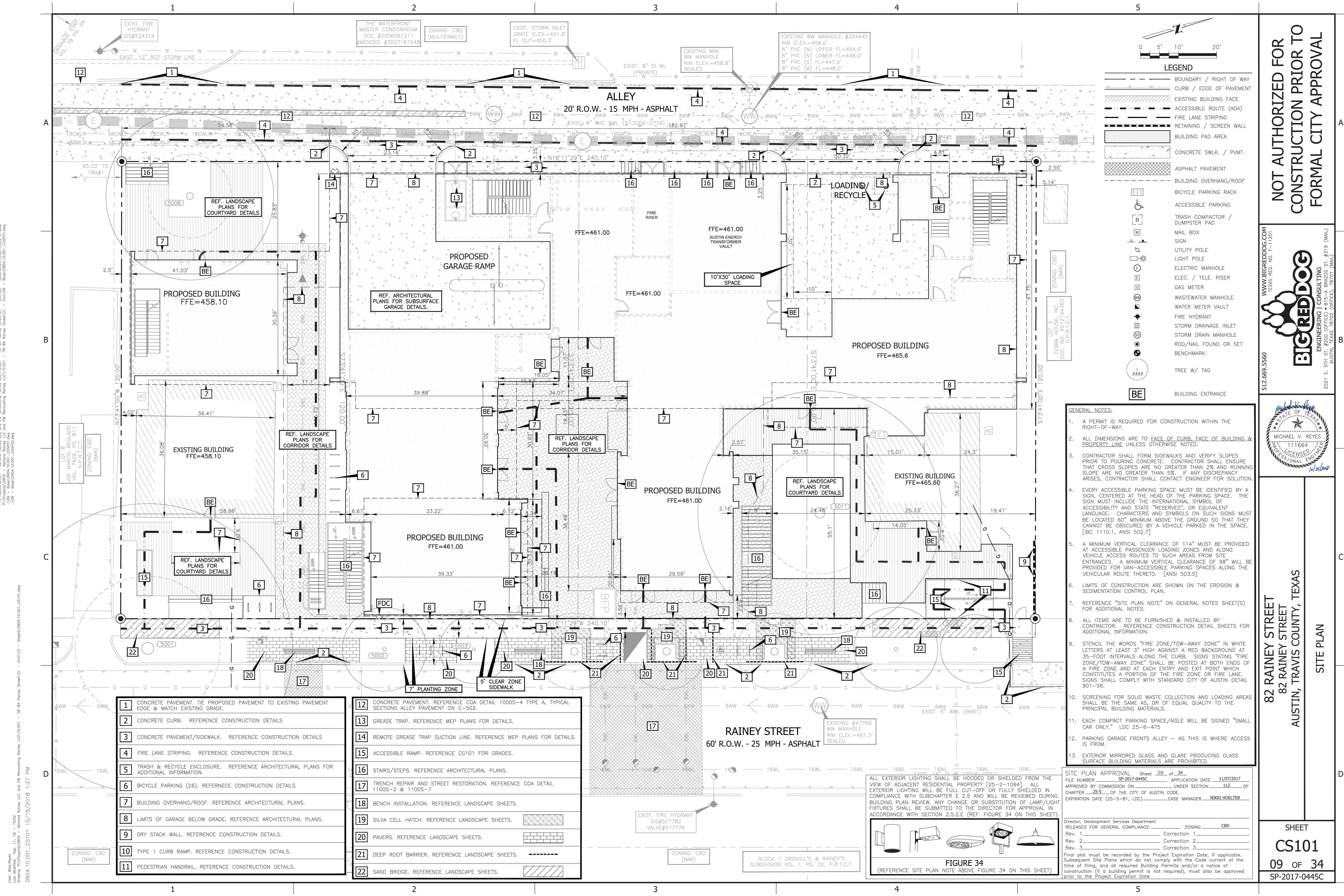




LEGEND

- BOUNDARY / RIGHT OF WAY
- CURB / EDGE OF PAVEMENT
- EXISTING BUILDING FACE
- ACCESSIBLE ROUTE (ADA)
- FIRE LANE STRIPING
- RETAINING / SCREEN WALL
- BUILDING PAD AREA
- CONCRETE SWLK. / PVMT.
- ASPHALT PAVEMENT
- BUILDING OVERHANG/ROOF
- BICYCLE PARKING RACK
- ACCESSIBLE PARKING
- TRASH COMPACTOR / DUMPSTER PAD
- MAIL BOX
- SIGN
- UTILITY POLE
- LIGHT POLE
- ELECTRIC MANHOLE
- ELEC. / TELE. RISER
- GAS METER
- WASTEWATER MANHOLE
- WATER METER VAULT
- FIRE HYDRANT
- STORM DRAINAGE INLET
- STORM DRAIN MANHOLE
- ROD/NAIL FOUND OR SET
- BENCHMARK
- TREE W/ TAG
- BUILDING ENTRANCE

- GENERAL NOTES:**
- A PERMIT IS REQUIRED FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 - ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING & PROPERTY LINE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% AND RUNNING SLOPE ARE NO GREATER THAN 5%. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
 - EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED", OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE. [IBC 1110.1, ANSI 502.7]
 - A MINIMUM VERTICAL CLEARANCE OF 11'4" MUST BE PROVIDED AT ACCESSIBLE PASSENGER LOADING ZONES AND ALONG VEHICLE ACCESS ROUTES TO SUCH AREAS FROM SITE ENTRANCES. A MINIMUM VERTICAL CLEARANCE OF 9'8" WILL BE PROVIDED FOR VAN-ACCESSIBLE PARKING SPACES ALONG THE VEHICULAR ROUTE THERETO. [ANSI 503.5]
 - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.
 - REFERENCE "SITE PLAN NOTE" ON GENERAL NOTES SHEET(S) FOR ADDITIONAL NOTES.
 - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
 - STENCIL THE WORDS "FIRE ZONE/TOW-AWAY ZONE" IN WHITE LETTERS AT LEAST 3" HIGH AGAINST A RED BACKGROUND AT 35'-FOOT INTERVALS ALONG THE CURB. SIGNS STATING "FIRE ZONE/TOW-AWAY ZONE" SHALL BE POSTED AT BOTH ENDS OF A FIRE ZONE AND AT EACH ENTRY AND EXIT POINT WHICH CONSTITUTES A PORTION OF THE FIRE ZONE OR FIRE LANE. SIGNS SHALL COMPLY WITH STANDARD CITY OF AUSTIN DETAIL 901-S6.
 - SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO THE PRINCIPAL BUILDING MATERIALS.
 - EACH COMPACT PARKING SPACE/AISLE WILL BE SIGNED "SMALL CAR ONLY." LDC 25-6-475
 - PARKING GARAGE FRONTS ALLEY - AS THIS IS WHERE ACCESS IS FROM.
 - EXTERIOR MIRRORRED GLASS AND CLARE PRODUCING GLASS SURFACE BUILDING MATERIALS ARE PROHIBITED.

SITE PLAN APPROVAL Sheet 09 of 34
FILE NUMBER SP-2017-0445C APPLICATION DATE 11/07/2017
APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER NIKKI HOELTER

Director, Development Services Department
RELEASED FOR GENERAL COMPLIANCE: ZONING CBD
Rev. 1 Correction 1
Rev. 2 Correction 2
Rev. 3 Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

FIGURE 34
(REFERENCE SITE PLAN NOTE ABOVE FIGURE 34 ON THIS SHEET)

- | | |
|----|---|
| 1 | CONCRETE PAVEMENT. TIE PROPOSED PAVEMENT TO EXISTING PAVEMENT EDGE & MATCH EXISTING GRADE. |
| 2 | CONCRETE CURB. REFERENCE CONSTRUCTION DETAILS. |
| 3 | CONCRETE PAVEMENT/SIDEWALK. REFERENCE CONSTRUCTION DETAILS. |
| 4 | FIRE LANE STRIPING. REFERENCE CONSTRUCTION DETAILS. |
| 5 | TRASH & RECYCLE ENCLOSURE. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. |
| 6 | BICYCLE PARKING (26). REFERENCE CONSTRUCTION DETAILS. |
| 7 | BUILDING OVERHANG/ROOF. REFERENCE ARCHITECTURAL PLANS. |
| 8 | LIMITS OF GARAGE BELOW GRADE. REFERENCE ARCHITECTURAL PLANS. |
| 9 | DRY STACK WALL. REFERENCE CONSTRUCTION DETAILS. |
| 10 | TYPE 1 CURB RAMP. REFERENCE CONSTRUCTION DETAILS. |
| 11 | PEDESTRIAN HANDRAIL. REFERENCE CONSTRUCTION DETAILS. |
| 12 | CONCRETE PAVEMENT. REFERENCE COA DETAIL 1000S-4 TYPE A, TYPICAL SECTIONS ALLEY PAVEMENT ON C-502. |
| 13 | GREASE TRAP. REFERENCE MEP PLANS FOR DETAILS. |
| 14 | REMOTE GREASE TRAP SUCTION LINE. REFERENCE MEP PLANS FOR DETAILS. |
| 15 | ACCESSIBLE RAMP. REFERENCE CG101 FOR GRADES. |
| 16 | STAIRS/STEPS. REFERENCE ARCHITECTURAL PLANS. |
| 17 | TRENCH REPAIR AND STREET RESTORATION. REFERENCE COA DETAIL 1100S-2 & 1100S-7. |
| 18 | BENCH INSTALLATION. REFERENCE LANDSCAPE SHEETS. |
| 19 | SILVA CELL HATCH. REFERENCE LANDSCAPE SHEETS. |
| 20 | PAVERS. REFERENCE LANDSCAPE SHEETS. |
| 21 | DEEP ROOT BARRIER. REFERENCE LANDSCAPE SHEETS. |
| 22 | SAND BRIDGE. REFERENCE LANDSCAPE SHEETS. |

NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL

WWW.BIGREDDOG.COM
TEXAS REG. NO. F-11201

BIGREDDOG
ENGINEERING | CONSULTING
815-A BRAZOS ST. #319 (MAIL)
AUSTIN, TEXAS 78702 (OFFICE) 78701 (MAIL)

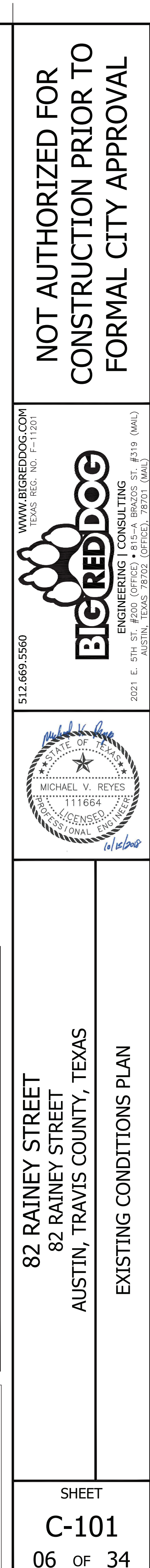
512.669.5560

STATE OF TEXAS
MICHAEL V. REYES
111664
PROFESSIONAL ENGINEER

82 RAINEY STREET
82 RAINEY STREET
AUSTIN, TRAVIS COUNTY, TEXAS

SITE PLAN

SHEET
CS101
09 OF 34
SP-2017-0445C



NOTE:
THIS PROJECT WILL NOT USE
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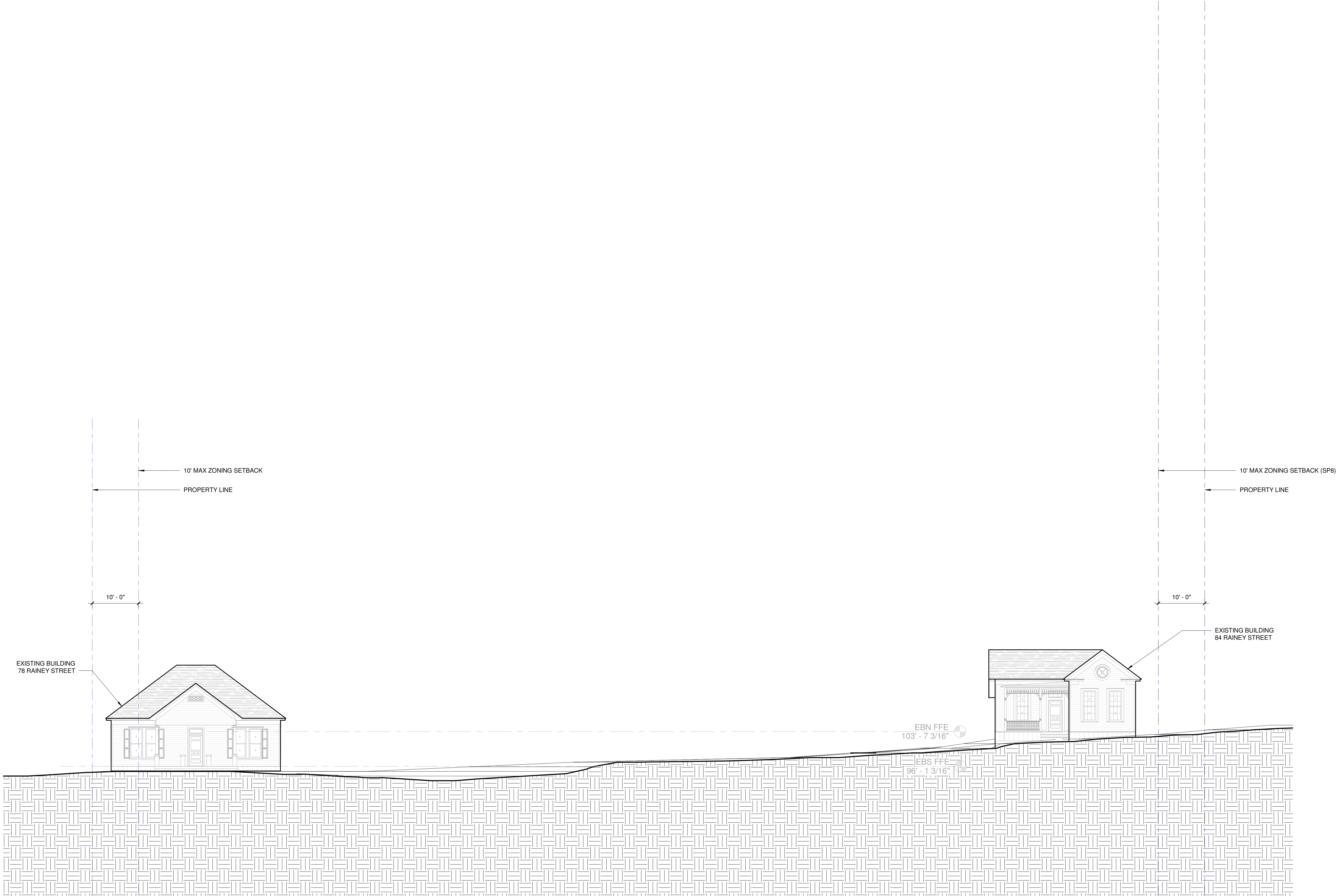
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REVISIONS	
DATE	DESCRIPTION

PROJECT NUMBER:
15415
ORIGINAL ISSUE DATE:
01/29/2019
DRAWN BY: JAP PM: NW
DRAWING TITLE:
BUILDING ELEVATION

SHEET NUMBER:
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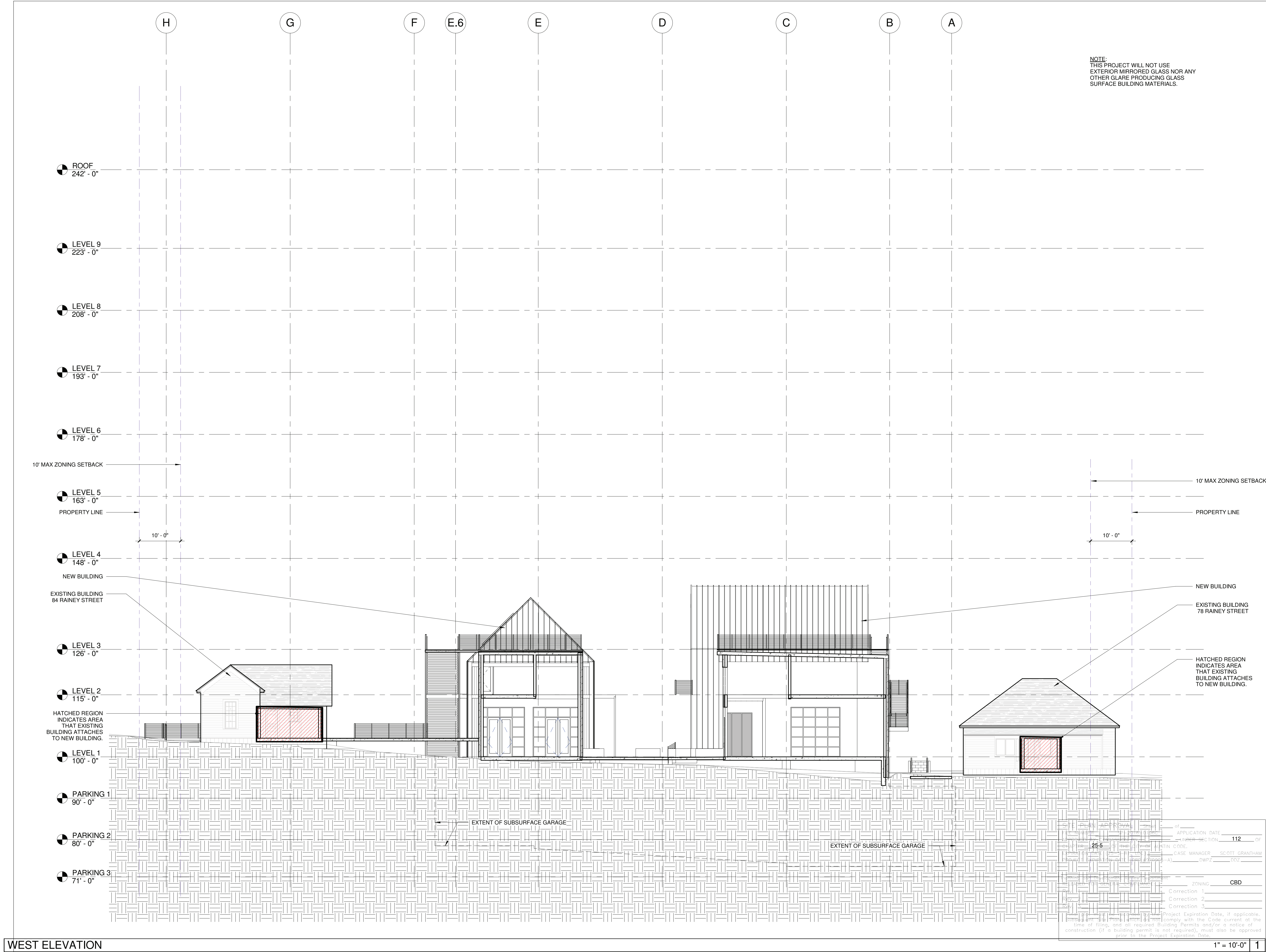
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EXISTING**

SHEET NUMBER:
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DRAWING TITLE:

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SHEET NUMBER:

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DATE	#	DESCRIPTION

PROJECT NUMBER:
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01/29/2019
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DRAWING TITLE:
BUILDING ELEVATION -
EXISTING

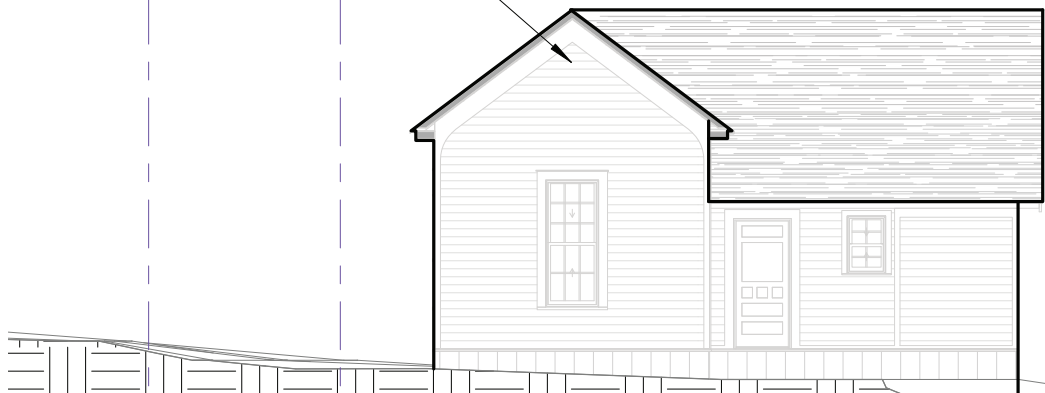
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10' MAX ZONING SETBACK

PROPERTY LINE

10' - 0"

EXISTING BUILDING
84 RAINEY STREET



10' MAX ZONING SETBACK

PROPERTY LINE

10' - 0"

EXISTING BUILDING
78 RAINEY STREET





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ROOF
242' - 0"

10' MAX ZONING SETBACK

PROPERTY LINE

LEVEL 9
223' - 0"

LEVEL 8
208' - 0"

LEVEL 7
193' - 0"

LEVEL 6
178' - 0"

LEVEL 5
163' - 0"

LEVEL 4
148' - 0"

LEVEL 3
126' - 0"

LEVEL 2
115' - 0"

EXISTING BUILDING
78 RAINEY STREET

LEVEL 1
100' - 0"

PARKING 1
90' - 0"

PARKING 2
80' - 0"

PARKING 3
71' - 0"

LEVEL 1
100' - 0"

PARKING 1
90' - 0"

PARKING 2
80' - 0"

PARKING 3
71' - 0"

10' MAX ZONING SETBACK

PROPERTY LINE

FIBER REINFORCED
CEMENT SIDING

CURTAIN WALL

STEEL STRUCTURE

METAL GUARDRAIL

EXISTING BUILDING
84 RAINEY STREET

NORTH ELEVATION

1" = 10'-0"

2

SITE PLAN APPROVAL Sheet _____ of _____
FILE NUMBER SP-2016-0196C APPLICATION DATE _____
APPROVED BY COMMISSION ON _____ UNDER SECTION 112 OF
CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-R1, LDC) _____ CASE MANAGER SCOTT GRANTHAM
PROJECT EXPIRATION DATE (ORD.#970905-A) _____ TWPZ _____ 002

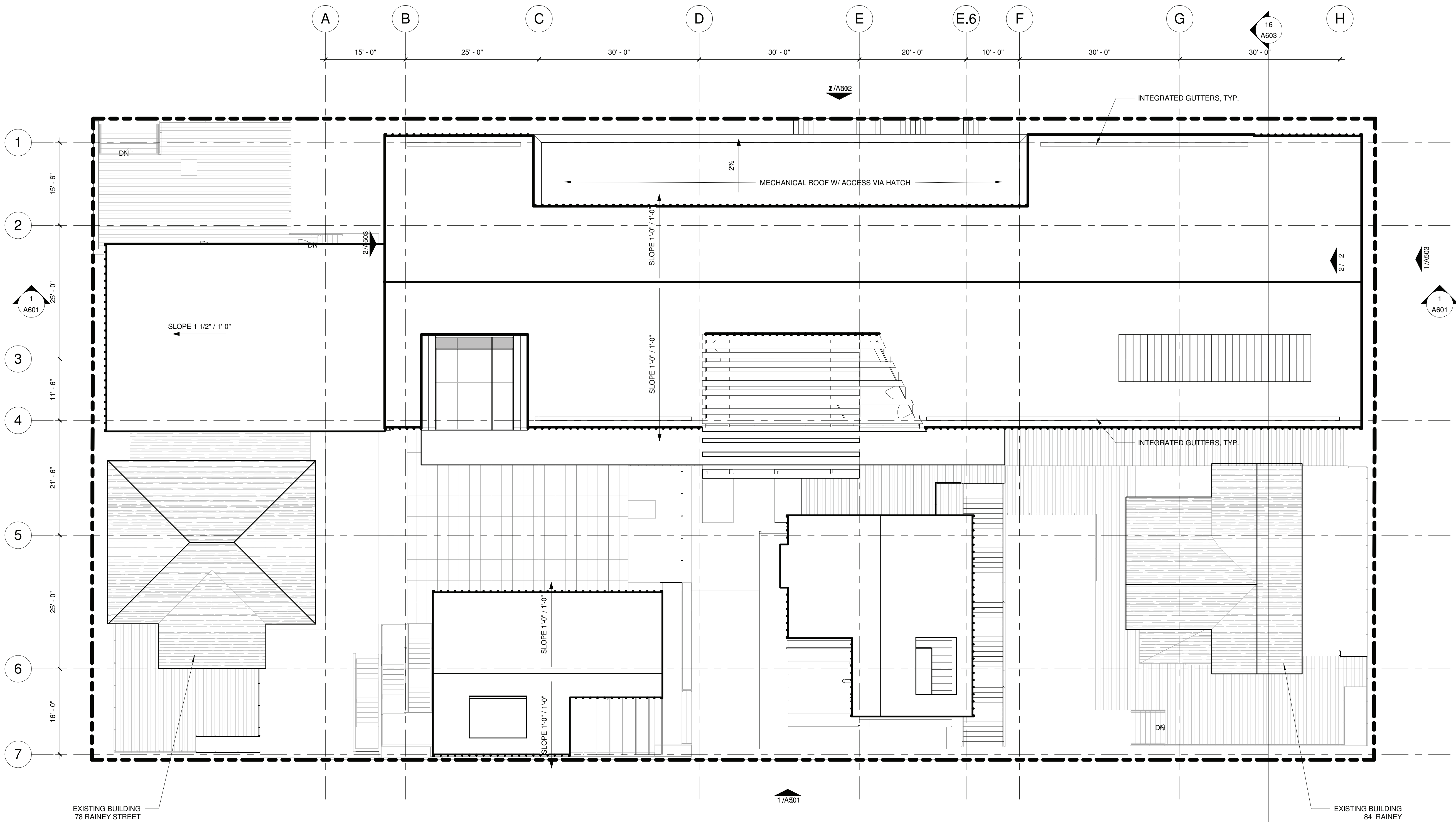
Planning and Development Review Department
RELEASED FOR GENERAL COMPLIANCE: _____ ZONING CBD
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable.
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time of filing, and all required Building Permits and/or a notice of
construction (if a building permit is not required), must also be approved
prior to the Project Expiration Date.

SOUTH ELEVATION

1" = 10'-0"

1



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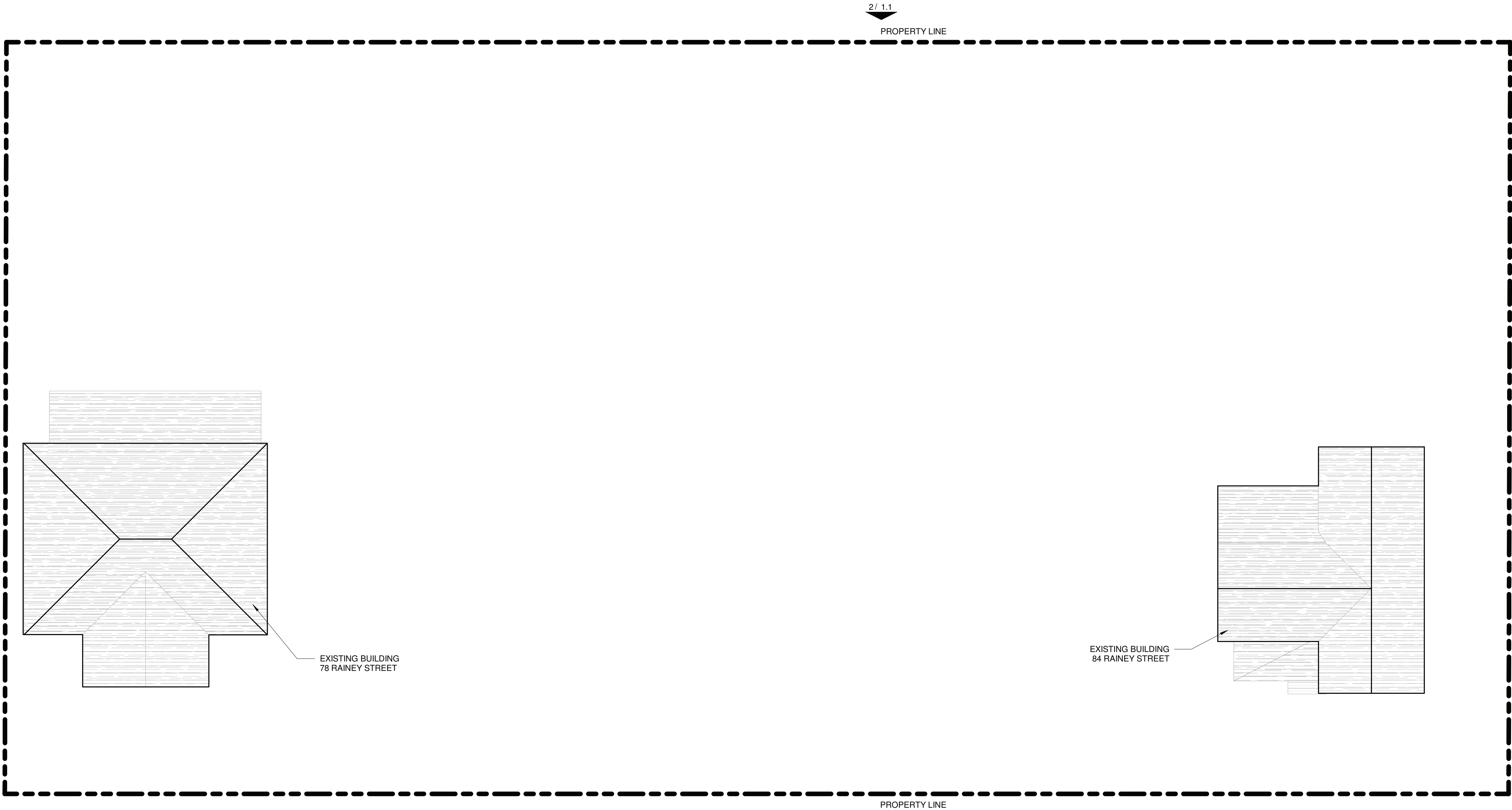
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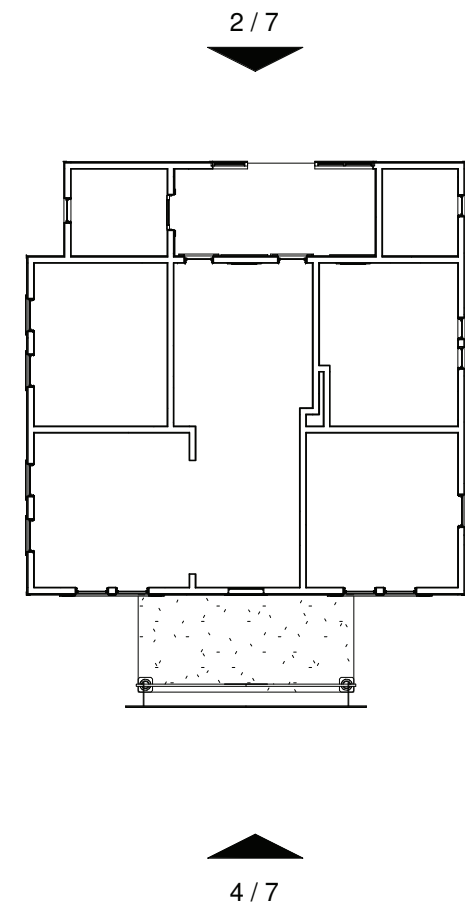




78 RAINEY FRONT FACADE 12" = 1'-0" 4



78 RAINEY REAR FACADE 12" = 1'-0" 2



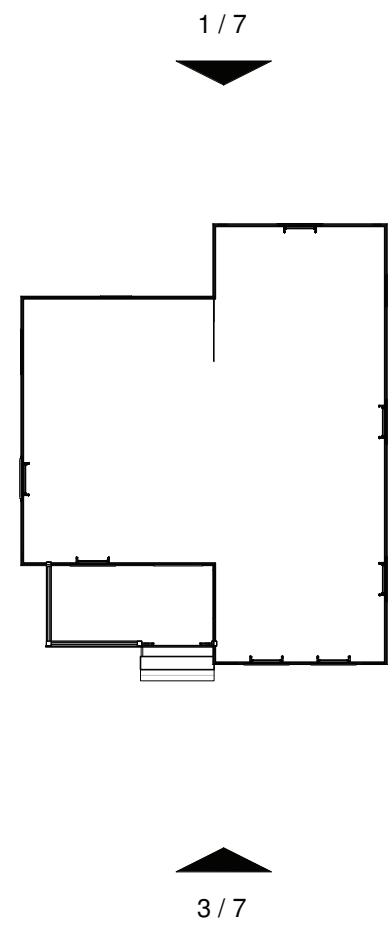
78 RAINEY STREET KEY PLAN



84 RAINEY FRONT FACADE 12" = 1'-0" 3



84 RAINEY REAR FACADE 12" = 1'-0" 1



84 RAINEY STREET KEY PLAN



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