



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

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Property Information

Project Address: 1602 WILSHIRE BLVD, AUSTIN, TX 78722

Tax Parcel ID: 213435

Legal Description: LOT 17 WILSHIRE PARK

Zoning District: SF3

Lot Area (sq ft): 8,111.00

Neighborhood Plan Area (if applicable): D2000

Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N ☐
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☐ N ☐
(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☐ N ☐
(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☐ N ☐
(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y ☐ N ☐

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☐ N ☐

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☐ N ☐
(If yes, EHZ review is required)

Is this property within 150 feet of the 100 year floodplain?
Y ☐ N ☐ (Proximity to floodplain may require additional review time.)

Is there a protected sized tree on this lot or adjacent lot(s)? Y ☐ N ☐

(If yes, [click here](#) for more information on the tree permit process.)

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y ☐ N

Does this site currently have: water availability? ☐ Y ☐ N
wastewater availability? ☐ Y ☐ N

(If no, contact Austin Water Utility to apply for
water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N ☐
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N ☐
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

(If yes, submit approved auxiliary and potable plumbing plans.)

Does this site require a cut or fill in excess of four (4) feet? Y ☐ N ☐

(If yes, contact the Development Assistance Center for more information)

Is this site within the Waterfront Overlay? Y ☐ N ☐
(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☐ N ☐
(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☐ Y ☐ N ☐
(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? Y ☐ N ☐
(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☐ N ☐

Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N ☐

(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N ☐

(If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: vacant ☐ single-family residential ☐

duplex residential ☐

two-family residential ☐

other: _____

Proposed Use: vacant ☐ single-family residential ☐

duplex residential ☐

two-family residential ☐

other: _____

Project Type: ☐ new construction ☐

addition ☐

addition/remodel ☐

other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y ☐ N ☐

(Note: Removal of all or part of a structure requires a demolition permit application.)

existing bedrooms: 0

bedrooms upon completion: 4

baths existing: 0.0

baths upon completion: 3.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

2843 SF, 2-STORY, SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS AND 3 BATHS

Trades Permits Required (Circle as applicable):

☐ electric

☐ plumbing

☐ mechanical (HVAC)

☐ concrete (R.O.W.)

| Job Valuation | | |
|--|---|---|
| Total Job Valuation: \$ <u>426,450</u> | Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>426,450</u> | Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ _____ Elec: \$ _____ Plmbg: \$ _____ Mech: \$ _____ TOTAL: \$ <u>0</u> |
| <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small> | | |
| Amount for Primary Structure: \$ _____ Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |
| Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N Mech: <input type="checkbox"/> Y <input type="checkbox"/> N | | |

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

| Site Development Information | | | | | | |
|--|----------------|--------|--|--------|-------------|--------|
| Area Description | Existing Sq Ft | | New/Added Sq Ft | | Total Sq Ft | |
| <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small> | Bldg 1 | Bldg 2 | Bldg 1 | Bldg 2 | Bldg 1 | Bldg 2 |
| a) 1 st Floor conditioned area | | | 1,344.00 | | 1,344.00 | 0.00 |
| b) 2 nd Floor conditioned area | | | 1,259.00 | | 1,259.00 | 0.00 |
| c) 3 rd Floor conditioned area | | | 0.00 | | 0.00 | 0.00 |
| d) Basement | | | 0.00 | | 0.00 | 0.00 |
| e) Covered parking (garage or carport) | | | 400.00 | | 400.00 | 0.00 |
| f) Covered patio, deck, porch, and/or balcony area(s) | | | 240.00 | | 240.00 | 0.00 |
| g) Other covered or roofed area | | | 296.00 | | 296.00 | 0.00 |
| h) Uncovered wood decks | | | 112.00 | | 112.00 | 0.00 |
| Total Building Area (total a through h) | 0.00 | 0.00 | 3,651.00 | 0.00 | 3,651.00 | 0.00 |
| i) Pool | | | 0.00 | | 0.00 | 0.00 |
| j) Spa | | | 0.00 | | 0.00 | 0.00 |
| k) Remodeled Floor Area, excluding Addition / New Construction | — | — | — | — | | |
| Building Coverage Information <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small> Total Building Coverage (sq ft): <u>2,280.00</u> % of lot size: <u>28</u> | | | | | | |
| Impervious Cover Information <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small> Total Impervious Cover (sq ft): <u>2,842.00</u> % of lot size: <u>35</u> | | | | | | |
| Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) Y <input checked="" type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input checked="" type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <input checked="" type="checkbox"/> N | | | | | | |
| Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>22</u> ft <u>5</u> in Number of Floors: <u>2</u> | | | Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u> | | | |
| Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="checkbox"/> Y N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small> Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y N Width of approach (measured at property line): <u>18.0</u> ft Distance from intersection (for corner lots only): _____ ft Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N <small>(If yes, drainage review is required)</small> | | | | | | |

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

| | Existing Sq Ft | New/Added Sq Ft | Proposed Exemption (check article utilized) | Applied Exemption Sq Ft | Total Sq Ft |
|--|----------------|-----------------|--|-------------------------|-------------|
| 1 st Floor | | 1,344.00 | | | 1,344.00 |
| 2 nd Floor | | 1,259.00 | | | 1,259.00 |
| 3 rd Floor | | 0.00 | | | 0.00 |
| Area w/ ceilings > 15' | | 0.00 | Must follow article 3.3.5 | | 0.00 |
| Ground Floor Porch* (check article utilized) | | 240.00 | <input type="checkbox"/> Full Porch sq ft (3.3.3 A) <input checked="" type="checkbox"/> 200 sq ft (3.3.3 A 2) | 200.00 | 40.00 |
| Basement | | 0.00 | Must follow article 3.3.3B, see note below | | 0.00 |
| Attic | | 0.00 | Must follow article 3.3.3C, see note below | | 0.00 |
| Garage**: (check article utilized) | Attached | 400.00 | <input checked="" type="checkbox"/> 200 sq ft (3.3.2 B 1) | 200.00 | 200.00 |
| | Detached | 0.00 | <input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b) | | 0.00 |
| Carport**: (check article utilized) | Attached | 0.00 | <input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)*** | | 0.00 |
| | Detached | 0.00 | <input type="checkbox"/> 450 sq ft (3.3.2 A 1) | | 0.00 |
| Accessory Building(s) (detached) | | 0.00 | | | 0.00 |
| Totals | 0.00 | 3,243.00 | | | 2,843.00 |

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,843.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 35 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? ☒ Y ☐ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y ☐ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

Additional Information, Continued

Calculation Aid

| Area Description | Existing Sq Ft | New/Added Sq Ft | Total Sq Ft |
|---|----------------|-----------------|--------------|
| Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall. | | | |
| a) 1 st floor conditioned area | | 1,344.00 | 1,344.00 |
| b) 2 nd floor conditioned area | | 1,259.00 | 1,259.00 |
| c) 3 rd floor conditioned area | | 0.00 | 0.00 |
| d) Basement | | 0.00 | 0.00 |
| e) Attached Covered Parking (garage or carport) | | 400.00 | 400.00 |
| f) Detached Covered Parking (garage or carport) | | 0.00 | 0.00 |
| g) Covered Wood Decks (counted at 100%) | | 160.00 | 160.00 |
| h) Covered Patio | | 0.00 | 0.00 |
| i) Covered Porch | | 240.00 | 240.00 |
| j) Balcony | | 0.00 | 0.00 |
| k) Other – Specify: Front overhang | | 136.00 | 136.00 |
| Total Building Area (TBA) (add: a through k) | 0.00 | 3,539.00 | 3,539.00 |
| Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j) | (A) 0.00 | 2,280.00 | (B) 2,280.00 |
| l) Driveway | | 475.00 | 475.00 |
| m) Sidewalks | | | 0.00 |
| n) Uncovered Patio | | 16.00 | 16.00 |
| o) Uncovered Wood Decks (counted at 50%) | | 56.00 | 56.00 |
| p) AC pads and other concrete flatwork | | 15.00 | 15.00 |
| q) Other (Pool Coping, Retaining Walls) | | 0.00 | 0.00 |
| Total Site Impervious Coverage (add: TBC and l through q) | (C) 0.00 | 2,842.00 | (D) 2,842.00 |
| r) Pool | | 0.00 | 0.00 |
| s) Spa | | 0.00 | 0.00 |

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq ft): 8,111.00

Existing Building Coverage (see above A, sq ft): 0.00

Existing Coverage % of lot (A ÷ **Lot Area**) x 100 : _____ %

Final Building Coverage (see above B, sq ft): 2,280.00

Final Coverage % of lot (B ÷ **Lot Area**) x 100 : 28 %

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq ft): 0.00

Existing coverage % of lot (C ÷ **Lot Area**) x 100 : _____ %

Final Impervious Coverage (see above D, sq ft): 2,842.00

Final coverage % of lot (D ÷ **Lot Area**) x 100 : 35 %



KEYNOTE LEGEND

| | |
|-----|---|
| 501 | STANDARD TYPE 1 RESIDENTIAL DRIVEWAY, 12'-0" WIDE AT PROPERTY AND WITH A 5'-0" RADIUS FLARE AT 45 DEGREE ANGLED CONNECTION AT RIGHT OF WAY - DETAILS FOR CONSTRUCTION WILL SATISFY ALL REQUIREMENTS OF CITY OF AUSTIN STANDARD NO. 4335-1 |
| 508 | 1/4 CRITICAL ROOT ZONE - NO CUT OR FILL WITHIN THIS AREA |
| 509 | 1/2 CRITICAL ROOT ZONE - NO CUT OR FILL GREATER THAN 4" WITHIN THIS AREA |
| 510 | A MINIMUM OF 50 PERCENT OF THE CRITICAL ROOT ZONE MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER |
| 511 | PROVIDE TREE PROTECTION FENCING LOCATED AT THE 1/2 CRITICAL ROOT ZONE AREA. FENCE WILL BE CHAIN LINK AND A MINIMUM OF 5'-0" HIGH |
| 519 | EXISTING FENCE AT PROPERTY LINE |
| 526 | CURB |
| 550 | EXISTING WATER METER LOCATION TO BE VERIFIED ON SITE. IF WATER LINES FROM EXISTING WATER METER CAN NOT AVOID THE 1/2CRZ OF THE PROTECTED TREE RELOCATE WATER METER TO STAY OUT OF THE 1/2CRZ. |

FLOOR-TO-AREA RATIO = 35%

| | |
|-------------------|----------|
| SITE | 8,111 SF |
| LOT | 8,111 SF |
| GROSS FLOOR AREA | |
| GARAGE > 200 SF | 200 SF |
| GROUND FLOOR | 1,344 SF |
| PORCH > 200 SF | 40 SF |
| SECOND FLOOR | 1,259 SF |
| | 2,843 SF |
| EXEMPT FLOOR AREA | |
| GARAGE < 200 SF | 200 SF |
| PORCH < 200 SF | 200 SF |
| | 400 SF |

IMPERVIOUS COVER = 35%

| | |
|---------------------------|----------|
| SITE | 8,111 SF |
| LOT | 8,111 SF |
| IMPERVIOUS COVER | |
| BUILDING COVERAGE | 2,280 SF |
| DRIVE | 475 SF |
| FLATWORK | 31 SF |
| UNCOVERED WOOD DECK (50%) | 56 SF |
| | 2,842 SF |

TREE LIST

| | DIAMETER | TYPE | PROTECTED |
|----|----------|----------|-----------|
| 33 | | LIVE OAK | YES |
| 55 | 22.25 | ELM | YES |
| 44 | 20.25 | ELM | YES |
| 12 | 19.5 | ELM | YES |
| 90 | 13.75 | ELM | NO |

G GAS METER
W WATER METER

--- GAS LINE
--- WATER
--- WASTEWATER

SITE LEGEND



All structures must maintain 7'6" clearance from AE energized distribution power lines. Enforced by AE and NESC codes this review DOES NOT include transmission power lines.

REVIEWED

SEP 21 REC'D

AE APPROVED

SEP 21 2018
264-512
MCP

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

1602 WILSHIRE BOULEVARD

1602 WILSHIRE BLVD



| DRAWING INDEX - PERMIT | |
|------------------------|----------------------|
| ARCHITECTURAL | |
| A0.00 | COVER SHEET |
| A0.1 | NOTES |
| A1.0 | ACCESSIBILITY PLAN |
| A1.1 | SITE PLAN |
| A1.3 | IMPERVIOUS COVER |
| A1.4 | TREE PROTECTION PLAN |
| A3.1 | FLOOR PLAN |
| A3.2 | SECOND FLOOR PLAN |
| A3.5 | ROOF PLAN |
| A4.0 | MCMANSION ELEVATIONS |
| A4.5 | 3D VIEWS |



1205 east cesar chavez
austin, tx 78702
p 512.436.1901
www.forsitestudio.com

CONSULTANTS

LEGEND

NOTES

ARCHITECTURAL ABBREVIATIONS

| | | | | | | | | | | | |
|--------|---------------------------------------|----------|---------------------------|--------|--------------------------------------|---------|----------------------------------|--------|---------------------------|------|------------------------------------|
| ABV | ABOVE | D | DRAIN | FRT | FIRE RESISTANT TREATED | M | METER | PSF | POUNDS PER SQUARE FOOT | TB | TACK BOARD |
| ACOUS | ACOUSTICAL | DBL | DOUBLE | FT | FOOT | MAS | MASONRY | PSI | POUNDS PER SQUARE INCH | TOC | TOP OF CURB |
| ADJ | ADJUSTABLE | DEMO | DEMOLISH, DEMOLITION | FURR | FURRING | MAX | MAXIMUM | PT | PRESSURE TREATED | TOSC | TOP OF STRUCTURAL STEEL |
| AFF | ABOVE FINISH FLOOR | DEPT | DEPARTMENT | FV | FIELD VERIFY | MDF | MEDIUM DENSITY FIBER BOARD | QT | QUARRY TILE | TEL | TELEPHONE |
| ALUM | ALUMINUM | DF | DRINKING FOUNTAIN | FWC | FABRIC WALL COVERING | MED | MEDIUM | QTB | QUARRY TILE BASE | THK | THICK |
| ALT | ALTERNATE | DIA or Ø | DIAMETER | GA | GAUGE | MTL | METAL | RI | RISER | TOB | TOP OF BEAM |
| ANOD | ANODIZED | DIM | DIMENSION | GB | GRAB BAR | MFGR | MANUFACTURER | R | RADIUS | TOP | TOP OF PAVEMENT |
| APPROX | APPROXIMATELY | DIV | DIVISION | GC | GENERAL CONTRACTOR | MH | MANHOLE | RB | RUBBER BASE | TOM | TOP OF MASONRY |
| AWP | ACOUSTICAL WALL PANEL | DL | DEAD LOAD | GCLU | GLAZED CMU | MIN | MINIMUM | RCP | REFLECTED CEILING PLAN | TOS | TOP OF STEEL (BOTTOM OF ROOF DECK) |
| | | DN | DOWN | GI | GALVANIZED IRON | MISC | MISCELLANEOUS | RD | ROOF DRAIN | TP | TOILET PARTITION |
| BD | BOARD | DS | DOWN SPOUT | GL | GLASS | MM | MILLIMETER | REF | REFERENCE | TV | TELEVISION |
| BLDG | BUILDING | DSP | DRY STAND PIPE | GLB | GLASS BLOCK | MOD | MODULAR | REFR | REFRIGERATOR | TYP | TYPICAL |
| BOT | BOTTOM | DTL | DETAIL | GMT | GLASS MOSAIC TILE | MTD | MOUNT(ED) (ING) | REINF | REINFORCING | TZ | TERRAZZO |
| BW | BOTH WAYS | DWG | DRAWING | GMTW | GLASS MOSAIC TILE WALL | MUL | MULLION | REQ | REQUIRE(D) (ING) | TZB | TERRAZZO BASE |
| BM | BENCH MARK | | | GR | GRADE | | | REV | REVISION | UC | UNDERCUT |
| | | E | EAST | GYP | GYP SUM | N | NORTH | RH | RIGHT HAND | UNO | UNLESS OTHERWISE NOTED |
| C | CHANNEL | EFB | EPOXY FLOOR | GYP BD | GYP SUM BOARD | NAT | NATURAL | RM | ROOM(S) | USC | UNDER SEPARATE CONTRACT |
| CC | CUBICAL CURTAIN | EJ | EXPANSION JOINT | | | NIC | NOT IN CONTRACT | ROW | RIGHT OF WAY | VAR | VARNISH |
| CK | CORK | EG | END GUARD | HC | HOLLOW CORE | NO or # | NUMBER | RVWC | RIGID VINYL WALL COVERING | VB | VAPOR BARRIER |
| CAB | CABINET | EL | ELEVATION | HDR | HEADER | NOM | NOMINAL | | | VCT | VINYL COMPOSITION TILE |
| CB | CHALK BOARD | ET | EPOXY TERRAZZO FLOOR | HDW | HARDWARE | NRC | NOISE REDUCTION COEFFICIENT | S | SOUTH | VERT | VERTICAL |
| CFCI | CONTRACTOR FURNISH CONTRACTOR INSTALL | ETB | EPOXY TERRAZZO BASE | HDWD | HARDWOOD | NTS | NOT TO SCALE | SB | SPLASH BLOCK | VEST | VESTIBULE |
| CFOI | CONTRACTOR FURNISH OWNER INSTALL | ELECT | ELECTRICAL | HGT | HEIGHT | | | SC | SOLID CORE | VT | VINYL TILE |
| CFT | CUBIC FOOT | EM | ENTRANCE MAT | HM | HOLLOW METAL | OC | ON CENTER | SCHED | SCHEDULE | VTR | VENT THROUGH ROOF |
| CG | CORNER GUARD | EMER | EMERGENCY | HORIZ | HORIZONTAL | OD | OUTSIDE DIAMETER | SECT | SECTION | VWC | VINYL WALL COVERING |
| CL | CENTER LINE | ENCL | ENCLOSURE | HP | HIGH POINT | OFD | OVERFLOW ROOF DRAIN | SHR | SHOWER | | |
| CLG | CEILING | EP | EPOXY PAINT | HR | HANDRAIL | OFF | OFFICE | SIM | SIMILAR | W | WEST |
| CI | CAST IRON | EQ | EQUAL | HVAC | HEATING VENTILATION AIR CONDITIONING | OFOI | OWNER FURNISH OWNER INSTALL | SPECS | SPECIFICATION(S) | W/ | WITH |
| CLO | CLOSET | EQUIP | EQUIPMENT | ID | INSIDE DIAMETER | OFCI | OWNER FURNISH CONTRACTOR INSTALL | SPK | SPEAKER | WBP | WOOD BASE PAINTED |
| CLR | CLEAR | EW | ELECTRIC WATER COOLER | INCL | INCLUDING | OVH | OVERHEAD | SQ | SQUARE | WBS | WOOD BASE STAINED |
| CMP | CROWN MOLDING PAINTED | EXP | EXPANSION | INSUL | INSULATION | OH | OPPOSITE HAND | SS | STAINLESS STEEL | WC | WATER CLOSET |
| CMS | CROWN MOLDING STAINED | EXIST | EXISTING | INT | INTERIOR | OPNG | OPENING | ST | STONE | WD | WOOD |
| CMT | CERAMIC MOSAIC TILE | EXT | EXTERIOR | IPS | IRON PIPE SIZE | OPP | OPPOSITE | STC | STONE COUNTERTOP | WDS | WOOD STAINED |
| CMTB | CERAMIC MOSAIC TILE BASE | | | | | | | STW | STONE WALL | WIN | WINDOW |
| CMTW | CERAMIC MOSAIC TILE WALL | FA | FIRE ALARM | J | JOIST | P | PAINT(ED) | STB | STONE BASE | W/O | WITHOUT |
| CMU | CONCRETE MASONRY UNIT | FBO | FURNISHED BY OTHERS | JAN | JANITOR | PARA | PARALLEL | STC | STAINED CONCRETE | WP | WOOD PANELING PREFINISHED |
| CO | CASED OPENING | FD | FLOOR DRAIN | JT | JOINT | PBD | PARTICLE BOARD | STD | STANDARD | WPP | WOOD PANELING PAINTED |
| COL | COLUMN | FE | FIRE EXTINGUISHER | | | PCF | POUNDS PER CUBIC FOOT | STL | STEEL | WPS | WOOD PANELING STAINED |
| CONC | CONCRETE | FEC | FIRE EXTINGUISHER CABINET | KIT | KITCHEN | PERF | PERFORATED | STO | STORAGE | WS | WATER STOP |
| CONST | CONSTRUCTION | FFE | FINISH FLOOR ELEVATION | KO | KNOCKOUT | PERI | PERIMETER | STRUCT | STRUCTURAL | WSCT | WAINSCOT |
| CR | CHAIR RAIL | FHC | FIRE HOSE CABINET | | | PFL | POUNDS PER LINEAR FOOT | SV | SHEET VINYL | WT | WEIGHT |
| CORR | CORRIDOR | FHVC | FIRE HOSE VALVE CABINET | L | LENGTH/LONG | PL | PLATE | SVB | SHEET VINYL COVERED BASE | WWF | WELDED WIRE FABRIC |
| CPT | CARPET | FE | FINISHED END | LAB | LABORATORY | PLAS | PLASTER | SYM | SYMMETRICAL | | |
| CPTB | CARPET BASE | FLR | FLOOR | LAM | LABORATORY | PLYWD | PLYWOOD | SYS | SYSTEM | | |
| CT | CERAMIC TILE | FOC | FACE OF CONCRETE | LH | LEFT HAND | PP | PORCELAIN PAVER | | | | |
| CTB | CERAMIC TILE BASE | FOF | FACE OF FINISH | LI | LINOLEUM | PPB | PORCELAIN PAVER BASE | | | | |
| CTW | CERAMIC TILE WALL | FOM | FACE OF MASONRY | LIT | LINOLEUM COVERED BASE | PPW | PORCELAIN PAVER WALL | | | | |
| CTSK | COUNTERSINK | FOS | FACE OF STUDS | LL | LIVE LOAD | PR | PAIR | | | | |
| CYD | CUBIC YARD | FPRF | FIREPROOFING | | | | | | | | |



1602 WILSHIRE BLVD

1602 Wilshire Blvd.
COVER SHEET

| | |
|------------|------------|
| SHEET | A0.01 |
| SCALE | 1/4" = 1' |
| ISSUE DATE | 09/20/2018 |
| JOB # | 16 |

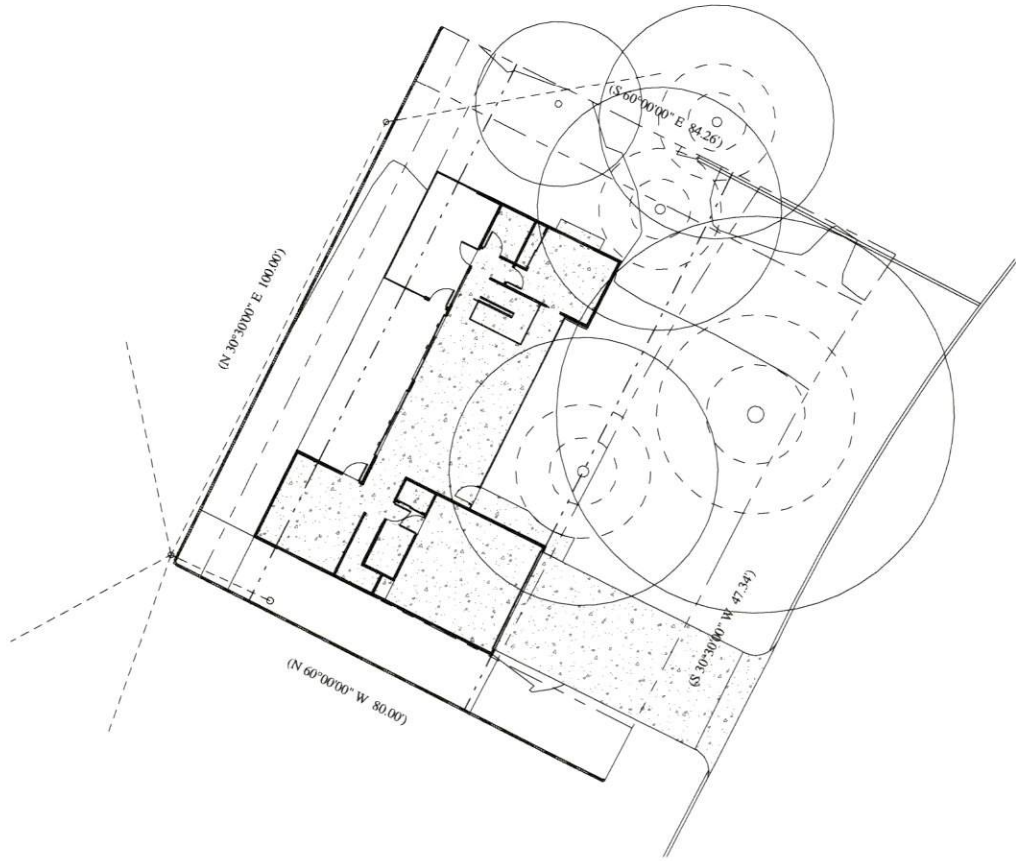
| GENERAL PROJECT NOTES | |
|-----------------------|---|
| 1. | CONSTRUCTION DOCUMENTS MAKE NO WARRENT AS TO EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONSTRUCTION AND FRAMING PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NEW CONSTRUCTION WITH EXISTING CONDITIONS. |
| 2. | THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE THE DEMOLITION WORK AS INDICATED BY THE CONTRACT DOCUMENTS. |
| 3. | CONTRACTOR TO VERIFY ALL DIMENSIONS. |
| 4. | ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50 |
| 5. | THE DRAWINGS INDICATE BUILDING CONDITIONS PER EXISTING DRAWINGS AND ACTUAL PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE POSSIBLE SLIGHT DEVIATION FROM THESE DRAWINGS. REFER TO ARCHITECTURAL & MEP DRAWINGS AND DETAILS FOR EXTENT OF DEMOLITION. |
| 6. | THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. |
| 7. | INSTALL TEMPORARY DUST PARTITIONS WITH DOORS FOR CONSTRUCTION ACCESS AROUND AREAS OF WORK SO THAT OPERATIONS IN EXISTING ADJACENT AREAS REMAIN DUST FREE AND ACCESSIBLE TO BUILDING OCCUPANTS. MAINTAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION. |
| 8. | REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, COORDINATE THE WORK WITH THE HVAC, PLUMBING AND ELECTRICAL DEMOLITION DRAWINGS. |
| 9. | PROTECT EXISTING VEGETATION, INCLUDING EXISTING TREES DURING CONSTRUCTION. REVEGETATE DAMAGED AREAS ADJACENT TO NEW CONSTRUCTION; CONTRACTOR SHALL MAINTAIN VEGETATED AREAS FOR 3 WEEKS AFTER INITIAL PLANTING |
| 10. | REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR OTHER WORK. |
| 11. | SEAL ALL PENETRATIONS, NEW AND EXISTING, ABOVE CEILINGS AT RATED FIRE WALLS IN AREAS OF WORK. |

| GENERAL NOTES | |
|---------------|---|
| 1. | ALL CEILINGS TO BE MINIMUM 8'-0" AFF, UNO |
| 2. | ALL CEILINGS TO BE 5/8" GYPSUM, UNO |
| 3. | NEW SMOKE DETECTORS (S) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R314 |
| 4. | NEW CARBON MONOXIDE DETECTORS (C) TO BE INSTALLED AS INDICATED & NO CLOSER THAN 3' TO AN AIR SOURCE, PER IRC R315 |
| 5. | LOCAL EXHAUST SYSTEMS (E) INDICATED ON PLAN IN BATHROOMS, TO BE VENTED DIRECTLY TO THE OUTDOORS PER IRC R303.3 |
| 6. | LIGHT FIXTURES IN CLOSETS TO COMPLY WITH 4003.12 |
| 7. | LIGHT SWITCHES & ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL |
| 8. | STAIR DESIGN CONFIGURATION AND CONSTRUCTION TO COMPLY WITH ALL 2015 IRC REQUIREMENTS. |
| 9. | ALL DOORS TO BE INSTALLED 4" FROM ADJACENT PERPENDICULAR DOOR, UNO |

| VISITABILITY NOTES | |
|--------------------|---|
| 1. | PER ORDINANCE NO. 20140130-21, IN REFERENCE TO LEVEL 1 BATHROOM. |
| 2. | MINIMUM CLEAR OPENING OF 30" IS REQUIRED FOR BATHROOMS PER R320.3 |
| 3. | LATERAL 2" X 6" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS |
| 4. | THE CENTERLINE OF THE BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF WALL LOCATED DIRECTLY BEHIND THE LAVATORY |
| 5. | ALL ACCESSIBLE ROUTES (OTHER THAN RAMPS) SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50. |
| 6. | LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48 INCHES ABOVE THE INTERIOR FLOOR LEVEL |
| 7. | OUTLETS AND RECEPTACLES MUST BE A MINIMUM OF 15 INCHES ABOVE THE INTERIOR FLOOR LEVEL, EXCEPT FOR FLOOR OUTLETS AND RECEPTACLES |
| 8. | VISITABILITY ROUTES MUST BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR OPENING OF 32 INCHES BEGINING AT THE VISITABLE ENTRANCE |

| GENERAL WINDOW NOTES | |
|----------------------|---|
| 1. | WINDOWS MUST HAVE GUARDS OR SAFETY GLAZING IF THEY MEET ONE OF THE FOLLOWING FOUR (4) CONDITIONS: AREA OF GLAZING IS 9 SF OR LARGER, SILL HEIGHT IS LESS THAN 18" AFF, HEAD HEIGHT IS MORE THAN 36" AFF AND GLAZING IS WITHIN 36" OF A WALKWAY PER IRC R312.2 |
| 2. | WINDOWS WITHIN 24" INCHES OF ALL DOORS AND WITH A SILL LESS THAN 60" TO BE SAFETY GLAZING PER IRC R308.4.2 |
| 3. | ALL OTHER WINDOWS TO HAVE SAFETY GLAZING AS NOTED |
| 4. | EGRESS WINDOWS TO BE A MINIMUM SIZE OF 20" X 24" / 5.7 SQ FT, PER IRC R310 |

| GENERAL STAIR NOTES | |
|---------------------|--|
| 1. | STAIRS TO COMPLY WITH IRC 2015 |
| 2. | STAIRWAY WIDTH TO BE A MINIMUM OF 36" - HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" INTO CLEAR WIDTH |
| 3. | MINIMUM HEADROOM TO BE 6'-8" |
| 4. | STAIRWAY VERTICAL RISE NOT TO EXCEED 12'-0" |
| 5. | MAXIMUM RISER HEIGHT TO BE 7 3/4" MEASURED VERTICALLY BETWEEN LEADING EDGES |
| 6. | MINIMUM TREAD DEPTH TO BE 10" MEASURED VERTICALLY BETWEEN VERTICAL SURFACES |
| 7. | LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY - MINIMUM WIDTH AND DEPTH SHALL NOT BE LESS THAN THE MINIMUM WIDTH OF THE STAIR SERVED |
| 8. | HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS STAIR RUN |
| 9. | HANDRAILS ADJACENT TO WALLS WILL HAVE A MINIMUM OF 1 1/2" CLEAR SPACE BETWEEN WALL |
| 10. | TYPE 1 HANDRAIL: CIRCULAR GRIP SIZE TO HAVE AN OUTSIDE DIAMETER OF 1 1/2" TO 2" - IF NOT CIRCULAR, GRIP TO HAVE A MAXIMUM CROSS SECTION DIMENSION OF 2 1/4" WITH A PERIMETER BETWEEN 4" AND 6 1/4" |
| 11. | WHERE GUARDRAILS ARE USED AS HANDRAILS AT STAIRS - GUARDRAILS SHALL NOT BE LESS THAN 34" AND NO MORE THAN 36" IN HEIGHT |
| 12. | AT ALL OTHER LOCATIONS WHERE GUARDRAILS ARE LOCATED THEY WILL BE A MINIMUM OF 36" IN HEIGHT |
| 13. | GUARDRAILS SHALL BE DESIGNED SO A 4" SPHERE SHALL NOT BE ABLE TO PASS |



ARCHITECTURAL LINETYPES

NEW CONSTRUCTION
EXISTING CONSTRUCTION
DEMOLITION
HIDDEN LINE

FIRE/SMOKE BARRIERS
1 HOUR FIRE BARRIER
1 HOUR FIRE/SMOKE BARRIER
2 HOUR FIRE BARRIER

FIRE/SMOKE PARTITIONS
1 HOUR FIRE PARTITION
0 HOUR SMOKE PARTITION

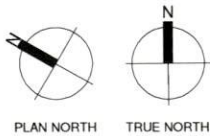
FIRE WALLS
2 HOURS
3 HOURS

ARCHITECTURAL MATERIALS

BRICK
CONCRETE
CONCRETE BLOCK
EARTH
INSULATION, BATT
INSULATION, RIGID
METAL
PLYWOOD
FINISH GRADE HARDWOOD
WOOD FRAMING THROUGH MEMBER
WOOD FRAMING INTERRUPTED MEMBER

ARCHITECTURAL SYMBOLS

WALL TAG
DOOR TAG
WINDOW TAG
ROOM NAME
Length x Width
KEYNOTE
DEMO KEYNOTE
SPECIAL EQUIPMENT
PLUMBING FIXTURE
LIGHTING FIXTURE
FLOOR TAG
GRID
REVISION
BUILDING ELEVATION
INTERIOR ELEVATION
ELEVATION TAG
LEVEL
CALLOUT
SECTION



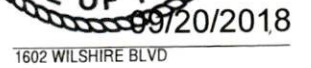


CONSULTANTS

LEGEND

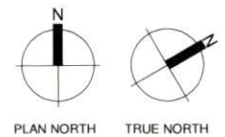
NOTES

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

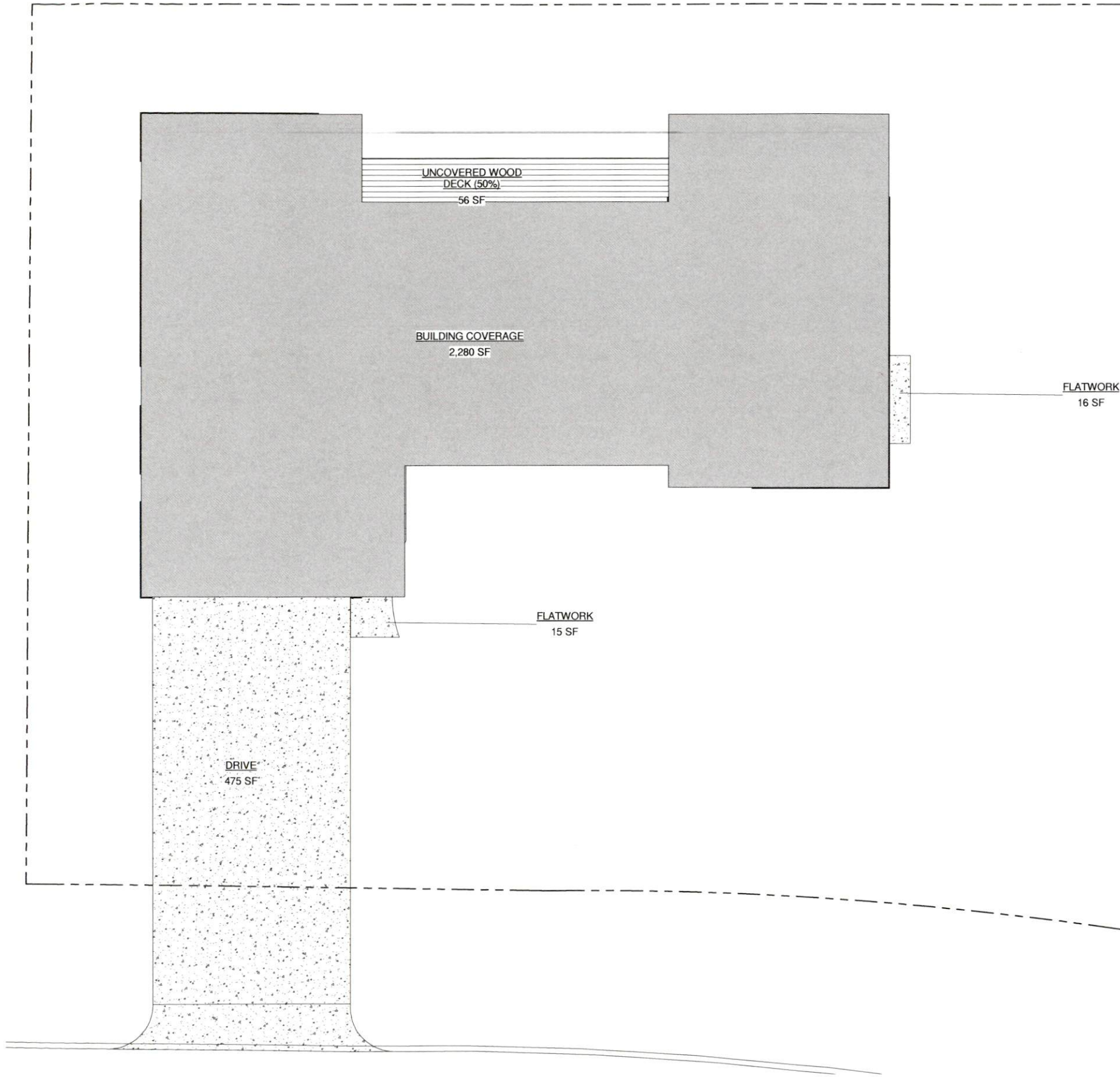


1602 Wilshire Blvd.

IMPERVIOUS COVER



| | |
|-----------------------|--------------|
| SHEET | AT. |
| SCALE (FOR 24" X 36") | 3/16" = 1' |
| SCALE (FOR 11" X 17") | HALF INDICAT |
| ISSUE DATE | 09/29/20 |
| JOB # | 1E |
| DRAWN BY | |



1 IMPERVIOUS COVER
SCALE: 3/16" = 1'-0"

| KEYNOTE LEGEND | |
|----------------|--|
| 112 | EGRESS WINDOW - MINIMUM SIZE 5.75F, 24"H X 20"W |
| 113 | PER R312 - MINIMUM WALL HEIGHT 36" |
| 211 | CHANGE OF WALL PLANE - REFERENCE PLAN |
| 714 | HORIZONTAL WOOD SLAT SCREEN WITH GAPS NO LARGER THAN 4". |

FS

FORSITE STUDIO
SUSTAINABLE DESIGN AND CONSTRUCTIO

1704 east 5th street, suite 105
austin, tx 78702
p 512.659.6905
www.forsitestudio.com

CONSULTANTS

LEGEND

NOTES

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |

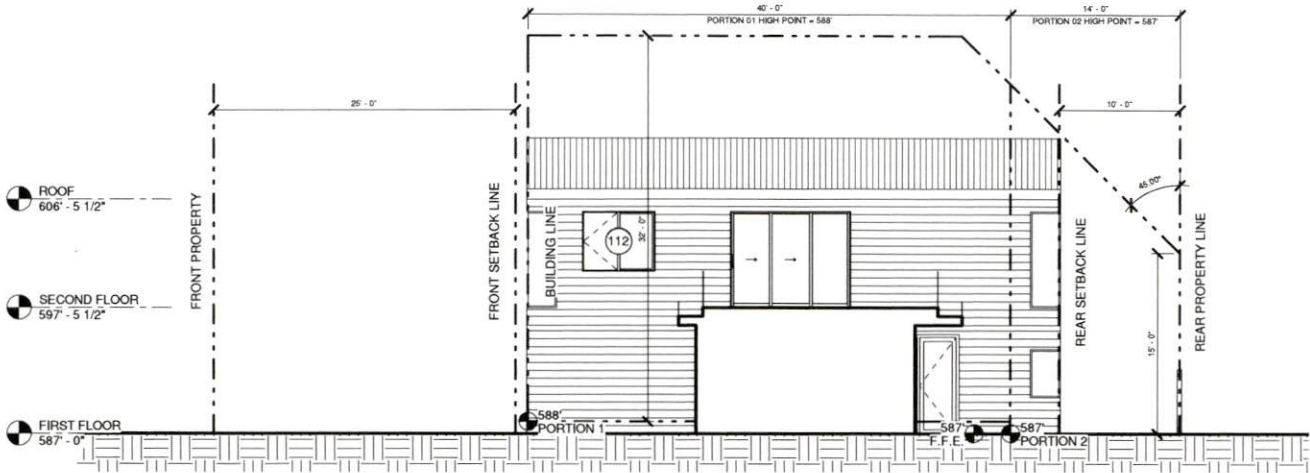


09/20/201

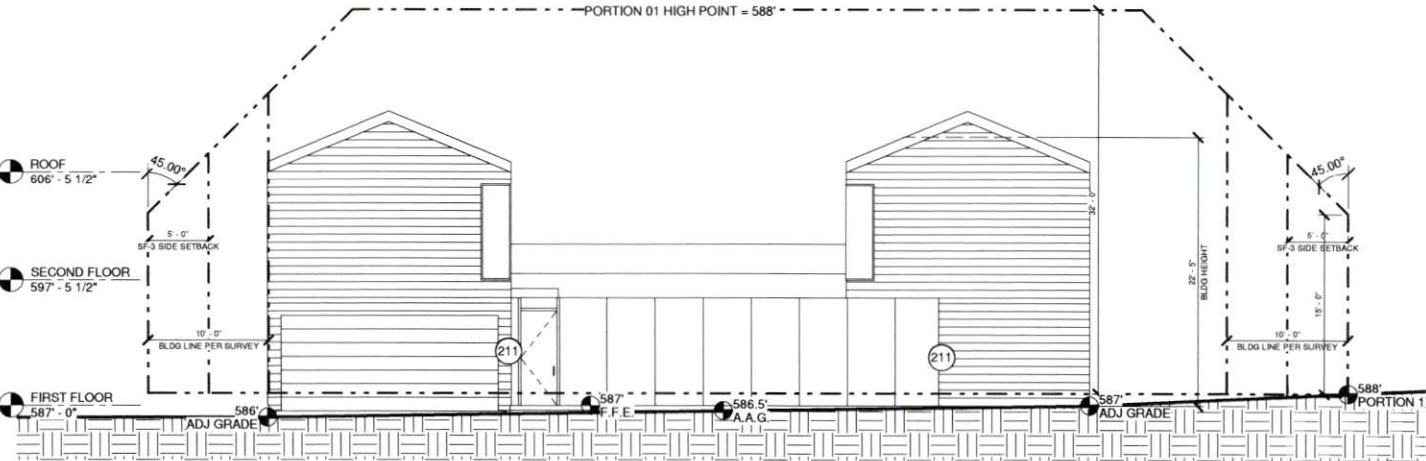
1602 WILSHIRE BLVD

1602 Wilshire Blvd.
MCMANSION
ELEVATIONS

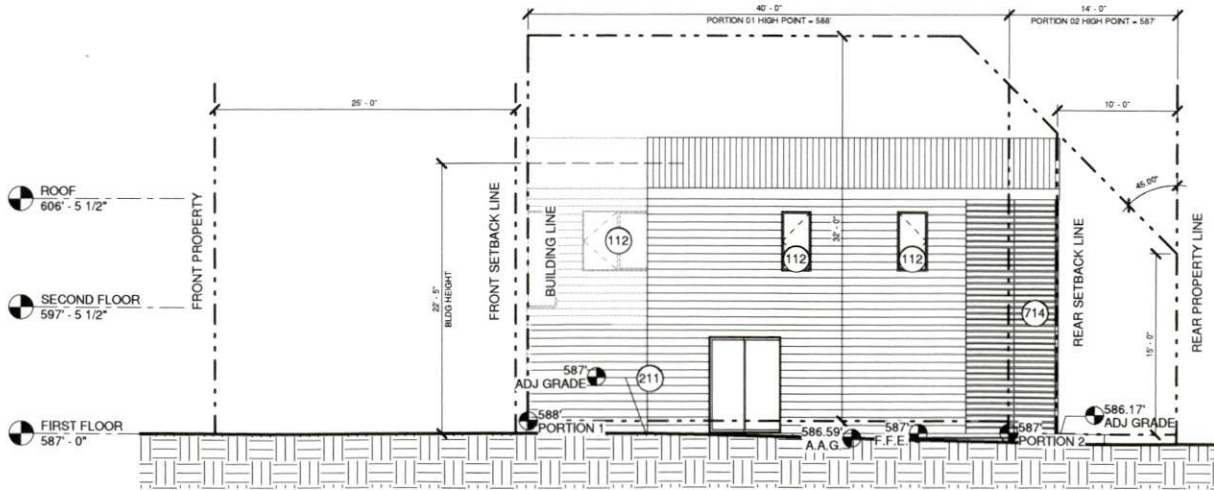
| | |
|-----------------------|--------------|
| SHEET | A4.1 |
| SCALE (FOR 24" X 36") | 1/8" = 1' |
| SCALE (FOR 11" X 17") | HALF INDICAT |
| ISSUE DATE | 09/20/20 |
| JOB # | 16 |



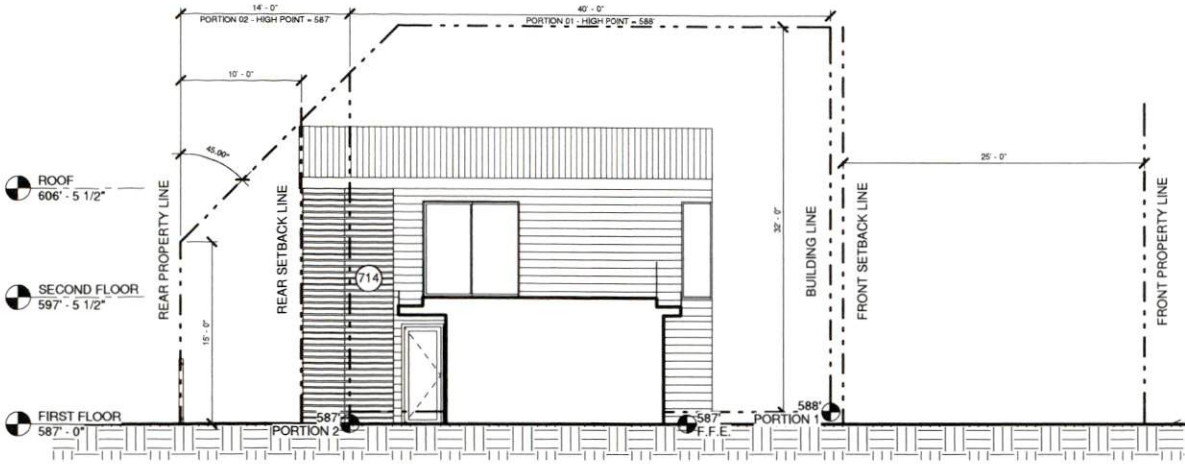
5 MCMANSION - SOUTH WING NORTH
SCALE: 1/8" = 1'-0"



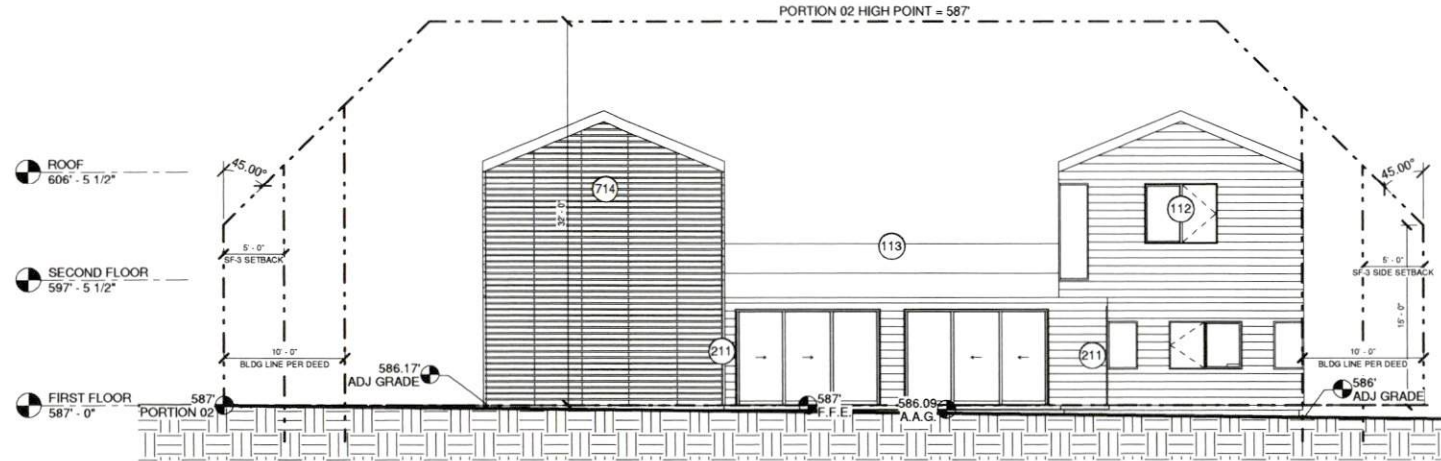
3 MCMANSION - EAST
SCALE: 1/8" = 1'-0"



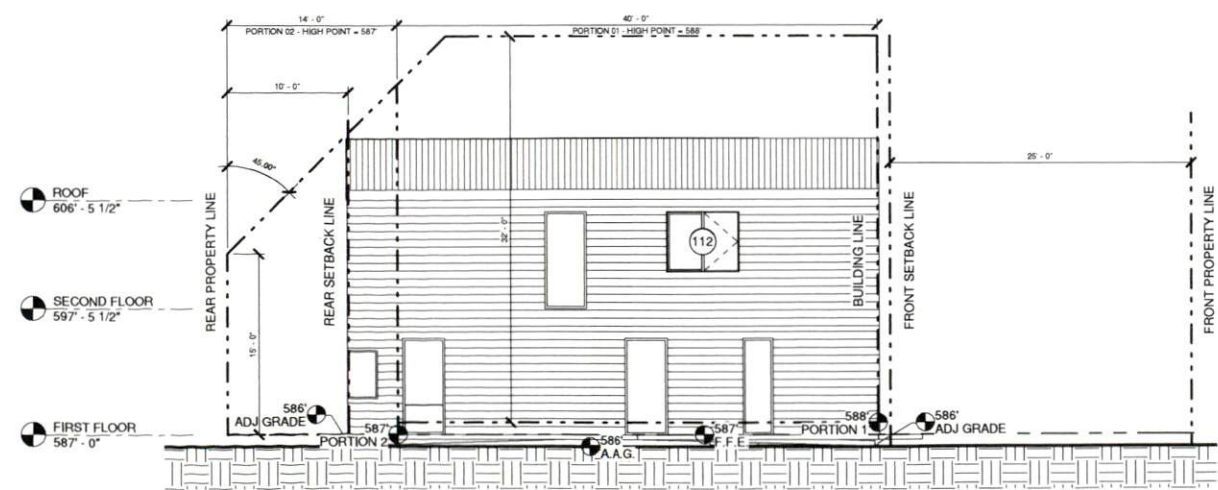
1 MCMANSION - NORTH
SCALE: 1/8" = 1'-0"



6 MCMANSION - NORTH WING SOUTH
SCALE: 1/8" = 1'-0"



4 MCMANSION - WEST
SCALE: 1/8" = 1'-0"



2 MCMANSION - SOUTH
SCALE: 1/8" = 1'-0"

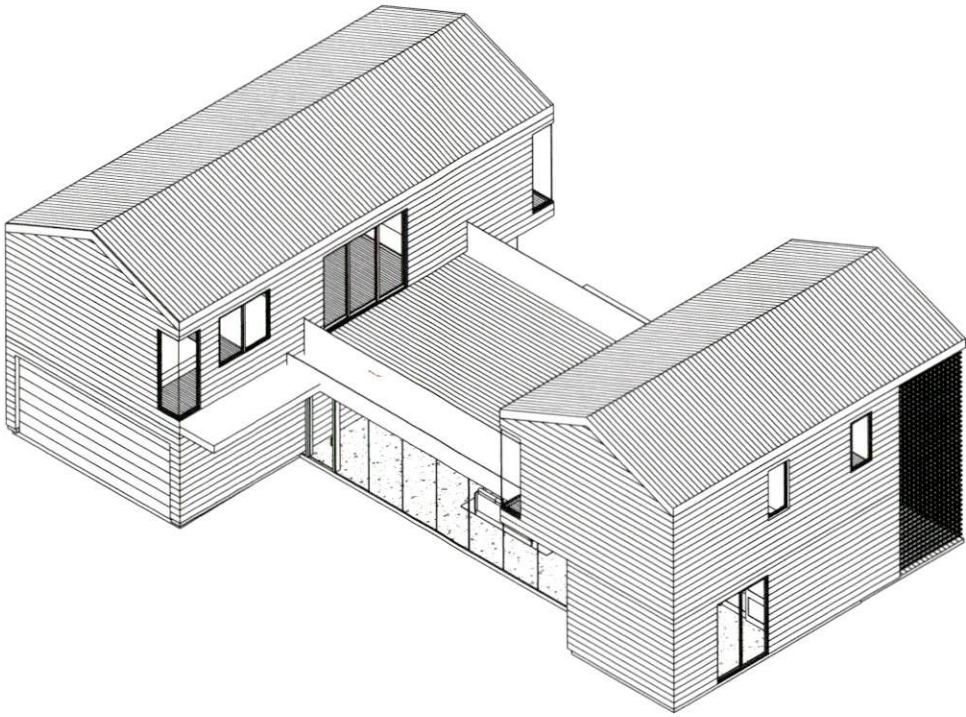


09/20/2018

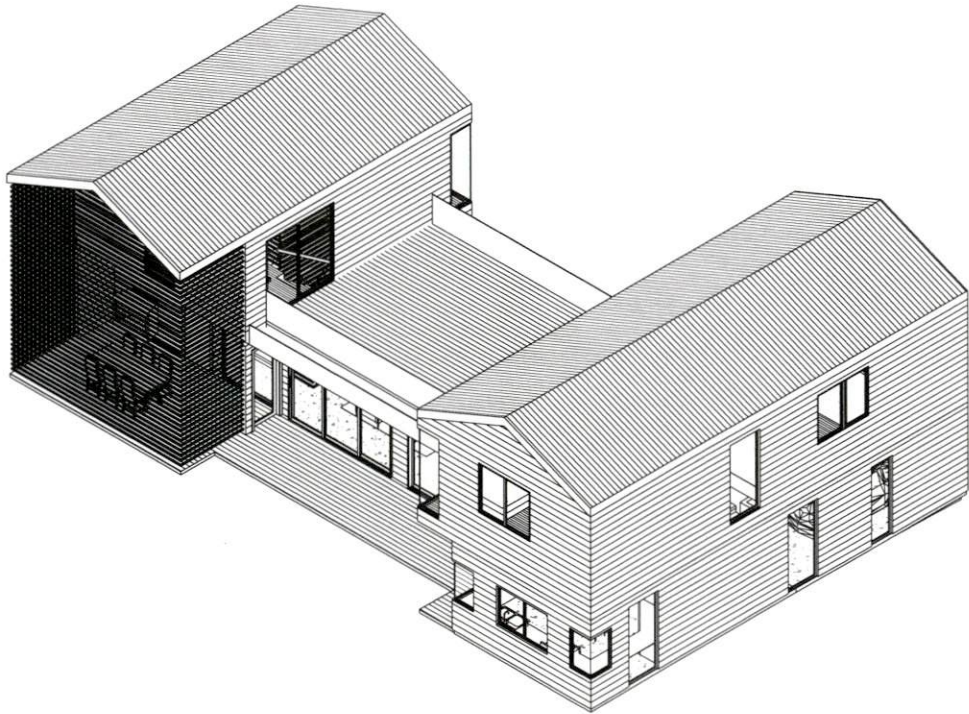
1602 WILSHIRE BLVD

1602 Wilshire Blvd.
3D VIEWS

A4.1



2 SOUTHEAST AXON
SCALE:



1 NORTHWEST AXON
SCALE: