

**CITY OF AUSTIN  
Board of Adjustment  
Decision Sheet**

**DATE:** Sept 10, 2018

**CASE NUMBER:** C16-2018-0003

\_\_\_\_\_ Brooke Bailey OUT  
 \_\_\_\_\_ William Burkhardt  
 \_\_\_\_\_ Christopher Covo  
 \_\_\_\_\_ Eric Goff  
 \_\_\_\_\_ Melissa Hawthorne  
 \_\_\_\_\_ Bryan King  
 \_\_\_\_\_ Don Leighton-Burwell  
 \_\_\_\_\_ Rahm McDaniel  
 \_\_\_\_\_ Martha Gonzalez (Alternate)  
 \_\_\_\_\_ Veronica Rivera  
 \_\_\_\_\_ James Valdez  
 \_\_\_\_\_ Michael Von Ohlen  
 \_\_\_\_\_ Kelly Blume (Alternate) (for BB)  
 \_\_\_\_\_ Pim Mayo (Alternate)

**APPLICANT:** Phil Moncada

**OWNER:** Greg Cervenka

**ADDRESS:** 1044 NORWOOD PARK BLVD Unit C-6

**VARIANCE REQUESTED:** The applicant has requested a variance(s) to Section 25-10-123(B)(3)(Expressway Corridor Sign District Regulations) to increase the maximum allowable sign height from 35 feet (required/permitted) to 50 feet (requested, existing) in order to erect a sign at this site in the Expressway Corridor Sign District within a "CH-NP", Commercial Highway Services – Neighborhood Plan zoning district. (Heritage Hills)

**BOARD'S DECISION:** BOA meeting June 11, 2018 The public hearing was closed on Board Member Brooke Bailey motion to Postpone to July 9, 2018, Board Member Eric Goff second on a 10-0 vote; POSTPONED TO July 9, 2018 (RE-NOTICE); July 9, 2018 POSTPONED TO AUGUST 13, 2018 BY APPLICANT

**RENOTICE AUG 13, 2018** The applicant has requested a variance(s) to:

A. 25-10-123(B)(3)(Expressway Corridor Sign District Regulations) to increase the maximum allowable sign height from 35 feet (required/permitted) to 50 feet (requested, existing); and to

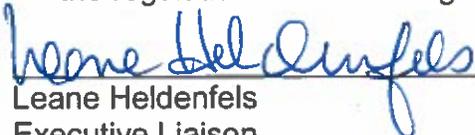
B. 25-10-103 (Signs Prohibited in all Sign Districts) (1) to permit an off-premise sign; and/or to in order to erect a sign at this site in the Expressway Corridor Sign District within a "CH-NP", Commercial Highway Services – Neighborhood Plan zoning district. (Heritage Hills)

**BOARD'S DECISION: August 13, 2018** The public hearing was closed on Board Member Eric Goff motion to Postpone to September 10, 2018, Board Member Rahm McDaniel second on a 11-0 vote; **POSTPONED TO SEPTEMBER 10, 2018. (RE-NOTICE MAY BE REQUIRED); SEPT 10, 2018 POSTPONED TO OCTOBER 8, 2018 BY APPLICANT (RE-NOTICE REQUIRED)**

**EXPIRATION DATE:**

**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:  
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

  
\_\_\_\_\_  
Leane Heldenfels  
Executive Liaison

  
\_\_\_\_\_  
William Burkhardt  
Chairman

**From:** [Heldenfels, Leane](#)  
**To:** [Ramirez, Diana](#)  
**Subject:** c16-2018-0003/1044 Norwood Park Blvd 10/8 advance packet after last/most recent decision sheet and note request to withdraw on 10/8 agenda  
**Date:** Friday, September 21, 2018 1:20:04 PM

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----- Forwarded message -----

**From:** [REDACTED]  
**Date:** Thu, Sep 13, 2018 at 10:06 AM  
**Subject:** Re: 13 of 16 possible items on the 10/8 Board of Adjustment Agenda, with 5 New Business Items for Board discussion  
**To:** [REDACTED]  
**Cc:** [REDACTED]

Good Morning Greg,

We will notify Leane to withdraw our application to the Board of Adjustment associated with sign height.

Thank you and we look forward to assisting you with any future development opportunities,

Phil Moncada  
**Moncada Enterprises, LLC**  
1301 S IH 35 Ste. 204  
Austin, TX 78741  
512.627.8815 (c)  
512.474.7377(o)

On Thu, Sep 13, 2018 at 8:28 AM Greg Cervenka <[REDACTED]> wrote:

We no longer want to pursue the variance. We are just going to put up the 35 foot sign.

**CITY OF AUSTIN  
Board of Adjustment  
Decision Sheet**

**DATE: August 13, 2018**

**CASE NUMBER: C16-2018-0003**

Y \_\_\_ Brooke Bailey  
 Y \_\_\_ William Burkhardt  
 Y \_\_\_ Christopher Covo  
 Y \_\_\_ Eric Golf  
 Y \_\_\_ Melissa Hawthorne  
 Y \_\_\_ Bryan King  
 Y \_\_\_ Don Leighton-Burwell  
 Y \_\_\_ Rahm McDaniel  
 - \_\_\_ Martha Gonzalez (Alternate)  
 Y \_\_\_ Veronica Rivera  
 Y \_\_\_ James Valdez  
 Y \_\_\_ Michael Von Ohlen  
 - \_\_\_ Kelly Blume (Alternate)  
 - \_\_\_ Pim Mayo (Alternate)

**APPLICANT: Phil Moncada**

**OWNER: Greg Cervenka**

**ADDRESS: 1044 NORWOOD PARK BLVD Unit C-6**

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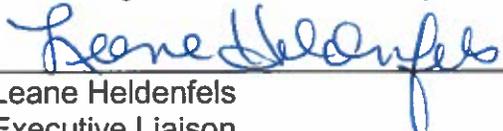
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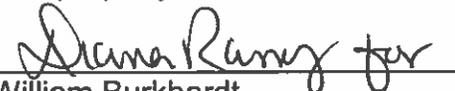
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(RE-NOTICE MAY BE REQUIRED)

**EXPIRATION DATE:**

**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:  
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

  
\_\_\_\_\_  
Leane Heldenfels  
Executive Liaison

  
\_\_\_\_\_  
William Burkhardt  
Chairman

**CITY OF AUSTIN  
Board of Adjustment  
Decision Sheet**

**DATE: JULY 9, 2018**

**CASE NUMBER: C16-2018-0003**

\_\_\_\_\_ Brooke Bailey  
 \_\_\_\_\_ William Burkhardt  
 \_\_\_\_\_ Christopher Covo  
 \_\_\_\_\_ Eric Goff  
 \_\_\_\_\_ Melissa Hawthorne  
 \_\_\_\_\_ Bryan King  
 \_\_\_\_\_ Don Leighton-Burwell  
 \_\_\_\_\_ Rahm McDaniel OUT  
 \_\_\_\_\_ Martha Gonzalez (Alternate)  
 \_\_\_\_\_ Veronica Rivera  
 \_\_\_\_\_ James Valdez  
 \_\_\_\_\_ Michael Von Ohlen  
 \_\_\_\_\_ Kelly Blume (Alternate)  
 \_\_\_\_\_ Pim Mayo (Alternate)

**APPLICANT: Phil Moncada**

**OWNER: Greg Cervenka**

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**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
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**CITY OF AUSTIN  
Board of Adjustment  
Decision Sheet**

**DATE: June 11, 2018**

**CASE NUMBER: C16-2018-0003**

Y  Brooke Bailey  
 Y  William Burkhardt  
 Y  Christopher Covo  
 Y  Eric Goff  
 -  Melissa Hawthorne OUT  
 Y  Bryan King  
 Y  Don Leighton-Burwell  
 -  Rahm McDaniel OUT  
 -  Martha Gonzalez (Alternate) OUT  
 Y  Veronica Rivera  
 Y  James Valdez  
 Y  Michael Von Ohlen  
 Y  Kelly Blume (Alternate)  
 -  Pim Mayo (Alternate) OUT

**APPLICANT: Phil Moncada**

**OWNER: Greg Cervenka**

**ADDRESS: 1044 NORWOOD PARK BLVD Unit C-6**

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3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

**From:** [REDACTED]  
**To:** [Heldenfels, Leane](#)  
**Subject:** Re: Can request postpone NORwood/Wal Mart today to the 8/13 hearing and I can re-send corrected notice for the 8/13 hearing instead - if you'd like  
**Date:** Monday, June 25, 2018 1:58:18 PM  
**Attachments:** [image001.png](#)

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Leane,

Can we postpone this so we can get more time.

Thank you,

Phil Moncada

Phil Moncada  
**Moncada Enterprises, LLC**  
1301 S IH 35 Ste. 204  
Austin, TX 78741  
512.627.8815 (c)  
512.474.7377(o)

On Mon, Jun 25, 2018 at 12:10 PM, Heldenfels, Leane <[Leane.Heldenfels@austintexas.gov](mailto:Leane.Heldenfels@austintexas.gov)> wrote:

FYi –

**Leane Heldenfels**

*Planner Senior – Board of Adjustment Liaison*

[City of Austin Development Services Department](#)

One Texas Center, 505 Barton Springs Road, [1st Floor](#), Development Assistance Center

Walk-in hours 9a-12p M-F

Office: 512.974.2202 Cell: 512.567.0106 (*personal, for meeting day & after hours emergency use only*)

**From:** [Heldenfels, Leane](#)  
**To:** [Ramirez, Diana](#)  
**Subject:** c16-2018-0003, 1044 Norwood Park july late back up request for postponement  
**Date:** Monday, July 09, 2018 11:36:27 AM

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**From:** [REDACTED]  
**Sent:** Monday, July 09, 2018 7:40 AM  
**To:** Heldenfels, Leane  
**Cc:** [REDACTED]  
**Subject:** 1044 Norwood Park

Good Morning Leane,

We are requesting a postponement for the above referenced address because the owner's representative is out of town and wanted to attend the meeting. In addition, he is in discussions with the property owner of that parcel regarding the location of the sign.

Thank you,

Phil Moncada  
**Moncada Enterprises, LLC**  
1301 S IH 35 Ste. 204  
Austin, TX 78741  
512.627.8815 (c)  
512.474.7377(o)

C01/10

CLOCK TOWER

NORWOOD PARK

ANDERSON

ANDERSON

ANDERSON LN

ANDERSON LN  
E ANDERSON WB TO NORWOOD

PROVIDENCE

MEADOR

BLESSING

WHEATLEY

**NOTIFICATIONS**

CASE#: C16-2018-0003  
LOCATION: 1044 Norwood Park Boulevard

 SUBJECT TRACT

 PENDING CASE

 ZONING BOUNDARY



1" = 225'

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Board of Adjustment Sign Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, click here to Save the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. All information is required (if applicable).

For Office Use Only

Case # C16-2018-0003 ROW # 11946473 Tax # 0231180607 TCAD ✓

Section 1: Applicant Statement

Street Address: 1044 Norwood Park Blvd.

Subdivision Legal Description:

LOT 5 LESS .2464 AC WAL-MART AT NORWOOD PARK SUBD RESUB OF LOTS 1A, 1B & 1C & LOT 2 REPLAT OF NORWOOD PARK

Lot(s): Block(s):

Outlot: Division:

Zoning District: CH-NP (Heritage Hills)

Sign District:

I/We Phil Moncada on behalf of myself/ourselves as

authorized agent for Norwood Park Association, Inc affirm that on

Month April, Day 25, Year 2018, hereby apply for a hearing before the

Board of Adjustment for consideration to (select appropriate option below):

Radio buttons for Erect, Attach, Complete, Remodel, Maintain, and Other: relocate/height increase

Type of Sign: pylon

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-10

**Section 2: Variance Findings**

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. In order to grant your request for a variance, the Board must first make one or more of the findings described under 1, 2, and 3 below; the Board must then make the finding described in item 4 below. If the Board cannot make the required findings, it cannot approve a sign variance.

Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

I contend that my entitlement to the requested variance is based on the following findings:

- 1. The variance is necessary because strict enforcement of the Article prohibits any reasonable opportunity to provide adequate signs on the site, considering the unique features of the site such as dimensions, landscaping, or topography, because:

TXDOT ROW Condemnation process has already removed signage for additional ROW. In addition, existing trees and speed limit an access road, hinder view of pylon sign unless additional height is granted.

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—OR—

- 2. The granting of this variance will not have a substantially adverse impact upon neighboring properties, because:

Sign is on access and surrounded by commercial properties.

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—OR—

- 3. The granting of this variance will not substantially conflict with the stated purposes of this sign ordinance, because:

Sign was existing at this location and height increase is warranted due to line and sight associated with access road.

---

AND,

- 4. Granting a variance would not provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated, because:

This board has previously granted height increase on signs associated with trees impacting visibility for the motoring public.

---

**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: Phil Moncada Digitally signed by Phil Moncada Date: 2018.04.10:35:15 -05'00' Date: 04/19/20 18

Applicant Name (typed or printed): Phil Moncada

Applicant Mailing Address: 1301 S IH 35, Ste 204

City: Austin State: TX Zip: 78741

Phone (will be public information): (512) 627-8815

Email (optional – will be public information): [REDACTED]

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: Greg Cervenka, Boardmember Date: 4/24/18

Owner Name (typed or printed): Norwood Park Association, Inc.

Owner Mailing Address: PO Box 161150

City: Austin State: TX Zip: 78716

Phone (will be public information): (512) 485-4334

Email (optional – will be public information): \_\_\_\_\_

**Section 5: Agent Information**

Agent Name: Greg Cervenka

Agent Mailing Address: PO BOX 161150

City: Austin State: TX Zip: 78716

Phone (will be public information): (512) 485-4335

Email (optional – will be public information): \_\_\_\_\_

**SAVE**

**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant Name (typed or printed): \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: William Stantz Date: \_\_\_\_\_

Owner Name (typed or printed): Strategic Housing Finance Corporation of Travis County,  
a Texas Housing Finance Corporation

Owner Mailing Address: 502 East Highland Mall Blvd. Ste 106-B Austin, TX 78752

City: Austin State: TX Zip: 78752

Phone (will be public information): 502-931-5795

Email (optional – will be public information): \_\_\_\_\_

**Section 5: Agent Information**

Agent Name: \_\_\_\_\_

Agent Mailing Address: \_\_\_\_\_

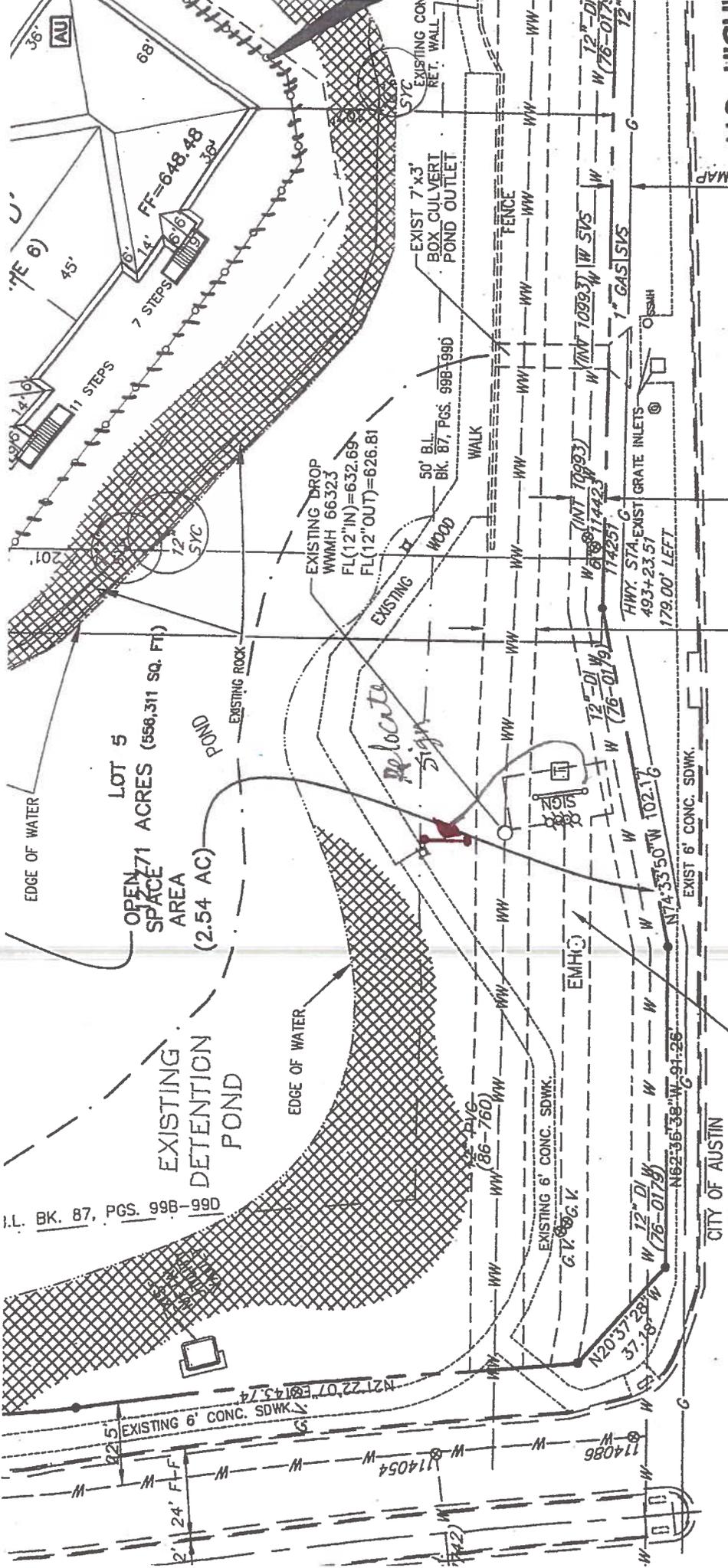
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_



C01/15



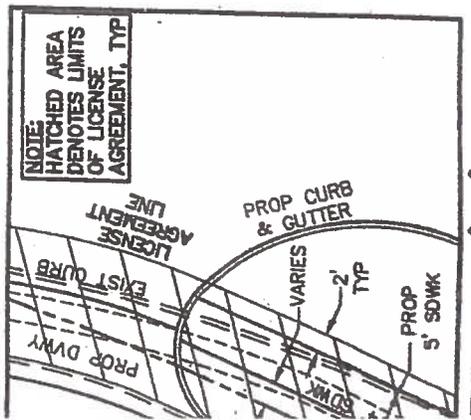
U.S. HIGH! (R.O.W. V

PARKING PROVIDED

FULL SIZED	329
COMPACT	137
HANDICAPPED	14
TOTAL	480

PARKING REQUIRED

UNIT	NUMBER	PARKING REQUIREMENT	TOTAL SPACES REQUIRED
1 BEDROOM	36	1.5 SPACES PER UNIT	54
2 BEDROOM	108	2.0 SPACES PER UNIT	216
3 BEDROOM	84	2.5 SPACES PER UNIT	210
TOTAL			480



DETAIL 'A'

SCALE: 1"=20'



April 19, 2018

## Structural Calculations

Prepared For:

Facility Solutions Group  
10212 Metric Blvd.  
Austin, TX. 78758

Project:

JTS\_74218  
Norwood Assn – Pylon A  
1030 Norwood Park Blvd.  
Austin, TX

Prepared By:

YJ Inc.  
P.O. Box 802050  
Santa Clarita, CA 91380



APR 19 2018

YJ Inc.  
F-19272

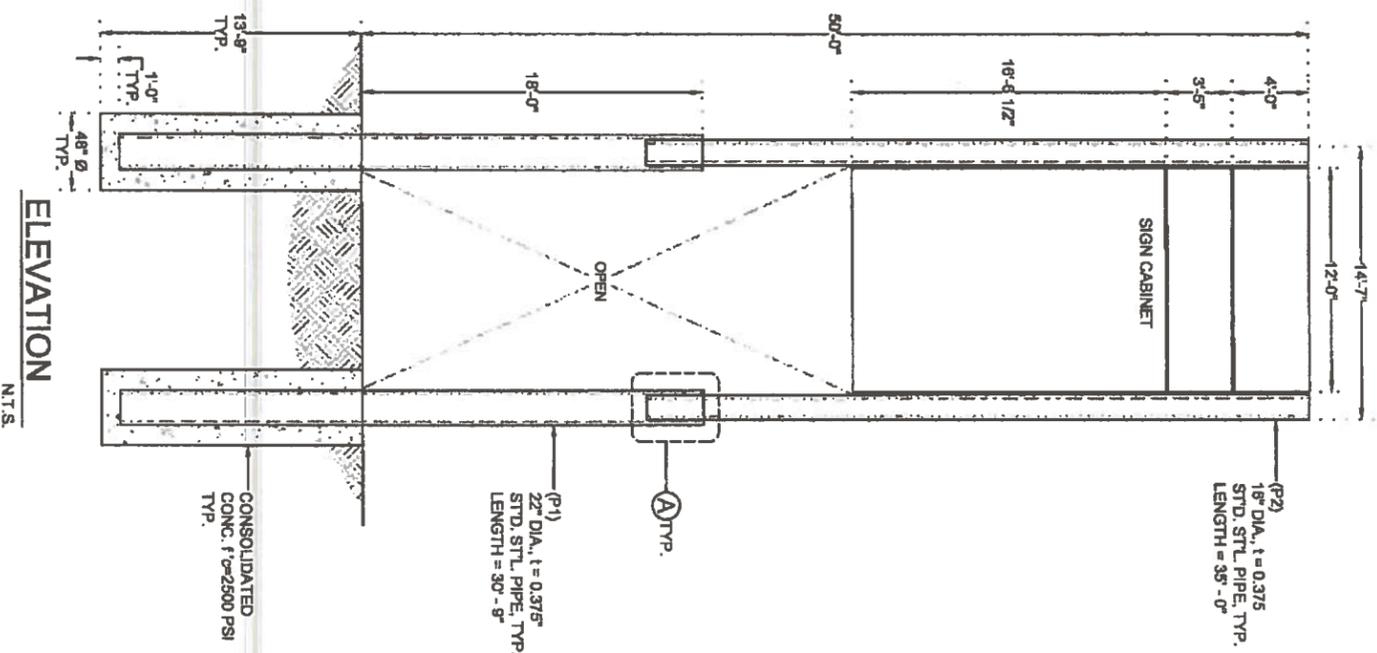


Y.J. Inc.  
F-192772

www.yjinc.com  
P.O. BOX 802650  
SANTA CLARITA, CA. 91380  
TEL: (661)259-0700 FAX: (661)259-0900

SHEET TITLE:

**NORWOOD ASSN  
PYLON A**



**ELEVATION**  
N.T.S.

**NOTES:**

- GENERAL:**
- SIGN DESIGN IS BASED ON ADEQUATE EXISTING SUPPORT ELEMENTS.
  - PROVIDE ISOLATION OF DISSIMILAR MATERIALS.
  - COAT ALUMINUM IN CONTACT WITH CONCRETE WITH ZINC RICH PAINT.
  - THERE IS NO PROTECTION ZONE AS DENIED IN AISC 341-10.
  - PROVIDE FULLY WELDED END CAPS AT EXPOSED OPEN ENDS OF STEEL / ALUM. TUBES. MATCH THICKNESS LIKE FOR LIKE.
  - CABINETS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS
  - SLOPE TOP OF EXPOSED FOOTING AWAY FROM DIRECT BURIAL POSTS
- ANCHORS:**
- BRAND NAME APPROVED POST INSTALLED ANCHORS SPECIFIED ON PLANS MAY BE SUBSTITUTED BY APPROVED EQUAL

**STEEL:**

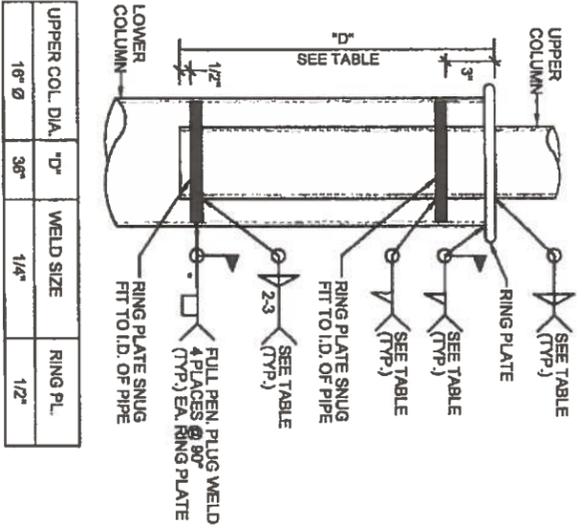
- DESIGN AND FABRICATION ACCORDING TO 2015 IBC
- PLATE, ANGLE, CHANNEL, TEE AND WIDE FLANGE: ASTM A36
  - ROUND PIPE: ASTM A53 GRADE B OR EQUIVALENT.
  - HSS ROUND, SQUARE AND RECTANGULAR TUBE: ASTM A500 GRADE B OR EQUIVALENT
  - ALL ANCHORS BOLTS SHOULD BE: ASTM F1554
  - ALL STEEL MACHINED BOLTS SHOULD BE: ASTM A307
  - ALL STAINLESS STEEL MACHINED BOLTS SHOULD BE: ASTM F959
  - ZINC COATED (HOT DIPPED) PER: ASTM A753 OR F2326
  - BEARING TYPE CONNECTION REINFORCING REBAR: ASTM A615 GRADE 80 DEFORMED BARS
- ALUMINUM:**
- DESIGN AND FABRICATION ACCORDING TO 2015 ALUM. DESIGN MANUAL
- PLATES, ANGLES, CHANNELS, TEE AND SQUARE TUBING: ALUMINUM ALLOY 6061-T6 WITH 0.088 LBS PER CUBIC INCH.

**WELDING:**

- DESIGN AND FABRICATION ACCORDING TO AWS D1.1.
- AMS CERTIFICATION REQUIRED FOR ALL STRUCTURAL WELDERS.
  - WELDING PER AISC 341-10
  - E70 XX ELECTRODE FOR SMAW PROCESS.
  - E70S XX ELECTRODE FOR GMAW PROCESS.
  - E70T XX ELECTRODE FOR FCAW PROCESS.
  - ALL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY VNOTCH TOUGHNESS OF 20FT-LB AT ZERO ° AS DETERMINED BY THE APPROPRIATE AWS AS CLASSIFICATION TEST METHOD OR MFGS. CERTIFICATION.

**CONCRETE:**

- DESIGN AND CONSTRUCTION ACCORDING TO ACI 318-14
- COMPRESSIVE STRENGTH AT 28 DAYS,  $f'_c=2500$  PSI
  - MINIMUM
  - CEMENT TYPE II OR IV, W/C RATIO 0.45 BY WEIGHT FOR PIER AND CAISSON FOOTINGS
  - CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH.
  - MAINTAIN A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL
- SOIL:**
- LATERAL SOIL BEARING PER IBC CLASS 5 TABLE 1806.2 (100 PSF/FT)



**STEP DOWN**  
N.T.S.

UPPER COL. DIA. "D"	WELD SIZE	RING PL.
18" Ø	1/4"	1/2"

\*LENGTH OF PLUG WELDS TO BE 1/8 OF LOWER COLUMN DIA., MINIMUM 1/2"

\*SPECIAL INSPECTION REQUIRED FOR FIELD WELD

**Sign Design Based on 2015 IBC**

Job #	JTS_74218	Project	Norwood Assn - Pylon A
Job Location	1030 Norwood Park Blvd. Austin, TX	Job Location	Austin, TX
INPUT DATA			
Exposure category (B, C or D)		C	
Risk Category		II	
Basic wind speed (3 sec. gust wind)	V = 115 mph		
Topographic factor	K <sub>t</sub> = 1		
Height of the sign	h = 50 ft		
Vertical dimension (for wall, s = h)	B = 79.86 ft		
Horizontal dimension	L = 14.25 ft		
Dimension of return corner	L = 1 ft		
ANALYSIS			
Velocity pressure	q <sub>s</sub> = 0.00268 K <sub>t</sub> K <sub>d</sub> K <sub>e</sub> V <sup>2</sup>	31.37	psf
where:			
q <sub>s</sub> = velocity pressure at height h (Eq. 29.3-1, page 307)			
K <sub>e</sub> = velocity pressure exposure coefficient			
evaluated at height above ground level, h (Tab. 29.3-1, pg 310)			
K <sub>d</sub> = wind directionality factor. (Tab. 26.6-1, page 250)			
Wind Force Case A: resultant force through the geometric center (Sec. 28.4.1 & Fig. 28.4-1)			
Max horizontal wind pressure = $p = q_s G C_p$		48.11	psf
where: G = gust effect factor. (Sec. 26.9, page 254)			
C <sub>p</sub> = surface coefficient. (Fig. 28.4-1, page 308)			
A = B s = the gross area		426.5	ft <sup>2</sup>
Estimated sign weight		4285	Lbs
<b>Footing Design (See attached Enercalc calcs)</b>			
Unfactored Windforce, F =	48.11 x A s =	19.82	kips
Unfactored Moment = F x moment arm =		644.7	kip-ft
48 in. Dia. Depth = 13'-9"			
<b>DESIGN SUMMARY</b>			
Allowable Stress Design Wind Factor =	0.8 x p =	37.87	psf
Design Wind Pressure, F =	27.87 x A s =	11.77	kips
Design Moment = F x moment arm =		32.86	ft-k
		388.5	kip-ft
<b>Pole (P1) Design</b>			
Sec. Mod. Req'd.	USE A53 Grade B		
S =	110.52	22" Dia., t=0.375	S=126.40
<b>Pole (P2) Design</b>			
Sec. Mod. Req'd.	USE A53 Grade B		
S =	64.67	18" Dia., t=0.375	S=65.67

DRN BY: A.W.	DATE LAST REVISED: Apr 18, 2018	REV. NO.	REV. DATE	REVISED BY	PROJECT JOB #:	JTS_74218	Project Location:	Norwood Assn, Pylon A, Norwood Park Blvd, Austin, TX	SHEET #	1	OF	1
CHK BY: R.T.	PROJ. START DATE: Apr 17, 2018											
REV BY: T.J.	SCALE: AS SHOWN											

plotted by: yjinc on 4/18/2018 @ 2:00 PM

### Pole Footing Embedded in Soil

Description: Pylon A Concrete Footing

#### Code References

Calculations per IBC 2015 1807.3, CBC 2016, ASCE 7-10  
 Load Combinations Used : IBC 2015

#### General Information

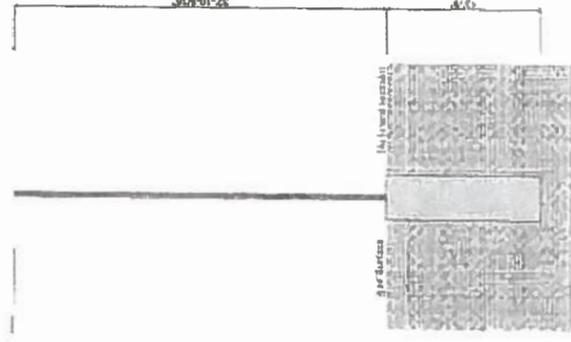
Pole Footing Shape: Circular  
 Pole Footing Diameter: 48.0 in  
 Calculate Min. Depth for Allowable Pressures  
 No Lateral Restraint at Ground Surface  
 Allow Passive: 200.0 psf  
 Max Passive: 1,500.0 psf

**Controlling Values**  
 Governing Load Combination: +D+0.60W  
 Lateral Load: 5.886 k  
 Moment: 193.414 k-ft

Pressures at 1/3 Depth  
 Actual: 910.90 psf  
 Allowable: 911.90 psf

Minimum Required Depth: 13.750 ft

Footing Base Area: 12.566 ft<sup>2</sup>  
 Maximum Soil Pressure: 0.1016 ksf



#### Applied Loads

Applied Load	Vertical Load (k)	Lateral Distributed Loads (k/ft)	Vertical Load (k)
D : Dead Load	k		1.277 k
Lr : Roof Live	k		k
L : Live	k		k
S : Snow	k		k
W : Wind	9.810 k		k
E : Earthquake	k		k
H : Lateral Earth	k		k
Load distance above ground surface	32.860 ft		
		TOP of Load above ground surface	
		BOTTOM of Load above ground surface	

#### Load Combination Results

Load Combination	Forces @ Ground Surface	Required Depth - (ft)	Pressure at 1/3 Depth	Soil Increase Factor	
	Loads - (k)	Moments - (ft-k)	Actual - (psf)	Allow - (psf)	
D Only	0.000	0.000	0.0	0.0	1.000
+D+0.60W	5.886	193.414	910.9	911.9	1.000
+D-0.60W	5.886	193.414	910.9	911.9	1.000
+D+0.450W	4.415	145.060	820.4	820.6	1.000
+D-0.450W	4.415	145.060	820.4	820.6	1.000
+0.60D+0.60W	5.886	193.414	910.9	911.9	1.000
+0.60D-0.60W	5.886	193.414	910.9	911.9	1.000
+0.60D	0.000	0.000	0.0	0.0	1.000

# 6 Pole Footing Embedded in Soil

File = Z:\VISIGN-92018\JTS-74-1 ECG  
 ENERCALC, INC 1983-2017 Build:10.17.8.29 Ver:10.17.8.29  
 Project: YJ INC.

Calculations per IBC 2015 1807.3, CBC 2016, ASCE 7-10  
 Load Combinations Used : IBC 2015

### General Information

Pole Footing Shape ..... Circular  
 Pole Footing Diameter ..... 30.0 in  
 Calculate Min. Depth for Allowable Pressures  
 No Lateral Restraint at Ground Surface  
 Allow Passive ..... 2000.0 psf  
 Max Passive ..... 1,5000.0 psf

### Controlling Values

Governing Load Combination : +D+0.80W  
 Lateral Load Moment  
 NO Ground Surface Restraint  
 Pressures at 1/3 Depth  
 Actual 905.66 psf  
 Allowable 905.76 psf

Minimum Required Depth 13.625 ft

Footing Base Area 4.809 ft<sup>2</sup>  
 Maximum Soil Pressure 0.2375 ksf



### Applied Loads

Load Type	Value (k)	Location	Vertical Load (k)
D : Dead Load	k		1.166 k
L : Roof Live	k		k
L : Live	k		k
S : Snow	k		k
W : Wind	8.010 k		k
E : Earthquake	k		k
H : Lateral Earth	k		k
Load distance above ground surface	21.630 ft	TOP of Load above ground surface	
		BOTTOM of Load above ground surface	

### Load Combination Results

Load Combination	Forces @ Ground Surface		Required Depth - (ft)	Pressure at 1/3 Depth		Soil Increase Factor
	Loads - (k)	Moments - (ft-k)		Actual - (psf)	Allow - (psf)	
D Only	0.000	0.000	0.13	0.0	0.0	1.000
+D+0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+D-0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+D+0.450W	3.605	77.965	12.25	812.2	812.6	1.000
+D-0.450W	3.605	77.965	12.25	812.2	812.6	1.000
+0.60D+0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+0.60D-0.60W	4.806	103.954	13.63	905.7	905.8	1.000
+0.80D	0.000	0.000	0.13	0.0	0.0	1.000

# Entry Monument (Removable) Proposed Signage

C16-2018-0006

Albert Morales  
For Capital Architectural Sign, Inc.  
INTEGRAL CARE  
1165 Airport Boulevard

The applicant has requested a variance(s) to Section 25-10-191 (Setback and Structural Requirements):

- A. (E) to decrease the distance a sign support more than 36 inches must be set back from the street right-of-way from at least 12 feet (required) to 0 feet (requested); and to
- B. (F) (1) to increase the height of a sign that is within 12 feet of a street right-of-way from not more than 30 inches (required, permitted) to 36 inches (requested); and to
- C. (F) (2) to decrease clearance of a sign that is within 12 feet of a street right-of-way from at least 9 feet (required) to 0 feet (requested) in order to erect a monument sign in a "CS-MU-NP", General Commercial Services – Mixed Use - Neighborhood Plan zoning district. (MLK)

**REVISED**  
27 AUGUST 18

UPDATE 27 AUGUST 2018

CAS found a solution that satisfies all utility access requirements by utilizing a removable or temporary sign closest to the property line with at least 10'-0" clearance from utilities in lieu of a permanent monument sign.



-Albert Morales 27 Aug 18

Content Developed By

# Entry Monument (Removable) Structure and Design

1. Double-sided aluminum cabinet; all copy is machine routed from face.
2. Internally illuminated white acrylic push through logo with 1/2" projection.
3. Internally illuminated address; backed with white acrylic; inset 1/8" or thickness of cabinet.

Notes:

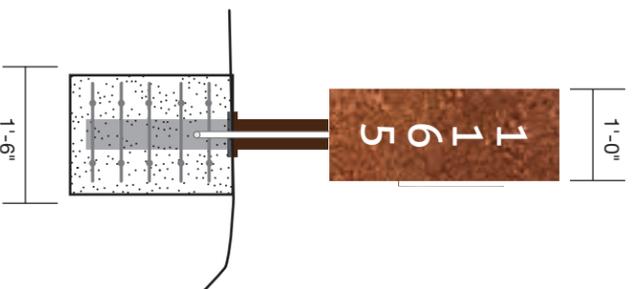
A. Concrete Foundation: 1'-6" planked concrete above grade; ~1'-0" direct embed with #4 rebar @ 12" O.C.; ~2'-0" footing with #4 rebar @ 18" O.C; T & B, each way.

B. Illumination: bright white LEDs mounted inside cabinet faces and returns; connected to power supplies others to run main electrical via conduit. Must coordinate prior to pouring of concrete form .

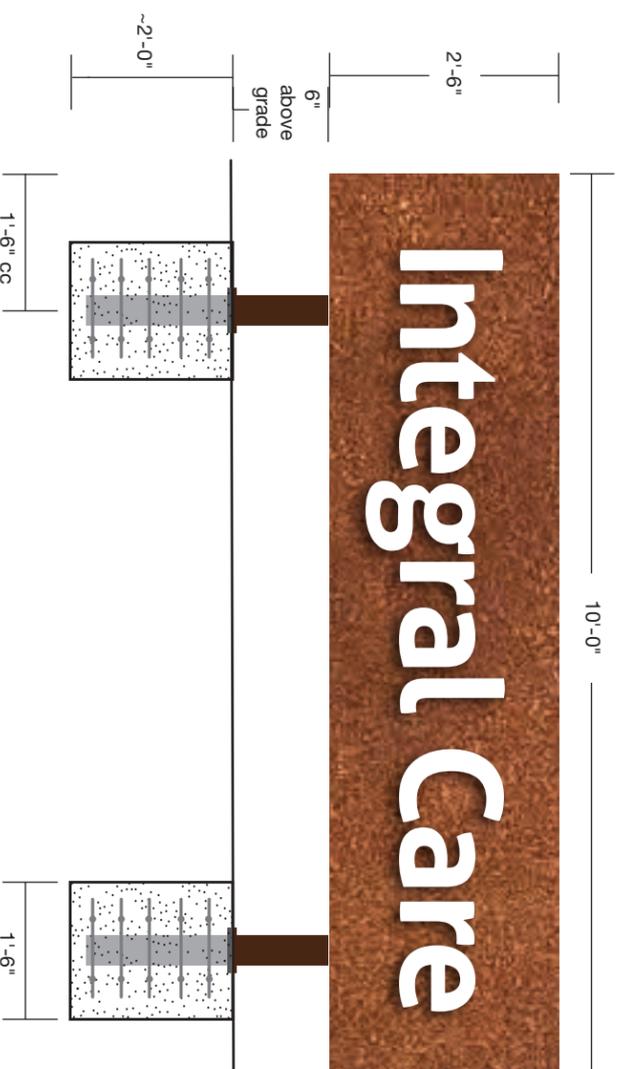
C. Finish/Color: Cabinet painted to match Weathered corten stainless steel. Logo and address numerals are white acrylic as noted in descriptions 2 and 3.



1 Reference Image  
Address Cut Outs



2 Profile Section  
Scale: 1/2"=1'-0"



3 Elevation  
Scale: 1/2"=1'-0"



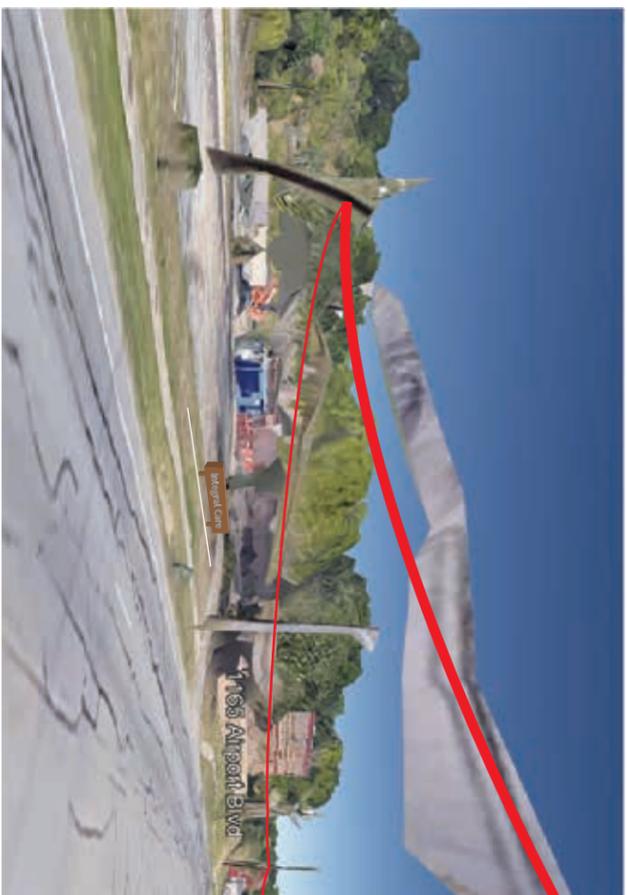
4 Reference Image  
Push Through Letters

**REVISED**  
27 AUGUST 18

	<b>CLIENT</b> Integral Care Main Office	<b>PROJECT</b> Exterior Graphics Package	<b>DRAWING TITLE</b> Entry Monument	<b>ADDITIONAL NOTES</b>	<b>DRAWN BY</b> Albert Morales	<b>FILEPATH</b>	<b>DATE</b> 11 March 2018 REV 6 June 2018 REV 23 August 2018	<b>VERSION</b> 3	<b>SHEET</b> 12
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# Entry Monument (Removable)

Intended Location (UTILITY LINES DESIGNATED IN RED)

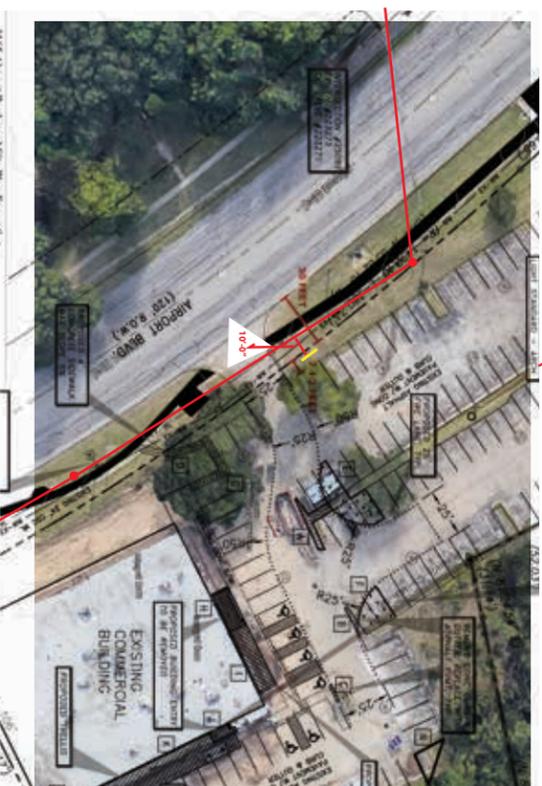
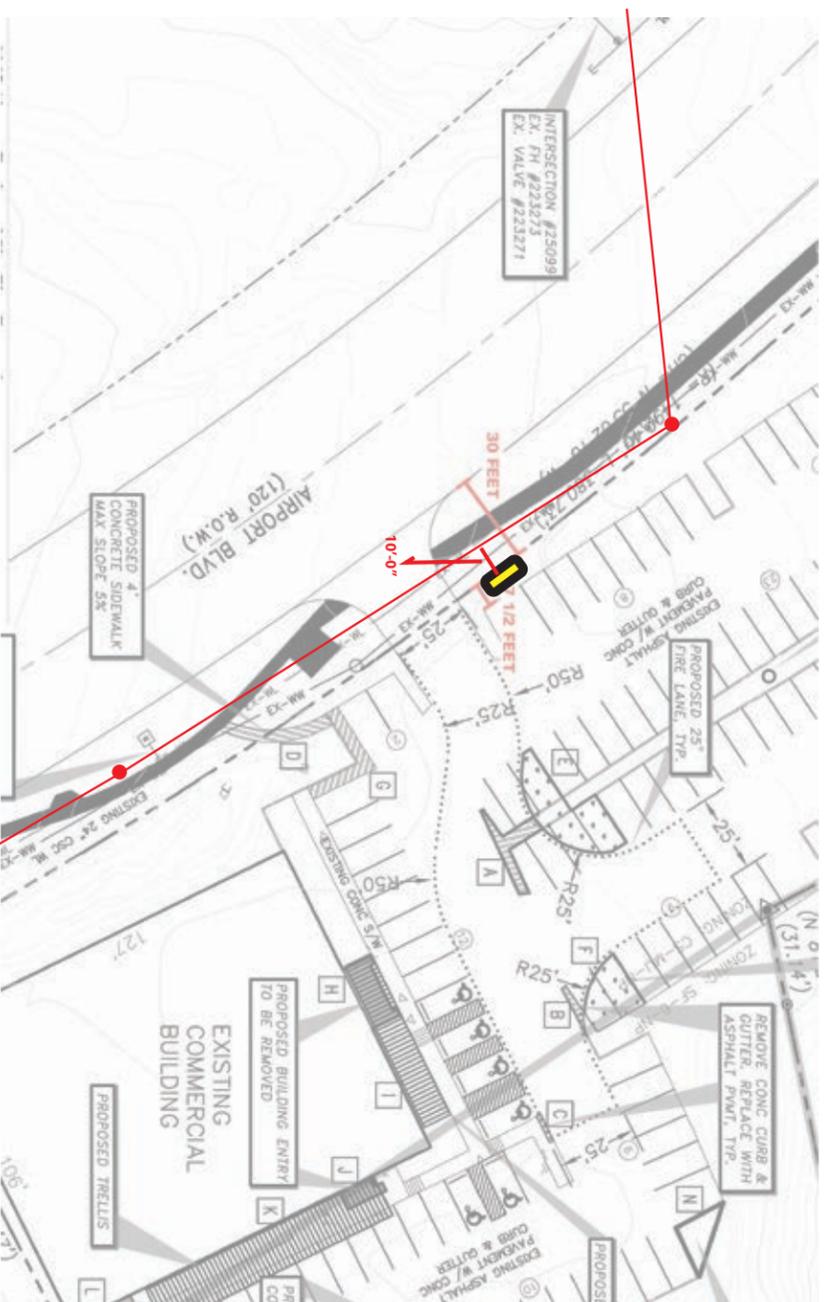


1 Photo Renderings  
Actual Scaling May Vary

**REVISED**  
27 AUGUST 18

	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 13
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# Entry Monument (Removable) Utility Locations



**REVISED**  
27 AUGUST 18



	<p><b>CLIENT</b> Integral Care Main Office</p>	<p><b>PROJECT</b> Exterior Graphics Package</p>	<p><b>DRAWING TITLE</b> Entry Monument</p>	<p><b>ADDITIONAL NOTES</b></p>	<p><b>DRAWN BY</b> Albert Morales</p>	<p><b>FILEPATH</b></p>	<p><b>DATE</b> 11 March 2018 REV 6 June 2018 REV 23 August 2018</p>	<p><b>VERSION</b> 3</p>	<p><b>SHEET</b> 13</p>
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C01/24



**Monument Signage Permit Request for  
Richard T. Hopkins Behavioral Health Building**

**October 8, 2018**

# Anne Nagelkirk

Director of Communications & Engagement

Integral Care

## About Integral Care

Integral Care supports adults and children living with:

- **mental illness**
- **substance use disorder**
- **intellectual and developmental disabilities**

We help people build health and well-being so everyone has the foundation to reach their full potential.





Founded in **1967**, we are the local mental health and intellectual and developmental disabilities for Travis County.

Last year, Integral Care served almost **26,000** people.

# Crisis Services

Integral Care offers mental health crisis support 24 hours a day, 7 days a week – on the phone and in the community. Our crisis services help people recover from a mental health crisis and rebuild their well-being.



A helpline for anyone  
who needs immediate  
emotional support



Tools and  
resources to  
prevent suicide



Teams that go  
anywhere someone  
needs help



Mental Health  
Urgent Care

# Signage for Hopkins Building



# Importance of Wayfinding Signage



- Can promote healing
- Can improve patient care and medical outcomes
- Can cause anxiety, stress and fear

# Albert Morales

Design & Project Management

Capital Architectural Signs



## Entry Monument (Removable) Structure and Design

1. Double-sided aluminum cabinet; all copy is machine routed from face.
2. Internally illuminated white acrylic push through logo with 1/2" projection.
3. Internally illuminated address; backed with white acrylic; inset 1/8" or thickness of cabinet.

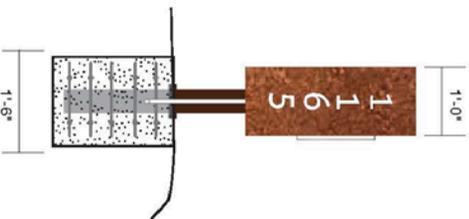
C. Finish/Color: Cabinet painted to match weathered corten stainless steel. Logo and address numerals are white acrylic as noted in descriptions 2 and 3.

- Notes:
- A. Concrete Foundation: 1'-6" planked concrete above grade; ~1'-0" direct embed with #4 rebar @ 12" O.C.; ~2'-0" footing with #4 rebar @ 18" O.C.; T & B, each way.

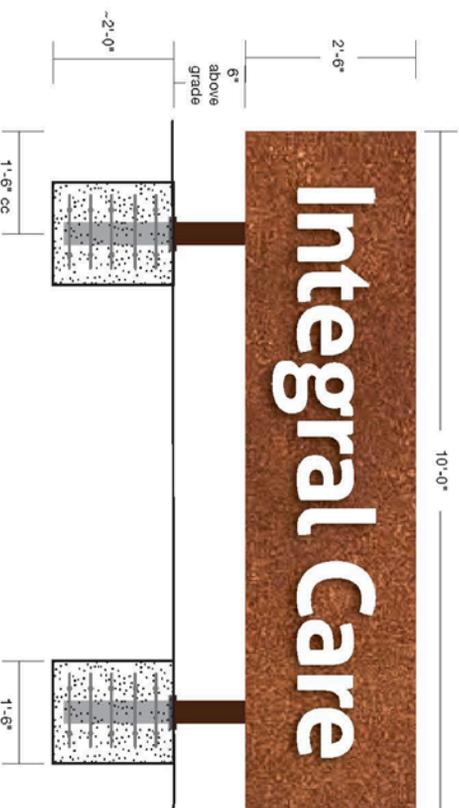
\*Corten Steel is the rust-like appearance after several years exposure to weather. A simulated finish cannot be guaranteed to exactly match this natural process.



1 Reference Image  
Address Cut Outs



2 Profile Section  
Scale: 1/2"=1'-0"



3 Elevation  
Scale: 1/2"=1'-0"



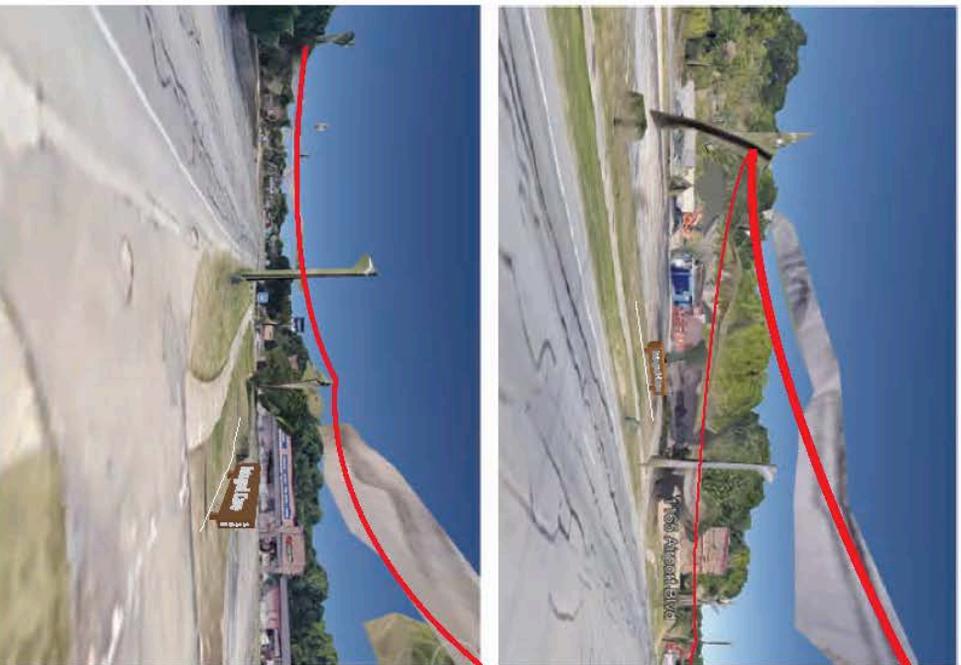
4 Reference Image  
Push Through Letters

**REVISED**  
27 AUGUST 18

	CLIENT Integral Care Main Office	PROJECT Exterior Graphics Package	DRAWING TITLE Entry Monument	ADDITIONAL NOTES	DRAWN BY Albert Morales	FILEPATH	DATE 11 March 2018 REV 6 June 2018 REV 23 August 2018	VERSION 3	SHEET 12
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# Entry Monument (Removable)

Intended Location (UTILITY LINES DESIGNATED IN RED)



1 Photo Renderings  
Actual Scaling May Vary

**REVISED**  
27 AUGUST 18



CLIENT  
Integral Care Main  
Office

PROJECT  
Exterior Graphics  
Package

DRAWING TITLE  
Entry Monument

ADDITIONAL NOTES

DRAWN BY  
Albert Morales

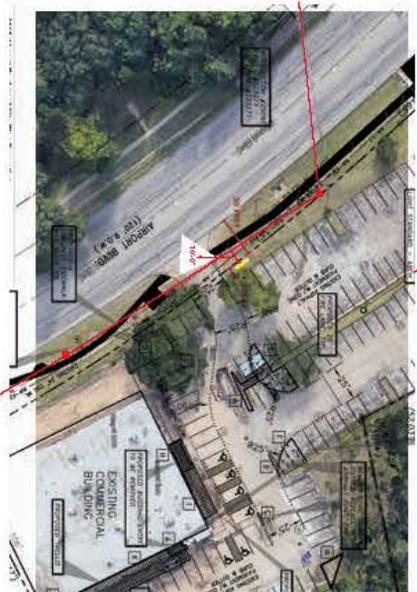
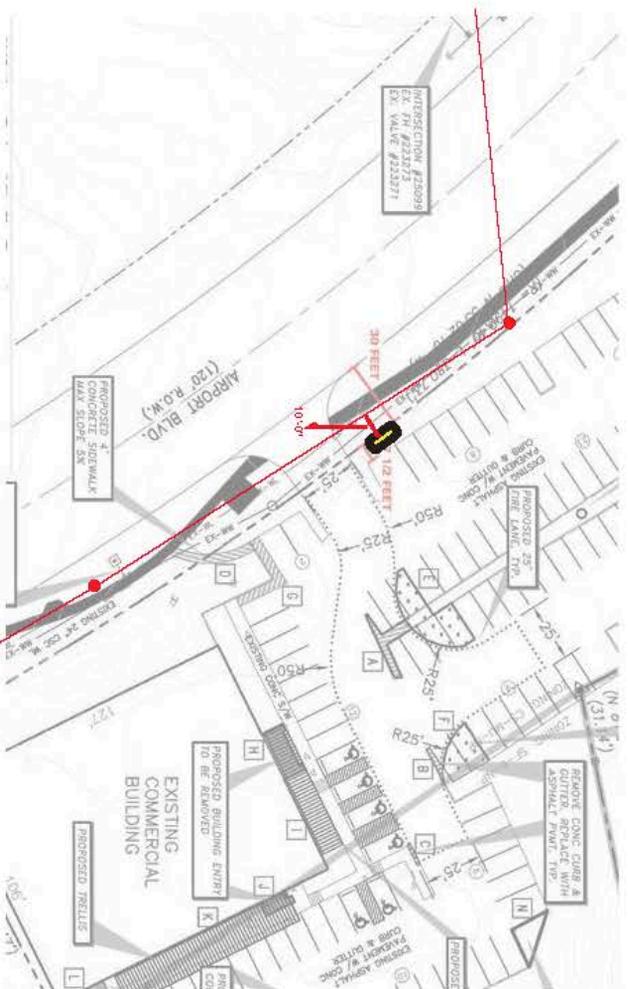
FILEPATH

DATE  
11 March 2018  
REV 6 June 2018  
REV 23 August 2018

VERSION  
3

SHEET  
13

**Entry Monument (Removable)**  
Utility Locations



**REVISED**  
27 AUGUST 18



CLIENT  
Integral Care Main  
Office

PROJECT  
Exterior Graphics  
Package

DRAWING TITLE  
Entry Monument

ADDITIONAL NOTES

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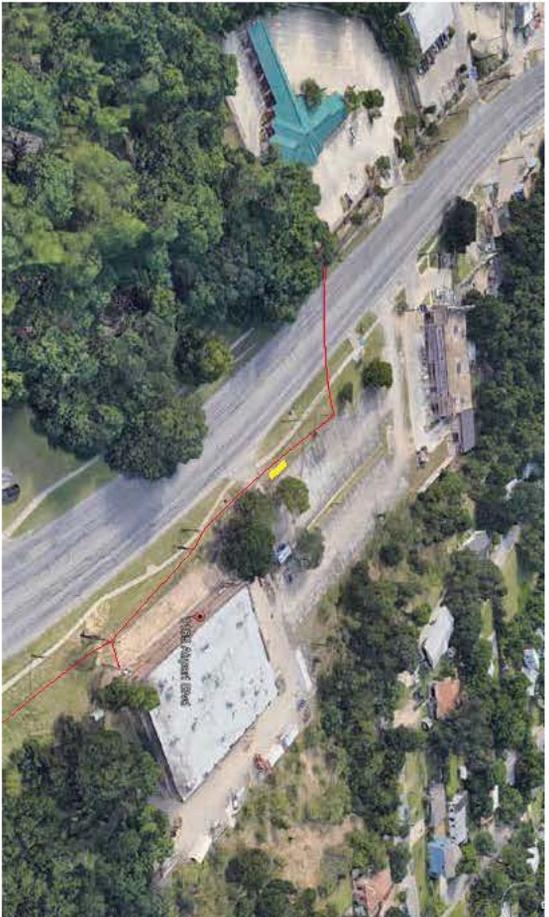
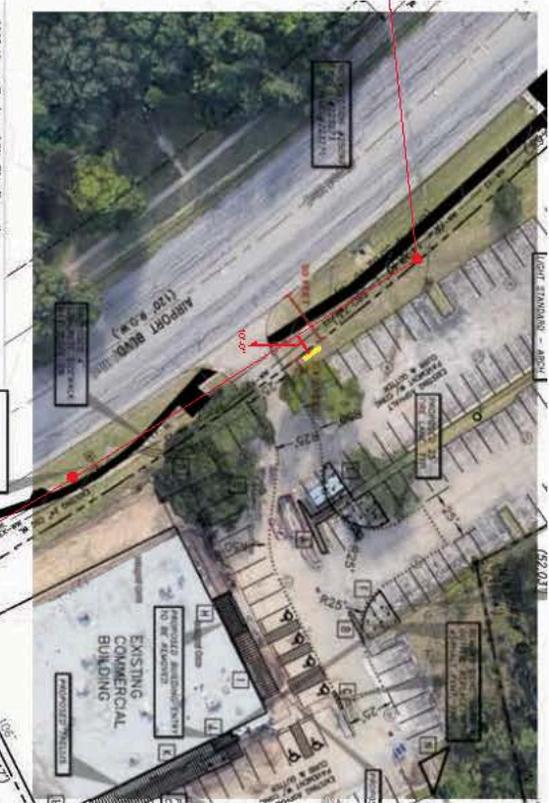
SHEET  
13

# Entry Monument Signage Surroundings

APPROVED BY  
AUSTIN ENERGY  
FOR BOA

DATE: 9/2/2018

REVIEWED  
By Erik Fekkyog at 11:07 am, Sep 05, 2018



CLIENT  
Integral Care Main  
Office

PROJECT  
Exterior Graphics  
Package

DRAWING TITLE  
Entry Monument

ADDITIONAL NOTES

DRAWN BY  
Albert Morales

FILEPATH

DATE  
11 March 2018  
REV 6 June 2018  
REV 23 August 2018

VERSION  
3

SHEET  
13

# Questions?



Thank You

