

HISTORIC LANDMARK COMMISSION
DECEMBER 17, 2018
NATIONAL REGISTER HISTORIC DISTRICT DEMOLITION AND RELOCATION PERMITS
NRD-2018-0070
1806 W. 6TH STREET
WEST LINE HISTORIC DISTRICT

PROPOSAL

Demolish a ca. 1935 house.

ARCHITECTURE

Raised one-story, rectangular-plan, side-gabled, frame house with a minimal wing-and-gable configuration; single 1:1 fenestration; front-gabled entry hood at the front door has heavy brackets and a segmental-arched fascia; stone veneer on the front staircase; projecting, flat-roofed concrete basement addition extends from the right front of the façade; non-historic wood deck on the front of the house.

RESEARCH

The house was built in 1935 by Isabelle Sutor, who lived next door in a ca. 1917 house with the address of 1808 W. 6th Street. Isabelle Sutor was the proprietor of a prominent downtown hotel, which had been established by her late husband. This house was constructed as a rental property, and had a series of skilled working-class tenants until around 1946, when it was rented by Joseph J. and Jessie F. Bender. Joseph J. Bender was a salesman and manager for the Austin Novelty and Specialty Company. He lived until 1949; his widow, Jessie, then continued to live here until around 1975, a year or so before her death. Jessie Bender was a seamstress and dressmaker. The house remained a rental property through the 1990s.

STAFF COMMENTS

The house is contributing to the West Line National Register Historic District.

Staff has evaluated this house for designation as a historic landmark and has determined that the house does not meet the criteria for landmark designation as set forth in City Code:

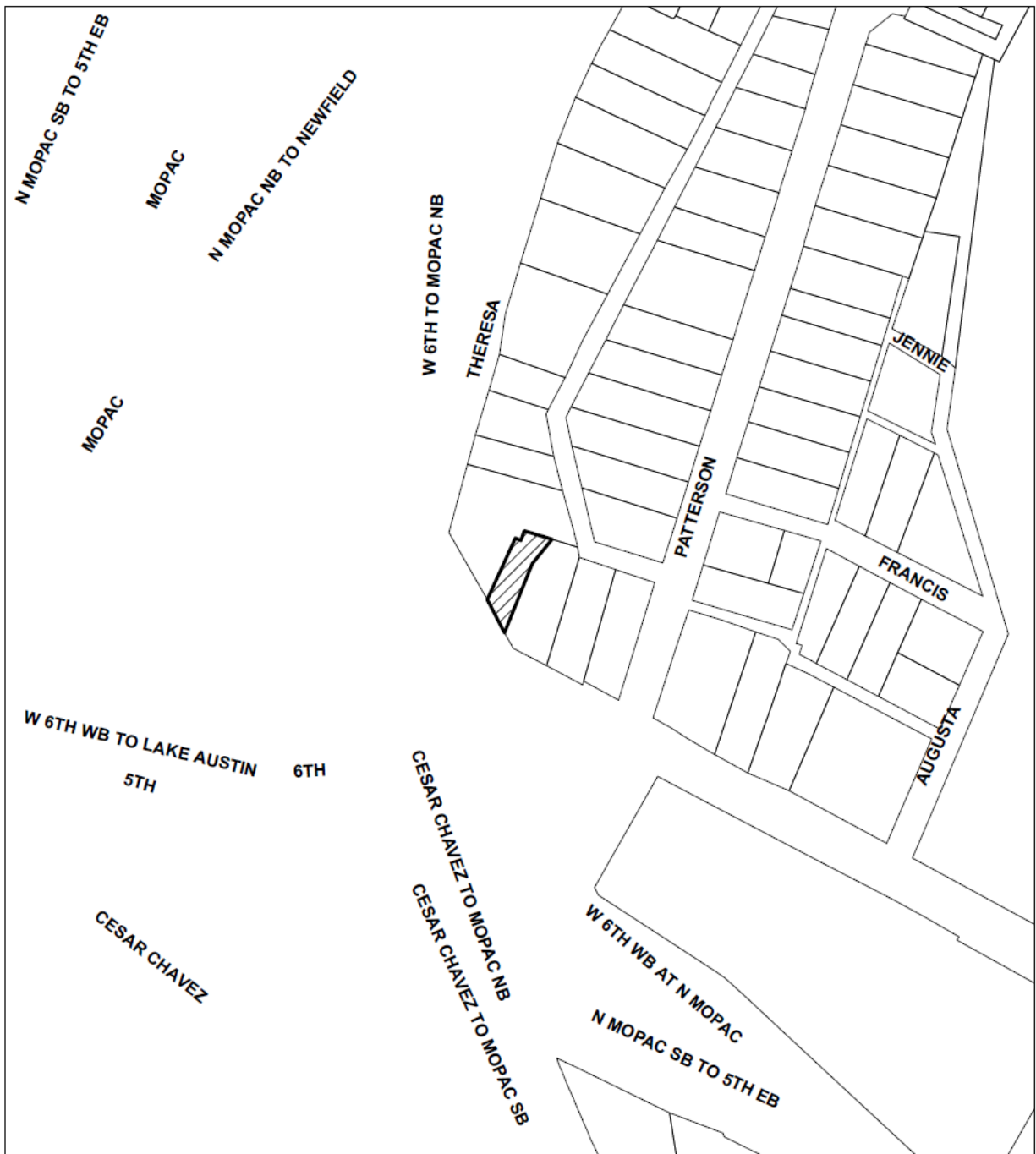
- a. **Architecture.** The house is a strange hybrid of 1930s cottage design and a much-older-styled wing-and-gable configuration; it has insufficient architectural distinction to warrant consideration as a historic landmark under the criterion for architecture.
- b. **Historical association.** The house was built to be and has remained all through its existence, a rental property. Although there was a long-term tenant in the house, there do not appear to be significant historical associations.
- c. **Archaeology.** The house was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
- d. **Community value.** The house does not possess a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, the neighborhood, or a particular demographic group.
- e. **Landscape feature.** The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.




STAFF RECOMMENDATION

Encourage rehabilitation and adaptive re-use, then relocation over demolition, but release the permit upon completion of a City of Austin Documentation Package, consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history, for

archiving at the Austin History Center. The house does not meet the criteria for individual designation as a historic landmark. Because the house is contributing to the historic district, if the Commission votes to approve demolition, staff will not release the permit until the Commission has reviewed plans for new construction on this site.

LOCATION MAP



-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

1" = 167'

NOTIFICATIONS

CASE#: NRD-2018-0070
1806 W 6TH STREET

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



1806 W. 6th Street
ca. 1935



OCCUPANCY HISTORY

1806 W. 6th Street

City Directory Research, Austin History Center
By City Historic Preservation Office
October, 2016

1992	Vacant
1985-86	Veola Jackson, renter Employed by Howard Hand's House of Antiques, 1808 W. 6 th Street. NOTE: Howard Hand lived next door at 1808 W. 6 th Street.
1981	No return
1977	Carol Duncan, renter No occupation listed
1973	Jessie F. Bender, renter Widow, Joseph J. Bender Dressmaker (at the house)
1968	Jessie F. Bender, renter Widow, Joseph J. Bender Retired
1962	Jessie F. Bender, renter Widow, J.J. Bender No occupation listed
1959	Jessie F. Bender, renter Widow, J.J. Bender No occupation listed
1955	Jessie F. Bender, renter No occupation listed
1952	Jessie F. Bender, renter Widow, John [sic] J. Bender No occupation listed
1949	Jessie F. Bender, renter Widow, Joe J. Bender No occupation listed
1947	Joseph J. and Jessie Bender, renters Salesman
1944-45	Rodney and Vela Eastman, renters Engineer NOTE: Joseph J. (listed as John J.) and Jessie Bender are listed at 2226 E. 1 st Street; he was a salesman.

- 1941 William A. and Annabel Eppright, renters
Clerk, Post Office
- 1939 Claude W. and Zelma F. Pannell, renters
Salesman
- 1937 Frederick G. and Blanche Hoare, renters
Engraver, Economy Engraving Company, 813 Congress Avenue.
- 1935 The address is not listed in the directory.
NOTE: Fred G. and Blanche Hoar are listed at 300 E. 10th Street; he was an engraver for Economy Engraving Company, 813 Congress Avenue.

BIOGRAPHICAL NOTES:

Joseph J. and Jessie Bender (ca. 1946 – ca. 1975)

The 1940 U.S. Census shows Jessie Frances Bender living in the home of her brother, John W. Harkey at 2806 E. 7th Street in Austin. Jessie Frances Bender is listed as married; she was 53, had been born in Arkansas, and was a pattern designer for the WPA. Her brother, with whom she lived, was an ironworker. Joseph J. Bender does not seem to be listed in the census report.

John Joseph Bender was living in this house at the time of his death in 1949. He was born in 1897 in Maryland to German-born parents, and was married. His occupation was left blank on his death certificate. His 1918 World War I draft registration card shows that Joseph J. Bender was living in Fresno, California. He was born in Shamokin, Pennsylvania in 1897 and was doing concrete work. He was single, of medium height and build, and had blond hair and gray eyes.

Her 1976 death certificate shows that Jessie Frances Bender was living at 3206 Beanna Street at the time of her death. She was a widow who was born on Halloween, 1886 in Texas. She was a seamstress.

J. J. BENDER

J. J. Bender died at a local hospital early Friday morning. He was born in Schomoken, Pa., and moved to Hagerstown, Md., when a small child. He has made his home in Austin for the past 20 years. Bender was manager of the Austin Novelty and Specialty Company and a naval veteran of World War I.

Survivors are his widow, Mrs. Jessie Bender of Austin; three sisters, Mrs. Mary Bender McGinley, Miss Christine Bender and Miss Helen Bender and two brothers, Charles Bender and Pete Bender, all of Hagerstown, Md. Rosary service will be held at 8 p. m. Sunday at the Cook Funeral Home. Requiem mass will be held at 9 a. m. Monday at St. Mary's Cathedral with the Rev. Joseph McAllister, CSC, officiating. Pallbearers will be George Tomilson, Leo Roberts, M. R. Withers, D. F. Samuels, J. H. Sprinkle and R. H. Glismann. Honorary pallbearers will be L. R. Jackson, Henry Carison, G. D. Martin and Paul Holt. Burial will be in Capital Memorial Park.

Obituary of J.J. Bender
Austin Statesman, April 1, 1949

BENDER, Mrs. Jessie F.,
 3206 Beanna, died Friday.
 Rosary 7 p.m. Sunday at
 Cook-Walden Funeral
 Home. Mass 9 a.m. Monday
 at St. Mary's Cathedral.
 Survivors: nieces, Mary
 Elizabeth Ballard of Austin,
 Jane Braeuer of Dickinson;
 nephews, Robert F. Harkey,
 W.F. Sprinkle, both of Aus-
 tin; four great-nieces; two
 great-nephews.

Obituary of Jessie F. Bender
 Austin American-Statesman, March 27, 1976

Unless the Plumbing is done in strict accordance with City Ordinances, do not turn on the water.

PERMIT FOR WATER SERVICE AUSTIN, TEXAS No. 2936

INDEXED

M. Isabelle Sutor Address 1806 W. 6th

Plumber Brydson Size of Tap 1/2 Date 7-6-35

6646
 00
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10
 11
 12

Date of Connection 7/9/35 Foreman's Report

Size of Tap Made 3/4

Size Service Made 3/4

Size Main Tapped 2"

From Front Prop. Line to Curb Cock 10'6"

From VM Prop. Line to Curb Cock 1'6"

Location of Meter on wall

Type of Box 600

Depth of Main in St. 18"

Depth of Service Line 18"

From Curb Cock to Tap on Main 8'6"

Checked by Engr. Dept. 230-35:111PH

No. Fittings	Size	Description
1	5/8"	Curb Cock
1	3/4"	Elbow
1	3/4"	St. Elbow
1	3/4"	Bushing
1	3/4"	Reducer
1	3/4"	Pipe
1	3/4"	Lead Comp.
		Nipples
		Union
		Plug
		Toe
1		Stop before meter
1		Box
1		Lid
1		Valves
1		2" x 3" plug, 2" pipe

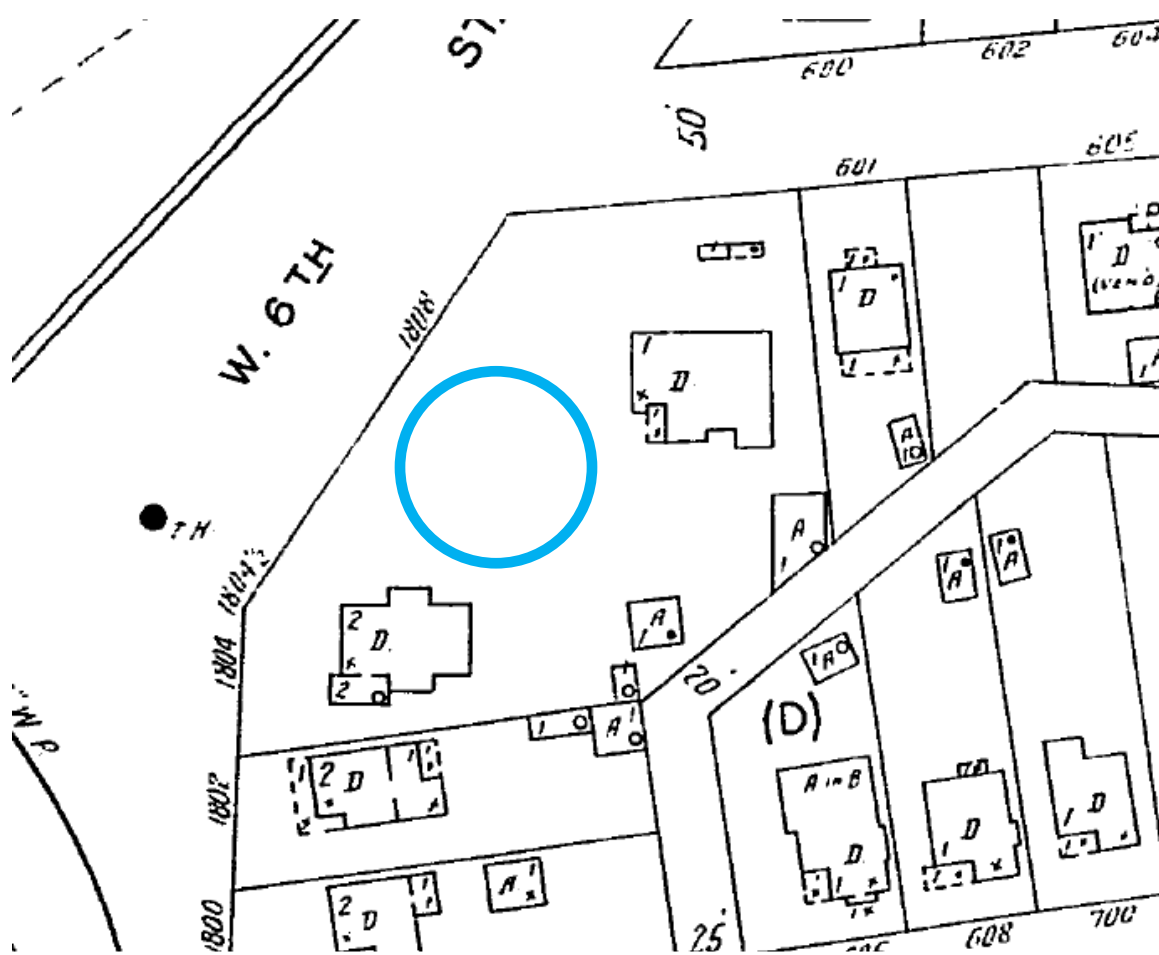
Foreman's Signature Brydson

Reg. No. 13247

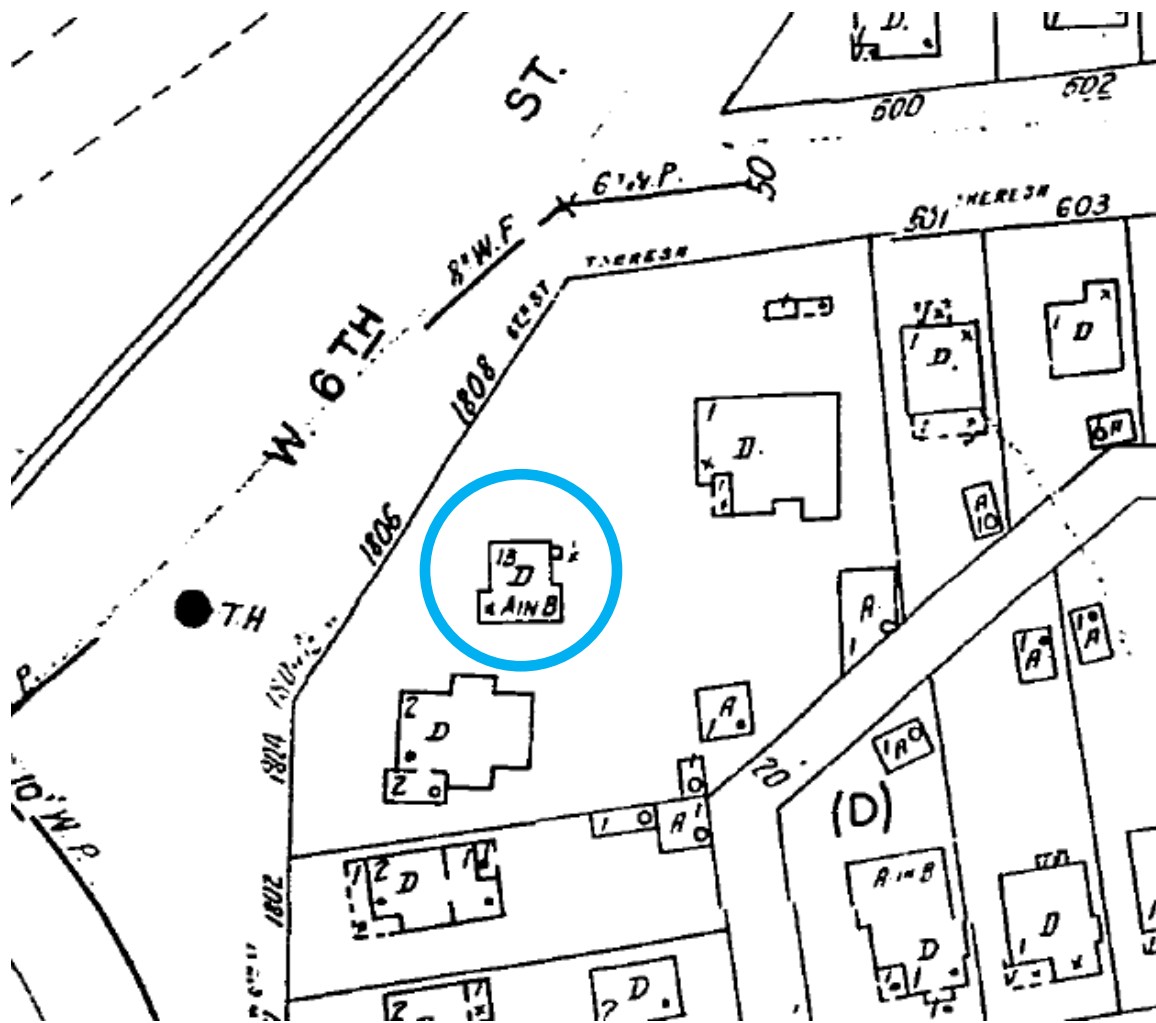
INDEXED

Water service permit for this address taken out by Isabelle Sutor, the owner of the property, who lived next door at 1808 W. 6th Street (1935)

City records indicate a permit to construct a bedroom addition and decks in 1994.



The site of the current house is shown as vacant on the 1935 Sanborn map.



The house appears with the notation that it is a dwelling with an apartment in the basement on the 1962 Sanborn map.