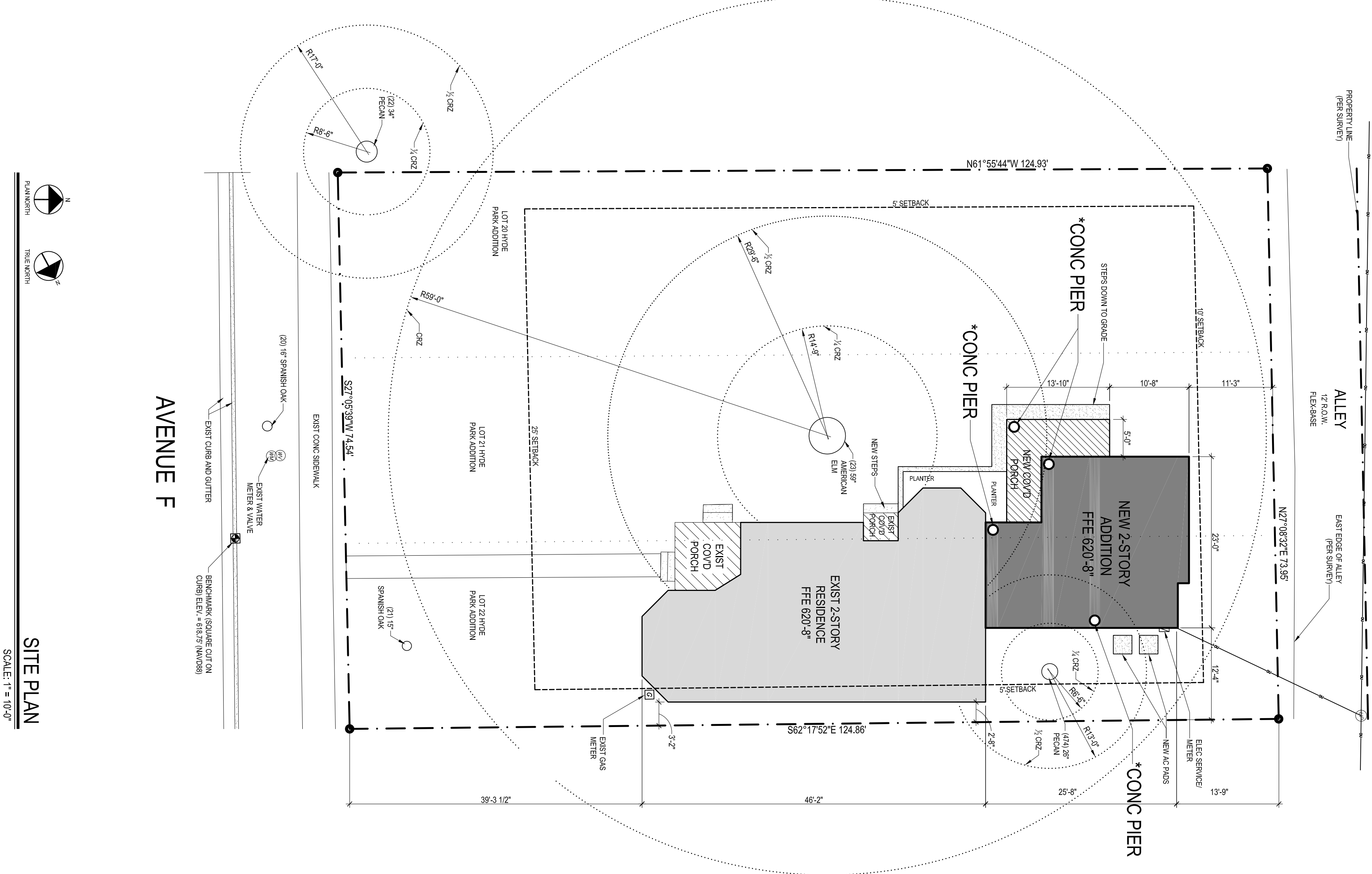




GENERAL NOTES:
1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER LOCAL CODES AND ORDINANCES.
2.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
3.0 FINISH GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.
4.0 THERE IS A STORM SEWER INLET WITHIN THE LOT FRONTAGE OF THIS PROPERTY. CONTRACTOR TO COORDINATE WITH CITY OF AUSTIN FOR APPROPRIATE RESPONSE.

GENERAL NOTES

GROSS FLOOR AREA (UPDATED ---)				
	Existing	New	Exemption	Total
1st Floor	1016	533	---	1549
2nd Floor	980	395	---	1375
3rd Floor	---	---	---	---
Basement	---	---	---	---
Attic	---	---	---	---
Garage (attached)	---	---	---	---
Attic (detached)	---	---	---	---
Carport (detached)	---	---	---	---
Accessory building	---	---	---	---
TOTAL GROSS FLOOR AREA				2924
(Total Gross Floor Area : lot size) = 0.315:100 Floor-To-Area Ratio (FAR)				
Is this project claiming a 'parking area' exemption as described under Article 37?				
Is this project claiming a 'ground floor porch' exemption as described under Article 37?				
Is this project claiming a 'basement' exemption as described under Article 37?				
Is this project claiming a 'habitable attic' exemption as described under Article 37?				
Is a sidewalk articulation required for this project?				
Does any portion of the structure extend beyond a setback plane?				
	Y	Y	N	N
	Y	Y	N	N
	Y	Y	N	N
	Y	Y	N	N
	Y	Y	N	N
	Y	Y	N	N



PLAN NORTH
TRUE NORTH
SCALE: 1" = 10'-0"

OWNER:
Tad and Lindsay Wasserman
lindsayw@tortall.com
ARCHITECT:
Clint Garwood | Garwood Architecture, PLLC
512.730.3747 info@garwoodarchitecture.com
CONTRACTOR:
TBD

SITE INFORMATION

LEGAL DESCRIPTION:
0.2132 ACRE (APPROX. 9285 SQ. FT.) BEING ALL OF LOTS 20-22 OF HYDE PARK ADDITION, A SUBDIVISION OF RECORD IN VOLUME 1, PAGE 67 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, CONVEYED TO JOHN C. EVINS IN A WARRANTY DEED DATED SEPTEMBER 26, 1977 AND RECORDED IN VOLUME 5934, PAGE 1644 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS.

PHYSICAL ADDRESS:
4104 Ave F, Austin, TX 78751

Existing Lot Area (sq ft) 9285
Zoning SF-3-H-ID-MCDD-AP
Allowable Bldg Coverage @ 40% (sq ft) 3714
Allowable Impervious Coverage @ 45% (sq ft) 4178

INDEX OF DRAWINGS

ARCHITECTURAL

- A0.1 SITE PLAN AND COVER SHEET
- A0.2
- A0.3
- A0.4
- A0.5
- A1.1 ENTRY LEVEL FLOOR PLAN
- A1.2 UPPER LEVEL FLOOR PLAN
- A1.3
- A2.1
- A2.2
- A2.3
- A3.1

ELECTRICAL

- E1.1
- E1.2

STRUCTURAL

- S1.1
- S1.2

BUILDING AND SITE AREA (UPDATED ---)

Area Description	Exist Sq Ft	New/Added Sq Ft	Total Sq Ft
a. 1st floor conditioned area	---	---	---
b. 2nd floor conditioned area	---	---	---
c. 3rd floor conditioned area	---	---	---
d. Basement	---	---	---
e. Covered Parking	---	---	---
f. Covered Porches	---	---	---
g. Balcony	---	---	---
h. Other (Plumer)	---	---	---
Total Building Coverage (exclude b,c,d & g from total)			
1. Driveway (at private property)	---	---	---
j. Sidewalks & Steps (at private property)	---	---	---
k. Uncovered Porches/Patios	---	---	---
l. Uncovered Wood Deck (counts at 50%)	---	---	---
m. AC pads	---	---	---
n. Other (Plumer)	---	---	---
Total Site Coverage (exclude b,c,d & g from total)			
o. Pool	---	---	---
p. Spa	---	---	---

BUILDING COVERAGE INFORMATION (Total lot size: 9285 sf)
Existing Building Coverage (sq ft): -- % of lot size: 00.0%
Proposed Building Coverage (sq ft): -- % of lot size: 00.0%

IMPERVIOUS COVER INFORMATION
Existing Impervious Coverage (sq ft): -- % of lot size: 00.0%
Proposed Impervious Coverage (sq ft): -- % of lot size: 00.0%

TREE SCHEDULE

- (20) 16" SPANISH OAK
- (21) 15" SPANISH OAK
- (22) 34" PECAN
- (23) 59" AMERICAN ELM
- (474) 28" PECAN
- (558) 24" HACKBERRY



REV	DESCRIPTION	DATE
	ISSUED FOR REVIEW	1.09.2019

DRAWN BY: CRG

SHEET TITLE
SITE PLAN AND COVER SHEET

SHEET
A0.1







