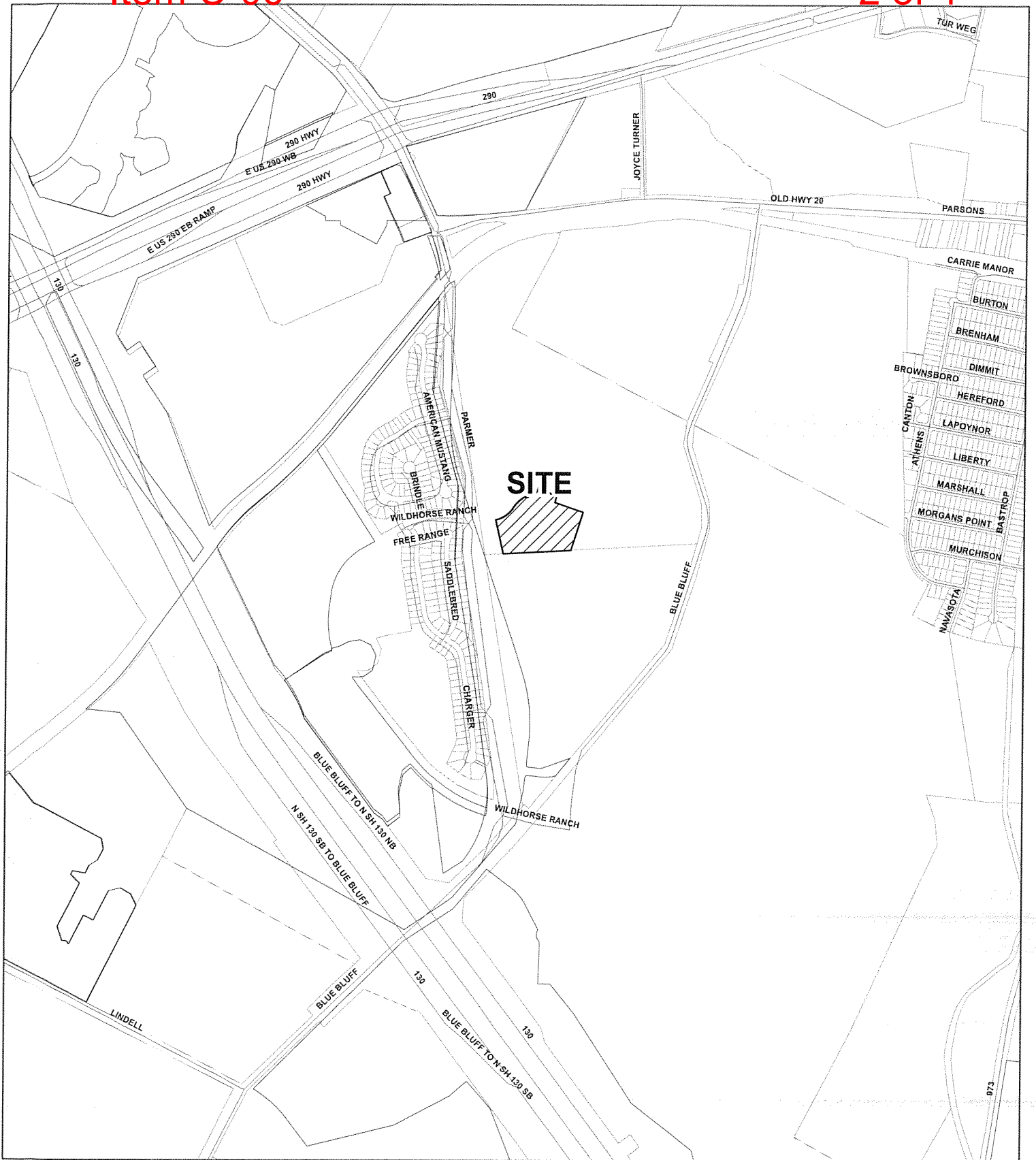


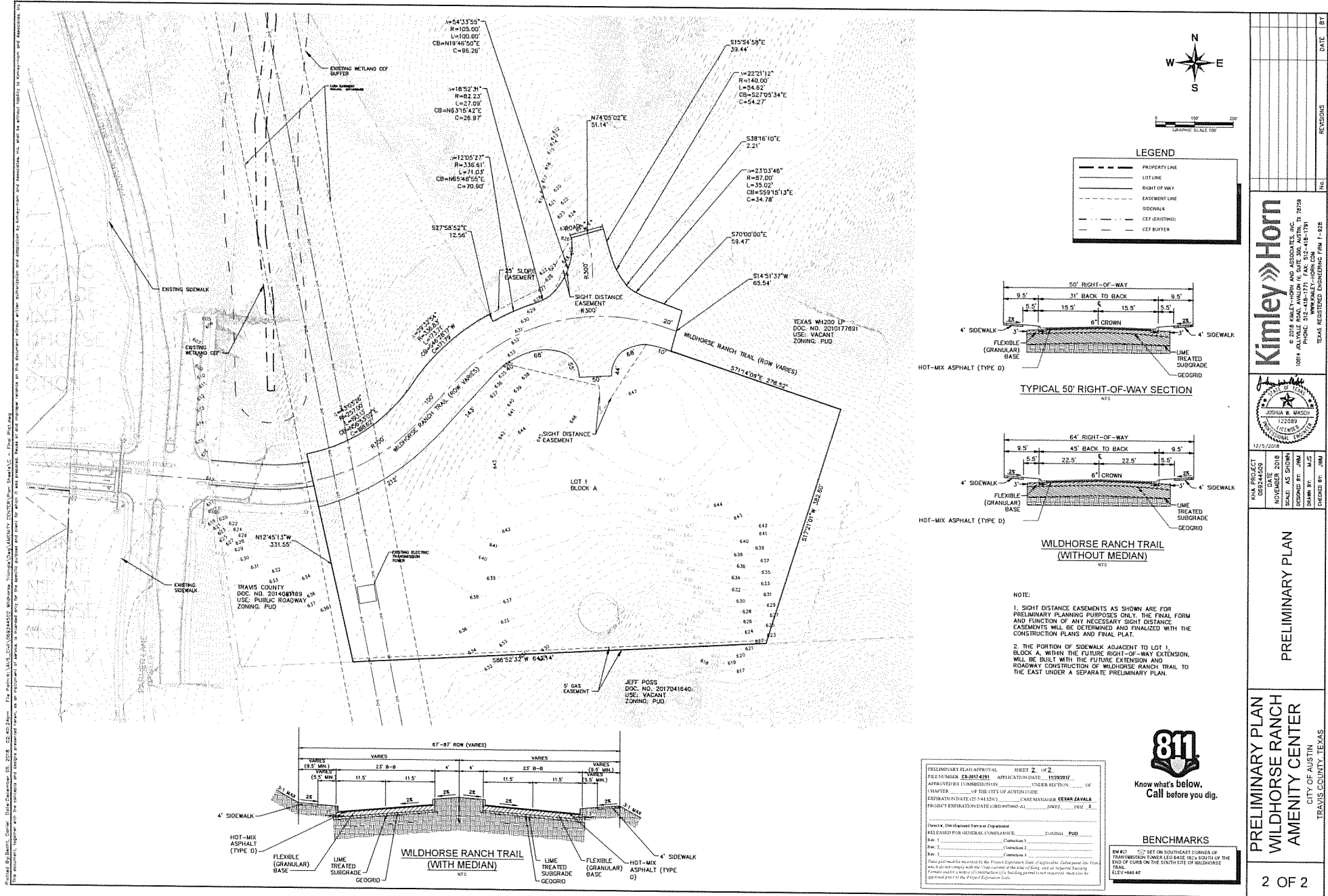
SUBDIVISION REVIEW SHEET

CASE NO.: C8-2017-0291**Z.A.P. DATE:** December 18, 2018**SUBDIVISION NAME:** Wildhorse Ranch Amenity Center**AREA:** 8.18 acres**LOTS:** 1**APPLICANT:** Texas WH200, LP
HOM Titan Development, LLC**AGENT:** Kimberly Horn
(Josh W. Miksch, P.E.)**ADDRESS OF SUBDIVISION:** 10400 E. Parmer Lane & Wildhorse Ranch Trail**WATERSHED:** Gilleland Creek**COUNTY:** Travis**EXISTING ZONING:** P.U.D**JURISDICTION:** Full Purpose**PROPOSED LAND USE:** Civic**VARIANCE:** none**STAFF RECOMMENDATION:** Staff recommends approval of the preliminary plan, the plan meets all applicable State and City of Austin Land Development Code requirements.**DEPARTMENT COMMENTS:** The request is for the approval of the Wildhorse Ranch Amenity Center preliminary plan composed of 1 lot on 8.18 acres. The applicant proposes to subdivide the property for residential and commercial uses. The developer will be responsible for all cost associated with required improvements.**CASE MANAGER:** Cesar Zavala**PHONE:** 512-974-3404**E-mail:** cesar.zavala@austintexas.gov



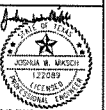
CASE#: C8-2017-0291
ADDRESS: 10400 E. PARMER LN & WILDHORSE TRAIL
PROJECT: WILDHORSE RANCH AMENITY CENTER
CASE MANAGER: CESAR ZAVALA

This map has been produced by site plan review for the sole purpose of geographic reference.
No warranty is made by the City of Austin regarding specific accuracy or completeness.



Kimley-Horn

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WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM #1-828



12/5/2018

PROJECT: **WILDHORSE RANCH AMENITY CENTER**

DATE: **NOVEMBER 2018**

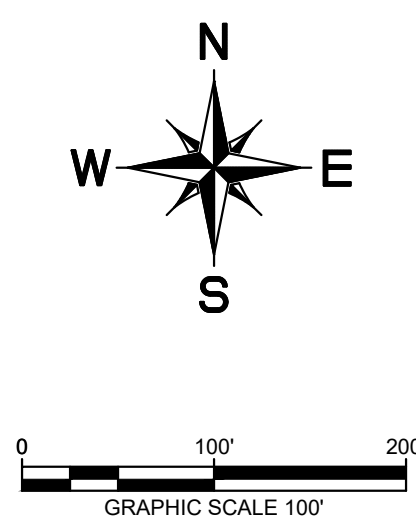
SCALE: **AS SHOWN**

DRAWN BY: **JAW**

CHECKED BY: **JAW**

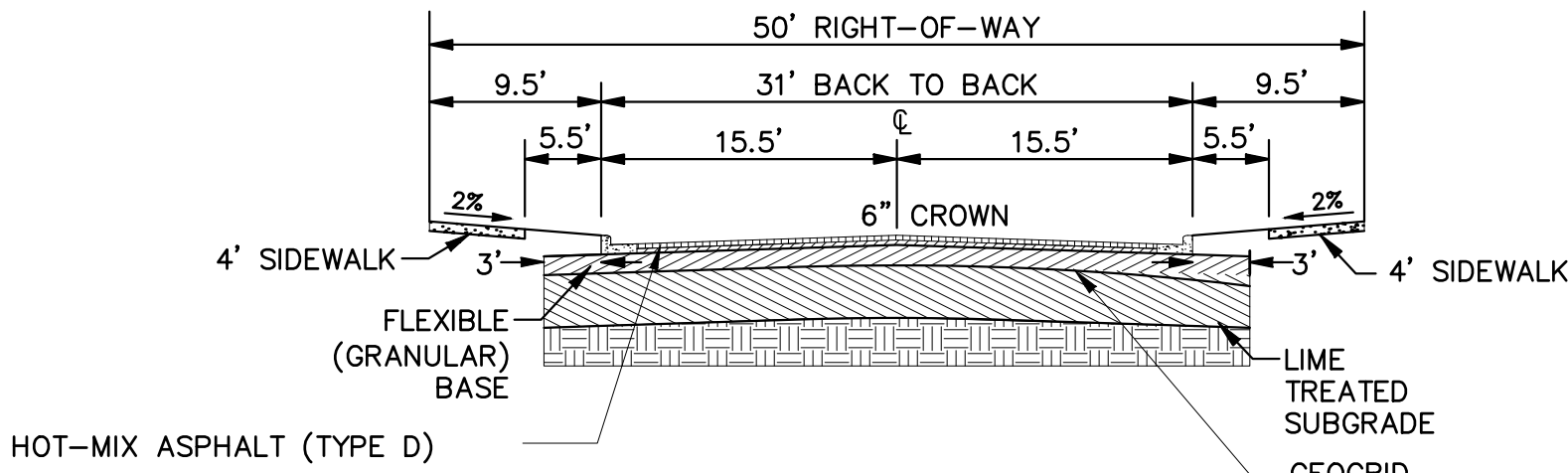
PRELIMINARY PLAN

PRELIMINARY PLAN
WILDHORSE RANCH
AMENITY CENTER
CITY OF AUSTIN
TRAVIS COUNTY, TEXAS

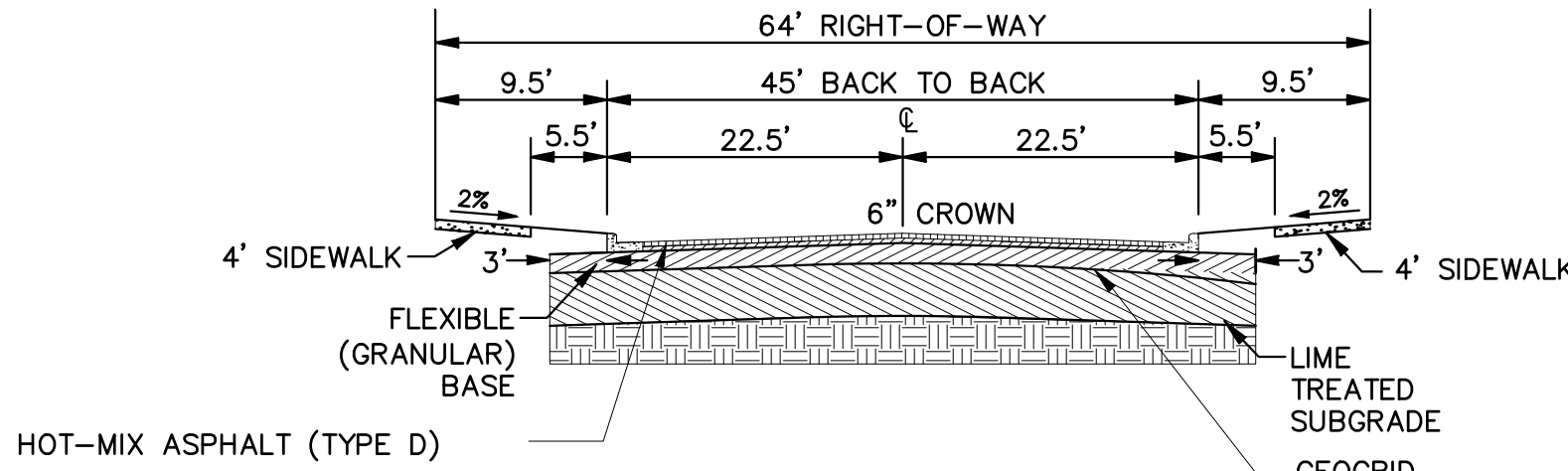


LEGEND

	PROPERTY LINE
	LOT LINE
	RIGHT OF WAY
	EASEMENT LINE
	SIDEWALK
	CEF (EXISTING)
	CEF BUFFER



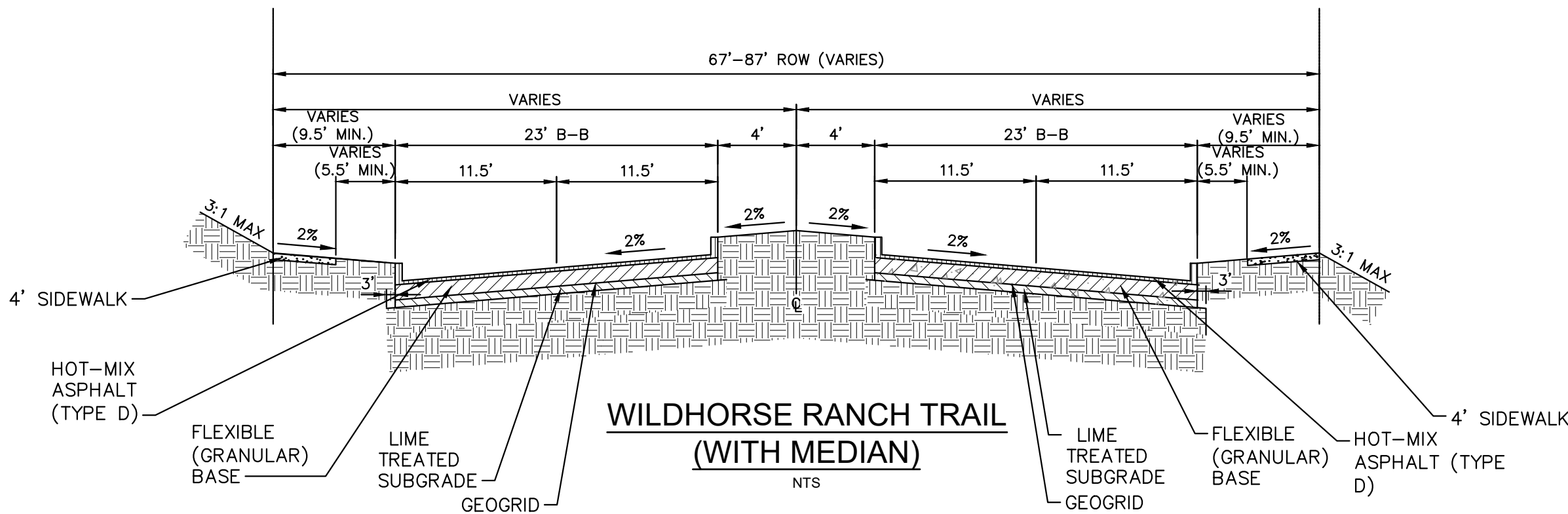
TYPICAL 50' RIGHT-OF-WAY SECTION



WILDHORSE RANCH TRAIL
(WITHOUT MEDIAN)

NOTE

1. SIGHT DISTANCE EASEMENTS AS SHOWN ARE FOR PRELIMINARY PLANNING PURPOSES ONLY. THE FINAL FORM AND FUNCTION OF ANY NECESSARY SIGHT DISTANCE EASEMENTS WILL BE DETERMINED AND FINALIZED WITH THE CONSTRUCTION PLANS AND FINAL PLAT.
2. THE PORTION OF SIDEWALK ADJACENT TO LOT 1, BLOCK A, WITHIN THE FUTURE RIGHT-OF-WAY EXTENSION, WILL BE BUILT WITH THE FUTURE EXTENSION AND ROADWAY CONSTRUCTION OF WILDHORSE RANCH TRAIL TO THE EAST UNDER A SEPARATE PRELIMINARY PLAN.



PRELIMINARY PLAN APPROVAL SHEET 2 OF 2

FILE NUMBER **C8-2017-0291** APPLICATION DATE **11/23/2017**

APPROVED BY COMMISSION ON _____ UNDER SECTION _____ OF
CHAPTER _____ OF THE CITY OF AUSTIN CODE.

EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER **CESAR ZAVALA**

PROJECT EXPIRATION DATE (ORD-0970905-A) _____ DWPZ _____ DDZ **X**

Director, Development Services Department

RELEASED FOR GENERAL COMPLIANCE: _____ ZONING **PUD** _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans must not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.



Know what's **below**.
Call before you dig

BENCHMARKS

BM #27 "X" SET ON SOUTHEAST CORNER OF TRANSMISSION TOWER LEG BASE 182± SOUTH OF THE END OF CURB ON THE SOUTH SITE OF WILDHORSE TRAIL.
ELEV.=640.40'