



## Residential New Construction and Addition Permit Application

### Property Information

Project Address: 1009 Blanco St.	Tax Parcel ID: 106999
Legal Description: S CEN 50 FT OF LOT 1-3 BLK 6 OLT 5 DIV Z	
Zoning District: SF-3	Lot Area (sq ft): 7,483.00
Neighborhood Plan Area (if applicable): OWANA	Historic District (if applicable): Castle Hill LHD

### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)	Does project have a Green Building requirement? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, attach signed conditional approval letter from Austin Energy Green Building)
Is this site within an Airport Overlay Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input type="checkbox"/> N <input type="checkbox"/> Is this property within 200 feet of a hazardous pipeline? Y <input type="checkbox"/> N <input type="checkbox"/>	(If yes, Fire review is required) (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, EHZ review is required)	Is this property within 100 feet of the 100 year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> (Proximity to floodplain may require additional review time.)
Are there protected size trees onsite or on adjacent sites? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> Was there a pre-development consultation for the Tree Review? Y <input type="checkbox"/> N <input type="checkbox"/>	(If yes, <a href="#">click here</a> for more information on the tree permit process.) Proposed impacts to trees: (Circle all that apply) ✓ Root zone ✓ Canopy Removal None/Uncertain
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input type="checkbox"/> Y <input type="checkbox"/> N	
Does this site currently have: water availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> wastewater availability? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input type="checkbox"/> N <input type="checkbox"/> (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input type="checkbox"/> N <input type="checkbox"/> (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? Y <input type="checkbox"/> N <input type="checkbox"/> (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input type="checkbox"/> N <input type="checkbox"/> Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

### Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y <input type="checkbox"/> N <input type="checkbox"/> (If yes, construction material recycling is required per LDC 25-11-39)	
Existing Use: vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____	
Proposed Use: vacant <input type="checkbox"/> single-family residential <input type="checkbox"/> duplex residential <input type="checkbox"/> two-family residential <input type="checkbox"/> other: _____	
Project Type: new construction <input type="checkbox"/> addition <input type="checkbox"/> addition/remodel <input type="checkbox"/> other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y <input type="checkbox"/> N <input type="checkbox"/> (Note: Removal of all or part of a structure requires a demolition permit application.)	
# existing bedrooms: 1	# bedrooms upon completion: 4
# baths existing: 1.0	# baths upon completion: 3.0
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) Two story addition behind existing single story house. Addition included new bedrooms, new baths, living room and screened porch	
Trades Permits Required (Circle as applicable): <input type="checkbox"/> electric <input type="checkbox"/> plumbing <input type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)	



<b>Job Valuation</b>		
<b>Total Job Valuation:</b> \$ <u>200,000</u>  <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.</small>	<b>Amount for Primary Structure:</b> \$ <u>200,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N  <b>Amount for Accessory Structure:</b> \$ <u>0</u> Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	<b>Total Remodeled Floor Area</b> <u>0</u> sq ft.  <small>(work within existing habitable square footage)</small>

**Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.**

<b>Site Development Information</b>						
<b>Area Description</b>	<b>Existing Sq Ft</b>		<b>New/Added Sq Ft</b>		<b>Total Sq Ft</b>	
<small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	1,336	0	857	0	2,193	0
b) 2 <sup>nd</sup> Floor conditioned area	0	0	711	0	711	0
c) 3 <sup>rd</sup> Floor conditioned area	0	0	0	0	0	0
d) Basement	0	0	0	0	0	0
e) Covered parking (garage or carport)	0	0	0	0	0	0
f) Covered patio, deck, porch, and/or balcony area(s)	168	0	266	0	434	0
g) Other covered or roofed area	0	0	0	0	0	0
h) Uncovered wood decks	0	0	156	0	156	0
<b>Total Building Area</b> (total a through h)	1,504	0	1,990	0	3,494	0
i) Pool	0	0	0	0	0	0
j) Spa	0	0	0	0	0	0
k) Remodeled Floor Area, excluding Addition / New Construction	0	0	0	0	0	0

**Building Coverage Information**  
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)  
 Total Building Coverage (sq ft): 2,628.44      % of lot size: 35

**Impervious Cover Information**  
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)  
 Total Impervious Cover (sq ft): 3,219.26      % of lot size: 43

**Setbacks**  
 Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)      Y ☒ N  
 Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)      Y ☒ N  
 Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)      Y ☒ N

<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>24</u> ft <u>9</u> in    Number of Floors: <u>2</u>	# of spaces required: <u>2</u> # of spaces provided: <u>2</u>

**Right-of-Way Information**  
 Is a sidewalk required for the proposed construction? (LDC 25-6-353)      ☒ Y      N  
\*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.  
  
 Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?      Y ☒ N  
  
 Width of approach (measured at property line): \_\_\_\_\_ ft      Distance from intersection (for corner lots only): \_\_\_\_\_ ft  
  
 Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property?      Y      N  
(If yes, drainage review is required)



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	1,336	858			2,194
2 <sup>nd</sup> Floor	0	711			711
3 <sup>rd</sup> Floor	0	0			0
Area w/ ceilings > 15'		0	Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)	168	266	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	434	0
Basement	0	0	Must follow article 3.3.3B, see note below		0
Attic	0	0	Must follow article 3.3.3C, see note below		0
Garage**: (check article utilized)	Attached	0	<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0
	Detached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0
Carport**: (check article utilized)	Attached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0
	Detached	0	<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0
Accessory Building(s) (detached)	0	0			0
Totals	1,504	1,835			2,905

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,905.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 39 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



1. All dimensions based on Survey by Windrose Land Surveyors.

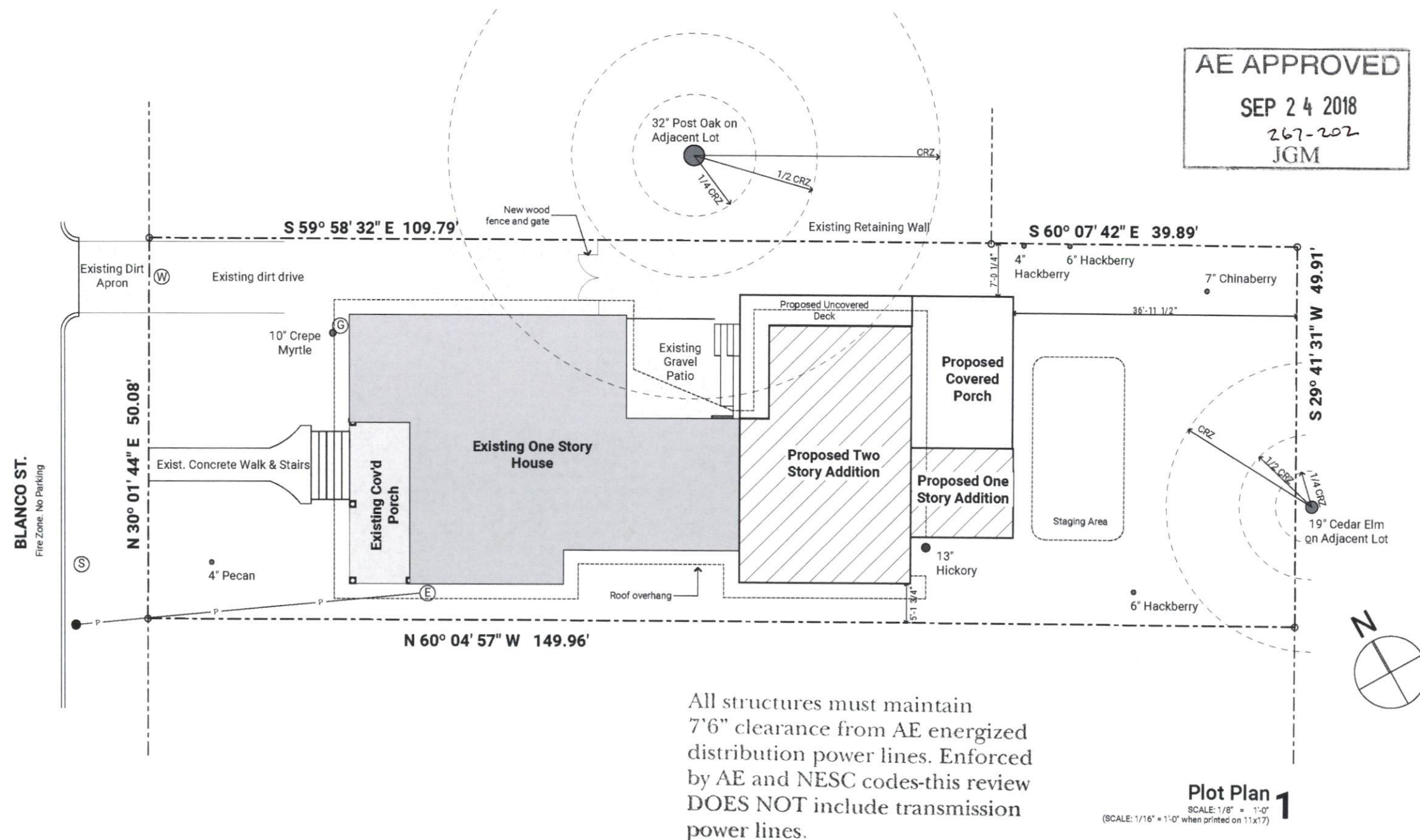
Tree Notes:

2. No demo in 1/2 or 1/4 CRZ.

4. General contractor to provide tree protection as required by City of Austin.

<b>Address</b> 1009 Blanco St. Austin,TX 78703	<b>Legal Description</b> S CEN 50 FT OF LOT 1-3 BLK 6 OLT 5 DIV Z SILLIMAN SUBD		<b>Impervious Cover</b>  Addition Level 1 857.89 Covered Porch 266.44 Existing Front Porch 168.02 Existing House 1,336.08 Existing Walkway & Stair 145.70 New Parking Pad 144.50 New Parking Pad 144.50 Uncovered Deck & Steps 157.90 <b>3,221.04 sq ft</b>	
	<b>Lot Size</b> (From Survey dated 7/12/12) Site Area 7,483.00 sq ft	<b>Building Cover</b>  Addition Level 1 857.89 Covered Porch 266.44 Existing Front Porch 168.02 Existing House 1,336.08 <b>2,628.44 sq ft</b>		
	<b>FAR</b> Addition Level 1 857.89 Addition Level 2 711.44 Existing House 1,336.08 <b>2,905.41 sq ft</b>  38.8 %			
<b>Zoning</b> SF-3-NP				
<b>Neighborhood Group</b> OWANA				
<b>Zoning Overlays</b> RDCC Castle Hill LHD				
			43.00 %	

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**BLANCO ADDITION**  
1009 Blanco Street  
Austin, TX 78703

ISSUED FOR PERMIT

Project Number: 1706



ISSUED:

## Site Plan

## A0.0

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Site Notes:

1. All dimensions based on Survey by Windrose Land Surveyors.
2. Utility locations are approximate and to be verified in the field prior to starting work.

Tree Notes:

1. Dumpster and spoils placement, portable toilet and concrete washout to be located on existing drive. All material staging located in 'Staging Area' in backyard.
2. No demo in 1/2 or 1/4 CRZ.
3. Any necessary canopy pruning to be reviewed by certified Arborist prior to work being done.
4. General contractor to provide tree protection as required by City of Austin.

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	<b>Lot Size</b> (From Survey dated 7/12/12)		Addition Level 1	857.89
	<b>Site Area</b>	7,483.00 sq ft	Covered Porch	266.44
<b>Zoning</b> SF-3-NP			Existing Front Porch	168.02
<b>Neighborhood Group</b> OWANA	<b>FAR</b>		Existing House	1,336.08
	Addition Level 1	857.89	Existing Walkway & Stair	145.70
	Addition Level 2	711.44	New Parking Pad	144.50
<b>Zoning Overlays</b> RDCC Castle Hill LHD	Existing House	1,336.08	New Parking Pad	144.50
		2,905.41 sq ft	Uncovered Deck & Steps	157.90
		38.8 %		3,221.04 sq ft
				43.00 %

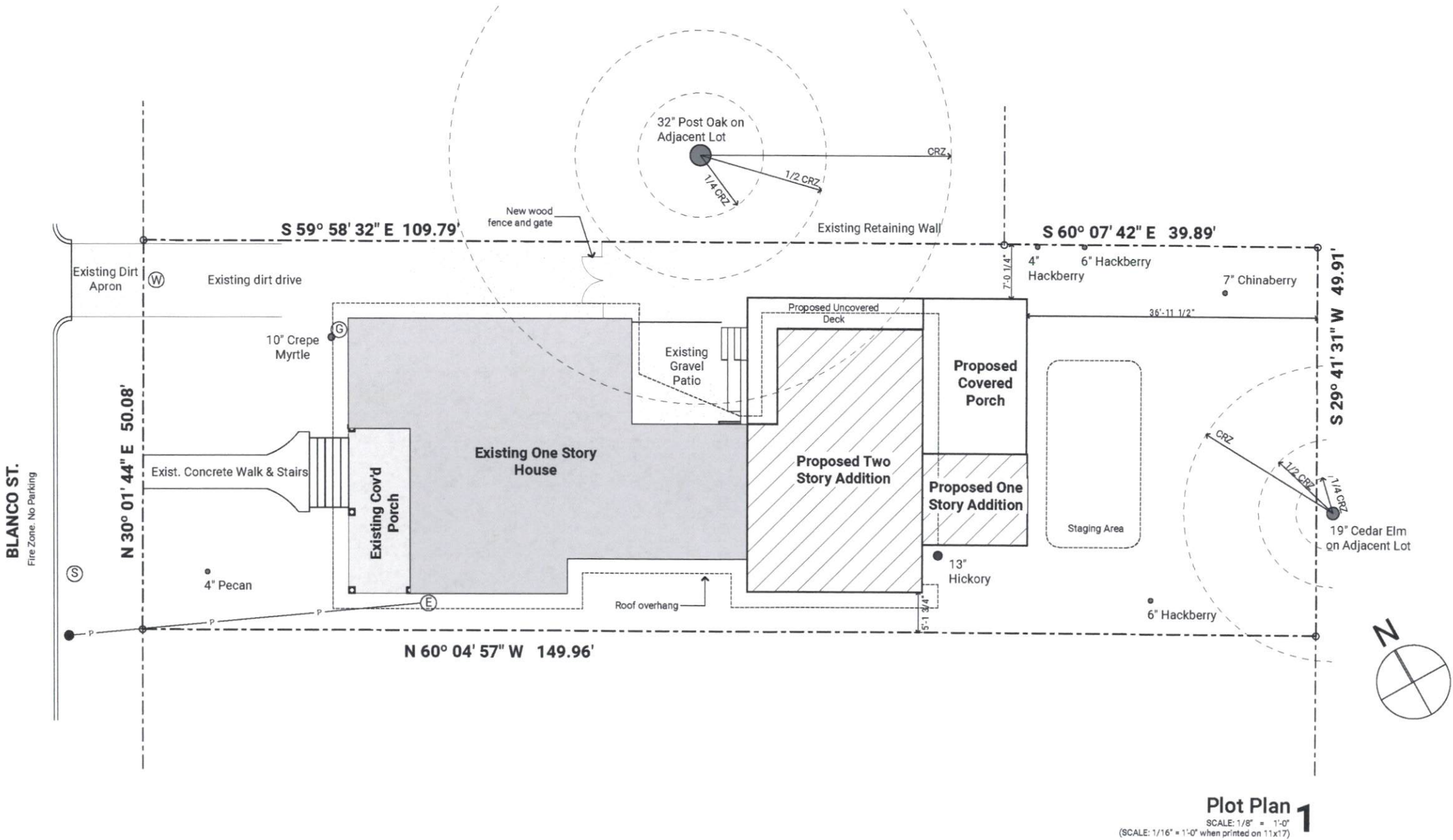
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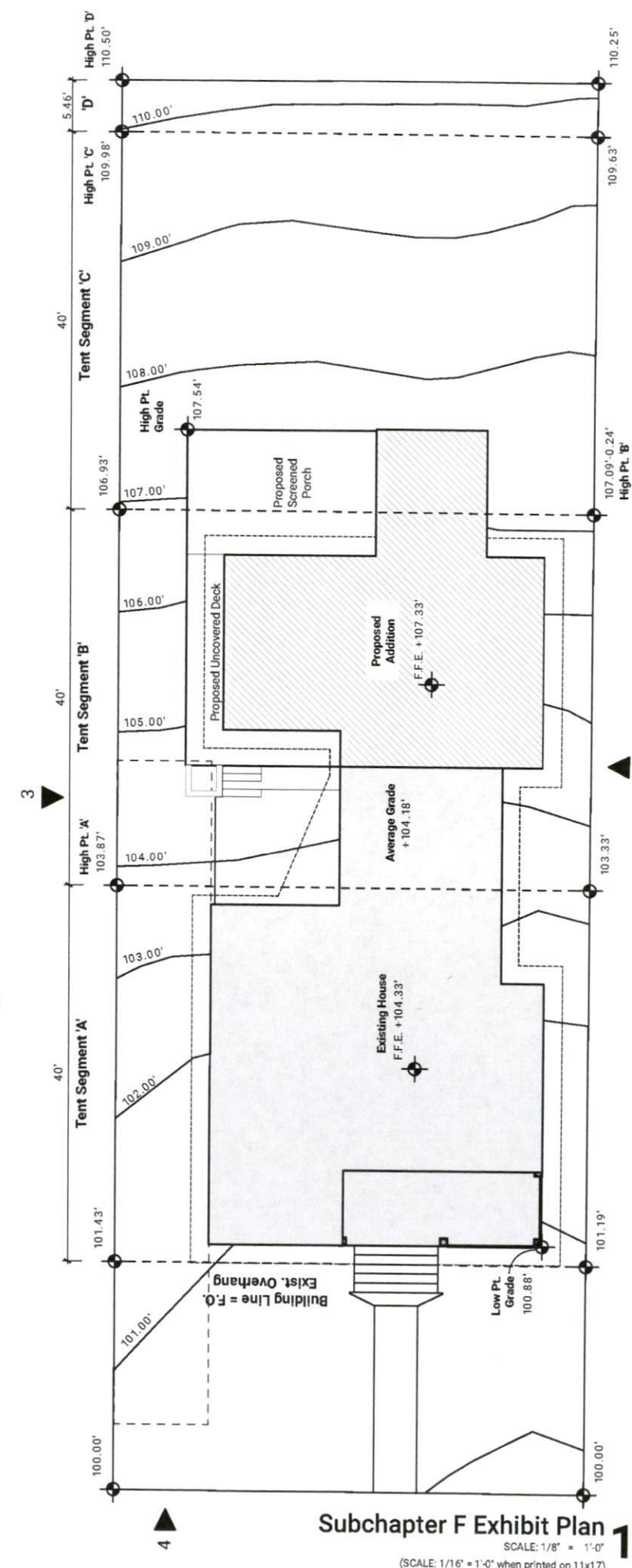


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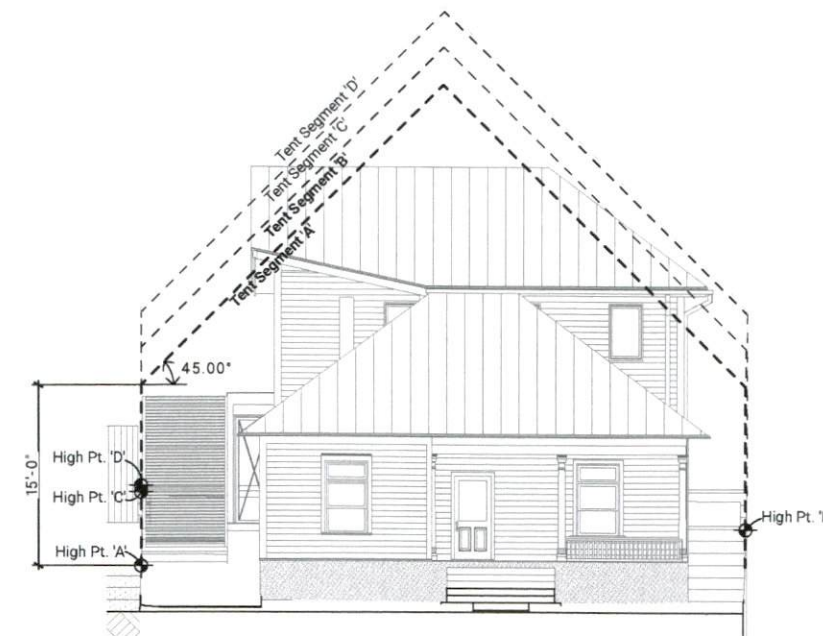
McMansion Exhibits

A0.1

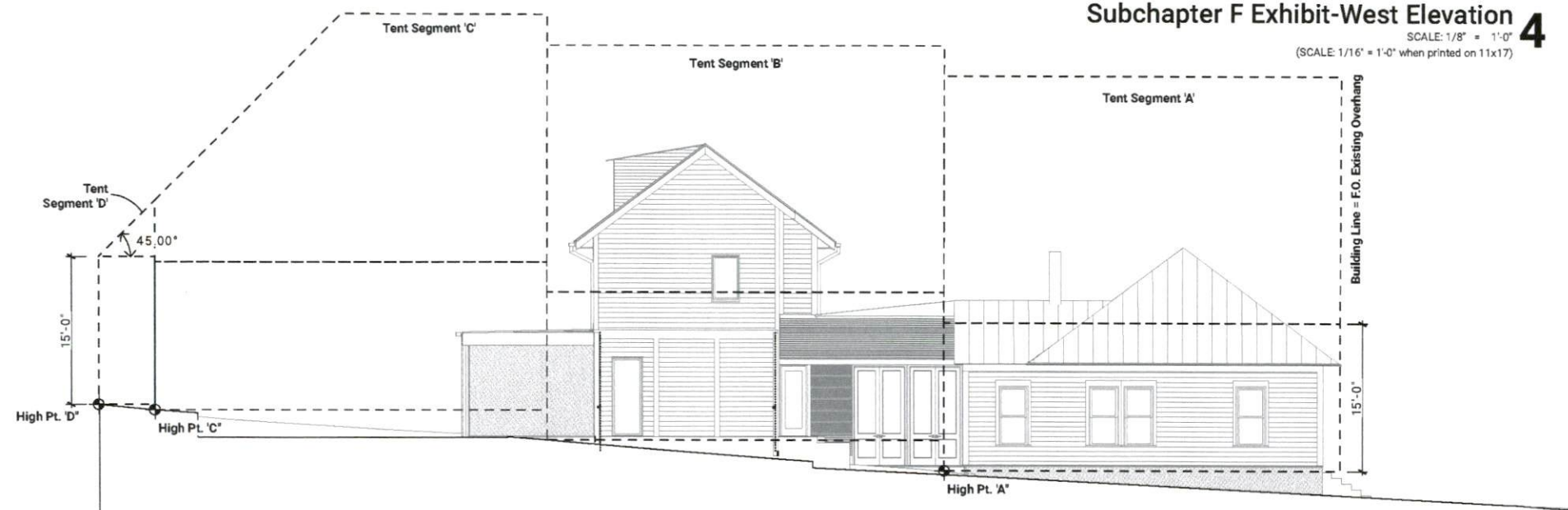
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Subchapter F Exhibit Plan 1  
SCALE: 1/8" = 1'-0"  
(SCALE: 1/16" = 1'-0" when printed on 11x17)



Subchapter F Exhibit-West Elevation 4  
SCALE: 1/8" = 1'-0"  
(SCALE: 1/16" = 1'-0" when printed on 11x17)

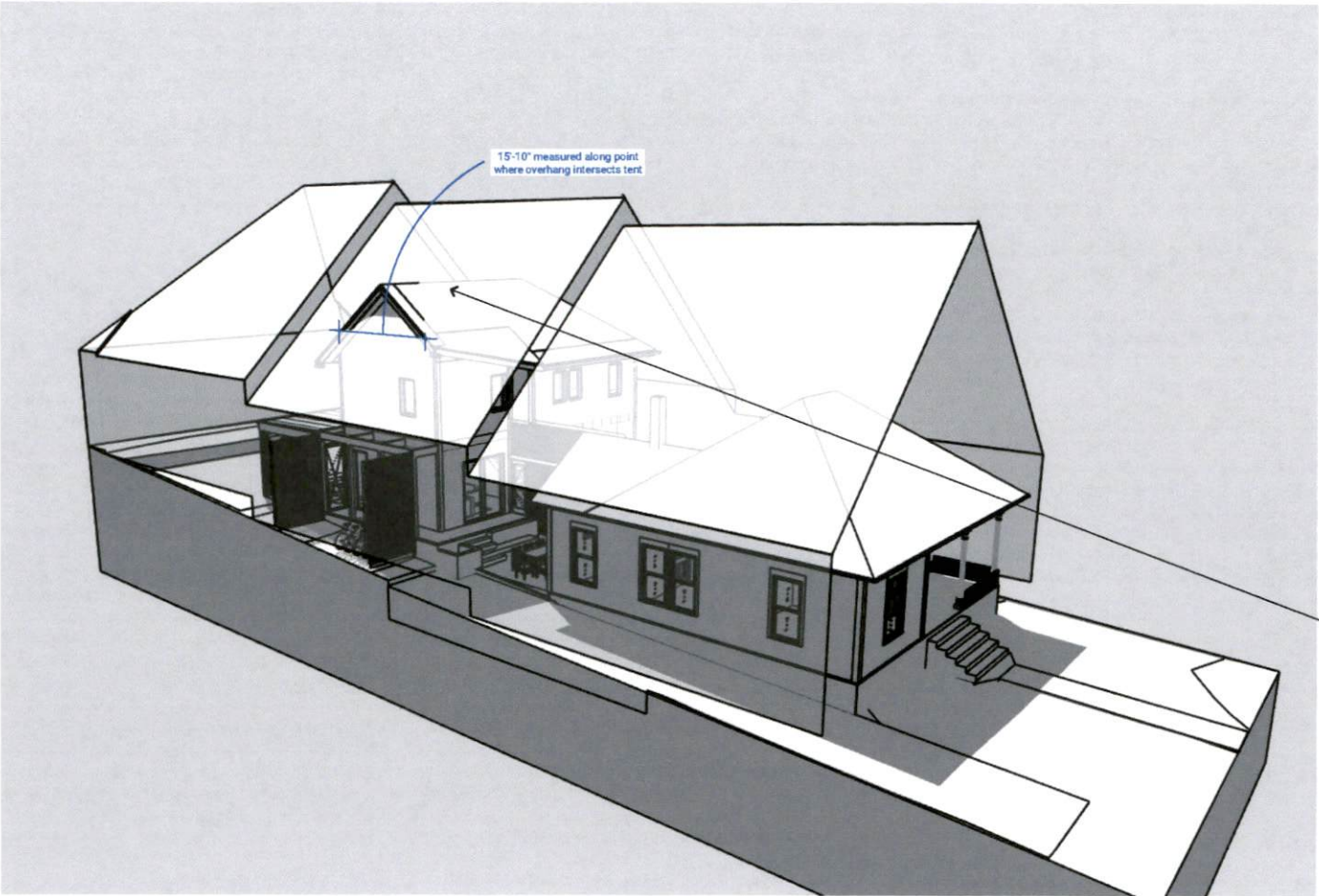


Subchapter F Exhibit-North Elevation 3  
SCALE: 1/8" = 1'-0"  
(SCALE: 1/16" = 1'-0" when printed on 11x17)



Subchapter F Exhibit-South Elevation 2  
SCALE: 1/8" = 1'-0"  
(SCALE: 1/16" = 1'-0" when printed on 11x17)





3D View: From North **2**  
N.T.S.

**LDC Subchapter F  
2.6 Setback Planes**

(E.) Exceptions. A structure may not extend beyond a setback plane, except for:

1. A roof overhang or eave, up to two feet beyond the setback plane;
2. A chimney, vent, antenna, or energy conservation or production equipment or feature not designed for occupancy; and
3. (i) Gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

Gable roof protrudes in to tent as allowed by Subchapter F 2.6 (E)(3)(i).

Roof framing and overhang protrude in to tent as allowed by Subchapter F 2.6 (E)(2)  
Top of plate is fully inside tent.



3D View: From South **1**  
N.T.S.

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Subchapter F Exhibits-3D



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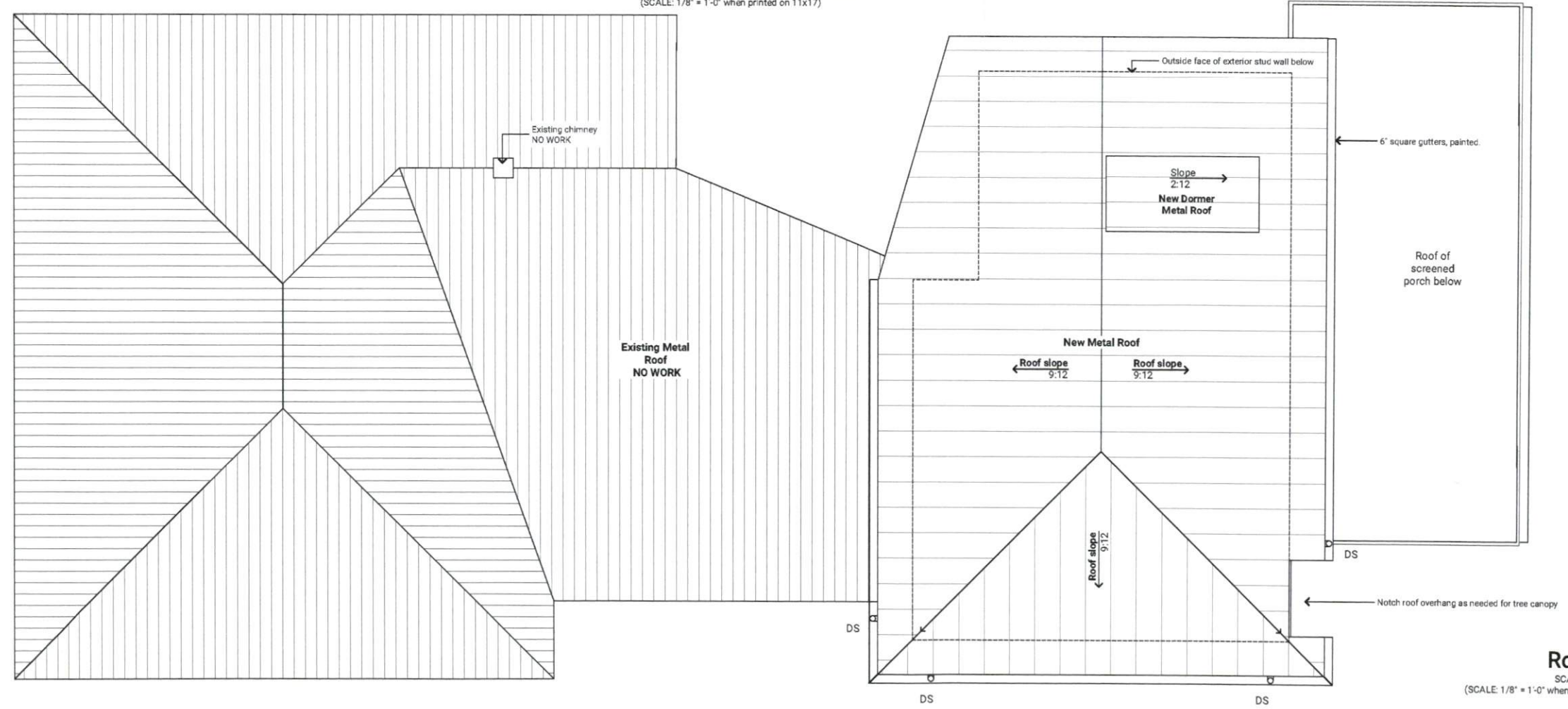
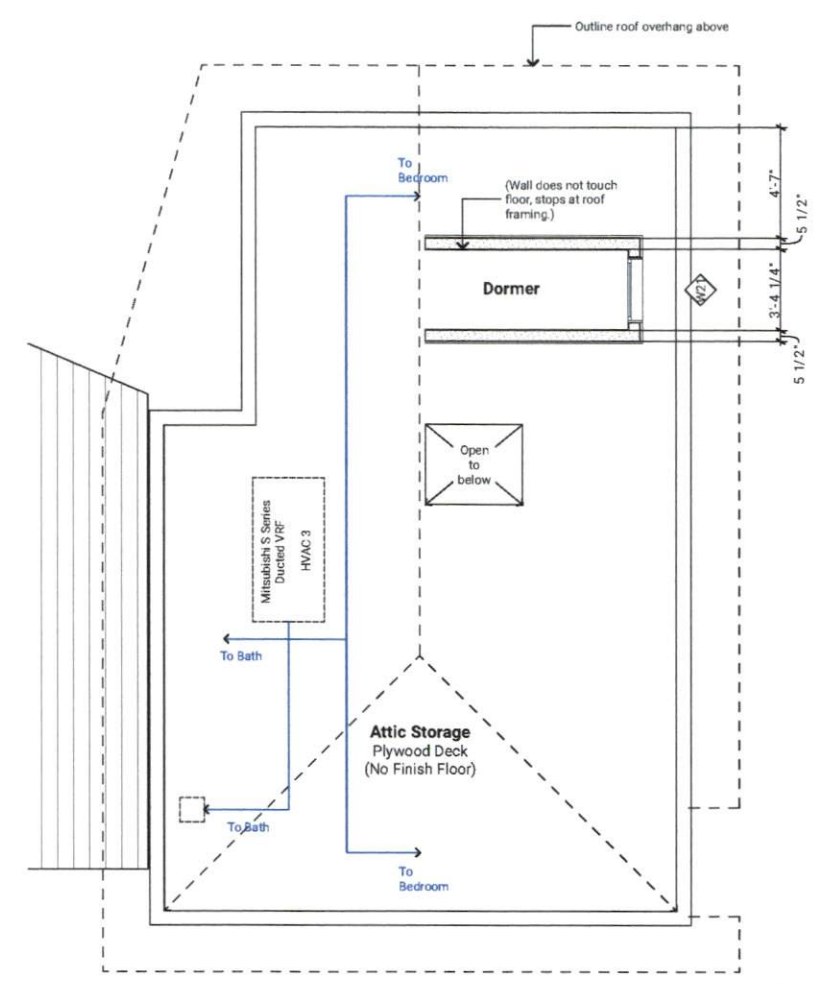


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Roof Plan

**A1.3**

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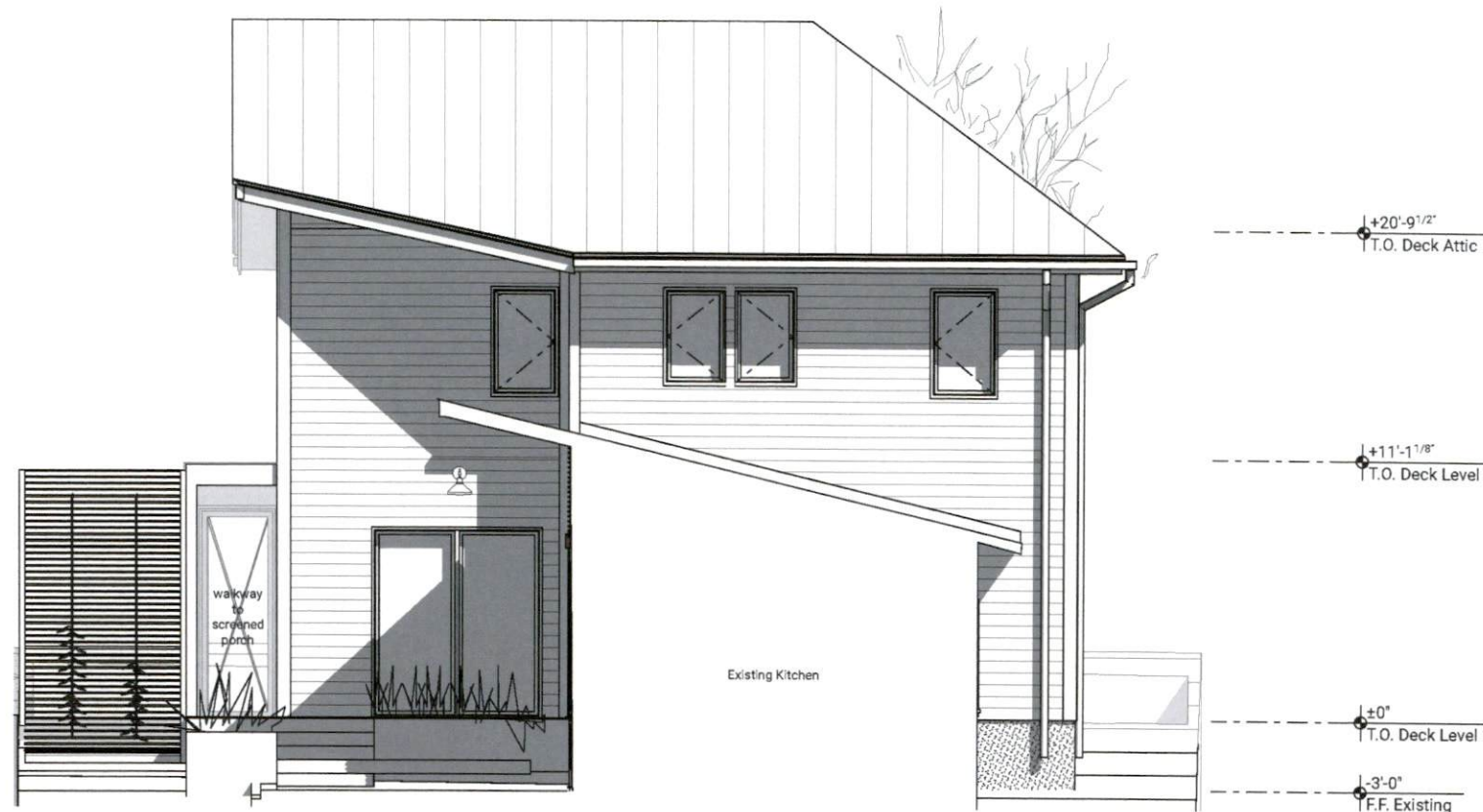


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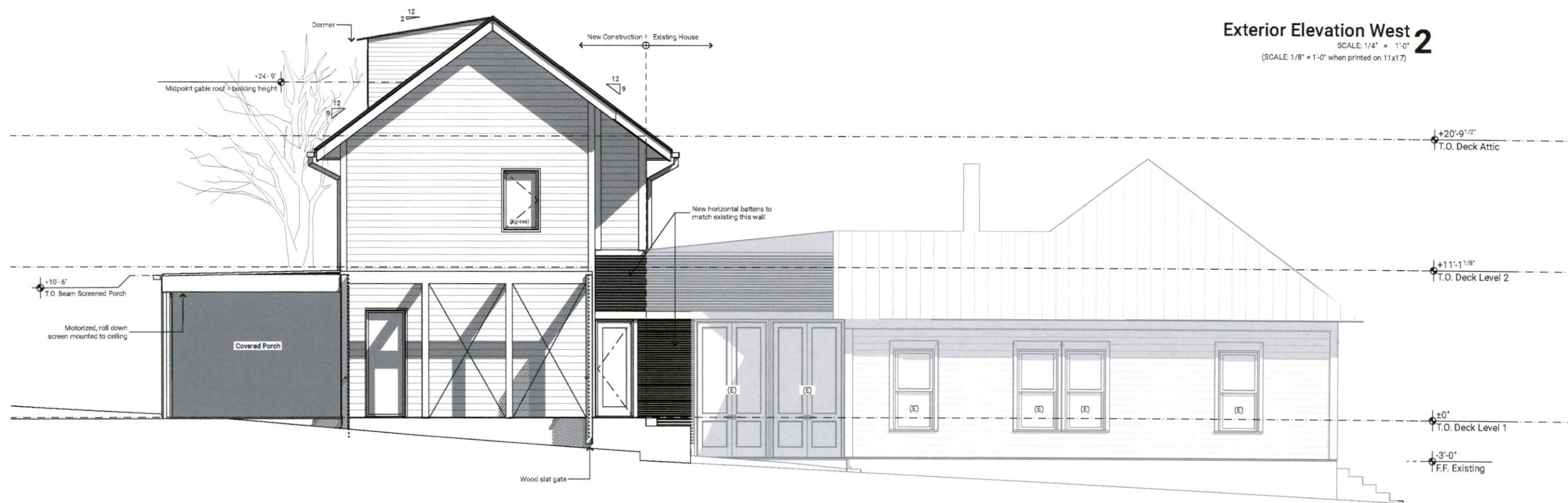
Exterior Elevations

**A2.0**

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**Exterior Elevation West 2**  
SCALE: 1/4" = 1'-0"  
(SCALE: 1/8" = 1'-0" when printed on 11x17)



**Exterior Elevation North 1**  
SCALE: 1/4" = 1'-0"  
(SCALE: 1/8" = 1'-0" when printed on 11x17)



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Project Number: 1706



ISSUED:

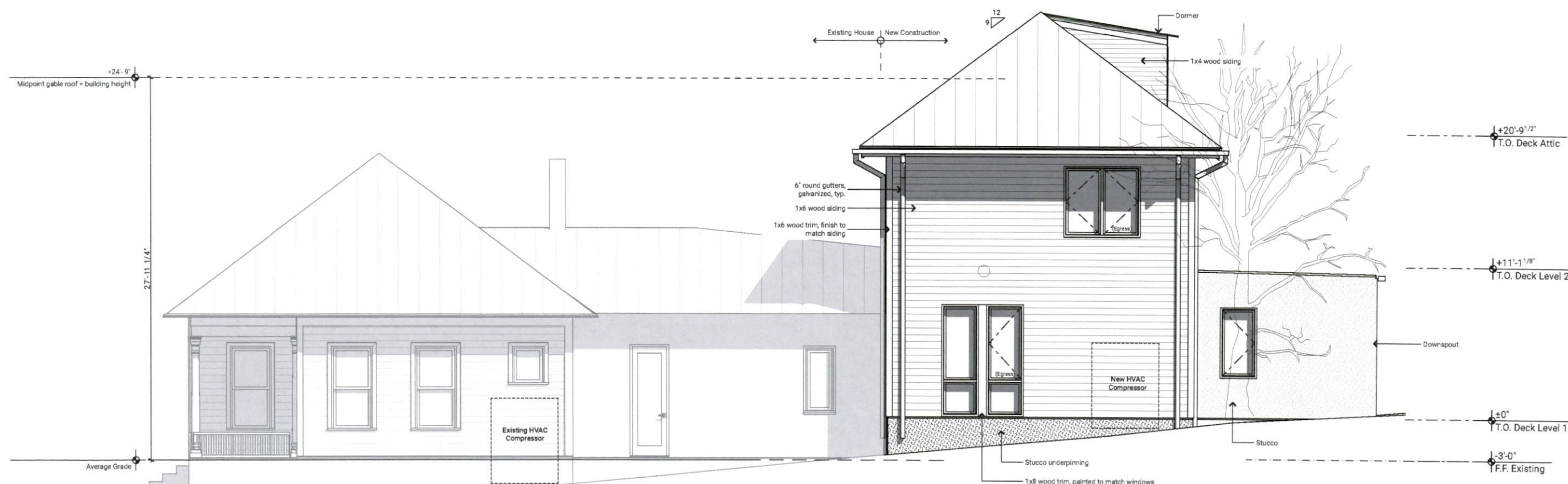
Exterior Elevations

**A2.1**

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Exterior Elevation East **2**  
SCALE: 1/4" = 1'-0"



Exterior Elevation South **1**  
SCALE: 1/4" = 1'-0"  
(SCALE: 1/8" = 1'-0" when printed on 11x17)





View From Front  
NOT TO SCALE

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ISSUED:

View from NW corner

**v1**

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View From Front

NOT TO SCALE

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ISSUED:

View from Front

**v2**

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View From Front

NOT TO SCALE

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ISSUED:

View from SW corner

**v3**

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