




H02/1



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

## NOTIFICATIONS

CASE#: C15-2018-0044

LOCATION: 2104 WINSTED



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 333'



## CITY OF AUSTIN

### Development Services Department

One Texas Center | Phone: 512.978.4000  
505 Barton Springs Road, Austin, Texas 78704

# H02/2

## Board of Adjustment General/Parking Variance Application

**WARNING: Filing of this appeal stops all affected construction activity.**

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

### For Office Use Only

Case # \_\_\_\_\_ ROW # \_\_\_\_\_ Tax # \_\_\_\_\_

### Section 1: Applicant Statement

Street Address: 2104 Winsted Lane TCAD 113955

Subdivision Legal Description:

Westfield A West 46ft AV of Lot 5-6 Blk 2 Steiner T C Resub LT 6-8 BL-11 Westfield A

Lot(s): 5-6/6-8

Block(s): 2

Outlot: \_\_\_\_\_

Division: Westfield A

Zoning District: West Austin Neighborhood

I/We Hector Avila on behalf of myself/ourselves as  
authorized agent for VB Endevors LLC affirm that on  
Month September, Day 6, Year 2018, hereby apply for a hearing before the  
Board of Adjustment for consideration to (select appropriate option below):

☒ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☐ Other: \_\_\_\_\_

Type of Structure: SF residence

Portion of the City of Austin Land Development Code applicant is seeking a variance from.

Minimum Lot size

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## Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

**NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.**

I contend that my entitlement to the requested variance is based on the following findings:

### Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

The lot is triangular shape and it does not create a building envelope that is concurrent to the surrounding lots

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### Hardship

a) The hardship for which the variance is requested is unique to the property in that:

There was a condemnation of the ROW in the 1970's and the lot was bisected corner to corner, leaving the remainder of the lot with a challenging triangular shape.

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b) The hardship is not general to the area in which the property is located because:

Most lots are still in their original platted configuration and this one was changed in the 1970s

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## Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The area has single family homes, this would allow this lot to have a single family home and be developed like the surrounding lots.

## Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

The zoning of SF3 will remain and a single family home will be built

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

If we are allowed to build according to current standards, offsite parking would be included in the site plan.

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

The current zoning is SF 3 and we are asking permission to construct a single family home on the property that would be like the others surrounding it.

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

It is currently SF3 and will remain the current zoning, we are just asking variance for minimum lot size.

**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Applicant Name (typed or printed): Hector Avila

Applicant Mailing Address: 1008 South Center

City: Austin State: Texas Zip: 78704

Phone (will be public information): (512) 791-0517

Email (optional – will be public information): [REDACTED]

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Name (typed or printed): VB Endevors

Owner Mailing Address: 6915 E 60

City: Odessa State: TX Zip: 79762

Phone (will be public information): \_\_\_\_\_

Email (optional – will be public information): \_\_\_\_\_

**Section 5: Agent Information**

Agent Name: Hector Avila

Agent Mailing Address: 1008 S Center

City: Austin State: TX Zip: 78704

Phone (will be public information): (512) 791-0517

Email (optional – will be public information) [REDACTED]

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

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**Section 3: Applicant Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: [Signature] Date: 9-6-18  
Applicant Name (typed or printed): Hector Avila  
Applicant Mailing Address: 1008 South Center St  
City: Austin State: Texas Zip: 78704  
Phone (will be public information): 512 791-0517  
Email (optional – will be public information): \_\_\_\_\_

**Section 4: Owner Certificate**

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: [Signature] Date: 9/4/2018 9:07:55 A  
Owner Name (typed or printed): VB Endeavors LLC  
Owner Mailing Address: 3 Bayside CT  
City: San Antonio State: Texas Zip: 78257  
Phone (will be public information): \_\_\_\_\_  
Email (optional – will be public information): \_\_\_\_\_

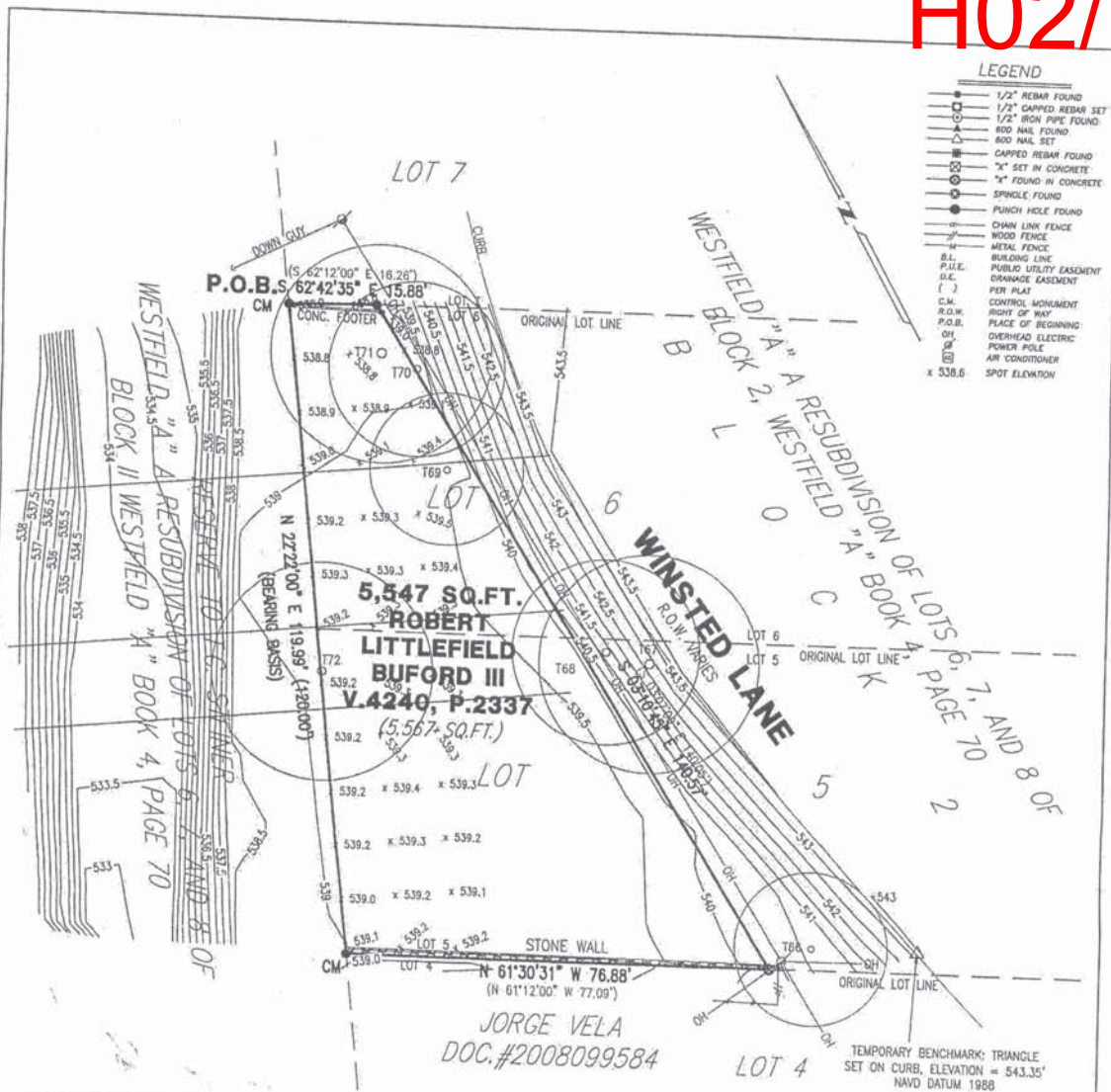
**Section 5: Agent Information**

Agent Name: Hector Avila  
Agent Mailing Address: 1008 South Center St  
City: Austin State: TX Zip: 78704  
Phone (will be public information): 512 791-0517  
Email (optional – will be public information): \_\_\_\_\_

**Section 6: Additional Space (if applicable)**

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).





TAG NO.	TREE DESCRIPTION
66	14" ELM TREE
67	20" M.S. OAK TREE
68	17" OAK TREE
69	14" ELM TREE
70	16" ELM TREE
71	20" M.S. ELM TREE
72	18" ELM TREE
M.S. = MULTI-STEM	

## TOPOGRAPHIC & TREE & BOUNDARY SURVEY

### IMPORTANT NOTICE

This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B & G SURVEYING.



*[Signature]*  
TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED

### FLOOD CERTIFICATION

THIS AREA IS DEPICTED AS BEING IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP 04454, DATED 09/26/06. IT IS REPRESENTED AS IN ZONE "X". HOWEVER, AT THE PRESENT TIME, NO ELEVATIONS, DRAINAGE, OR FLOOD STUDIES HAVE BEEN PERFORMED AND INFORMATION IS BASED SOLELY UPON SAID MAP. THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY AS TO ANY INFORMATION PROVIDED SAID MAP AND DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE OF FLOOD DAMAGE. FOR FURTHER INFORMATION CONTACT YOUR FLOOD PLAN ADMINISTRATOR.

FIELD NOTES DESCRIBING 5647 SQUARE FEET OF LAND MORE OR LESS BEING OUT OF A PORTION OF LOTS 6 AND 8, BLOCK 2 OF THE RESUBDIVISION OF LOTS 6, 7, AND 8, BLOCK 11 OF WESTFIELD 'A', A SUBDIVISION IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, RECORDED IN BOOK 4, PAGE 70 OF THE PLAT RECORDED OF TRAVIS COUNTY, TEXAS, AND BEING THE PROPERTY CONVEYED TO ROBERT LITTLEFIELD BUFORD III BY A WARRANTY DEED RECORDED IN VOLUME 4240, PAGE 2337 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS SHOWN IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

STREET ADDRESS: WINSTED LANE CITY: AUSTIN COUNTY: TRAVIS STATE OF TEXAS  
REFERENCE NAME: ROBERT BUFORD OF ELEVATIONS CONVERTED: 03/31/16 OF TOPO DATED: 07/01/15



**B & G SURVEYING, LLC**  
FIRM REGISTRATION NO. 100363-00

WWW.BANDGSURVEY.COM  
1404 West North Loop Blvd,  
Austin, Texas 78756  
Office, 512-458-6969, Fax, 512-458-9845

JOB #: B0320716\_TA  
DATE: 06/12/14  
SCALE: 1" = 20'

FIELD WORK BY	WB	06/10/14
CALC'D BY	WB	06/12/14
DRAWN BY	AW3	06/12/14
CHECKED BY	WB/ML	06/12/14

**CITY OF AUSTIN**  
**Board of Adjustment/Sign Review Board**  
**Decision Sheet**

**DATE:** Monday, November 10, 2014

**CASE NUMBER:** C15-2014-0143

☒ Y ☐ Jeff Jack  
☒ Y ☐ Michael Von Ohlen  
☒ Y ☐ Stuart Hampton - Ricardo De Camps(out)  
☒ Y ☐ Bryan King **Motion to Grant**  
☐ - ☐ Vincent Harding (OUT)  
☒ Y ☐ Melissa Hawthorne **2<sup>nd</sup> the Motion**  
☒ Y ☐ Sallie Burchett

**APPLICANT:** Drew Tate

**OWNER:** Robert L. Buford

**ADDRESS:** 2104 WINSTED LN

**VARIANCE REQUESTED:** The applicant has requested variance(s) to Section 25-2-492 (D) (*Site Development Regulations*) to: decrease the minimum lot size from 5,750 (required) to 5,567 (requested); and to decrease the minimum front setback from 25 feet (required) to 15 feet (requested); and to decrease the minimum rear setback from 10 feet (required) to 5 feet (requested); decrease the minimum side setback from 5 feet (required) to 3 and one-half feet (requested) in order to construct a single family residence in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district. (West Austin)

The applicant has requested variance(s) to Section 25-2-492 (D) (*Site Development Regulations*) to decrease the minimum lot size from 5,750 (required) to 5,567 (requested); and to decrease the minimum front setback from 25 feet (required) to 15 feet (requested); and to decrease the minimum rear setback from 10 feet (required) to 5 feet (requested); and to decrease the minimum side setback from 5 feet (required) to 3 and one-half feet (requested); and to decrease the street side yard from 15 feet (required) to 10 feet (requested); and to increase the maximum building coverage from 40% (required) to 55% (requested); and to increase the maximum impervious coverage from 45% (required) to 65% (requested) in order to construct a single family residence in an "SF-3-NP", Family Residence – Neighborhood Plan zoning district. (West Austin)

**BOARD'S DECISION:** POSTPONED TO NOVEMBER 10, 2014 DUE TO MAIL POSTING ERROR

The applicant has requested variance(s) to Section 25-2-492 (D) (*Site Development Regulations*) to:

- A. to decrease the minimum lot size from 5,750 (required) to 5,567 (requested) and;
- B. to decrease the minimum front setback from 25 feet (required) to 15 feet (requested) and;



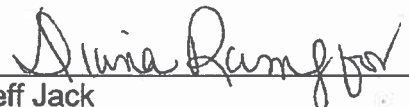
- C. to decrease the minimum rear setback from 10 feet (required) to 5 feet (requested); and;
- D. to decrease the minimum side setback from 5 feet (required) to 3 and one-half feet (requested) and;
- E. to decrease the street side yard from 15 feet (required) to 10 feet (requested) and;
- F. to increase the maximum building coverage from 40% (required) to 55% (requested) and;
- G. to increase the maximum impervious coverage from 45% (required) to 65% (requested) in order to construct a single family residence in an "SF-3-NP", Family Residence - Neighborhood Plan zoning district. (West Austin)

**The public hearing was closed on Board Member Bryan King motion to Grant only the lot size variance (A), Board Member Melissa Hawthorne second on a 6-0 vote; GRANTED ONLY THE LOT SIZE VARIANCE (A).**

**FINDING:**

1. The Zoning regulations applicable to the property do not allow for a reasonable use because: irregular triangle shape of lot creates significant impediment for use of lot
2. (a) The hardship for which the variance is requested is unique to the property in that: triangular shape part of preexisting lot to its new unique configuration  
(b) The hardship is not general to the area in which the property is located because: most lots are still in their original platted configuration
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because: size of the lot is different from the 5750, is de minimus

  
Leane Heldenfels  
Executive Liaison

  
Jeff Jack  
Chairman



## City of Austin

Founded by Congress, Republic of Texas, 1839  
Planning & Development Review Department  
One Texas Center, 505 Barton Springs Road  
P.O. Box 1088, Austin, Texas 78767

July 21, 2014

Re: Winsted Lane, Tax Parcel ID# 0114030136

Dear Mr. Drew Tate:

This letter is in regards to the land status determination application that was submitted for Winsted Lane, Tax Parcel ID#0114030136. These two lots were originally platted with the Westfield A Subdivision (see exhibit A), recorded with Travis County under book 4, page 70. Subsequent to platting, a portion of these lots was conveyed to the City of Austin for public right-of-way [ROW] under the following warranty deeds, Volume 4240, Page 2337 and a portion was conveyed to the City of Austin for the Johnson Creek (see exhibit B). There is also additional evidence by old tax plat maps dated April of 1987 that demonstrate that these tracts were in the same configuration as they are today. Condemnation of a portion of a legally platted lot for ROW does not jeopardize the legal status of the remainder, therefore the remaining portions of the two platted lots after the ROW dedication are considered legal tracts and no land status determination application is necessary.

Please let me know if you have additional questions

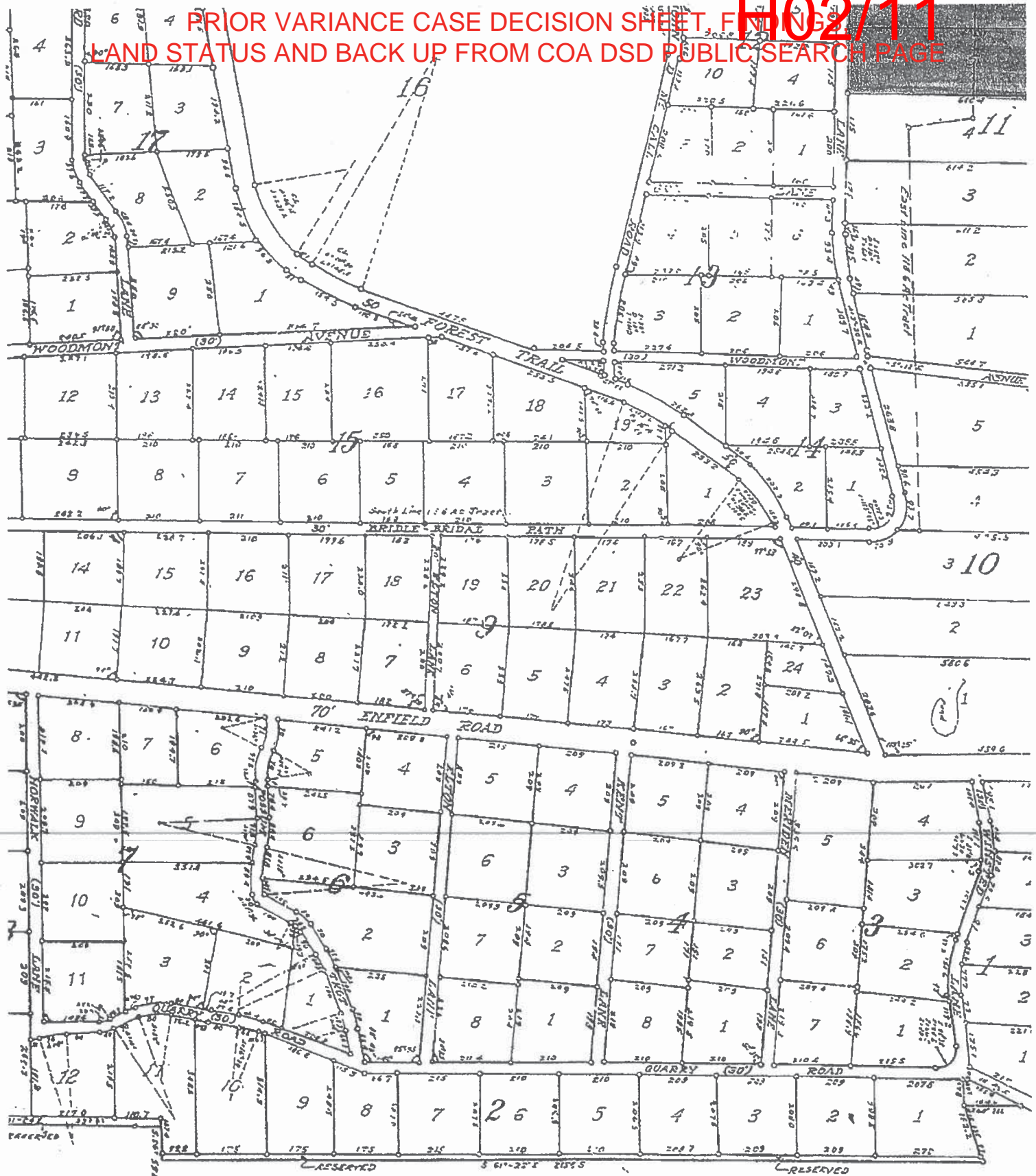
Sincerely,

Michelle R. Casillas  
City of Austin / PDR  
Development Assistance Center  
Senior Planner  
(512)974-7623 office  
(512)974-2934 fax  
[Michelle.Casillas@austintexas.gov](mailto:Michelle.Casillas@austintexas.gov)

Supervisor: Christopher Johnson  
[Christopher.Johnson@austintexas.gov](mailto:Christopher.Johnson@austintexas.gov)

PRIOR VARIANCE CASE DECISION SHEET, FINDINGS  
 LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/11



on  
 8 page 14!  
 de d'avis

MAP OF  
**WESTFIELD, A**

A SUBDIVISION BY R. NILES GRAHAM, ET AL, OF A PART OF SPEAR LEAGUE, TRAVIS COUNTY TEXAS

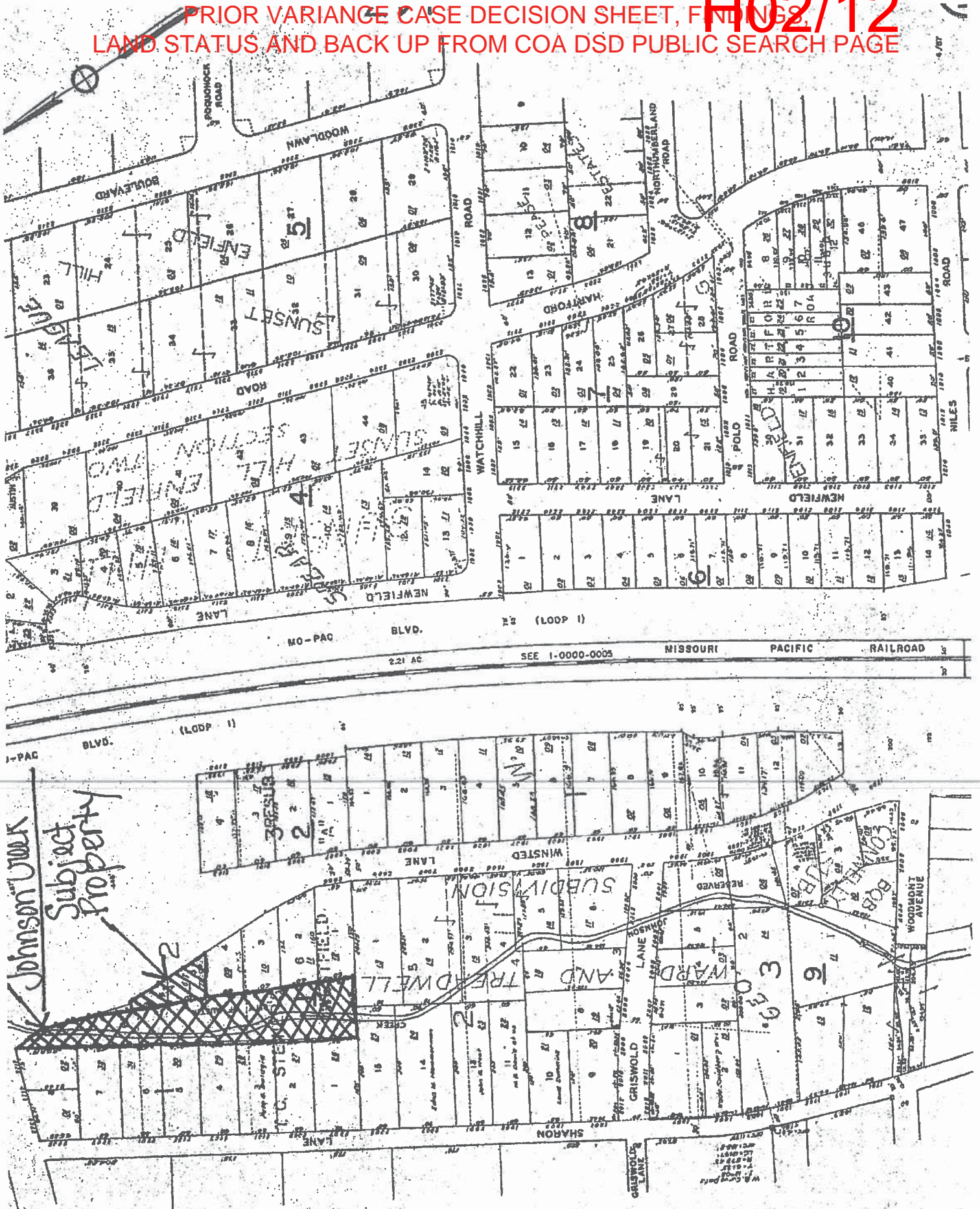
SCALE 1" = 200'  
 ENFIELD REALTY & HOME BUILDING COMPANY, AUSTIN, TEXAS  
 G. B. LANGE, SURVEYOR  
 July 1924

of Texas



PRIOR VARIANCE CASE DECISION SHEET, FINDINGS, LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/12

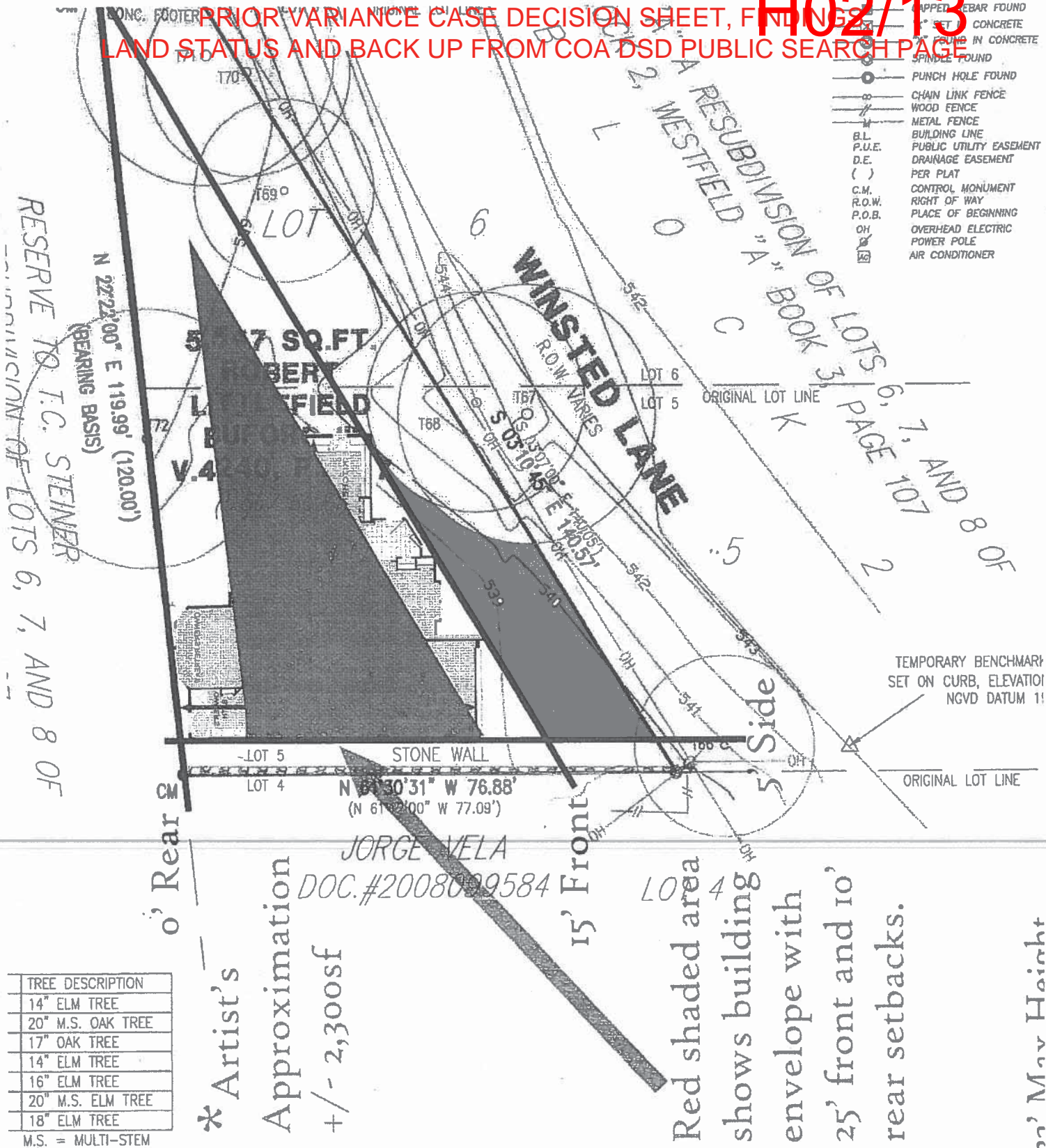


Johnson Creek  
Subject Property

155  
1504

154  
1405



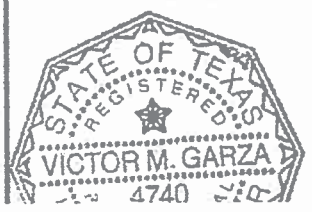


TREE DESCRIPTION
14" ELM TREE
20" M.S. OAK TREE
17" OAK TREE
14" ELM TREE
16" ELM TREE
20" M.S. ELM TREE
18" ELM TREE

M.S. = MULTI-STEM

# TOPOGRAPHIC & TREE & BOUNDARY SURVEY

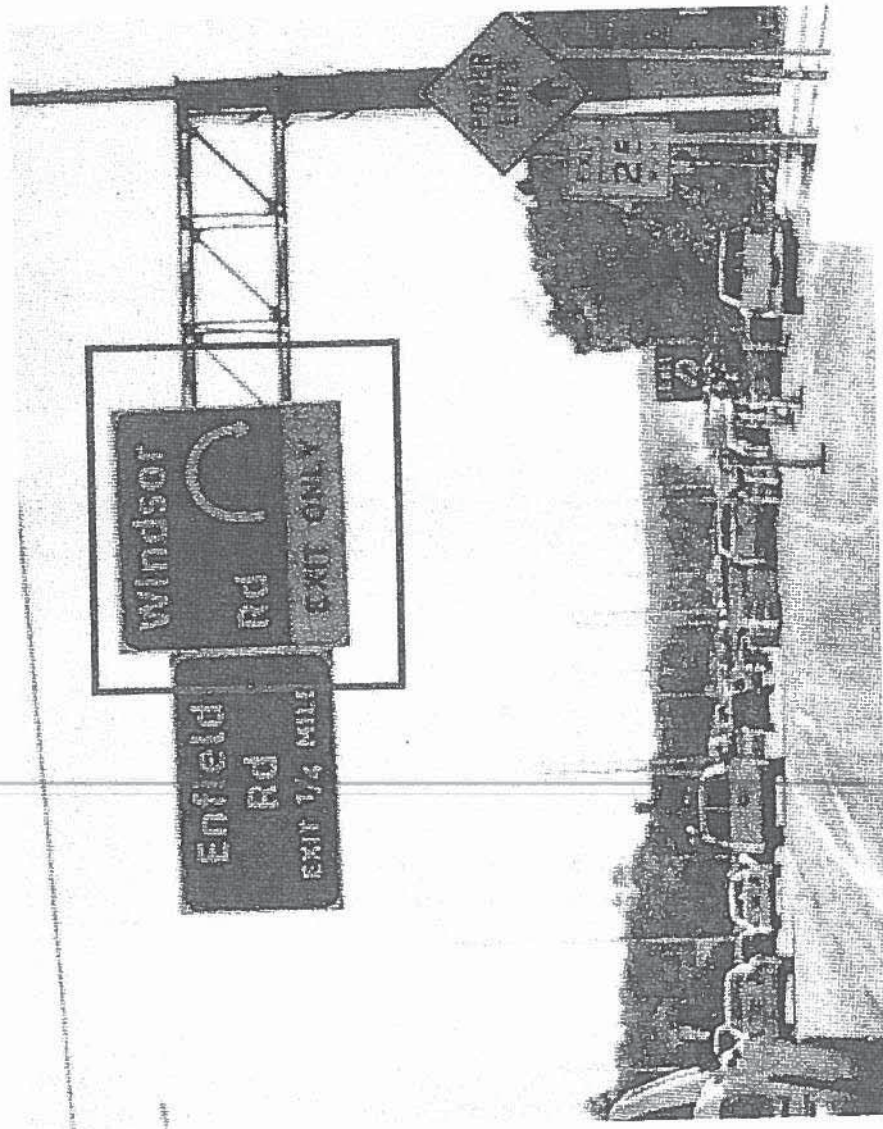
**NOTICE**  
 This survey was prepared without the benefit of a title. There may be additional setback lines, easements, and interests which are relevant to this survey but are unknown to B & G SURVEYING.



2

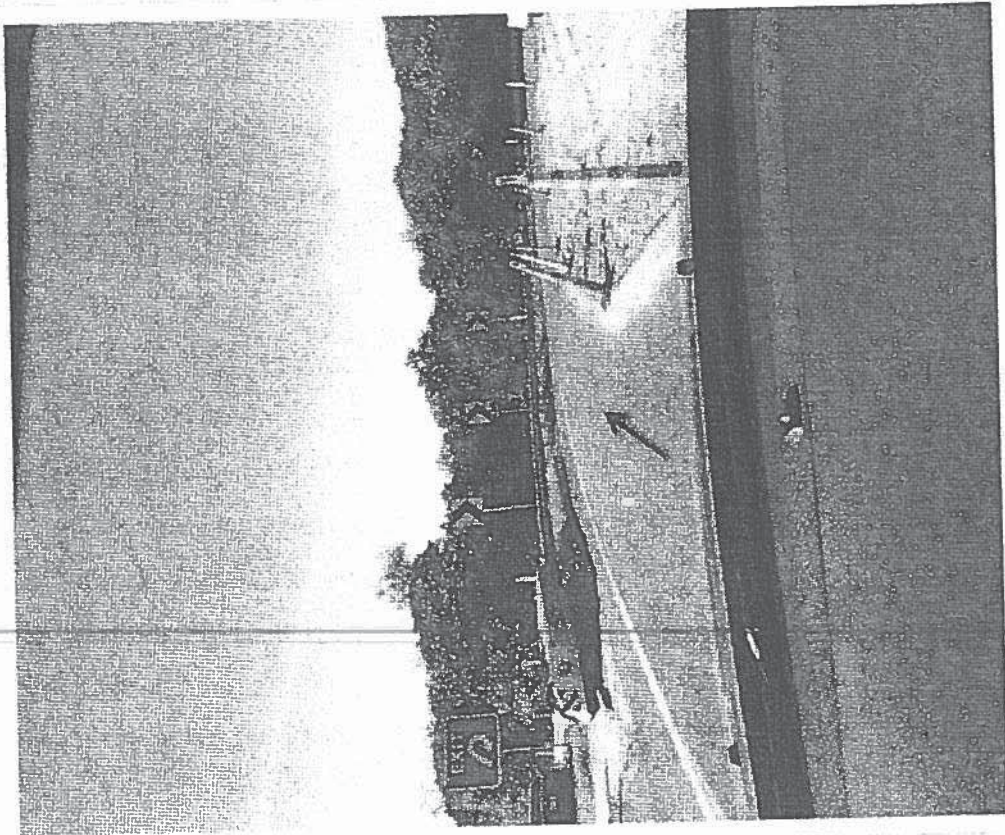


H02/14



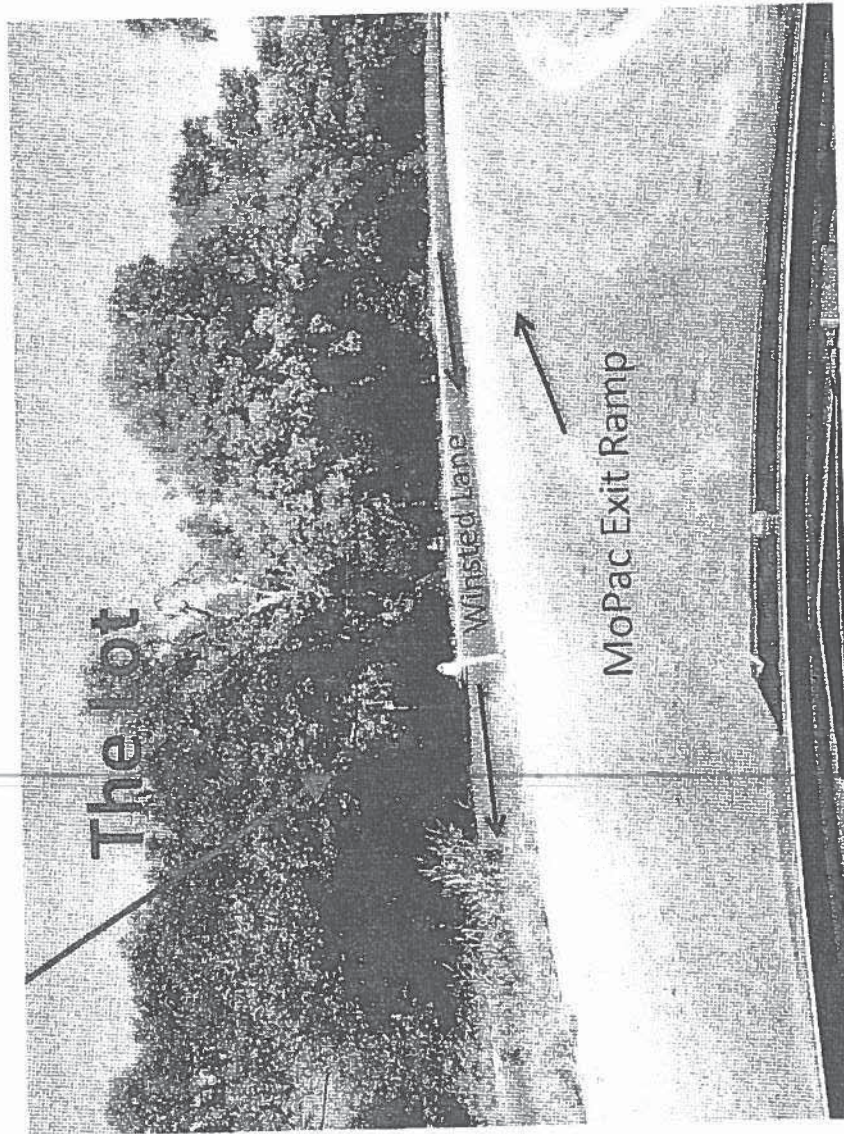
PRIOR VARIANCE CASE DECISION SHEET, FINDINGS,  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/15



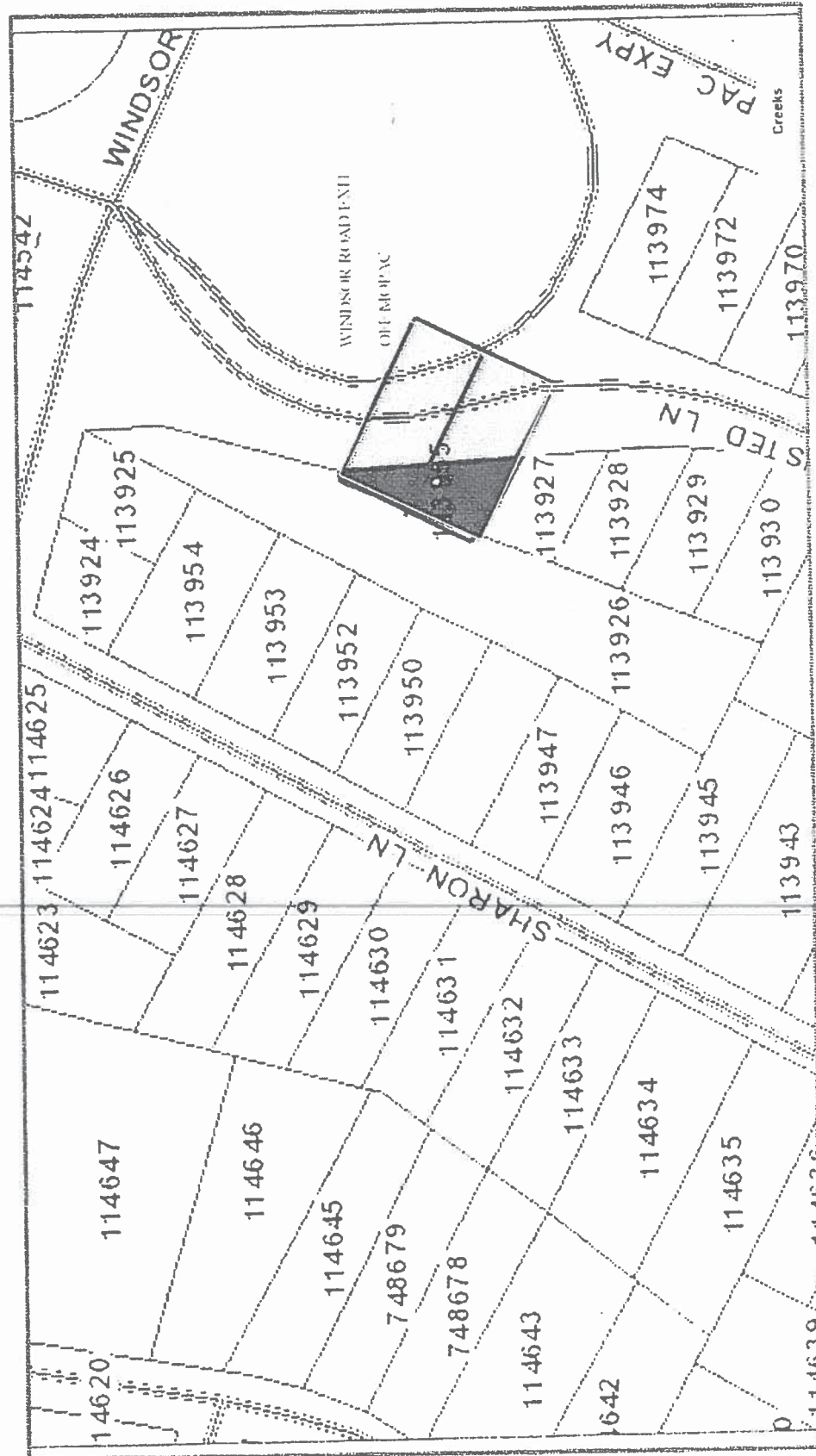


H02/16



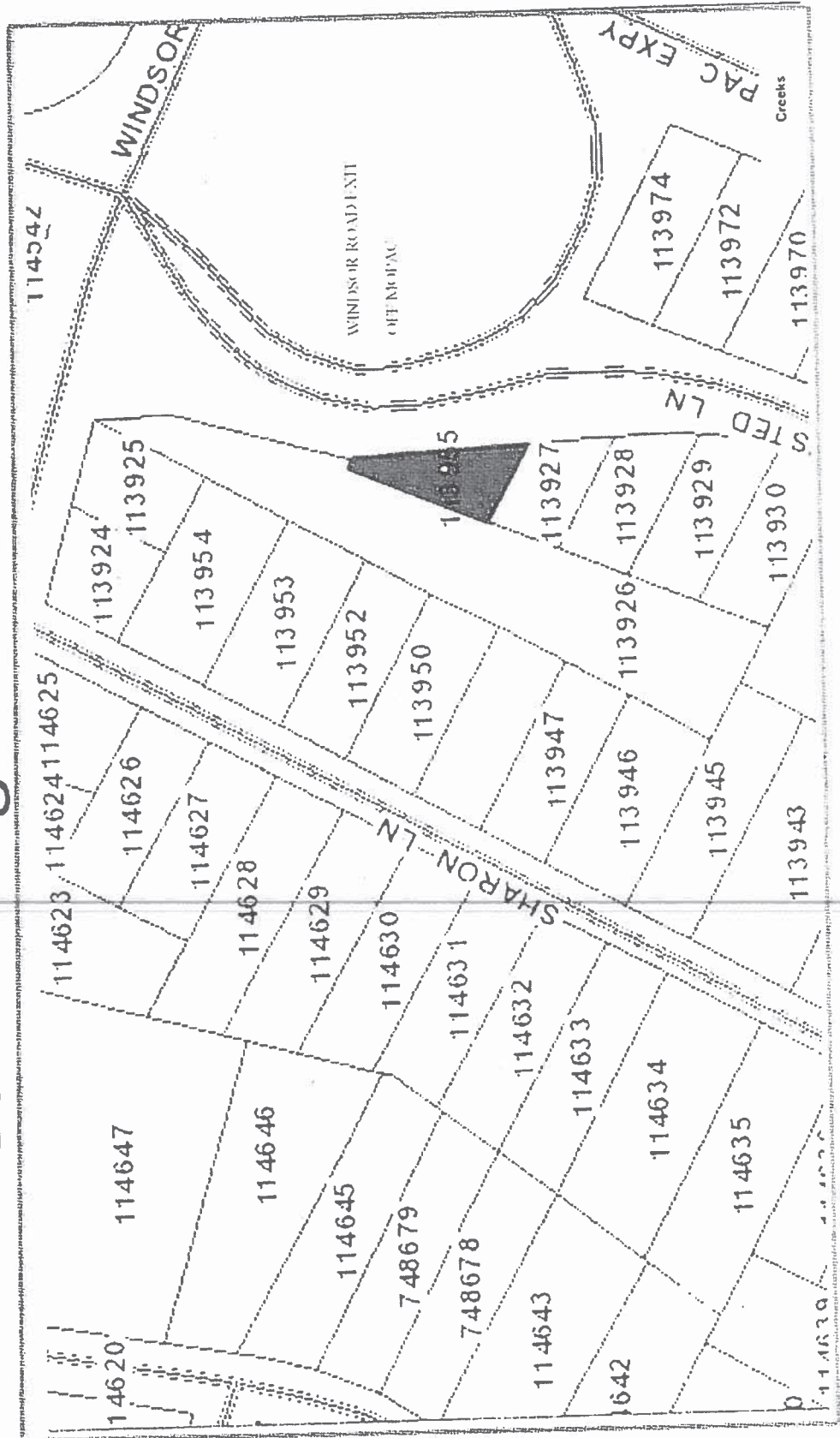
H02/17

Used to Be Two Lots



H02/18

# MoPac Condemnation Left Triangular Remnant





H02/19

# 75' Johnson Creek Reserve





PRIOR VARIANCE CASE DECISION SHEET, FORM 1052  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/20





PRIOR VARIANCE CASE DECISION SHEET, FIRM 152  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/21





PRIOR VARIANCE CASE DECISION SHEET, FIVE  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

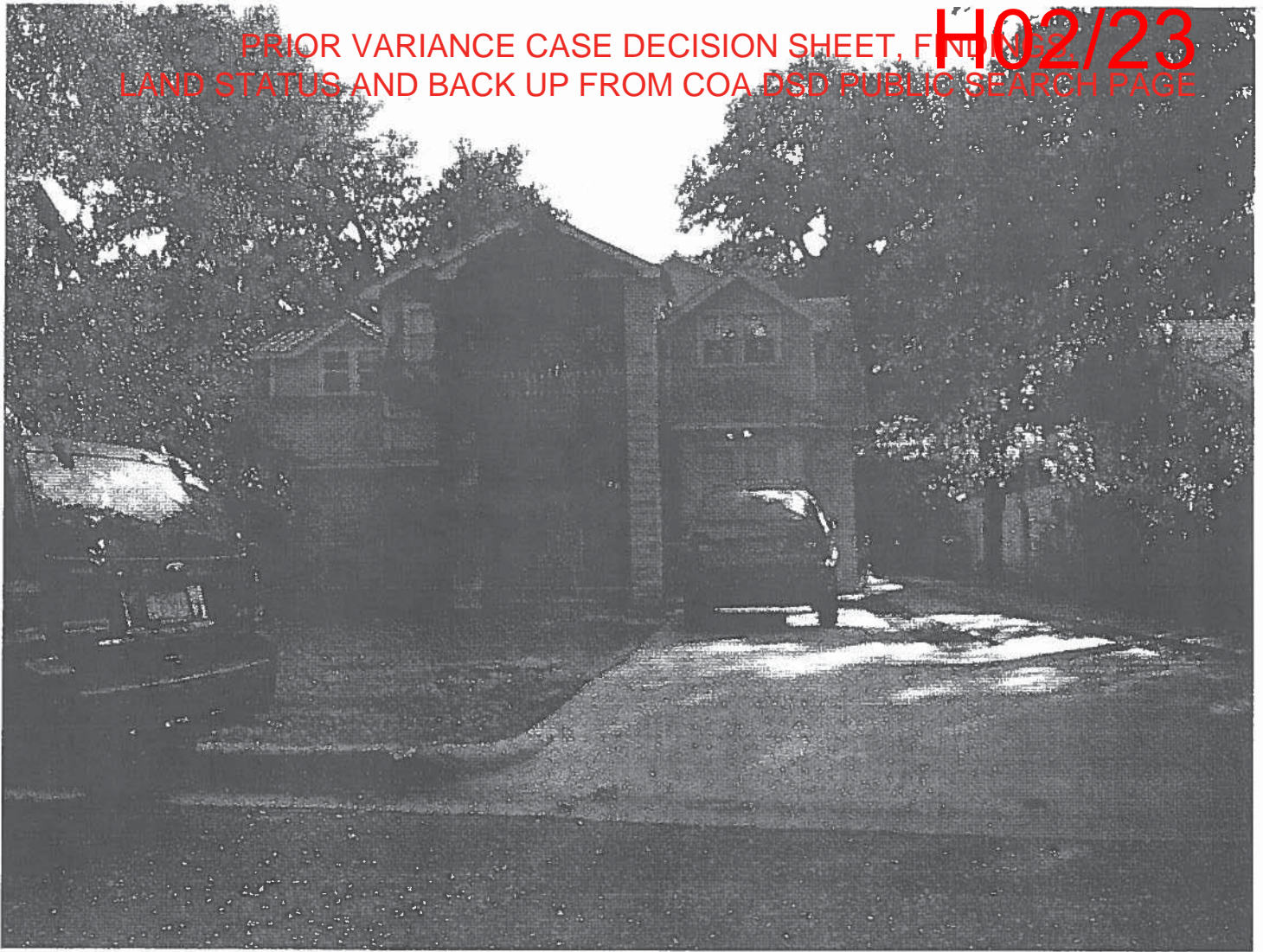
H02/22





PRIOR VARIANCE CASE DECISION SHEET, FINDING #2  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

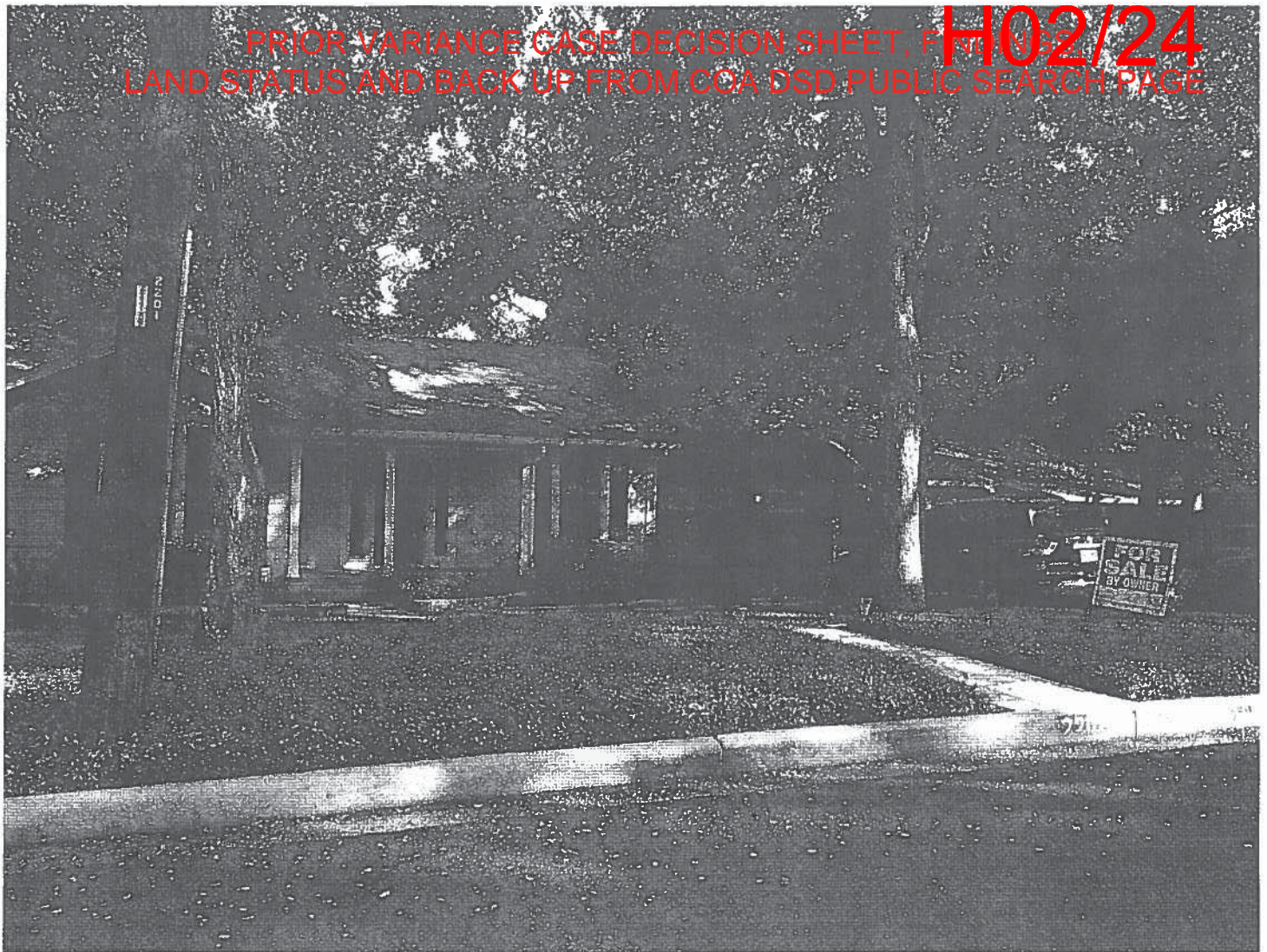
H02/23



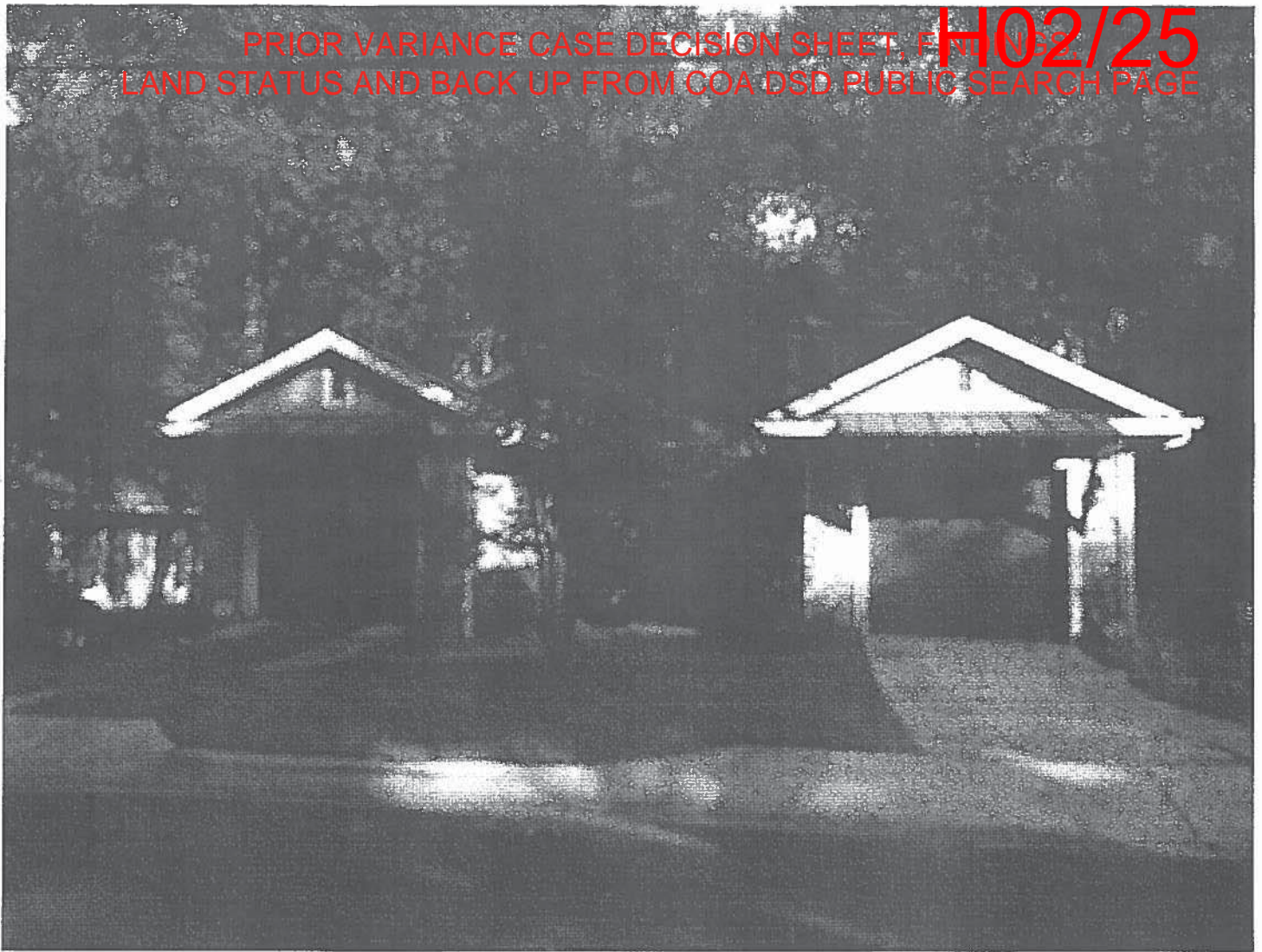


PRIOR VARIANCE CASE DECISION SHEET, FIVE 135  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/24









H02/26





PRIOR VARIANCE CASE DECISION SHEET, FIVE  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/27



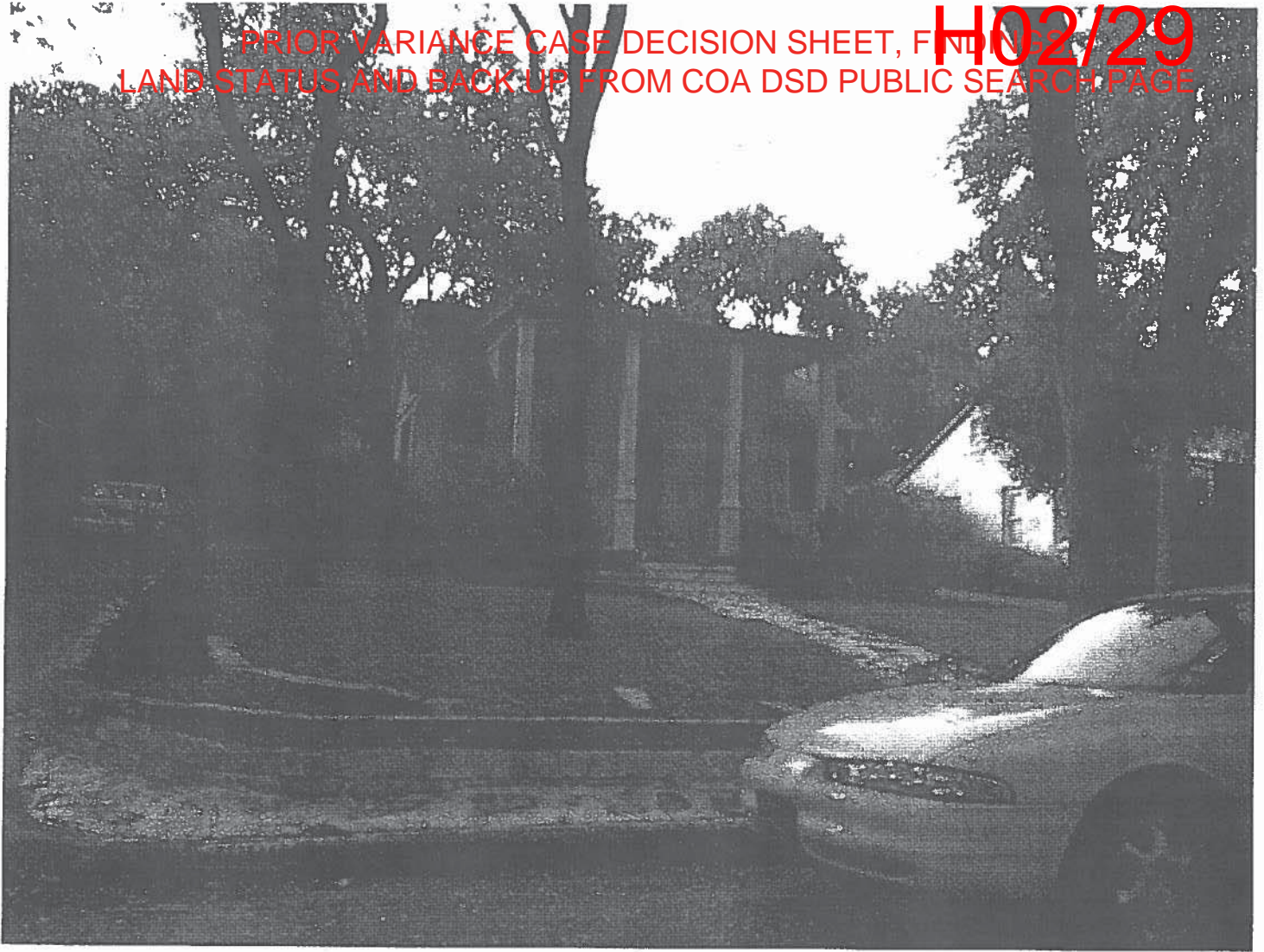


H02/28





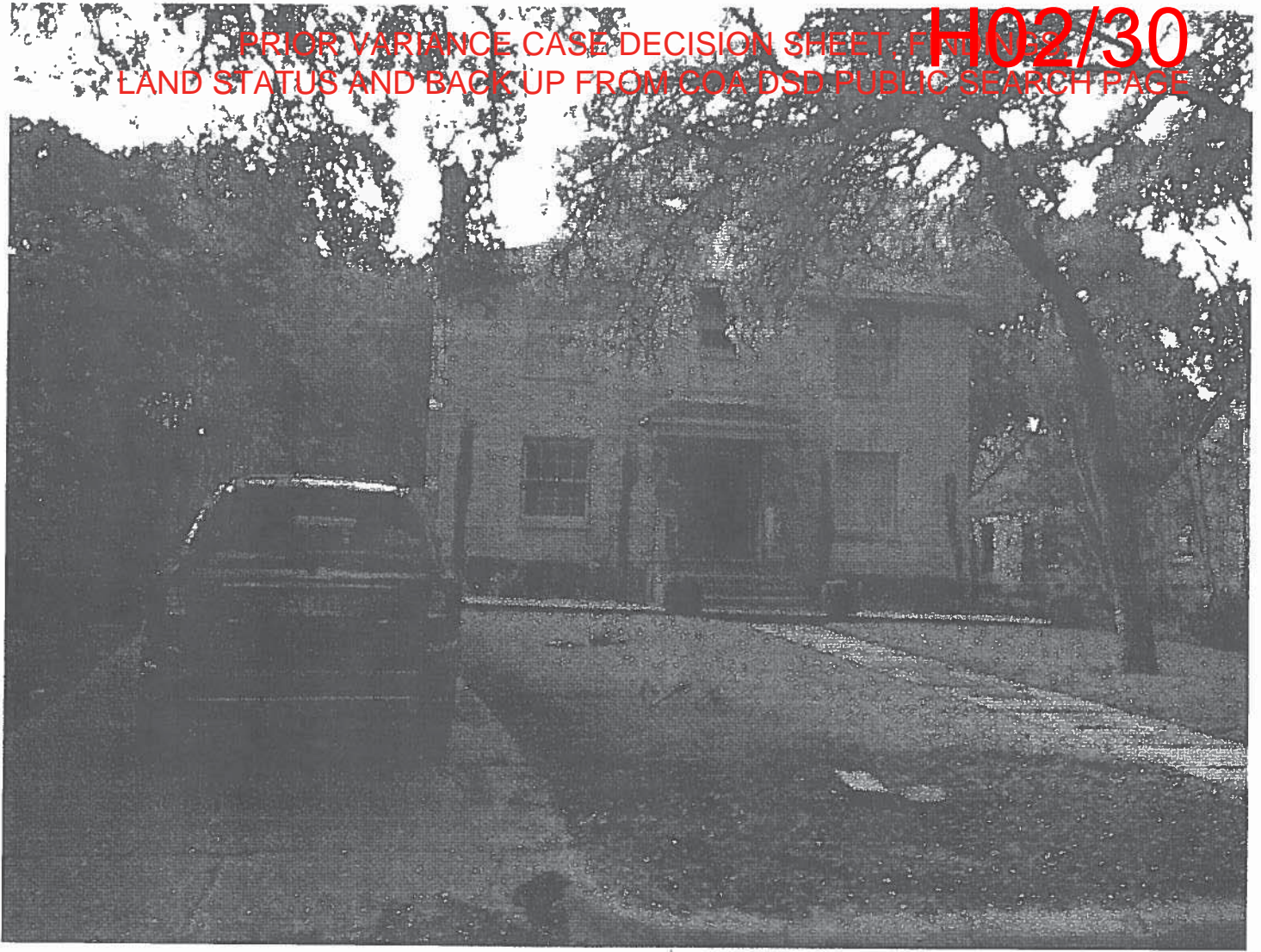
H02/29





PRIOR VARIANCE CASE DECISION SHEET, FINDING  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/30





PRIOR VARIANCE CASE DECISION SHEET, FIVE NE  
LAND STATUS AND BACK UP FROM COA DSD PUBLIC SEARCH PAGE

H02/31







EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
PROVIDED AS A GRAPHIC DISPLAY ONLY  
DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT



The Seal appearing on this document was authorized by the City of Austin on August 11, 2015

2104 WINSTED LANE  
AUSTIN, TX



PLAN NORTH  
TRUE NORTH

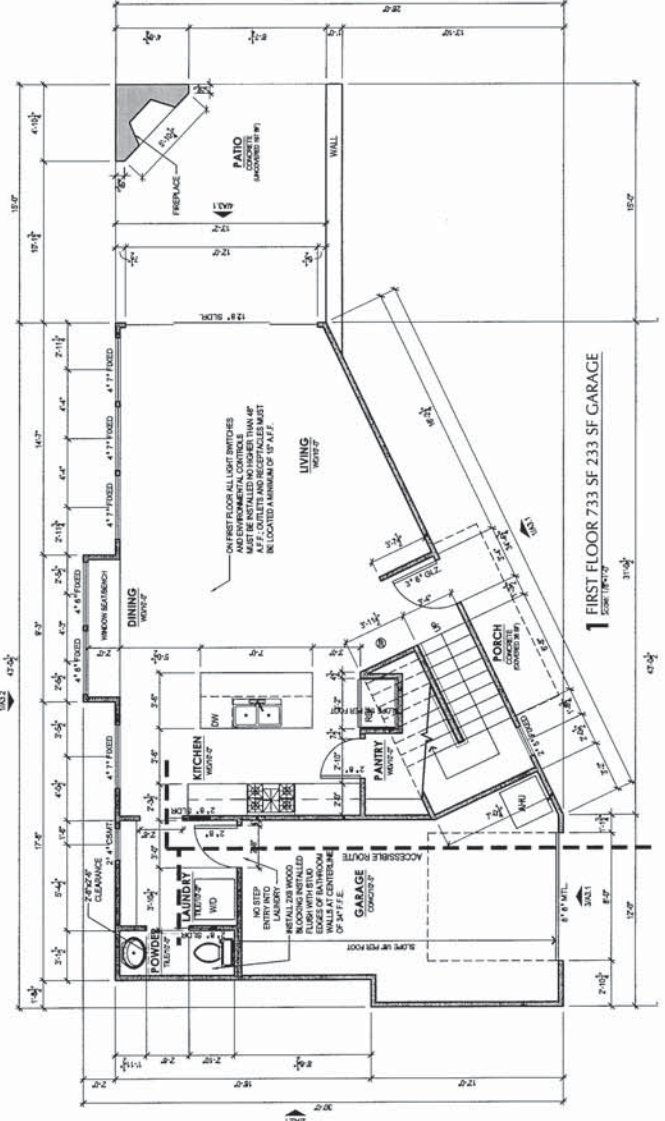
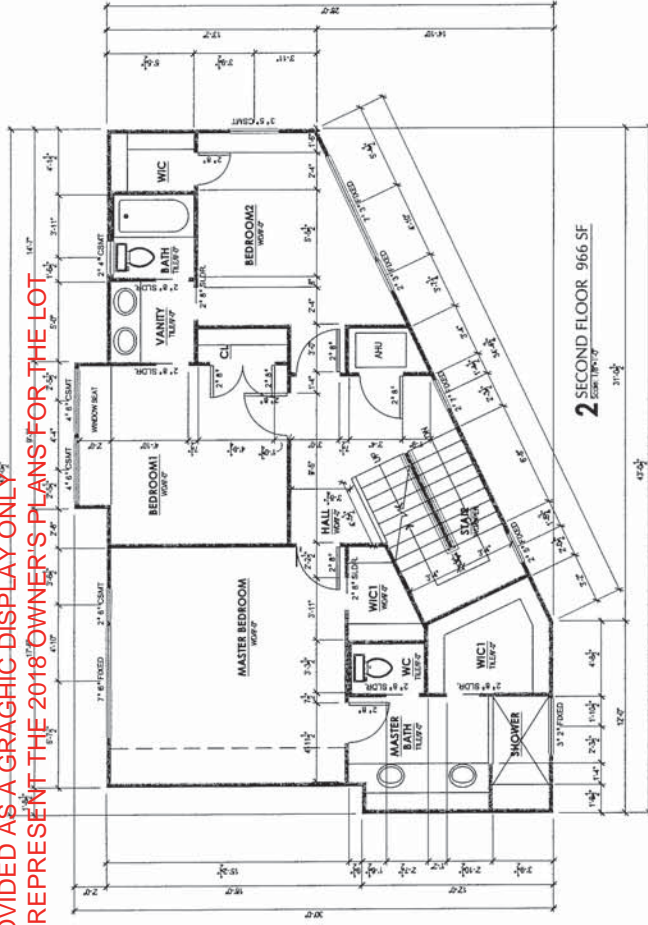
SUBMIT  
PERMIT  
DATE

11/20/2015

Page 1 of 2

AZ.1

Floor Plans



CITY OF AUSTIN  
APPROVED FOR PERMIT  
J. Rodney Gonzales  
Development Services Department  
By JAR For AM Date 07-15-16  
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

CITY OF AUSTIN - TECHNICAL REVIEW

Approval of these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the currently adopted residential building code or any other ordinance of the City of Austin which might have been omitted or overlooked in the plan review process.

By JAR For AM Date 07-15-16

NOT REVIEWED FOR TECHNICAL BUILDING CODE  
(REVIEWED FOR ZONING COMPLIANCE)



**DK STUDIO**  
611 West Fifteenth St  
Austin, TX 78701  
Tel: (512)473-8909  
Fax: (512)473-8982



The Seal appearing on this document was authorized by  
Dianne Kett on  
August 11, 2015

2104 WINSTED LANE  
AUSTIN, TX



Plan North	True North

ISSUES:

4

C

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2

2

/

3

3

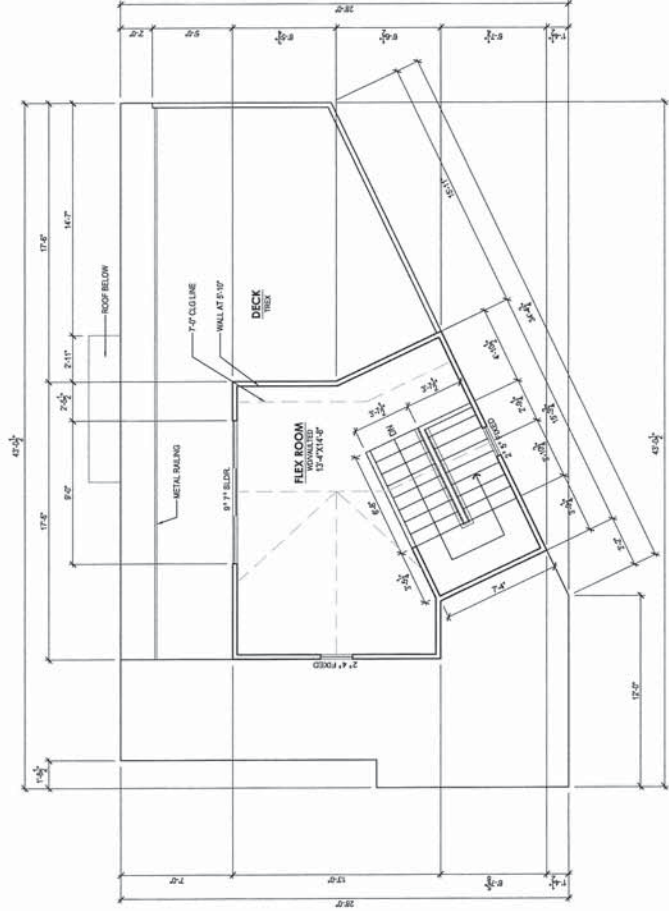
4

4

A

Floor Plan

1000



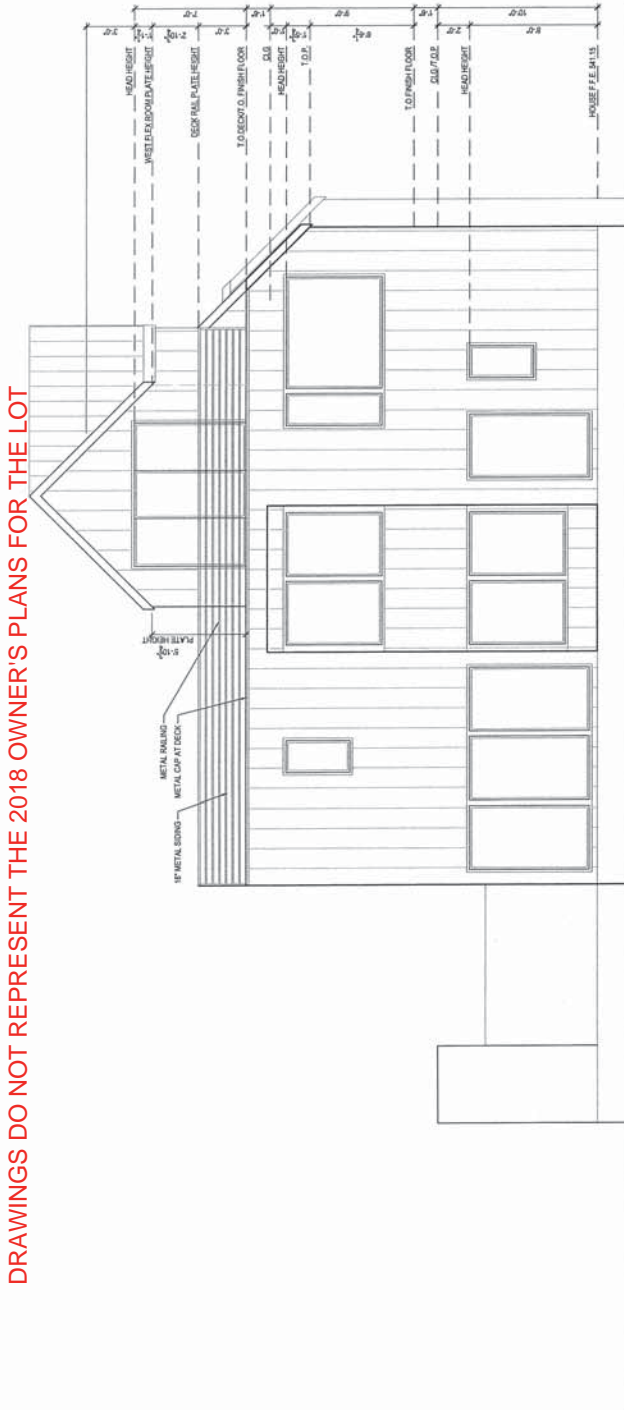
**3** THIRD FLOOR 296 SF  
Scale: 1/8"=1'-0"







TECHNICAL BUILDING CODE  
REVIEWED FOR ZONING ONLY



# 1 REAR ELEVATION

EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
PROVIDED AS A GRAPHIC DISPLAY ONLY  
DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT

DK STUDIO  
611 West Fifteenth Street  
Austin, TX 78701  
Tel: (512)473-8909  
Fax: (512)473-8982



The Seal appearing on this document was issued by  
Dianne Kent on  
August 11, 2015

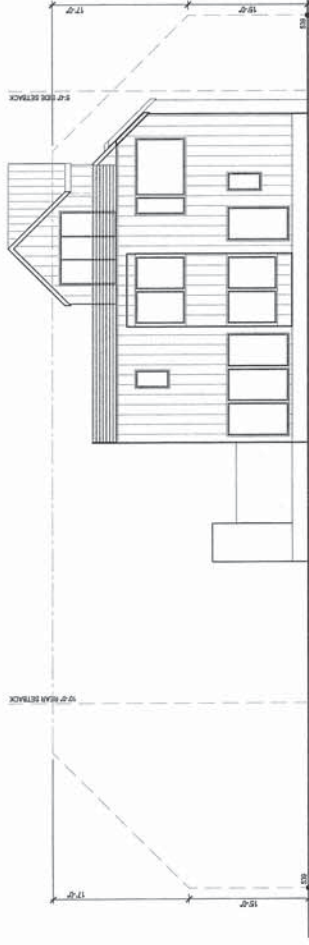
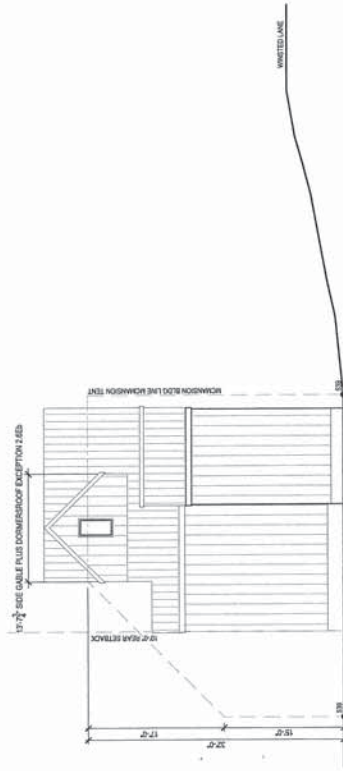
2104 WINSTED LANE  
AUSTIN, TX



ISSUES:  
PERMIT  
8-11-15

Project  
15-010

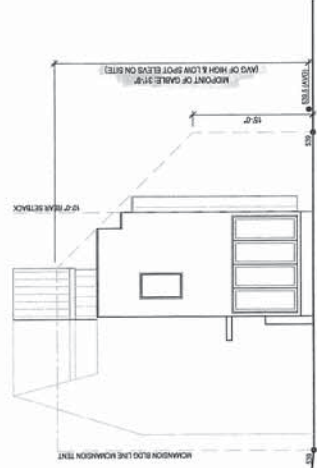
A3.3  
McMansion  
Tents



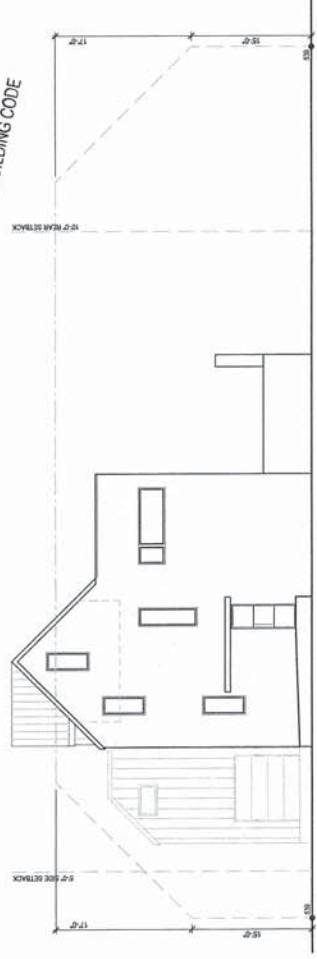
4 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

3 WEST ELEVATION  
SCALE: 1/8"=1'-0"

REVIEWED FOR ZONING ONLY  
NOT REVIEWED FOR TECHNICAL BUILDING CODE



2 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



1 EAST ELEVATION  
SCALE: 1/8"=1'-0"







## NOTES

1. ALL PERS ARE 1/4" DIAMETER STRAIGHT SHAFTS BEARING AT A MINIMUM DEPTH OF 12" BELOW FOOTING OR ON WALLS. ALL NOTES OTHERWISE. REFER TO DETAIL 1/58.
2. ALL SLABS ARE 2" THICK 50/50 FIBER REINFORCED CONCRETE. ALL WALLS OF 8" AT 12" O.C. EACH WAY OVER 1/4" VAPOR BARRIER OVER P-VOID BONES.
3. ALL BEAMS ARE 12" WIDE, 24" DEEP REINFORCED W/ 4#MS TOP AND BOTTOM W/ #3 CLOSED STRIPS AT 10" O.C. ALL CONCRETE REINFORCING SHALL BE BOMED TO EARTH FOUNDINGS IF PERMITTED.
4. VERIFY ALL 1/4" DIAMETER PERSIONS AND LOCATIONS WITH ARCHITECTURAL AND LANDSCAPE ARCHITECTURAL DRAWINGS.

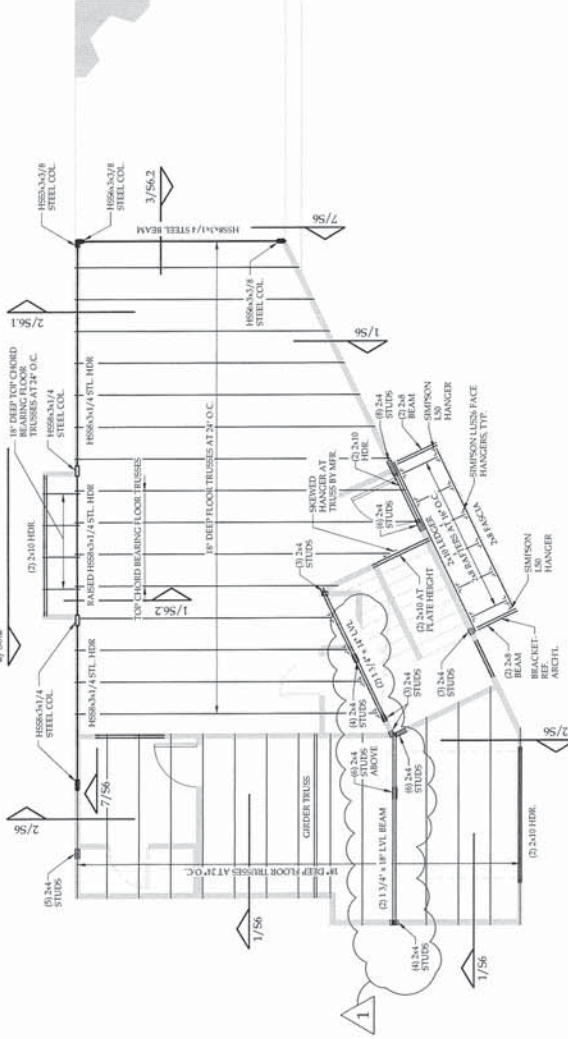
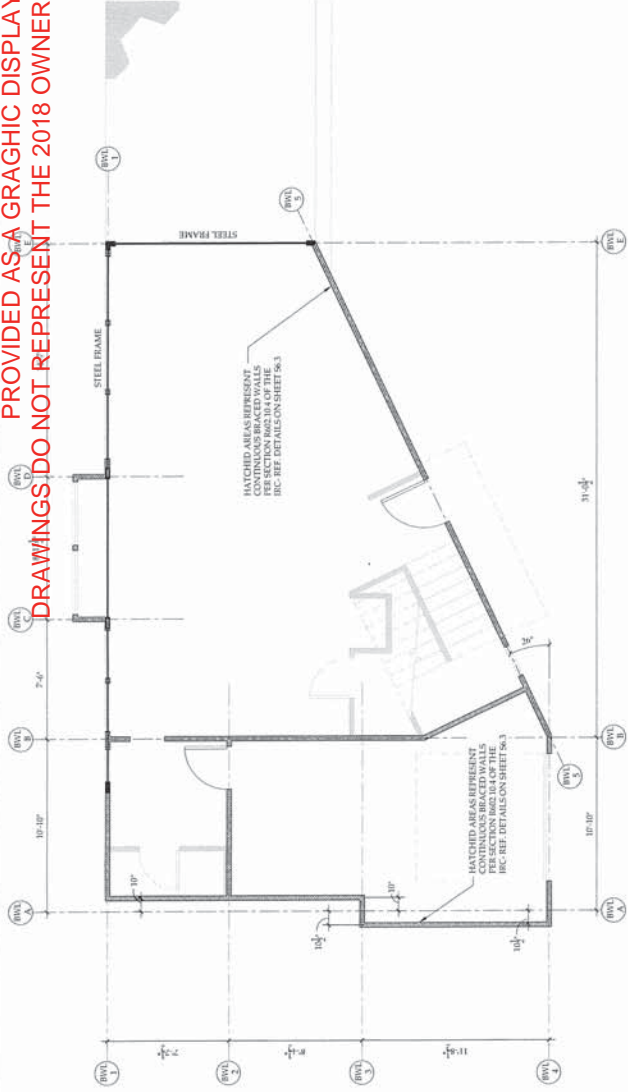


## 1. FOUNDATION PLAN

SHEET IS FORMATTED TO 22" x 34".  
SCALES ARE ONE HALF OF NOTED  
WHEN PRINTED AT HALF SIZE.



EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
PROVIDED AS A GRAPHIC DISPLAY ONLY  
DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT



1. FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"

LATERAL BRACING NOTES

- ALL INTERIOR WALLS SHALL BE CONTINUOUSLY BRACED WITH 1/2" MINIMUM THICKNESS CYPRUS BOARD. ALL BRACING SHALL BE NAIL TO SUPPORTING MEMBERS ALONG THE ENTIRE LENGTH OF THE BRACE. BRACING SHALL BE INTERMEDIATE SUPPORTS WITH 4" NAILS SPACED AT 12" O.C. SHEAR WALLS.
- ALL INTERIOR WALLS SHALL BE CONTINUOUSLY BRACED WITH 1/2" MINIMUM THICKNESS CYPRUS BOARD. ALL BRACING SHALL BE NAIL TO SUPPORTING MEMBERS ALONG THE ENTIRE LENGTH OF THE BRACE. BRACING SHALL BE INTERMEDIATE SUPPORTS WITH 4" NAILS SPACED AT 12" O.C. SHEAR WALLS.

CEILING JOIST SCHEDULE

JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 10 PSF)
2 x 8 @ 24" O.C.	11'-0"	10'-0"
2 x 8 @ 24" O.C.	14'-0"	13'-0"
2 x 10 @ 24" O.C.	18'-0"	16'-0"
2 x 12 @ 24" O.C.	22'-0"	19'-0"

ALL JOISTS ARE NO. 2 SOUTHERN YELLOW PINE. INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 2'-0" O.C. MAX. SPACING.

NOTES

- ALL HEADERS IN 24" WALLS ARE (2) 24" NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
- ALL HANGERS AT FLOOR TRUSSES ARE TO BE SPECIFIED BY TRUSS MANUFACTURER.

NAILING SCHEDULE

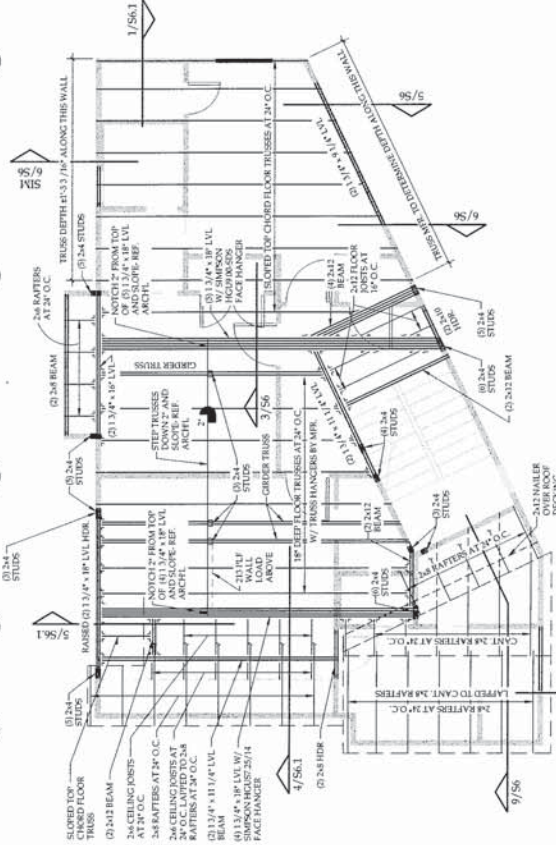
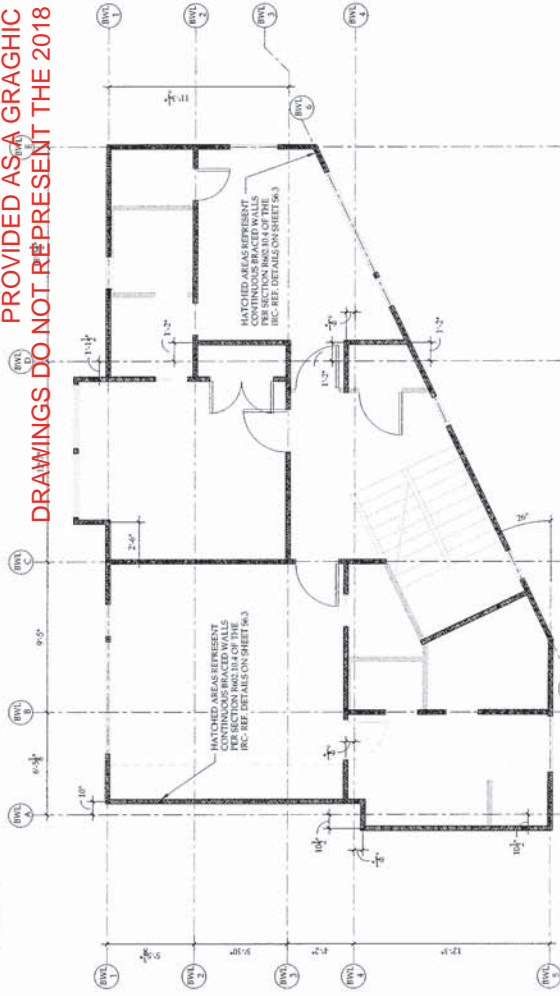
CONNECTIONS	NAILING
1. JOIST TO JOIST OR GIRDERS, TYPICAL	2x40
2. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
3. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
4. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
5. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
6. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
7. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
8. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
9. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
10. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
11. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
12. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
13. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
14. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
15. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
16. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
17. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
18. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
19. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
20. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
21. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
22. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
23. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
24. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
25. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
26. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
27. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
28. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
29. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
30. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40

2012 IRC NAILING SCHEDULE

CONNECTIONS	NAILING
1. JOIST TO JOIST OR GIRDERS, TYPICAL	2x40
2. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
3. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
4. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
5. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
6. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
7. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
8. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
9. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
10. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
11. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
12. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
13. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
14. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
15. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
16. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
17. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
18. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
19. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
20. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
21. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
22. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
23. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
24. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
25. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
26. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
27. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
28. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
29. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40
30. 2x8 JOIST ON 2x8 JOIST OR 2x8 JOIST ON 2x8 JOIST	2x40

NOT REVIEWED FOR TECHNICAL BUILDING CODE

EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
 PROVIDED AS A GRAPHIC DISPLAY ONLY  
 DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT



1. SECOND FLOOR FRAMING PLAN  
 1/4" = 1'-0"

**LATERAL BRACING NOTES**

- ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY BRACED. BRACING SHALL BE NEEDED TO SUPPORTING MEMBERS ALONG THE INTERMEDIATE SUPPORTS WITH 1/2" BRACING AT 12'-0" O.C. BRACING SHALL BE NEEDED AT ALL JOINTS IN ITS TWO END BEAMS.
- ALL INTERIOR WALLS SHALL BE CONTINUOUSLY BRACED WITH 1/2" MINIMUM BRACING (OTHER THAN BOARD). ALL BRACING SHALL BE NEEDED TO SUPPORTING MEMBERS ALONG THE INTERMEDIATE SUPPORTS WITH 1/2" BRACING AT 12'-0" O.C. BRACING SHALL BE NEEDED AT ALL JOINTS IN ITS TWO END BEAMS.

**CEILING JOIST SCHEDULE**

JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)
2 x 6 @ 24" O.C.	11'-0"	13'-0"
2 x 8 @ 24" O.C.	14'-0"	16'-0"
2 x 10 @ 24" O.C.	18'-0"	19'-0"
2 x 12 @ 24" O.C.	22'-0"	24'-0"

ALL JOISTS ARE NO. 1 SOUTHERN YELLOW PINE  
 INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 2'-0" O.C. MAX. SPACING

**NOTES**

- ALL HEADERS IN 24" WALLS ARE (2) 24" NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
- ALL MANGERS & FLOOR TRUSSES ARE TO BE SPECIFIED BY TRUSS MANUFACTURER.

**NAILING SCHEDULE**

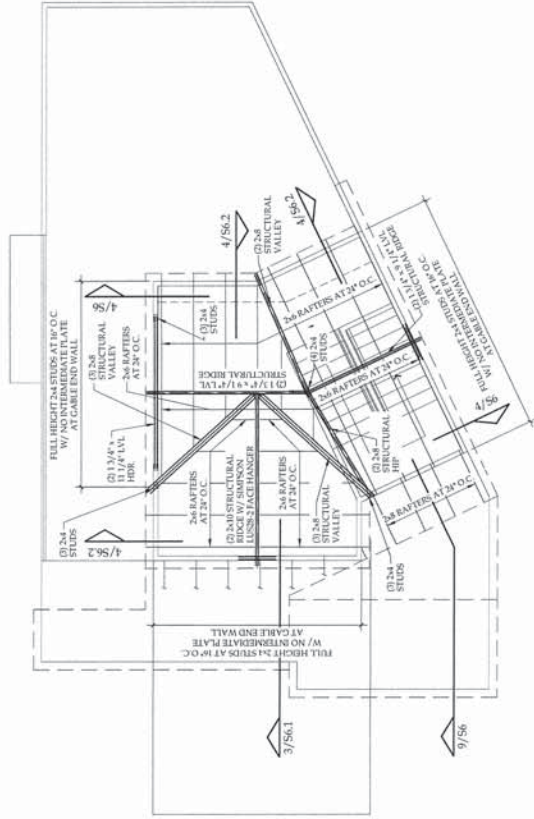
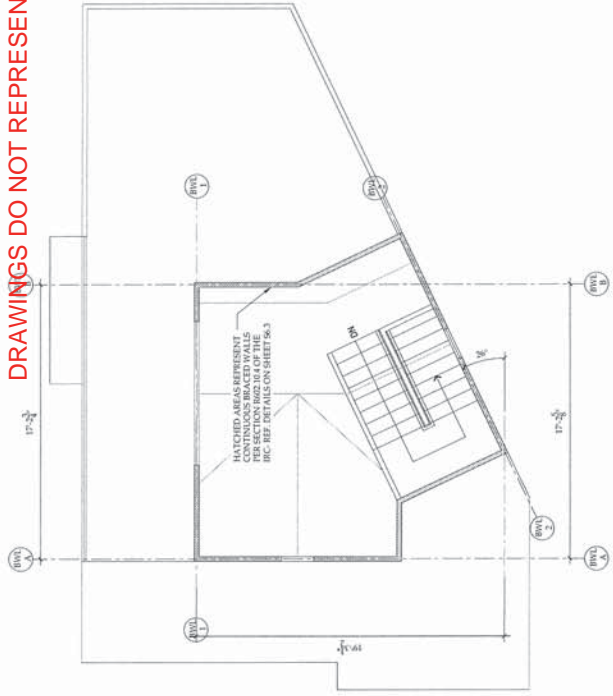
CONNECTIONS	NAILING
1. JOIST TO NAIL ON GIRDERS, TENSIL	3x60
2. 2" TOP BRACKET TO JOIST TO 1/2" FACE NAIL	3x60
3. 2" TOP BRACKET TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60
4. 1/2" PLATE TO JOIST ON BRACING, FACE NAIL	3x60 AT 18" O.C.
5. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
6. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
7. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
8. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
9. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
10. 1/2" PLATE TO JOIST TO GIRDERS, BEAMS AND FACE NAIL	3x60 AT 18" O.C.
11. BRACING JOIST, JOIST OR RAFTERS TO JOIST PLATE, TENSIL	3x60
12. JOIST TO TOP PLATE, TENSIL	3x60
13. TOP PLATE, LAY 1/2" CORNER AND INTERSECTION, FACE NAIL	3x60
14. BUILD UP TRUSS, 2" TOP PLATE WITH 1/2" BRACKET	3x60 AT 18" O.C.
15. CONTINUOUS BRACING, TWO JOIST	3x60 AT 18" O.C.
16. CONTINUOUS BRACING, TWO JOIST	3x60 AT 18" O.C.
17. CONTINUOUS BRACING, TWO JOIST	3x60 AT 18" O.C.
18. COLLAR JOIST TO RAFTERS, FACE NAIL	3x60
19. COLLAR JOIST TO RAFTERS, FACE NAIL	3x60
20. RAFTER TO PLATE, TENSIL	3x60
21. 1" BRACE TO 1/2" PLATE, FACE NAIL	3x60
22. 1" BRACE TO 1/2" PLATE, FACE NAIL	3x60
23. 1" BRACE TO 1/2" PLATE, FACE NAIL	3x60
24. 1" BRACE TO 1/2" PLATE, FACE NAIL	3x60
25. BUILD UP CORNER JOIST	3x60 AT 18" O.C.
26. BUILD UP CORNER JOIST	3x60 AT 18" O.C.
27. 2" PLATE TO RAFTERS, FACE NAIL	3x60
28. RAFTER TO JOIST TO RAFTERS, FACE NAIL	3x60
29. COLLAR JOIST TO RAFTERS, FACE NAIL	3x60

2012 IRC NAILING SCHEDULE

NOT REVIEWED FOR TECHNICAL BUILDING CODE



EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
PROVIDED AS A GRAPHIC DISPLAY ONLY  
DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT



1. ROOF FRAMING PLAN  
1/4" = 1'-0"

LATERAL BRACING NOTES

- ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY BRACED WITH 1/2" MINIMUM THICKNESS CYPRUS BOARD. ALL BRACING SHALL BE NAIL TO OUTSTANDING MEMBERS ALONG THE ENTIRE LENGTH OF THE BRACE. BRACING SHALL BE INTERMEDIATE SUPPORTS WITH MANUALLY SPACED AT 12' O.C. BRACING SHALL BE 2" BLOCKING AT ALL JOINTS TO ITS WOOD BEARING WALLS.
- ALL INTERIOR WALLS SHALL BE CONTINUOUSLY BRACED WITH 1/2" MINIMUM THICKNESS CYPRUS BOARD. ALL BRACING SHALL BE NAIL TO OUTSTANDING MEMBERS ALONG THE ENTIRE LENGTH OF THE BRACE. BRACING SHALL BE INTERMEDIATE SUPPORTS WITH 1 1/2" LONG SCREWS AT 12' O.C. OR 5' O.C. SPACED AT 12' O.C. ACCORDANCE WITH TABLE 6-23.3 OF THE IRC.

CEILING JOIST SCHEDULE			
JOISTS / SPACING	MAX. SPAN W/O ATTIC STORAGE (LIVE LOAD = 10 PSF)	MAX. SPAN W/ ATTIC STORAGE (LIVE LOAD = 20 PSF)	
2 x 6 @ 24" O.C.	11'-0"	10'-0"	10'-0"
2 x 8 @ 24" O.C.	14'-6"	13'-0"	13'-0"
2 x 10 @ 24" O.C.	18'-6"	16'-0"	16'-0"
2 x 12 @ 24" O.C.	22'-6"	19'-0"	19'-0"

ALL JOISTS ARE NOT SOUTHERN YELLOW PINE

INSTALL FULL DEPTH BLOCKING BETWEEN JOISTS AT 8' O.C. MAX. SPACING

NOTES

- ALL HEADERS IN 24" WALLS ARE (2) 2x4 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
- ALL RANGERS AT FLOOR TRUSSES ARE TO BE SPECIFIED BY TRUSS MANUFACTURER.

NAILING SCHEDULE	
CONNECTIONS	NAILING
1. JOIST TO END OF GUTTER TYPICAL	3x40
2. 1" W/ SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	2x40
3. 2" SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	2x40
4. JOIST TO END OF GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
5. 1" W/ SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
6. 2" SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
7. 1" W/ SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
8. 2" SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
9. 1" W/ SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
10. 2" SUB FLOOR TO JOIST OR GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
11. BRACING JOIST, JOIST OR RANGER TO TOP PLATE, TYPICAL	3x40
12. BRACING JOIST, JOIST OR RANGER TO TOP PLATE, TYPICAL	3x40
13. TOP PLATE LAP AT CORNER AND INTERSECTIONS, FACE NAIL	80 AT 24" O.C.
14. BRACE TO END OF GUTTER, RANG AND FACE NAIL	100 AT 24" O.C.
15. CONTINUOUS BRACING, TWO JOISTS	100 AT 24" O.C. ALONG EACH JOIST
16. GUTTER JOIST TO PLATE, TYPICAL	3x40
17. CONTINUOUS BRACING TO END OF GUTTER	3x40
18. GUTTER JOIST, LAP OTHER PARTITIONS, FACE NAIL	3x40
19. GUTTER JOIST, LAP OTHER PARTITIONS, FACE NAIL	3x40
20. RANGER TO PLATE, TYPICAL	3x40
21. 1" BRACE TO END OF GUTTER, RANG AND FACE NAIL	3x40
22. 2" BRACE TO END OF GUTTER, RANG AND FACE NAIL	3x40
23. 1" W/ SUB FLOOR TO END OF GUTTER, RANG AND FACE NAIL	3x40
24. INTERIOR CORNER STUDS	100 AT 24" O.C.
25. BUILD UP CORNER STUDS	100 AT 24" O.C.
26. BUILD UP CORNER STUDS	100 AT 24" O.C.
27. 2" PLANKS EACH BEARING	2x40
28. RANGER TO END OF GUTTER, RANG AND FACE NAIL	3x40
29. RANGER TO END OF GUTTER, RANG AND FACE NAIL	3x40
30. COLLAR TO END OF GUTTER, RANG AND FACE NAIL	3x40

2012 IRC NAILING SCHEDULE

NOT REVIEWED FOR TECHNICAL BUILDING CODE

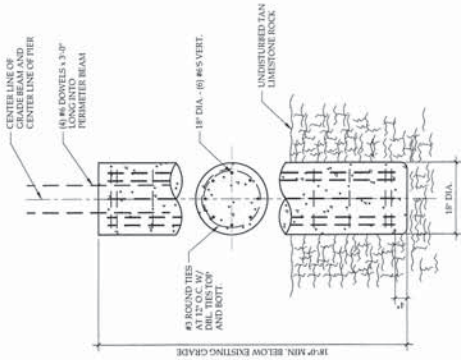
1/4" = 1'-0"

1. ROOF FRAMING PLAN

EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING  
PROVIDED AS A GRAPHIC DISPLAY ONLY  
DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT

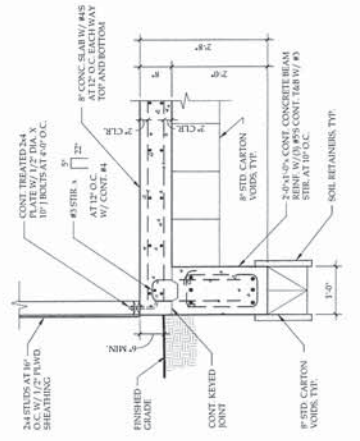
GRADE BEAM NOTES

ALL CONCRETE BEAMS SHALL  
BE BOARD FORMED. NO EARTH  
FORMING WILL BE PERMITTED.



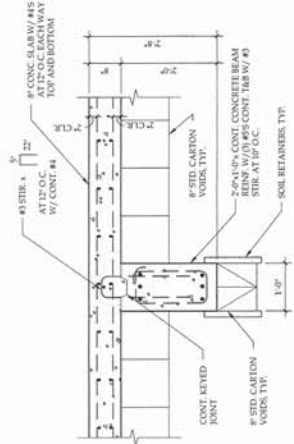
1. TYP. PIER IN LIMESTONE

3/4" = 1'-0"



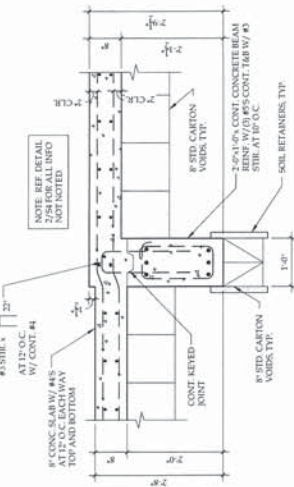
2. CONC. BEAM AT EXTERIOR

3/4" = 1'-0"



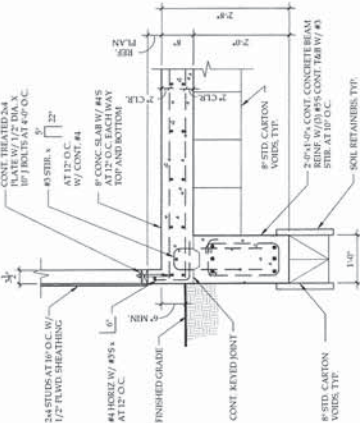
6. CONC. BEAM AT INTERIOR

3/4" = 1'-0"



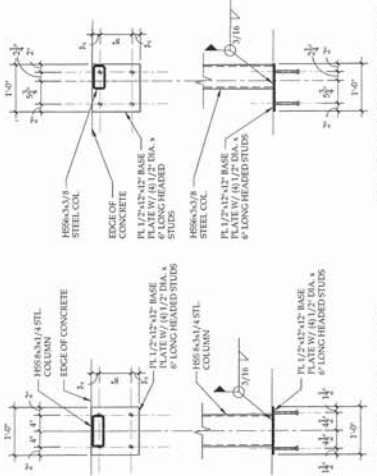
5. SECTION AT DROP

3/4" = 1'-0"



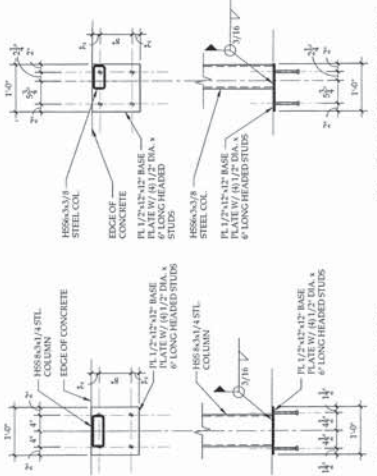
3. SECTION AT SLAB DROP

3/4" = 1'-0"



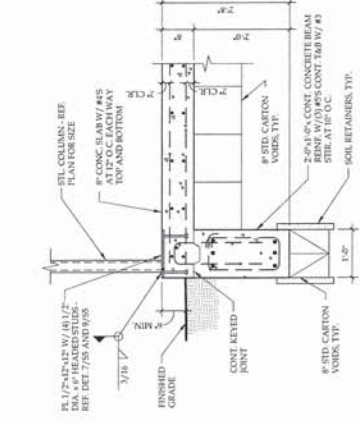
7. BASE PLATE

3/4" = 1'-0"



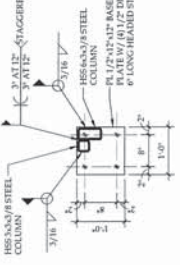
8. BASE PLATE

3/4" = 1'-0"



4. TYP. COLUMN CONN.

3/4" = 1'-0"



9. CORNER COL. DETAIL

3/4" = 1'-0"

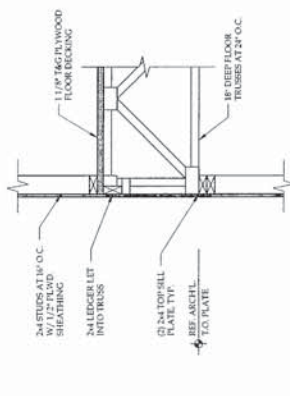
NOT REVIEWED FOR TECHNICAL BUILDING CODE

SHEET IS FORMATTED TO 22"x34"  
SCALES ARE ONE HALF OF NOTED  
WHEN PRINTED AT FULL FILE



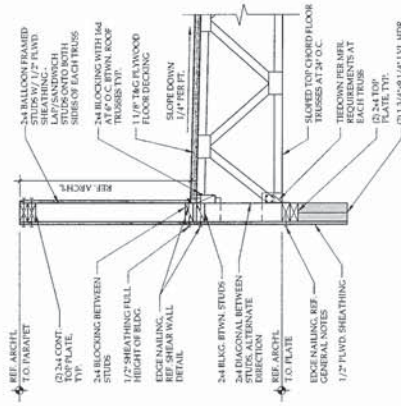
EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING

DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT



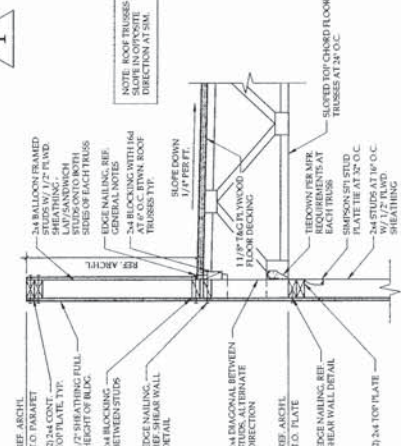
1. FLOOR TRUSS AT EXT. WALL

1" = 1'-0"



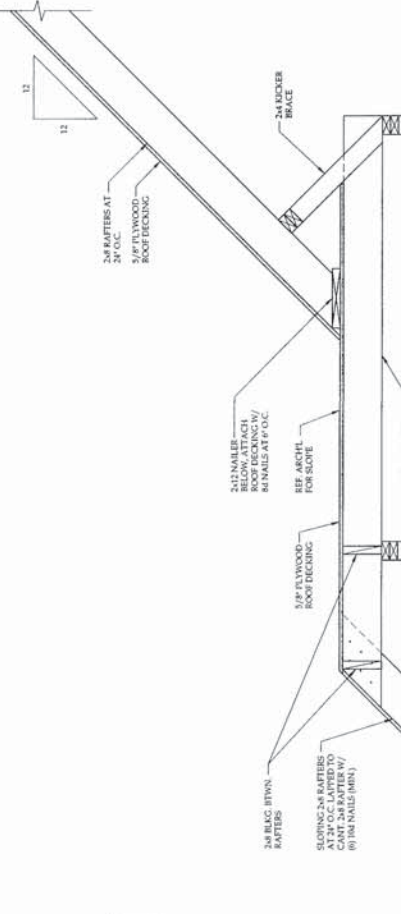
2. FLOOR TRUSS AT EXT. WALL

1" = 1'-0"



3. FLOOR TRUSS AT EXTERIOR WALL

1" = 1'-0"

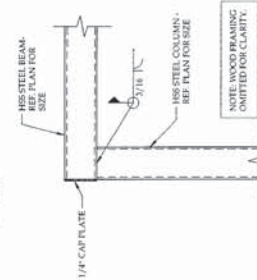


4. SECT. AT OUTRIGGERS

1" = 1'-0"

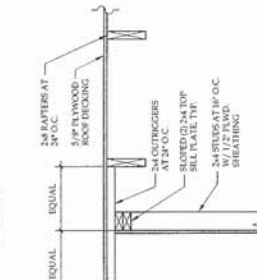
5. TRUSS AT EXT. WALL W/ HDR.

1" = 1'-0"



6. SECTION AT TRUSS BEARING

1" = 1'-0"

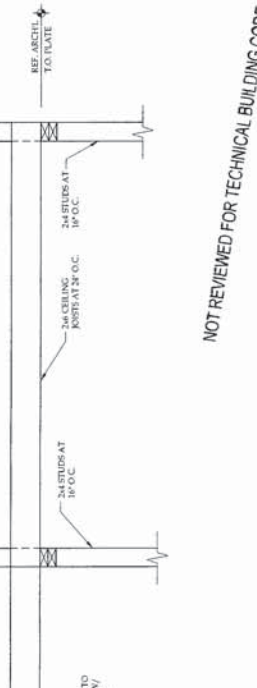


7. COLUMN/BEAM CONN.

1" = 1'-0"

8. SECTION AT OUTRIGGERS

1" = 1'-0"

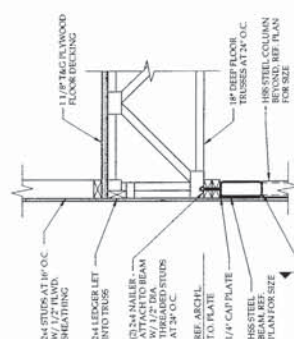
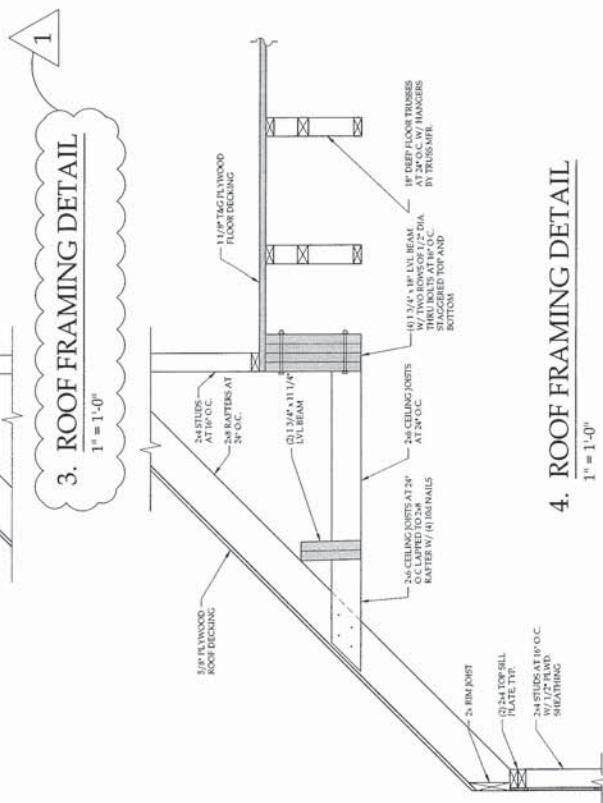


9. ROOF FRAMING DETAIL

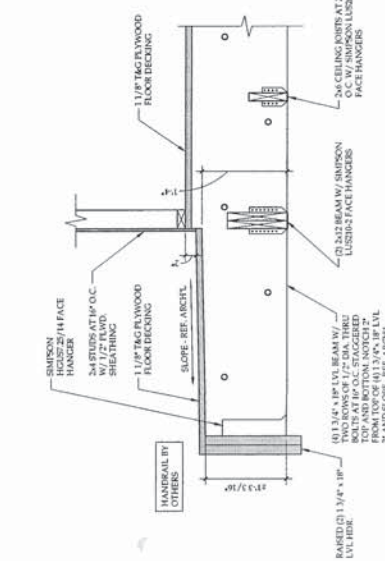
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NOT REVIEWED FOR TECHNICAL BUILDING CODE

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$$1'' = 1'-0''$$
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11-1101



7747



EXPIRED PERMIT/COA DSD SEARCH ACCESSED DRAWING

PROVIDED AS A GRAPHIC DISPLAY ONLY

DRAWINGS DO NOT REPRESENT THE 2018 OWNER'S PLANS FOR THE LOT

