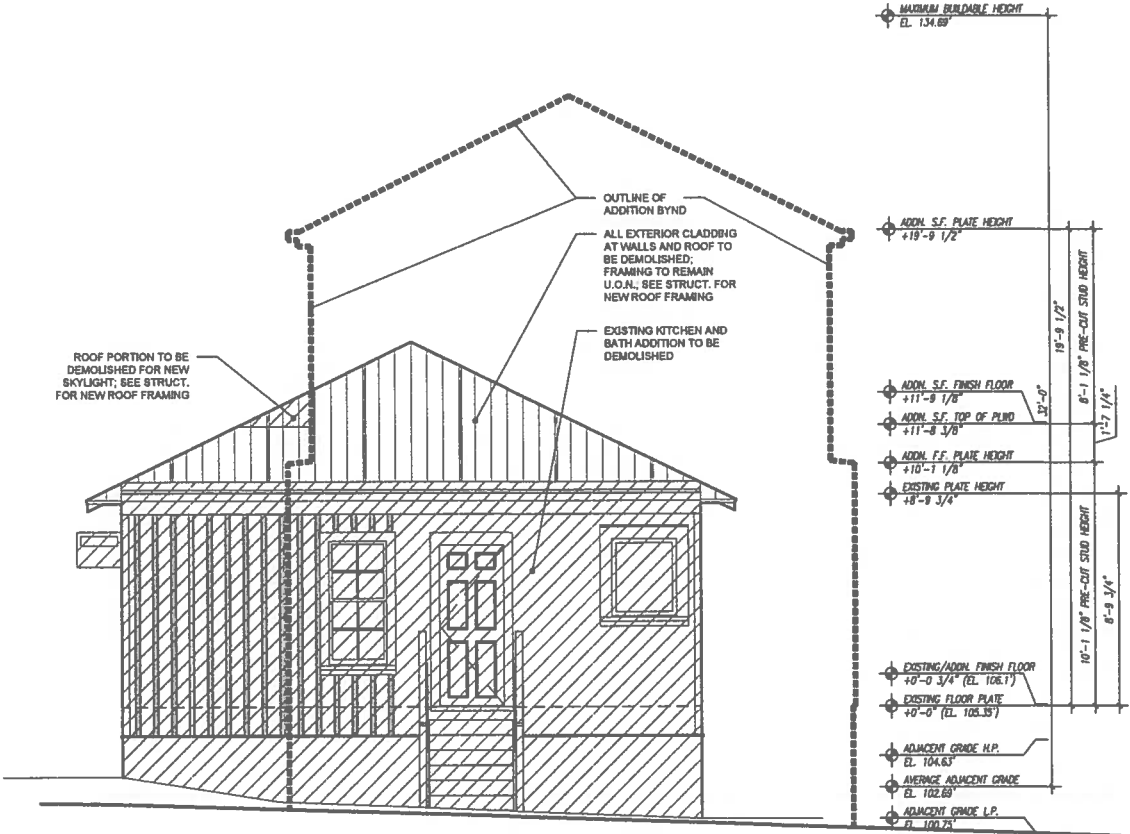


SCALE:  
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DATE:  
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EXISTING AND  
DEMOLITION  
EXT. ELEVATIONS

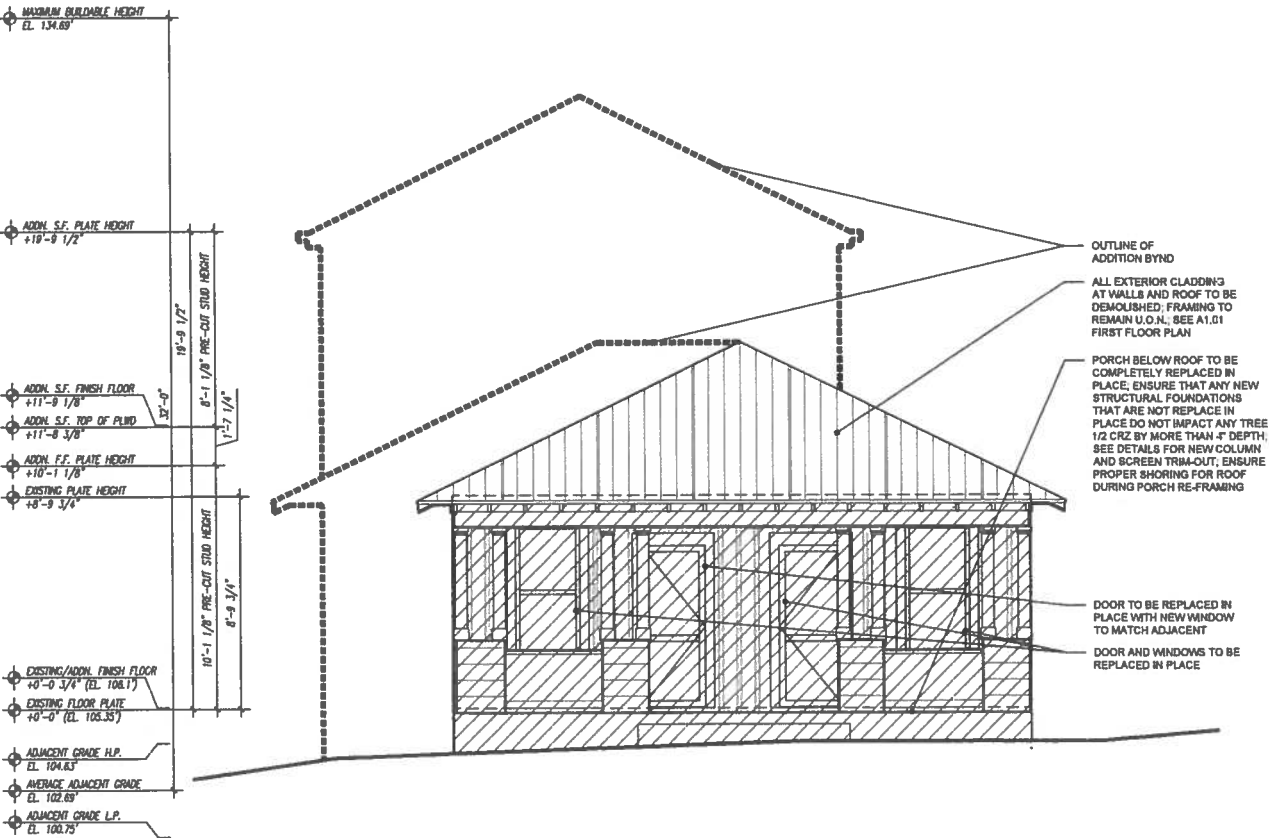
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EAST EXISTING AND DEMOLITION ELEVATION

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

2



WEST EXISTING & DEMOLITION ELEVATION

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

1

CONTRACTOR NOTES

CONTRACTOR TO VIF ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

WALL LEGEND

- EXISTING WALL TO REMAIN
- SURFACE TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- NEW WOOD FRAME WALL

PROJECT:  
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RENOVATION & ADDITION  
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ARCHITECT'S SEAL:

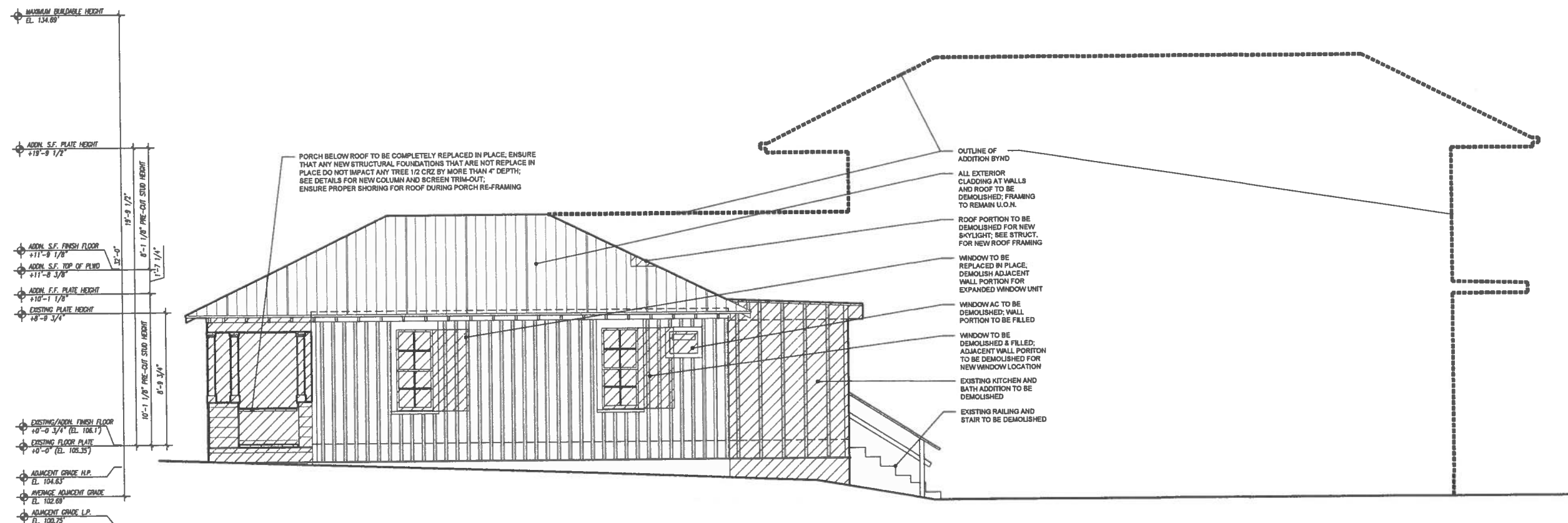


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22X34: 1/4" = 1'  
11X17: 1/8" = 1'

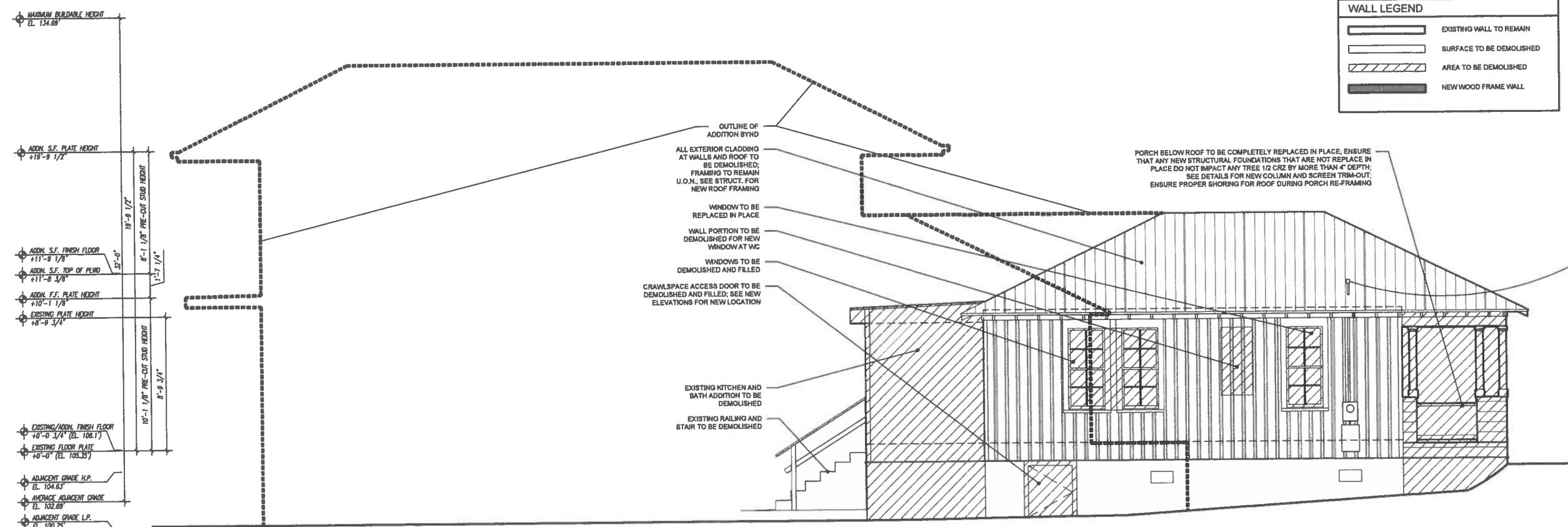
DATE:  
07.29.2018

EXISTING AND  
DEMOLITION  
EXT. ELEVATIONS

A2.01



**SOUTH EXISTING AND DEMOLITION ELEVATION**  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



**NORTH EXISTING AND DEMOLITION ELEVATION**  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



CLARK | RICHARDSON  
ARCHITECTS

PROJECT:

NEWTON RESIDENCE  
RENOVATION & ADDITION  
1701 NEWTON ST.  
AUSTIN, TX 78704

ARCHITECT:

CLARK | RICHARDSON LLC  
618 LAVACA, SUITE #7  
AUSTIN, TX 78701  
CONTACT: EDWARD RICHARDSON  
512-529-9047  
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:

ARCH CONSULTING ENGINEERING F  
T.B.P.E. # F-9361  
510 SOUTH CONGRESS  
SUITE B-100  
AUSTIN, TEXAS 78704  
CONTACT: JUSTIN BILLODEAU  
512-328-5353  
justin@archce.net

ARCHITECT'S SEAL:



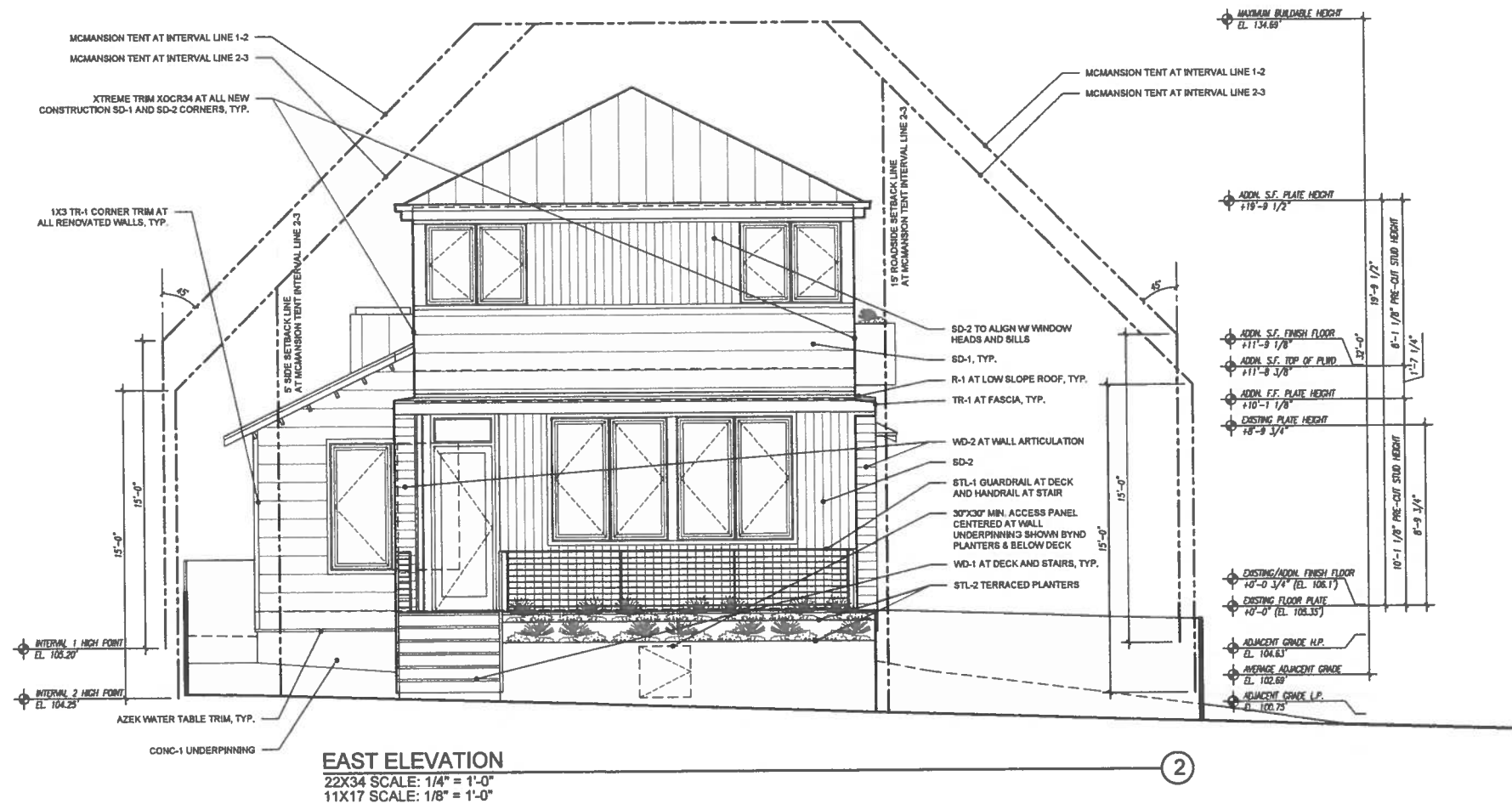
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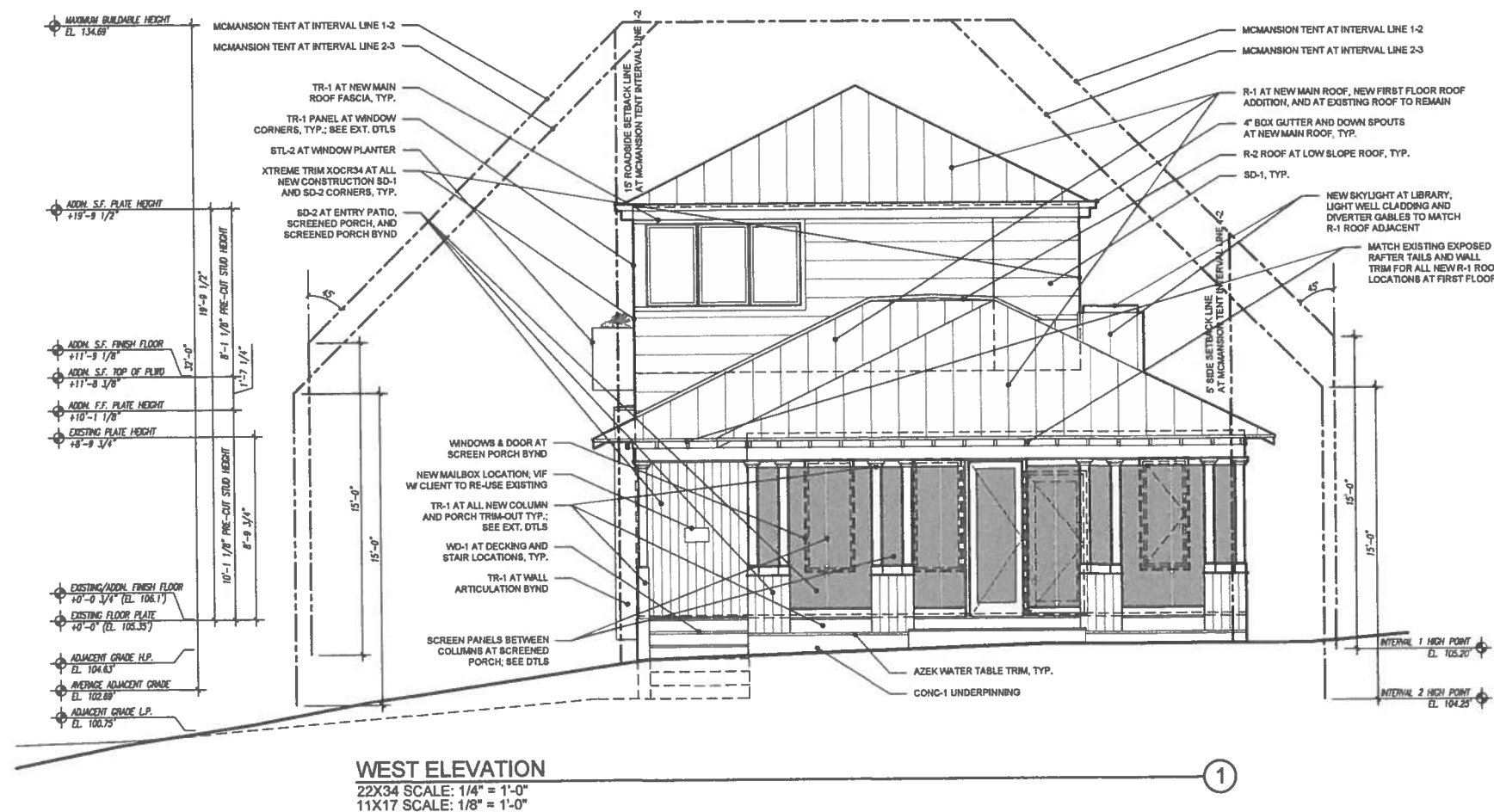
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07.29.2018

EXTERIOR  
ELEVATIONS

A2.10

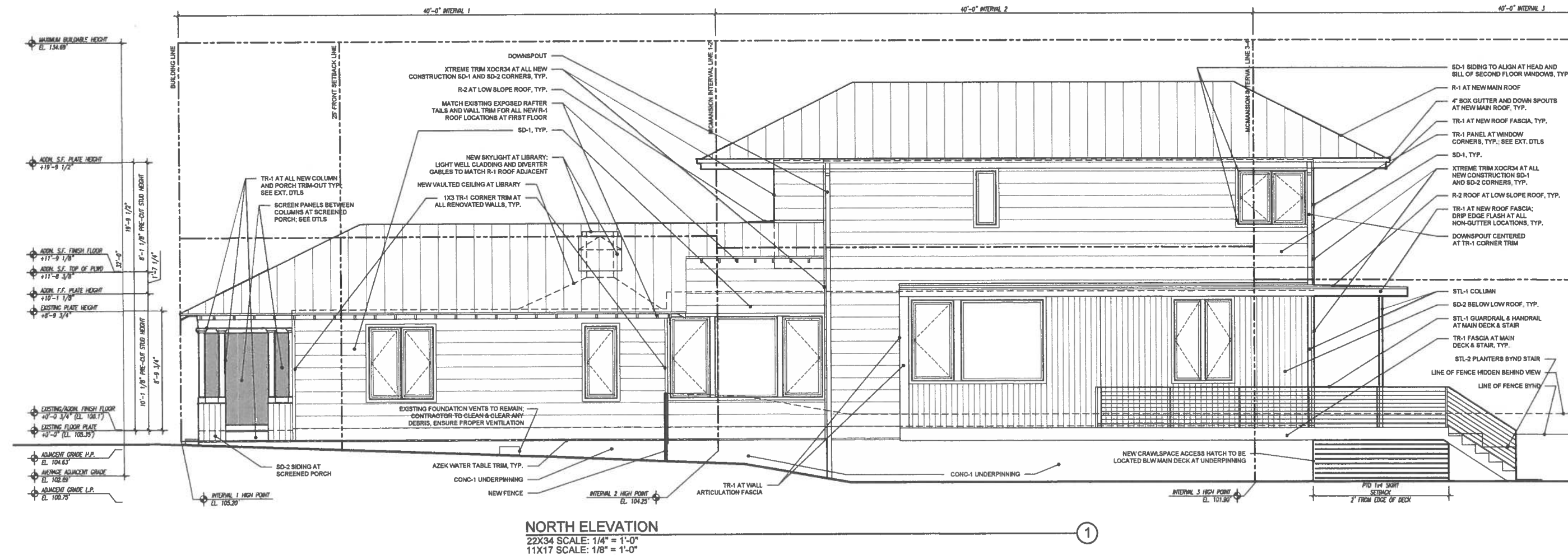
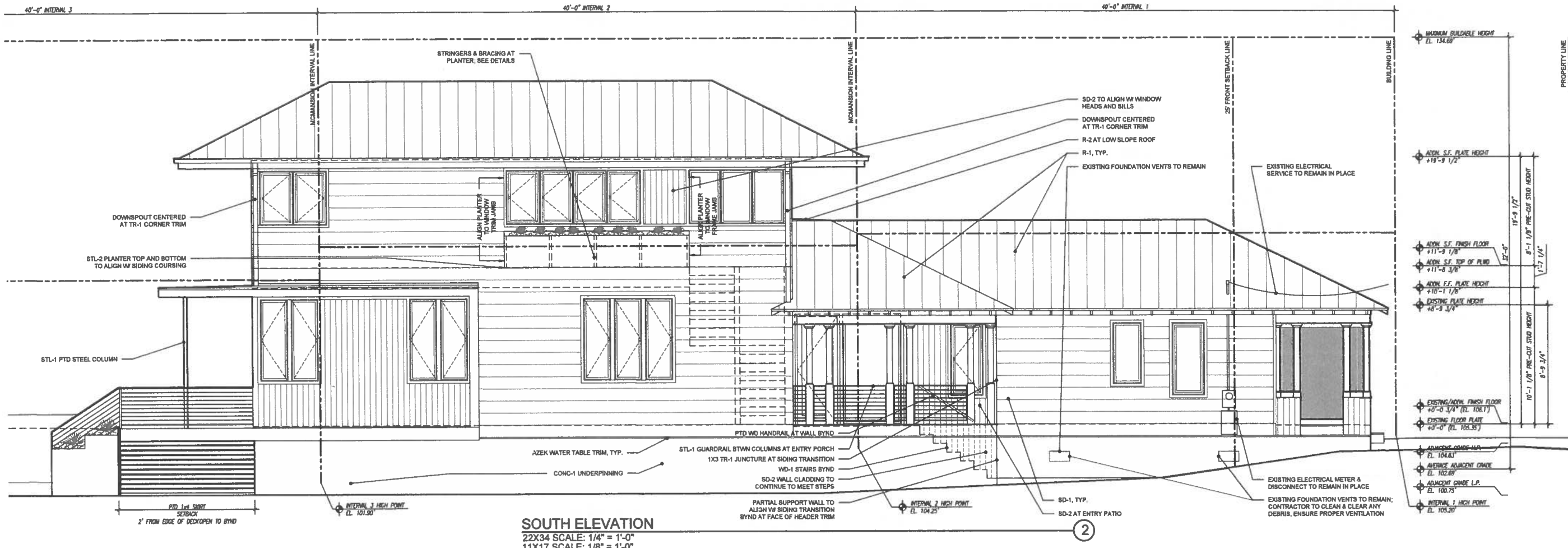


**EAST ELEVATION**  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"





**CLARK | RICHARDSON**  
ARCHITECTS

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ARCHITECT'S SEAL:

7.29.2018

SCALE:  
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DATE:  
 07.29.2018

**EXTERIOR ELEVATIONS**

**A2.11**



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ARCHITECT'S SEAL:

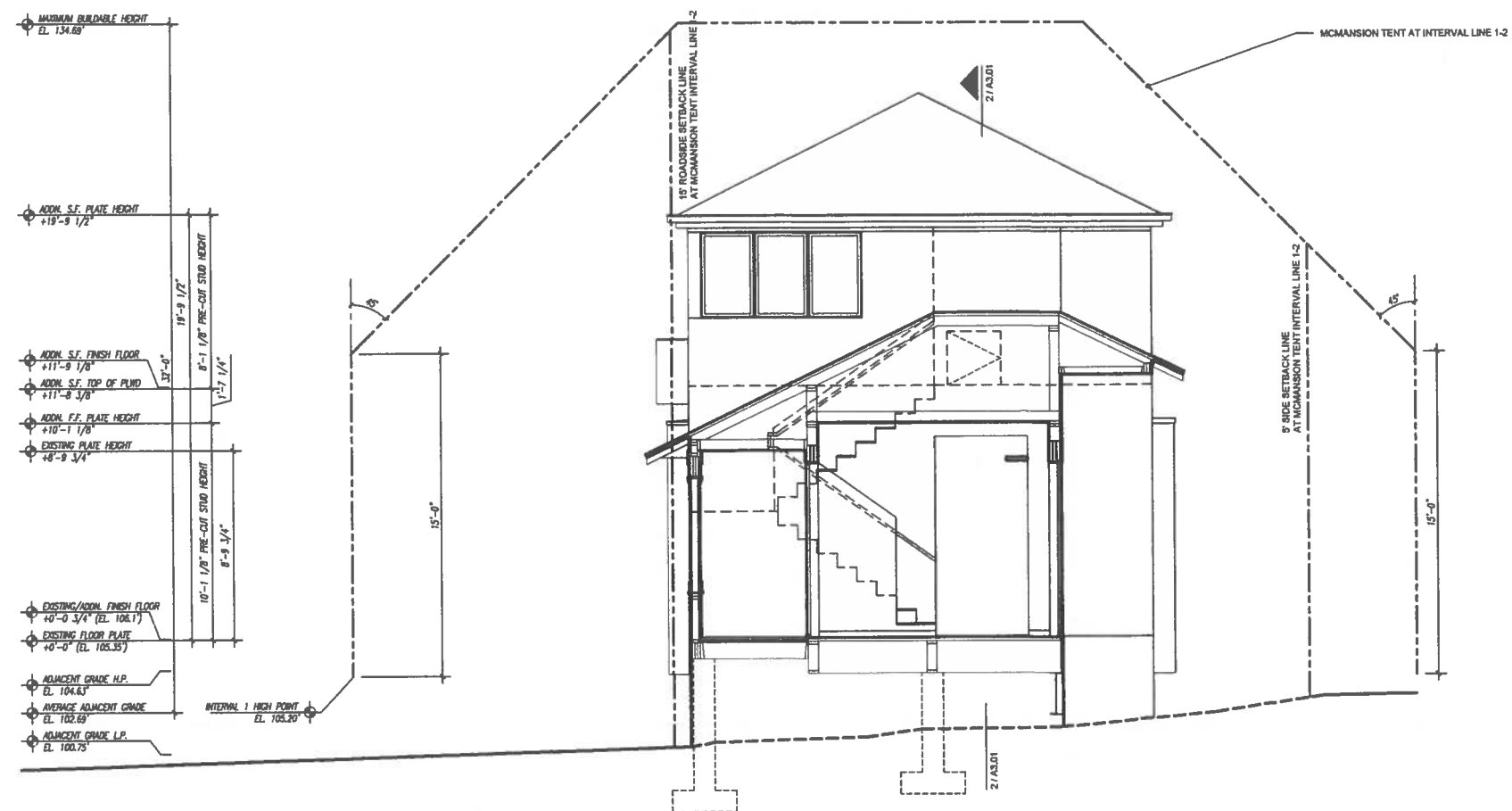


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DATE:  
07.29.2018

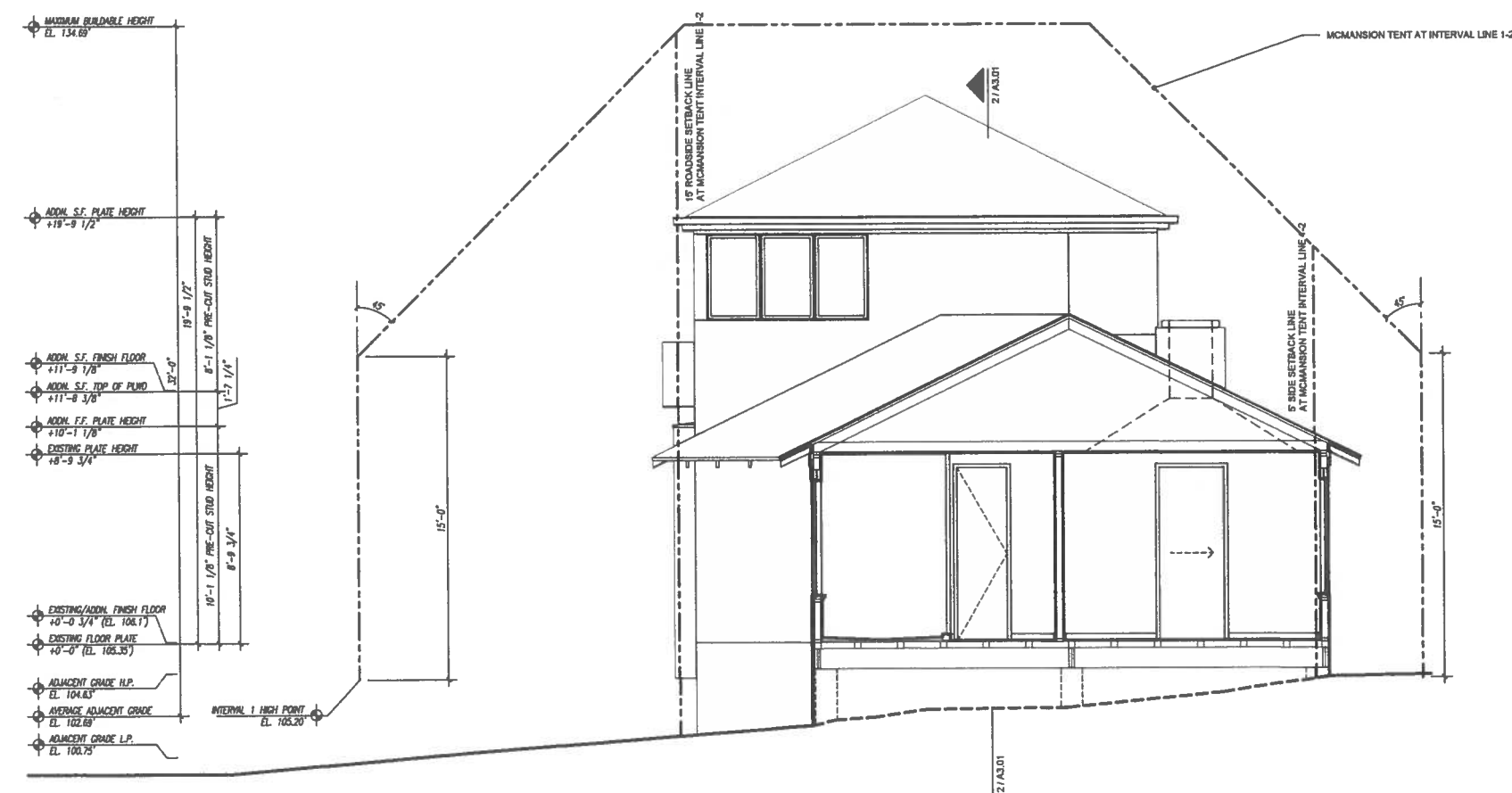
## BUILDING SECTION DIAGRAMS

# A3.00



### BUILDING SECTION DIAGRAM

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



### BUILDING SECTION DIAGRAM

22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



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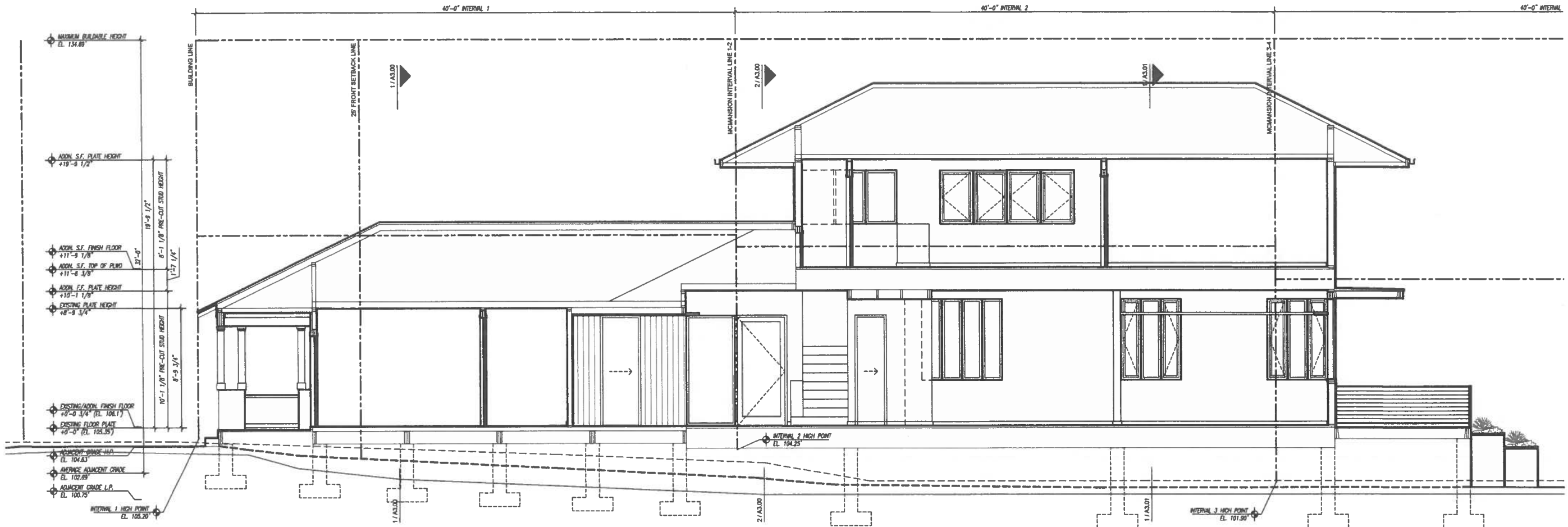
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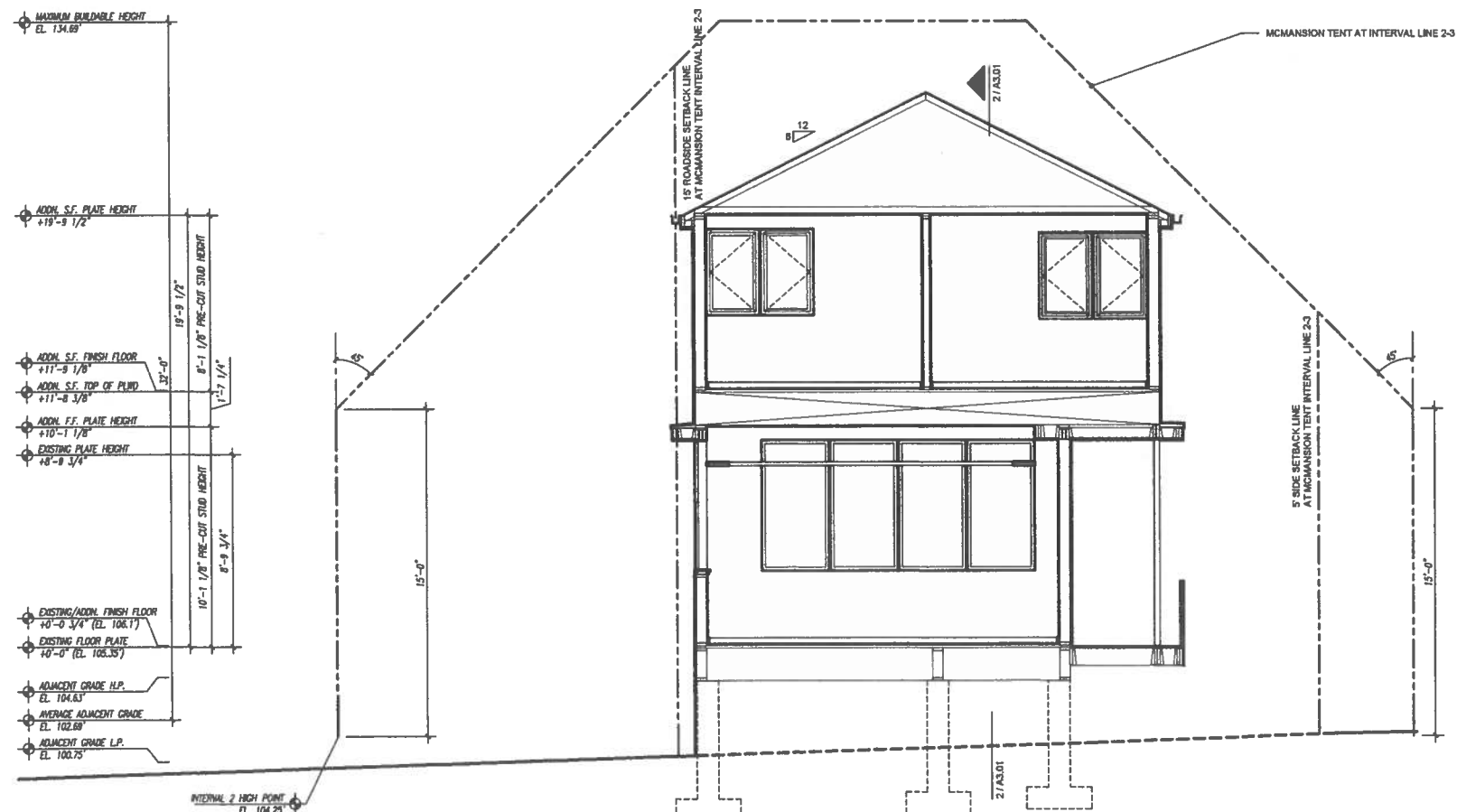
SCALE: 22X34: 1/4" = 1'-0" 11X17: 1/8" = 1'-0"	DATE: 07.29.2018
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BUILDING SECTION  
DIAGRAMS

A3.01



BUILDING SECTION DIAGRAM  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"



BUILDING SECTION DIAGRAM  
22X34 SCALE: 1/4" = 1'-0"  
11X17 SCALE: 1/8" = 1'-0"

GENERAL NOTES

GENERAL CONDITIONS

1. THESE GENERAL NOTES SHALL APPLY UNLESS SPECIFICALLY NOTED ON THE PLANS AND DETAILS.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
3. DISCREPANCIES AND/OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT AND ENGINEER.
4. CONSTRUCTION, WORKMANSHIP, AND MATERIALS SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.
5. THE STRUCTURAL SYSTEM OF THE BUILDING IS DESIGNED TO PERFORM AS A COMPLETED UNIT. PRIOR TO COMPLETION OF THE STRUCTURE, THE STRUCTURAL COMPONENTS MAY BE UNSTABLE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY SHORING AND/OR BRACING AS REQUIRED FOR THE STABILITY OF THE INCOMPLETE STRUCTURE AND FOR THE SAFETY OF ALL ON-SITE PERSONNEL.
6. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
7. THE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.
8. THE CONTRACT STRUCTURAL DRAWINGS SHALL NOT BE USED IN WHOLE OR IN PART FOR SHOP DRAWING SUBMITTALS.
9. THE GEOTECHNICAL REPORT IS A SEPARATE DOCUMENT (NOT PART OF THE CONTRACT DOCUMENTS) FURNISHED BY THE PROJECT OWNER. THE CONTRACTOR SHALL OBTAIN A COPY OF THE REPORT FOR REFERENCE AS IT DESCRIBES SUB-SURFACE CONDITIONS THAT MAY BE ENCOUNTERED DURING INSTALLATION OF FOUNDATIONS AND CONTAINS OTHER INFORMATION PERTINENT TO CONSTRUCTION DRAWINGS.
10. THE GEOTECHNICAL ENGINEER SHALL BE RETAINED TO REVIEW THE FINAL DESIGN PLANS AND SPECIFICATIONS SO COMMENTS CAN BE MADE REGARDING INTERPRETATION AND IMPLEMENTATION OF THE GEOTECHNICAL RECOMMENDATIONS IN THE DESIGN AND SPECIFICATIONS.
11. THE GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE TESTING AND OBSERVATIONS DURING EXCAVATION, GRADING, FOUNDATION INSTALLATION, AND OTHER CONSTRUCTION PHASES OF THE PROJECT.

DESIGN CRITERIA

1. BUILDING CODE: 2015 INTERNATIONAL RESIDENTIAL CODE
2. GRAVITY LOADS:
- A. DEAD LOADS
- 1) ROOF 16 PSF
- 2) FLOOR 20 PSF
- B. LIVE LOADS
- 1) ROOF 20 PSF
- 2) FLOOR 40 PSF
- C. SNOW LOADS
- 1) GROUND SNOW LOAD, Pg 5 PSF
- 2) IMPORTANCE FACTOR, I 1.0
3. LATERAL LOADS
- A. WIND LOADS
- 1) WIND SPEED (ULT) 115 MPH
- 2) IMPORTANCE FACTOR, I 1.0
- 3) EXPOSURE "C"
- B. SEISMIC LOADS
- 1) SEISMIC DESIGN CATEGORY A
- 2) SITE CLASS D
- 3) SEISMIC IMPORTANCE FACTOR, IE 1.0

SHALLOW FOUNDATIONS AT EXISTING

1. THE SHALLOW FOUNDATIONS HAVE BEEN DESIGNED USING AN ALLOWABLE SOIL BEARING VALUE OF 2500 PSF FOR SPREAD FOOTINGS IN ACCORDANCE WITH THE SOILS ANALYSIS REPORT NO. 18-0064 DATED MAY 23, 2018 PREPARED BY CAPITAL GEOTECHNOICAL SERVICES, PLLC.
2. SPREAD FOOTING AND CONTINUOUS FOOTING DIMENSIONS AND/OR LOCATIONS MAY NOT BE ALTERED WITHOUT APPROVAL BY THE ENGINEER.
3. ALL TOPSOIL, VEGETATION, AND ANY DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROPOSED ADDITION AREA TO PERMIT THE INSTALLATION OF A WOOD FLOORING SYSTEM WITH PIER-AND-BEAM SUPPORTS AND A MINIMUM 18-INCH TALL CRAWL SPACE.
4. PROVIDE VENTING OF CRAWL SPACE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.
5. FOOTINGS SHALL BEAR AT LEAST 42 INCHES BELOW FINISHED GRADE ON UNDISTURBED SOIL.
6. FOOTINGS SHALL BE POURED THE SAME DAY THE EXCAVATIONS ARE COMPLETED.
7. SITE DRAINAGE/IRRIGATION/LANDSCAPING, ETC. SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DRAWINGS AND THE SOILS ANALYSIS REPORT. ROUTINE MAINTENANCE OF THE DRAINAGE AND LANDSCAPING (GROUND COVER, VEGETATION AND TREES) BY THE OWNER IS REQUIRED. IT IS CRITICAL THAT PROPER DRAINAGE AND LANDSCAPING BE MAINTAINED OVER THE LIFE OF THE STRUCTURE.

PIERS

1. ALL DRILLED PIERS HAVE BEEN DESIGNED USING A NET BEARING VALUE OF 20,000 PSF AND A SKIN FRICTION VALUE OF 700 PSF IN ACCORDANCE WITH THE SOILS ANALYSIS REPORT NO. 18-0064 DATED MAY 23, 2018 PREPARED BY CAPITAL GEOTECHNICAL SERVICES, PLLC.
2. BELLING AT THE TOP OF THE PIERS SHALL BE AVOIDED. SHOULD BELLING OCCUR AT THE TOP OF PIERS, SONOTUBE FORMS SHALL BE USED TO EXTEND THE PIER TO THE PROPER ELEVATION.
3. CONCRETE SHALL BE PLACED IN ALL PIER HOLES WITHIN 8 HOURS AFTER EXCAVATION. ANY ACCUMULATED WATER SHALL BE PUMPED FROM THE PIER HOLES PRIOR TO CONCRETE PLACEMENT.
4. DRILL PIERS TO THE EXACT SIZE SHOWN. SHAFTS SHALL BE DRILLED PLUMB WITH A TOLERANCE OF TWO INCHES. PIER BOTTOMS SHALL BE THOROUGHLY CLEAN AND FREE OF WATER WHEN CONCRETE IS PLACED.
5. ALL PIERS SHALL BE CENTERED ON BEAMS UNLESS OTHERWISE SHOWN.
6. FOR ESTIMATING PURPOSES, CARRY ALL PIERS TO THE DEPTHS INDICATED ON THE DRAWINGS. WHEN DIRECTED BY THE GEOTECHNICAL ENGINEER, CARRY PIERS TO GREATER OR LESSER DEPTHS TO PROVIDE SUITABLE BEARING. ADJUSTMENTS WILL BE MADE IN THE CONTRACT PRICE FOR MORE OR LESS DEPTH IN ACCORDANCE WITH THE UNIT PRICES QUOTED IN THE CONTRACTORS BID.
7. EACH PIER SHAFT SHALL BE INSPECTED BY QUALIFIED GEOTECHNICAL PERSONNEL. PROVIDE SUITABLE ACCESS AND LIGHTING FOR INSPECTION OF THE EXCAVATIONS FOR CLEANLINESS AND FOR CORRECTNESS OF DIMENSIONS AND ALIGNMENT.
8. PIERS LOCATIONS MAY NOT BE ALTERED WITHOUT APPROVAL BY THE ENGINEER.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI 318-14). ALL CONCRETE FLOOR AND SLAB CONSTRUCTION SHALL CONFORM TO ACI 302.1R-04. ALL CONCRETE WORK SHALL ALSO CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE", ACI 301-14.
2. CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- |                                                |                 |
|------------------------------------------------|-----------------|
| 28 DAY COMPRESSIVE STRENGTH                    | 3,000 PSI       |
| MINIMUM CEMENT CONTENT                         | 520-610 LB/CY   |
| WATER / CEMENT RATIO                           | 0.47-0.55       |
| SUMP RANGE                                     | 2" MIN - 5" MAX |
| NOMINAL MAX AGGREGATE SIZE                     | 1"              |
| AIR CONTENT FOR TROWEL-FINISHED INTERIOR SLABS | LESS THAN 3%    |
- FLY ASH CAN BE SUBSTITUTED FOR CEMENT UP TO 30% BY WEIGHT. CALCIUM CHLORIDE IS NOT ACCEPTABLE FOR USE IN MD.
- FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. RETAIN A QUALIFIED TESTING LABORATORY TO MAKE CONCRETE CYLINDERS AND PERFORM COMPRESSIVE TESTS.
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150. AGGREGATE SHALL CONFORM TO ASTM C-33.
4. EMBEDDED CONDUITS AND PIPES, AND SLEEVES SHALL MEET THE REQUIREMENTS OF ACI 318-14, INCLUDING THE FOLLOWING REQUIREMENTS:
- A. CONDUITS AND PIPES EMBEDDED WITHIN A SLAB, WALL, OR BEAM (OTHER THAN THOSE PASSING THROUGH) SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN 1/3 THE OVERALL THICKNESS OF THE SLAB, WALL, OR BEAM IN WHICH THEY ARE EMBEDDED.
- B. CONDUITS, PIPES, AND SLEEVES SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS OR WIDTHS ON CENTER.
- C. CONDUITS, PIPES, AND SLEEVES SHALL BE OF UN-COATED OR GALVANIZED IRON OR STEEL NOT THINNER THAN STANDARD SCHEDULE 40 PIPE.

REINFORCEMENT

1. ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", ACI 315 LATEST EDITION.
2. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60.
3. STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:
- |                       |           |
|-----------------------|-----------|
| SLABS ON GRADE (TOP)  | 1 1/2 IN. |
| GRADE BEAMS AND PIERS |           |
| TOPS                  | 2 IN.     |
| SIDES                 | 3 IN.     |
| BOTTOMS               | 3 IN.     |
| OTHER                 | 1 1/2 IN. |
4. LAP REINFORCING 30 BAR DIAMETERS AT SPLICES UNLESS NOTED OR DETAILED OTHERWISE.
5. WELDING OR HEAT BENDING OF REINFORCING BARS SHALL NOT BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.

TIMBER NOTES

1. UNLESS NOTED OTHERWISE, ALL STRUCTURAL FRAMING LUMBER SHALL BE CLEARLY MARKED NO. 1 K.D. PINE BY THE SPIB WITH A MINIMUM Fb=1000 PSI. ALL WALL STUDS SHALL BE S-P-F LUMBER, NO. 2 OR BETTER.
2. SOLID 2" BLOCKING SHALL BE PROVIDED AT THE ENDS AND JOINTS OF SUPPORT OF ALL JOISTS, RAFTERS, AND PURLINS, AND SHALL BE PLACED BETWEEN SUPPORTS IN ROWS NOT EXCEEDING 8'-0" APART. ALL WALLS SHALL HAVE SOLID 2" BLOCKING AT 8'-0" O.C. MAX. VERTICALLY. END NAIL WITH (2)-16d NAILS OR SIDE TOE NAIL WITH (2)-12d NAILS. ALL BLOCKING SHALL BE SAME DEPTH AS MEMBERS BEING BLOCKED.
3. ALL CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FASTENING SCHEDULE (TABLE R602.3.1).
4. ALL WOOD STUD WALLS SHALL BE FULL HEIGHT WITHOUT INTERMEDIATE PLATE LINE UNLESS DETAILED OTHERWISE.
5. INCLUDE AN ALLOWANCE FOR 200 BOARD FEET OF LUMBER TO BE USED AS DIRECTED IN THE FIELD FOR SPECIAL CONDITIONS NOT COVERED BY NOTE OR DRAWING (LABOR FOR ERECTING SAME TO BE INCLUDED). UPON COMPLETION OF PROJECT, REBATE TO OWNER ANY AMOUNT REMAINING.
6. PROVIDE TRIPLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING OVER 10'-0" UNLESS NOTED OTHERWISE. PROVIDE DOUBLE STUDS (OR CRIPPLES) AT EACH END OF ANY HEADER, BEAM, RIDGE, VALLEY, OR HIP SPANNING 5'-0" TO 10'-0" UNLESS NOTED OTHERWISE.
7. ALKALINE COPPER QUATERNARY (ACQ) PRESSURE TREATED LUMBER PRODUCTS ARE HIGHLY CORROSIVE TO METAL CONNECTORS AND FASTENERS. ALL FASTENERS AND METAL CONNECTORS USED IN CONJUNCTION WITH THE ACQ PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED (MIN. G185 COATING) OR TYPE 304 OR 316 STAINLESS STEEL. THESE LOCATIONS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
- ANCHOR BOLTS AT SOLE PLATE TO FOUNDATION
  - MUD SILL ANCHORS AT SOLE PLATE TO FOUNDATION
  - NAILS FROM SOLE PLATE TO WALL STUDS
  - NAILS AT EXTERIOR PLYWOOD SHEATHING TO SOLE PLATE
  - BOLTS AT LEDGER TO CONCRETE
  - JOIST TO TREATED LEDGER CONNECTIONS
  - ALL HANGERS ON TREATED JOISTS
  - PLYWOOD DECKING TO TREATED JOISTS
  - WOOD POSTS TO CONCRETE
  - NAILS AT FLOOR JOISTS AND RIM JOISTS TO SOLE PLATE
  - DECK BOARDS TO TREATED JOISTS

PLYWOOD DECKING AND SHEATHING

1. ALL PLYWOOD SHEATHING AT WALLS SHALL BE 15/32" THICK GRADE C-D WITH EXTERIOR GLUE. PROVIDE SOLID 2" BLOCKING AT ALL JOINTS IN PLYWOOD SHEAR WALLS.
2. ALL PLYWOOD DECKING AT ROOFS SHALL BE 19/32" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED.
3. ALL WALL SHEATHING AND ROOF DECKING SHALL BE NAILED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 8d NAILS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS SPACED AT 12" O.C. 1 3/4" 16 GAGE STAPLES CAN BE USED IN LIEU OF NAILS FOR EXTERIOR SHEATHING PROVIDED THAT STAPLES ARE SPACED AT 3" O.C. AT ALL EDGES AND 6" O.C. AT ALL INTERMEDIATE SUPPORTS. ORIENTED STRAND BOARD MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTOR'S OPTION.
4. ALL PLYWOOD DECKING AT FLOORS SHALL BE 3/4" OR 1 1/8" THICK GRADE C-D WITH EXTERIOR GLUE. ALL JOINTS IN PLYWOOD DECKING SHALL BE STAGGERED. GLUE AND SCREW ALL FLOOR DECKING TO WOOD FRAMING MEMBERS.
5. FLOOR DECKING SHALL BE SCREWED TO SUPPORTING MEMBERS ALONG THE EDGES WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 6" O.C. AND AT INTERMEDIATE SUPPORTS WITH 2 1/2" LONG #8 WOOD SCREWS SPACED AT 12" O.C.

PRE-FABRICATED WOOD TRUSSES

1. FOR SIZE AND LOCATION OF MECHANICAL UNITS AND / OR OPENINGS REQUIRED IN TRUSS WEBS FOR DUCTS OR MECHANICAL UNITS, SEE MECHANICAL DRAWINGS.
2. ALL FLOOR AND ROOF TRUSSES SHALL BE DESIGNED FOR A LIVE LOAD ACCORDING TO THE DESIGN CRITERIA OR TO THE LOADING DIAGRAMS SHOWN.
3. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, AND CALCULATIONS, WITH SEAL OF REGISTERED ENGINEER IN THE STATE OF TEXAS. FOR REVIEW. SHOP DRAWINGS SHALL INCLUDE SIZE AND LOCATION OF ALL REQUIRED BRACING MEMBERS (TEMPORARY AND PERMANENT) AND DETAILS OF ALL TRUSS TO TRUSS CONNECTIONS (EXAMPLE: HIP JACK TRUSS TO GIRDER TRUSS AND COMMON JACK TRUSSES TO GIRDER TRUSS).
4. TRUSS MANUFACTURER SHALL PROVIDE A COPY OF BCSI GUIDE FOR HANDLING, INSTALLING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES TO TRUSS ERECTOR.
5. MAXIMUM LIVE LOAD DEFLECTION SHALL BE SPAN LENGTH / 360 FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. MAXIMUM TOTAL LOAD DEFLECTION SHALL BE SPAN LENGTH / 240 FOR ROOF, FLOOR, BALCONY, AND CORRIDOR TRUSSES. THE MAXIMUM DEFLECTION SHALL NOT EXCEED 1 INCH.

LAMINATED VENEER LUMBER

1. ALL LVLS SHALL BE FABRICATED TO STANDARDS SET FORTH IN THE NATIONAL EVALUATION SERVICE (NES) REPORT NO. NER-481 AND SHALL PROVIDE MINIMUM ALLOWABLE DESIGN VALUES OF 2600 PSI IN BENDING, 285 PSI IN HORIZONTAL SHEAR PERPENDICULAR TO THE GLUE LINE, AND 1,900,000 PSI IN MODULUS OF ELASTICITY.

POST-INSTALLED ANCHORS INTO CONCRETE, MASONRY AND STEEL AND CAST-IN-PLACE ANCHORS INTO CONCRETE

THE BELOW PRODUCTS ARE THE DESIGN BASIS FOR THIS PROJECT. SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE LISTED BELOW MAY BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD (EOR) FOR REVIEW. SUBSTITUTIONS WILL ONLY BE CONSIDERED FOR PRODUCTS HAVING A CODE REPORT RECOGNIZING THE PRODUCT FOR THE APPROPRIATE APPLICATION AND PROJECT BUILDING CODE. SUBSTITUTION REQUESTS SHALL INCLUDE CALCULATIONS THAT DEMONSTRATE THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE EQUIVALENT PERFORMANCE VALUES OF THE DESIGN BASIS PRODUCT. CONTRACTOR SHALL CONTACT MANUFACTURER'S REPRESENTATIVE (800-999-5099) FOR PRODUCT INSTALLATION TRAINING AND A LETTER SHALL BE SUBMITTED TO THE EOR INDICATING TRAINING HAS TAKEN PLACE. REFER TO THE BUILDING CODE AND/OR EVALUATION REPORT FOR SPECIAL INSPECTIONS AND PROOF LOAD REQUIREMENTS.

1. FOR ANCHORING INTO CRACKED AND UNCRACKED CONCRETE
- A. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ACI 308.2 AND/OR ICC-ES AC109 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "STRONG-BOLT 2" (ICC-ES ESR-3037)
- ii. SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-2713)
- iii. SIMPSON STRONG-TIE "TORQ-CUT" (ICC-ES ESR-2705)
- iv. SIMPSON STRONG-TIE "TITEN-HD ROD HANGER" (ICC-ES ESR-2713)
2. FOR ANCHORING INTO UNCRACKED CONCRETE
- A. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH FACTORY MUTUAL AND UNDERWRITERS LABORATORIES STANDARDS AND MEET THE APPROPRIATE FEDERAL SPECIFICATIONS REQUIREMENTS. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "SLEEVE-ALL" (FEDERAL SPECIFICATION A-A-1922A)
- ii. SIMPSON STRONG-TIE "DROP-IN" (FEDERAL SPECIFICATION A-A-56616, TYPE 1)
3. FOR CAST-IN-PLACE INSERTS IN CONCRETE
- A. CAST-IN-PLACE INSERTS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH FACTOR MUTUAL AND UNDERWRITERS LABORATORIES STANDARDS. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "BLUE BANGER HANGER" (UL STANDARD 2043, 2ND EDITION)
4. FOR ANCHORING INTO GROUT-FILLED CONCRETE MASONRY UNITS
- A. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC108 OR ICC-ES AC106. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "STRONG-BOLT 2" (IAPMO-UBS ESR-2400)
- ii. SIMPSON STRONG-TIE "WEDGE-ALL" (ICC-ES ESR-1396)
- iii. SIMPSON STRONG-TIE "TITEN-HD" (ICC-ES ESR-1056)
- iv. SIMPSON STRONG-TIE "SLEEVE-ALL" (FEDERAL SPECIFICATION A-A-1922A)
5. FOR ANCHORING INTO HOLLOW CONCRETE MASONRY UNITS
- A. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106 FOR PERFORMANCE IN HOLLOW CONCRETE MASONRY. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "TITEN HD"
6. FOR ANCHORING LOW VELOCITY FASTENERS, THREADED STUDS AND FASTENERS INTO CONCRETE MASONRY AND STEEL
- A. POWDER-ACTUATED FASTENERS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "POWDER ACTUATED PINS" (ICC-ES ESR-2136)
- B. GAS-ACTUATED FASTENERS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC70. PRE-APPROVED PRODUCTS INCLUDE:
- i. SIMPSON STRONG-TIE "GAS ACTUATED PINS" (ICC-ES ESR-2011)

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL SHALL BE DESIGNED, DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) SPECIFICATIONS.
2. ALL TUBE COLUMNS SHALL CONFORM TO ASTM A-500, GRADE B (Fy=46 KSI). ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A-53, GRADE B (Fy=35 KSI). ALL OTHER STEEL SHALL CONFORM TO ASTM A-36 (Fy= 36 KSI).
3. ALL ERECTION BOLTS SHALL BE ASTM A-307. ALL PERMANENT BOLTS SHALL BE ASTM A-325 UNLESS OTHERWISE SHOWN OR NOTED. FURNISH HARDENED WASHERS AT ALL BOLTED CONNECTIONS, INCLUDING ANCHOR BOLTS.
4. ALL BEAMS AND COLUMNS SHALL BE FULL LENGTH WITHOUT SPLICES UNLESS OTHERWISE INDICATED ON PLANS.
5. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR VERIFICATION OF ALL BOLTS, BLOCKING ANCHORS, ETC., FOR THE ANCHORAGE OF THEIR RESPECTIVE ITEMS.
6. ALL SHOP AND FIELD WELDS SHALL BE MADE BY WELDERS WHO HAVE BEEN QUALIFIED AND CERTIFIED TO MAKE THE REQUIRED WELDS IN ACCORDANCE WITH THE LATEST AMERICAN WELDING SOCIETY SPECIFICATIONS A.W.S. D1.1.
7. ALL WELDS SHALL BE PERFORMED USING E70 ELECTRODES. ALL FILLET WELDS SHALL BE 3/16" UNLESS OTHERWISE NOTED.
8. SHOP DRAWINGS SHALL BE PREPARED FOR ALL MISCELLANEOUS STEEL ITEMS INCLUDING STAIRS AND HANDRAILS FOR REVIEW BY THE ARCHITECT AND ENGINEER. CALCULATIONS SHALL BE SUBMITTED WITH THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS.
9. ALL STRUCTURAL STEEL, EXCEPT EMBEDDED ITEMS, SHALL BE PAINTED WITH ONE SHOP COAT OF RUST INHIBITIVE PAINT.
10. ALL BOLTS SHALL BE TIGHTENED BY THE AISC "SNUG TIGHT" METHOD UNLESS NOTED OTHERWISE.

NAILING SCHEDULE	
CONNECTIONS	FASTENERS (COMMON NAILS)
1. JOIST TO SILL, TOP PLATE OR GIRDER, TOE NAIL	3-8D
2. 1"x6" SUBFLOOR OR LESS TO EA JOIST, FACE NAIL	2-8D
3. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16D
4. BTM. PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING	2-16D AT 16" O.C.
5. TOP OR BOTTOM PLATE TO STUD	4-8D TOE NAIL, 2-16D END NAIL
6. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS), FACE NAIL	16D AT 16" O.C.
7. DOUBLE STUDS, FACE NAIL	16D AT 24" O.C.
8. TOP PLATE TO TOP PLATE, FACE NAIL	16D AT 16" O.C.
9. BAND OR RIM JOIST TO JOIST, END NAIL	3-16D
10. DOUBLE TOP PLATE SPLICE, MINIMUM 24-INCH LAP SPLICE LENGTH EACH SIDE OF JOINT, FACE NAIL ON EACH SIDE OF END JOINT	12-16D
11. BLOCKING BTWN. JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8D
12. RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE, TOE NAIL	8D AT 6" O.C.
13. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-16D
14. BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16D AT 16" O.C. ALONG EACH EDGE
15. LEDGER STRIP SUPPORTING JOIST OR RAFTERS, FACE NAIL	3-16D AT EACH JOIST OR RAFTER
16. CEILING JOIST TO TOP PLATE, TOE NAIL / JOIST	3-8D
17. CONTINUOUS HEADER TO STUD, TOE NAIL	4-8D
18. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	3-16D
19. CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	TABLE R602.3.1 (F)
20. RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL	2-10D ONE SIDE 1-10D OTHER SIDE
21. 1" BRACE TO EA STUD AND PLATE, FACE NAIL	2-8D
22. 1"x6" SHEATHING TO EA BEARING, FACE NAIL	2-8D
23. 1"x8" SHEATHING TO EA BEARING, FACE NAIL	3-8D
24. WIDER THAN 1"x8" SHEATHING TO EA BEARING, FACE NAIL	3-8D
25. STUD TO STUD (NOT AT BRACED WALL PANELS), FACE NAIL	16D @ 24" O.C.
26. BUILT-UP GIRDERS AND BEAMS 2-INCH LUMBER LAYERS, FACE NAIL	20D @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED, 2-20D @ ENDS AND AT EACH SPLICE
27. 2" PLANKS, EACH BEARING	2-16D
28. ROOF RAFTER TO RIDGE, VALLEY, OR HIP RAFTERS OR ROOF RAFTER TO MIN. 2" RIDGE BEAM	3-10D, TOE NAIL/ 2-16D, END NAIL
29. BRIDGING TO JOIST, TOE NAIL EACH END	2-10D
30. COLLAR TIE TO RAFTER, FACE NAIL	3-10D

2015 IRC NAILING SCHEDULE



CLARK | RICHARDSON  
ARCHITECTS

PROJECT:

NEWTON RESIDENCE  
RENOVATION & ADDITION  
1701 NEWTON ST.  
AUSTIN, TX 78704

ARCHITECT:

CLARK | RICHARDSON LLC  
618 LAVACA, SUITE #7  
AUSTIN, TX 78701  
CONTACT: EDWARD RICHARDSON  
512-529-9047  
ed@clarkrichardson.com

GENERAL CONTRACTOR:

STRUCTURAL:

ARCH CONSULTING ENGINEERS, P.L.  
T.B.P.E. # F-9361  
510 SOUTH CONGRESS  
SUITE B-100  
AUSTIN, TEXAS 78704  
CONTACT: JUSTIN BILLODEAU, P.E.  
512-328-5353  
justinb@archcoe.net

ENGINEER'S SEAL:



THE SEAL APPEARING ON THIS DOCUMENT  
WAS AUTHORIZED BY JUSTIN T. BILLODEAU  
(TX P.E. #94751) ON JULY 30, 2018.

SCALE: 22x34: 1/4" = 1'-0" 11x17: 1/8" = 1'-0"	DATE: 07.30.2018
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GENERAL NOTES

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