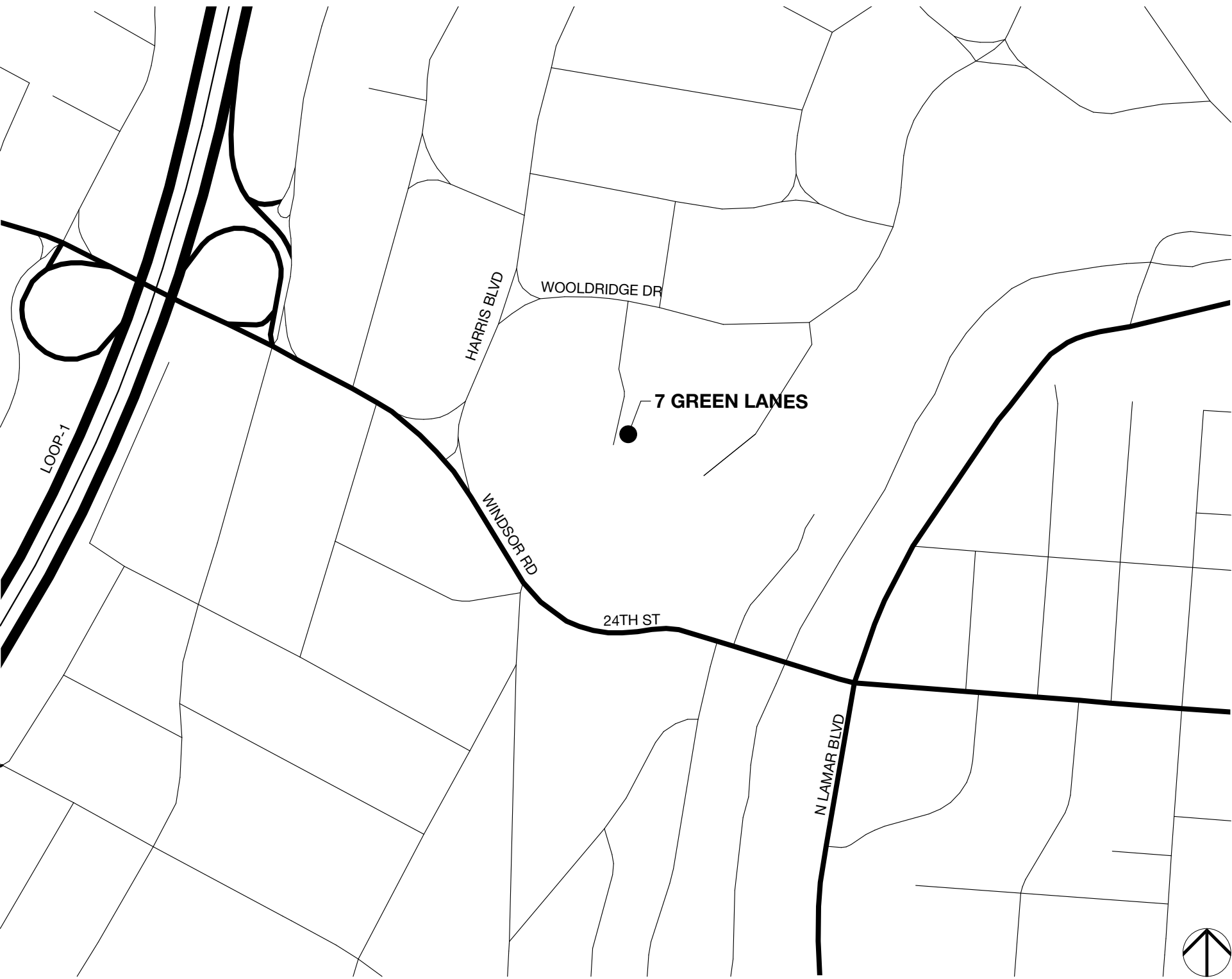


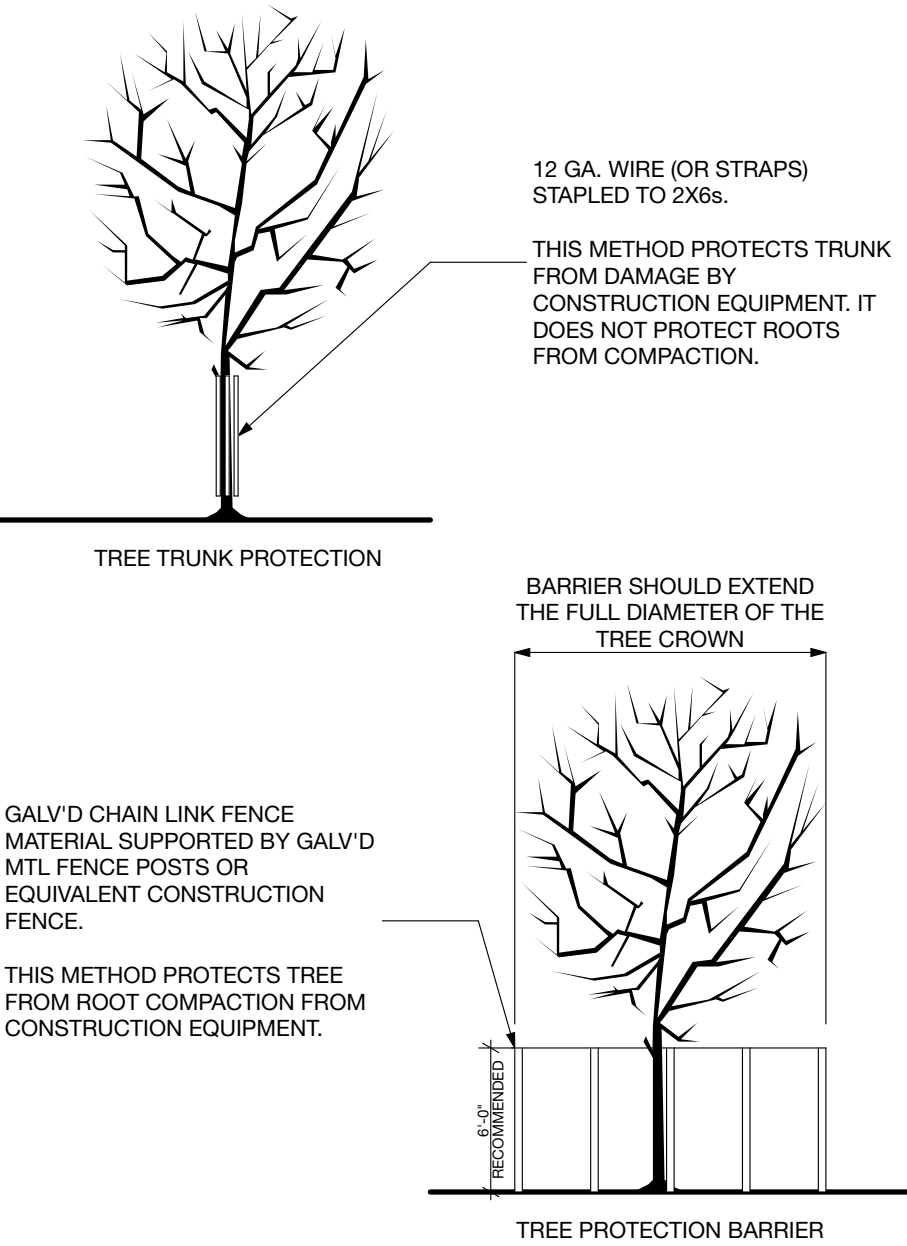
RENDERING



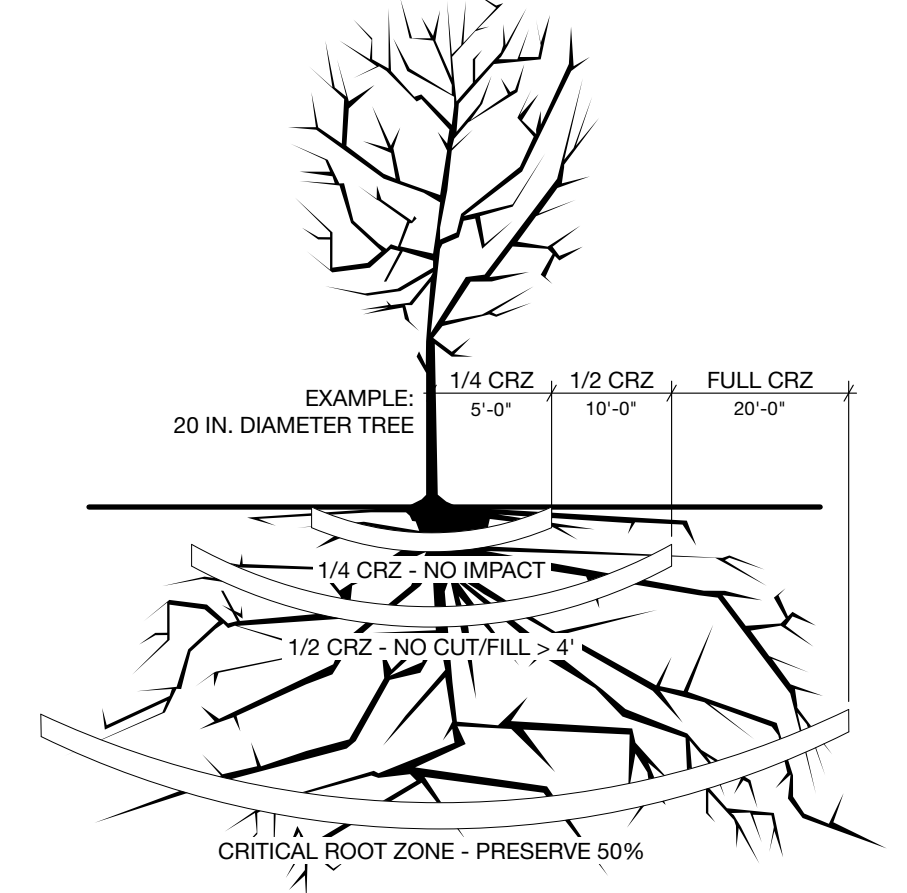
VICINITY MAP



TREE PROTECTION NOTE



IT IS THE ARCHITECT'S AND OWNER'S INTENT TO PROTECT ALL TREES IN PROXIMITY TO CONSTRUCTION AREA FROM DAMAGE OR INJURY DUE TO CONSTRUCTION. THE SUGGESTIONS FOR TREE PROTECTION PROVIDED ABOVE ARE EXPLICITLY NOT GUARANTEED TO FULLY PROTECT THE TREES. IT IS HIGHLY RECOMMENDED THAT A TREE SPECIALIST BE HIRED AND THAT SUCH COST BE REVIEWED WITH OWNER FOR APPROVAL PRIOR TO PROCUREMENT OF TREE SPECIALIST SERVICES. IF CONTRACTOR DOES NOT REVIEW WITH OWNER HIS OR HER WILLINGNESS OR NON-WILLINGNESS TO HIRE SUCH SPECIALIST, THEN IT WILL BE CONSTRUED AS CONTRACTOR'S WILLINGNESS TO ACCEPT LIABILITY FOR PROTECTING THE TREES FROM ANY DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS.



CITY CODE REQUIRES THAT PROPOSED DEVELOPMENTS DEMONSTRATE THAT TREES ARE PRESERVED TO THE MAXIMUM EXTENT REASONABLE AND FEASIBLE. TREE PRESERVATION IS EFFECTIVELY DEFINED AS ROOT SYSTEM PRESERVATION; A CRITICAL ROOT ZONE AREA (CRZ) IS ASSIGNED TO EACH TREE, BASED ON TRUNK DIAMETER SIZE. A MINIMUM OF 50% OF THE CRZ IS REQUIRED TO BE LEFT UNDISTURBED TO ACHIEVE MINIMAL CONFORMANCE WITH THE REGULATIONS.

LEGAL DESCRIPTION

PROJECT ADDRESS: 7 Green Lanes Austin Tx. 78703
LEGAL ADDRESS: S 131 FT LOT 3 FISHER JOSEPHINE L RESERVATION
DESCRIPTION OF WORK: REMODEL
OWNER'S NAME: Daniel and Katie Fuchs

CODES

2012 INTERNATIONAL RESIDENTIAL CODE
LOCAL RULES AND REGULATIONS

BUILDING AREA CALCULATIONS

LOT AREA:	11,761 SQ. FT.
MAX ALLOWABLE BLDG COVER:	4,704 SQ. FT.
ACTUAL BLDG COVER:	XXX SQ. FT.
MAX ALLOWABLE IMPERVIOUS COVER:	4,778 SQ. FT.
ACTUAL IMPERVIOUS COVER:	XXX SQ. FT.

FAR CALCULATIONS

	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR AREA	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
2ND FLOOR AREA	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
3RD FLOOR AREA	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
AREA W/ >15' CEILINGS	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
GROUND FLOOR PORCH	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
BASEMENT	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
ATTIC	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
GARAGE			
ATTACHED	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
DETACHED	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
CARPORT			
ATTACHED	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
DETACHED	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
ACCESSORY BUILDINGS	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
TOTAL	XXX SQ. FT.	XXX SQ. FT.	XXX SQ. FT.
PORCH EXPT.			XXX SQ. FT.
ATCH. GARAGE EXPT.			XXX SQ. FT.
DET. GARAGE EXPT.			XXX SQ. FT.
ATCH. CARPORT EXPT.			XXX SQ. FT.
DET. CARPORT EXPT.			XXX SQ. FT.
TOTAL			XXX SQ. FT.

BUILDING DEVELOPMENT STANDARDS

ZONING:	XXX
ZONING OVERLAYS:	XXX XXX XXX XXX
SETBACKS	
FRONT YARD:	XX
STREET SIDE YARD:	XX
INTERIOR SIDE YARD:	XX
REAR YARD:	XX
BUILDING HEIGHT:	XX
MAX BUILDING HEIGHT:	XX

PROJECT TEAM MEMBERS

ARCHITECT OF RECORD WEBBER + STUDIO 1220 LAVACA ST AUSTIN, TX 78701 512-236-1032	CONTRACTOR/BUILDER CG&S Design Build (Pre Construction) 402 Corral Lane Austin, TX. 78745 (512) 444-1580
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STRUCTURAL ENGINEER

Way Consulting Engineers
11615 Angus Rd. #119
Austin, TX. 78759
(512) 343-0766

GENERAL NOTES

1. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, DIMENSIONS AND SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
2. THESE DRAWINGS ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS WITHIN THE CONSTRAINTS OF EXISTING EQUIPMENT AND CONSTRUCTION. DRAWING AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND/OR QUANTITY OF THE WORK INDICATED. IN THE EVENT OF DISCREPANCIES, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WORK.
3. DO NOT SCALE THESE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY OTHER REQUEST FOR CLARIFICATION.
4. VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
5. MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED PARTICULARLY AT STAIRS, CORRIDORS AND RESTROOMS.
6. CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
7. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE.
8. CONTRACTOR SHALL SUBMIT REPRODUCIBLE SHOP DRAWINGS TO ARCHITECT FOR OWNER'S, ARCHITECT'S, AND ENGINEER'S APPROVAL.
9. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT. NOTIFY THE ARCHITECT OF ANY VARIATION REQUIRED IN THE DIMENSION NOTED FOR VERIFICATION FOR INSTALLATION OF EQUIPMENT BEFORE CONTINUING THE WORK.
10. EVERY EFFORT HAS BEEN MADE ON THE PART OF THE ARCHITECT TO ENSURE LOCAL CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS WITH ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE NOTED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
11. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
12. PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
13. INSTALL PEX PIPE SYSTEM PLUMBING; INSULATE AS REQUIRED.
14. FOR ALL "MATCH EXISTING" NOTES, ARCHITECT'S INTENT IS FOR CONTRACTOR TO MATCH EXISTING PROFILE AND FINISH AS CLOSE AS POSSIBLE USING AVAILABLE STOCK MATERIALS. IF UNABLE TO MATCH EXISTING, PROVIDE SAMPLES FOR ALTERNATE MATERIALS OR METHODS FOR ARCHITECT'S APPROVAL.
15. DISSIMILAR METALS TO REMAIN SEPARATED TO AVOID GALVANIC CORROSION.
16. ALL EXTERIOR WALLS AND ROOFS TO HAVE OPEN CELL SPRAY FOAM INSULATION.
17. ALL EXTERIOR WALLS TO BE STUD GRADE 2 X 6 NO. 2 SYP WITH STUDS AT 16" OC UNLESS OTHERWISE NOTED.
18. ALL INTERIOR WALLS TO BE STUD GRADE 2 X 4 OR NO. 2 SYP WITH STUDS AT 16" OC WITH 5/8" GYPSUM BOARD SHEATHING ON BOTH SIDES UNLESS OTHERWISE NOTED. ALL CAVITIES IN WALL ASSEMBLY TO BE FILLED WITH R-11 SOUND BATT INSULATION.
19. ALL CEILINGS TO BE SHEATHED WITH 5/8" GYPSUM BOARD UNLESS OTHERWISE NOTED.
20. ALL INTERIOR PAINTS, STAINS AND SEALANTS TO BE NON-TOXIC.

SHEET INDEX

A001	COVER PAGE & PROJECT INFORMATION
A002	COVER PAGE & PROJECT INFORMATION
A003	DOOR SCHEDULE, TYPES & HARDWARE SCHEDULE
A004	WINDOW TYPES
A005	WINDOW TYPES
A006	DEMO FLOOR PLAN : SITE PLAN
A007	DEMO FLOOR PLAN : FIRST LEVEL
A008	DEMO FLOOR PLAN : SECOND LEVEL
A101	SITE PLAN
A102	FLOOR PLAN : FIRST LEVEL
A103	FLOOR PLAN : SECOND LEVEL
A104	ROOF PLAN
A105	RCP : FIRST LEVEL
A106	RCP : SECOND LEVEL
A201	BUILDING ELEVATIONS : S
A202	BUILDING ELEVATIONS : E & W
A203	BUILDING ELEVATIONS : N & PARTIAL
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A303	BUILDING SECTIONS
A401	INTERIOR ELEVATIONS
A402	INTERIOR ELEVATIONS
A403	INTERIOR ELEVATIONS
A404	INTERIOR ELEVATIONS
A405	INTERIOR ELEVATIONS
A406	INTERIOR ELEVATIONS
A407	INTERIOR ELEVATIONS
A408	INTERIOR ELEVATIONS
A409	INTERIOR ELEVATIONS
A501	WALL SECTIONS
A502	DETAILS
A503	DETAILS
MEP001	MEP : GENERAL NOTES & LIGHTING/APPLIANCE SCHEDULE
MEP002	MEP : PLUMBING SCHEDULE
MEP003	MEP : SITE PLAN
MEP004	MEP : FIRST LEVEL
MEP005	MEP : SECOND LEVEL
S1	COVER SHEET

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

GRNL
7 Green Lanes • Austin, Tx. • 78703

ARCHITECTURE

Webber + Studio, Inc.

512.236.1032

1220 Lavaca Street
Austin, Texas 78701
Fax 512.236.1039

Thursday, January 24, 2019

PROC50_False03

A001

COVER PAGE &
PROJECT
INFORMATION

1/35

ABBREVIATIONS

A	AB	ANCHOR BOLT	ESR	ELASTIC SHEET ROOFING	O	OA	OVERALL	T&G	TONGE & GROOVE			
	ABV	ABOVE	E.W	EACH WAY		O.C.	ON CENTER	T.S.	TUBE STEEL			
	ACC.	ACCESS / ACCESSIBLE	EWG	ELECTRIC WATER COOLER		O.D.	OUTSIDE DIAMETER	T.T.C.	TELEPHONE TERMINAL CABINET			
	ACC. FL.	ACCESS FLOOR	EWL	ELECTRIC WATER HEATER		OFCl	OWNER FURNISHED / CONTRACTOR INSTALLED	TV	TELEVISION			
	ACC. PNL.	ACCESS PANEL	EXH	EXHAUST		OFOI	OWNER FURNISHED / OWNER INSTALLED	TYP.	TYPICAL			
	ACM	ALUMINUM COMPOSITE METAL	EXIST.	EXISTING		OH	OVERHEAD	U	UL	UNDERWRITERS LABORATORY		
	ACOUS.	ACOUSTICAL	EXPAN.	EXPANSION		O.P.	OPERABLE PARTITION		U.N.O.	UNLESS NOTED OTHERWISE		
	A.C.T.	ACOUSTICAL CEILING TILE	EXP.	EXPOSED		OPH	OPPOSITE HAND		UR.	URINAL		
	ADJUST.	ADJUSTABLE	EXT.	EXTERIOR		OPNG.	OPENING		V	VAC.	VACUUM	
	ADJ.	ADJACENT	FA	FIRE ALARM		OPR.	OPPOSITE			V.C.T.	VINYL COMPOSITION TILE	
	AD	AREA DRAIN	F.C.	FIRE CODE		OPQ.	OPAQUE			VERT.	VERTICAL	
	A.F.F.	ABOVE FINISH FLOOR	FD	FLOOR DRAIN		ORD	OVERFLOW ROOF DRAIN			VEST.	VESTIBULE	
	AGG.	AGGREGATE	FEC	FIRE EXTINGUISHER CABINET		O.S.	OVERFLOW SCUPPER			V.W.C.	VINYL WALL COVERING	
	ALT.	ALTERNATE	FHC	FIRE HOSE CABINET		O/A	OUTSIDE AIR	W	WC	WATER CLOSET		
	ALUM.	ALUMINUM	FH	FIRE HYDRANT		P	PART.		PARTITION	WDW.	WINDOW	
	ANCH.	ANCHOR / ANCHORAGE	FIN.	FINISH / FINISHED			PCF		POUNDS PER CUBIC FOOT	WD.	WOOD	
	ANG.	ANGLE	FKT.	FIXTURE			PCP		PORTLAND CEMENT PLASTER	WF	WIDE FLANGE	
	ANOD.	ANODIZED	FLRG.	FLOORING			PCT		PORCELAIN CERAMIC TILE	WH	WALL-HUNG	
	APPROX.	APPROXIMATE	FLR.	FLOOR			PED.		PEDESTAL	WI.	WROUGHT IRON	
	ARCH.	ARCHITECT / ARCHITECTURAL	FLSHG.	FLASHING			PERF.		PERFORATED	WP	WATERPROOF(ING)	
AUTO.	AUTOMATIC	FLUOR.	FLUORESCENT	P.G.	PLATE GLASS		WR.		WATER RESISTANT			
AUX.	AUXILIARY	FPW.	FLOOD PROTECTION WALL	PL.	PLATE		WT.		WEIGHT			
AVE.	AVENUE	F.F.W.	FLOW LINE	PLAST.	PLASTER		W.W.F.		WELDED WIRE FABRIC			
AVG.	AVERAGE	FL	FLOOR LINE	PLAS.	PLASTIC		W.P.		WORK POINT			
A/C	AIR CONDITIONING	F.M.	FACTORY MUTUAL	PLF	POUNDS PER LINEAR FOOT		W.W.		WARM WHITE			
AV	AUDIO VISUAL	FND.	FOUNDATION	PLBG.	PLUMBING		W.W.X.		WARM WHITE DELUXE			
B	BD.	BOARD	FRPF.	FIREPROOF(ING)	PLYWD.		PLYWOOD		W/	WITH		
	B/F	BOTH FACES	FSEC	FOOD SERVICE EQUIPMENT CONTRACTOR	PNL		PANEL		W/O	WITHOUT		
	BITUM.	BITUMINOUS	F.S.	FULL SIZE	POL.		POLISHED		X	XFMR.	TRANSFORMER	
	BLDG.	BUILDING	FTG.	FOOTING	PRKG.		PARKING			Y	Y	Y
	BLKG.	BLOCKING	FT.	FOOT / FEET	PR.		PAIR				Y	Y
	BLK.	BLOCK	FURN.	FURNISH	PSF		POUNDS PER SQUARE FOOT				Y	Y
	BM	BEAM	FURR.	FURRED / FURRING	PSI		POUNDS PER SQUARE INCH				Y	Y
	B.M.	BENCH MARK	F.V.	FIELD VERIFY	PT		PAINT				Y	Y
	BOT.	BOTTOM	F.V.C.	FIRE VALVE CABINET	PTD.	PAINTED	Y				Y	
	B.O.C.	BOTTOM OF CURB	F.W.C.	FABRIC WALL COVERING	P.V.C.	POLYVINYL CHLORIDE	Y				Y	
	BRG.	BEARING	G	GALV.	GALVANIZED	PVG.	PAVING	Y			Y	
	BRG. PL.	BEARING PLATE		GAL.	GALLON	PVMT.	PAVEMENT	Y			Y	
	BRKT.	BRACKET		GA	GALGE	P.L.	PROPERTY LINE	Y	Y			
	B.S.	BOTH SIDES		GC	GENERAL CONTRACTOR	PLAM.	PLASTIC LAMINATE	Y	Y			
	BSMT.	BASEMENT		GD.	GUARD	P/C	PRECAST	Y	Y			
	BTW.	BETWEEN		GEN.	GENERAL	PPF	PREFINISHED PANEL	Y	Y			
	B.U.R.	BUILT-UP ROOFING		G.I.	GALVANIZED IRON	QT	QUARRY TILE	Y	Y			
	B.W.	BOTH WAYS		GL	GLASS / GLAZING	R	RCP	REFLECTED CEILING PLAN	Y		Y	
	B&B	BALLED AND BURLAPPED		GMP	GUARANTEED MAX. PRICE		R.C.P.	REINFORCED CONCRETE PIPE	Y		Y	
	B-B	BACK TO BACK		GR.	GRADE / GRADING		RD	ROOF DRAIN	Y		Y	
C	CAB.	CABINET	GYP.	GYPSUM	REBAR		REINFORCING BAR	Y	Y			
	CB	CATCH BASIN	H	HB	HOSE BIBB		RECEPT.	RECEPTION	Y		Y	
	CCTV	CLOSED CIRCUIT TELEVISION		H.C.	HOLLOW CORE		RECEP.	RECEPTICLE	Y		Y	
	CEM.	CEMENT		HDWD.	HARDWOOD		RECOM.	RECOMMENDATION	Y	Y		
	CER.	CERAMIC		HDWR.	HARDWARE		REC.	RECESSED	Y	Y		
	CFMF	COLD FORMED MTL FRAMING		HD.	HEAD		REF.	REFRIGERATOR	Y	Y		
	CIP	CAST IN PLACE		H.F.S.	HALF FULL-SIZE		REG.	REGULATION	Y	Y		
	C.I.	CAST IRON		H.M.	HOLLOW METAL	REINF.	REINFORCED	Y	Y			
	CIR.	CIRCLE		HORIZ.	HORIZONTAL	REM.	REMAINDER	Y	Y			
	CJ	CONTROL JOINT		HP	HORSEPOWER	REQ'D.	REQUIRED	Y	Y			
	CKBD.	CHALK BOARD		HR	HOUR	RES.	RESILIENT	Y	Y			
	CLG.	CEILING	HT.	HEIGHT	RET.	RETURN	Y	Y				
	CLG. HT.	CEILING HEIGHT	HVAC	HEATING / VENTILATING / AIR CONDITIONING	REV.	REVERSE / REVISION	Y	Y				
	CLR.	CLEAR(ANCE)	HW	HOT WATER	RE	REFER TO	Y	Y				
	CL.	CLOSET	HYD.	HYDRANT	RFG.	ROOFING	Y	Y				
	CM / cm	CENTIMETER	I	I.D.	INSIDE DIAMETER	RH	RIGHT-HAND	Y	Y			
	CMU	CONCRETE MASONRY UNIT		INCD.	INCANDESCENT	R	RISER	Y	Y			
	CNTR.	COUNTER		INCL.	INCLUDED	RM	ROOM	Y	Y			
	COL.	COLUMN		INFO.	INFORMATION	R.O.	ROUGH OPENING	Y	Y			
	COMPRES.	COMPRESSIBLE		INSUL.	INSULATION	R.O.W.	RIGHT OF WAY	Y	Y			
COMP.	COMPOSITION	INT.		INTERIOR	RAD.	RADIUS	Y	Y				
CONC.	CONCRETE	IN		INCH(ES)	R/AG	RETURN AIR GRILLE	Y	Y				
COND.	CONDITION	I.P.S.		INSIDE PIPE SIZE	R/A	RETURN AIR	Y	Y				
CONF.	CONFERENCE	J		JAN	JANITOR	S	SCHEDULE	Y	Y			
CONST.	CONSTRUCTION			JST.	JOIST	S.C.	SOLID CORE	Y	Y			
CONTR.	CONTRACTOR		JT.	JOINT	SD	STORM DRAIN	Y	Y				
CONT.	CONTINUOUS		L	LAM.	LAMINATED	SECT.	SECTION	Y	Y			
CORRU	CORRUGATED			LAV.	LAVATORY	SF	SQUARE FOOT / FEET	Y	Y			
CORR.	CORRIDOR			LGTH.	LENGTH	SH	SINGLE-HUNG	Y	Y			
CG	CORNER GUARD			LH	LEFT-HAND	SHVL.	SHELVES / SHELVING	Y	Y			
CSMT.	CASEMENT			LV.	LEVEL	SHTG.	SHEATHING	Y	Y			
CTR.	CENTER			LIN.	LINEAR	SHT.	SHEET	Y	Y			
CTSK	COUNTERSUNK			LL	LIVE LOAD	SHT. GL.	SHEET GLASS	Y	Y			
C.T.	CERAMIC TILE	LT.		LIGHT	SHWR.	SHOWER	Y	Y				
CU. FT.	CUBIC FOOT (FEET)	LVR.		LOUVER	SIM.	SIMILAR	Y	Y				
CU. YD.	CUBIC YARD	LWT		LIGHT-WEIGHT	SPEC.	SPECIFICATION	Y	Y				
CW	COLD/CHILLED WATER	M	M / m	METER	SPKR.	SPEAKER	Y	Y				
C-C	CENTER TO CENTER		MM / mm	MILLIMETER	SQ.	SQUARE	Y	Y				
C.O.	CASED OPENING		MACH.	MACHINE	S.S.	STAINLESS STEEL	Y	Y				
C.W.	COOL WHITE		MAINT.	MAINTENANCE	SS	SANITARY SEWER	Y	Y				
C.W.X.	COOL WHITE DELUXE		MAS.	MASONRY	STAB.	STABILIZE(D)	Y	Y				
D	DBL.		DOUBLE	MATL.	MATERIAL	STA.	STATION	Y	Y			
	DEFL.		DEFLECTION	MAX.	MAXIMUM	S.T.C.	SOUND TRANSMISSION COEFFICIENT	Y	Y			
	DEPT.		DEPARTMENT	MECH.	MECHANICAL	STD.	STANDARD	Y	Y			
	DF		DRINKING FOUNTAIN	MEP	MECHANICAL / ELECTRICAL / PLUMBING	STL.	STEEL	Y	Y			
	D.H.		DOUBLE-HUNG	MFR.	MANUFACTURER	STOR.	STORAGE	Y	Y			
	DIA.	DIAGONAL	MH	MANHOLE	STRUCT.	STRUCTURE / STRUCTURAL	Y	Y				
	DIA.	DIAMETER	MIN.	MINIMUM	SUSP.	SUSPENDED	Y	Y				
	DIM.	DIMENSION	MISC.	MISCELLANEOUS	SW	SWITCH	Y	Y				
	DISC.	DISCONNECT	M.L.	METAL LATH	SYM.	SYMMETRICAL	Y	Y				
	DISP.	DISPENSER	MLDG.	MOULDING	SYN.	SYNTHETIC	Y	Y				
	D.L.	DEAD LOAD	M.O.	MASONRY OPENING	SYS.	SYSTEM	Y	Y				
	DMPFG.	DAMP/PROOFING	MTD.	MOUNTED	S/AD	SUPPLY AIR DIFFUSER	Y	Y				
	DN	DOWN	MTG.	MOUNTING	S/A	SUPPLY AIR	Y	Y				
	DR.	DOOR	MTL.	METAL	T	T.B.	TOWEL BAR	Y	Y			
	DS	DOWNSPOUT	MULL.	MULLION		TCOC	TEXTURE COATING ON CONCRETE	Y	Y			
	DTL.	DETAIL	N	NAT.		NATURAL	TEL.	TELEPHONE	Y	Y		
	DWC.	DRYWALL FURRING CHANNEL		NFHB		NON-FREEZE HOSE BIBB	TEMP.	TEMPERED / TEMPORARY / TEMPERATURE	Y	Y		
	DWG.	DRAWING		N.I.C.		NOT IN CONTRACT	THK.	THICK(NESS)	Y	Y		
	DWR.	DRAWER		NOM.		NOMINAL	THRES.	THRESHOLD	Y	Y		
	D. / d.	DEEP / DEPTH		NO. or #		NUMBER	TINT.	TINTED	Y	Y		
E	EA.	EACH		N.R.		NOISE REDUCTION	TKBD.	TACKBOARD	Y	Y		
	EDF	ELECTRIC DRINKING FOUNTAIN		N.R.C.		NOISE REDUCTION COEFFICIENT	T.O.C.	TOP OF CURB / CONCRETE	Y	Y		
	EFB	EXTERIOR FACE OF BUILDING		N.T.S.		NOT TO SCALE	TOL.	TOLERANCE	Y	Y		
	EJ	EXPANSION JOINT		Y	Y	Y	T.O.S.	TOP OF STEEL / SLAB	Y	Y		
	ELAS.	ELASTIC / ELASTOMERIC			Y	Y	T.O.S.S.	TOP OF STRUCTURAL SLAB	Y	Y		
	ELEC.	ELECTRICAL	Y		Y	T.O.W.	TOP OF WALL	Y	Y			
	ELEV.	ELEVATOR	Y		Y	T.P.D.	TOILET PAPER DISPENSER	Y	Y			
	EL.	ELEVATION	Y		Y	TRANS.	TRANSFER	Y	Y			
	EMER.	EMERGENCY	Y		Y	TRZO.	TERRAZZO	Y	Y			
	EP	EXPLOSION PROOF	Y		Y	T	TREAD	Y	Y			
	EQUIP.	EQUIPMENT	Y		Y	Y	Y	Y	Y			
	EQ.	EQUAL	Y		Y	Y	Y	Y	Y			

DOOR SCHEDULE												
ID	LOCATION	ROOM #	Door Type	MFR/CATALOG #	DOOR NOMINAL DIMENSIONS		DOOR R.O. DIMENSIONS		DOOR MATERIAL/ FINISH / COLOR	THICKNESS	HARDWARE	REMARKS / CATALOG #
					WIDTH	HEIGHT	WIDTH	HEIGHT				
2			-		2'-0"	6'-8"					-	
2			-		2'-9 15/16"	6'-9 3/8"					-	
2			-		4'-0"	6'-8"					-	
2			-		5'-2 1/8"	6'-8 7/8"					-	
2			-		5'-7"	6'-8 7/8"					-	
2			-		5'-9 5/8"	6'-8 1/16"					-	
2			-		5'-11"	6'-11 1/4"					-	
3			-		2'-0"	6'-8"					-	
3			-		4'-11 1/16"	6'-8"					-	
3			-		5'-5 5/8"	6'-8"					-	
3			-		5'-6 3/4"	6'-7 15/16"					-	
3			-		5'-6 3/4"	6'-10 3/16"					-	
3			-		5'-9 7/16"	6'-8 1/16"					-	
3			-		9'-6 7/8"	6'-10 7/8"					-	
3			-		18'-0"	7'-0"					-	
4			-		2'-2 1/2"	6'-7 1/8"					-	

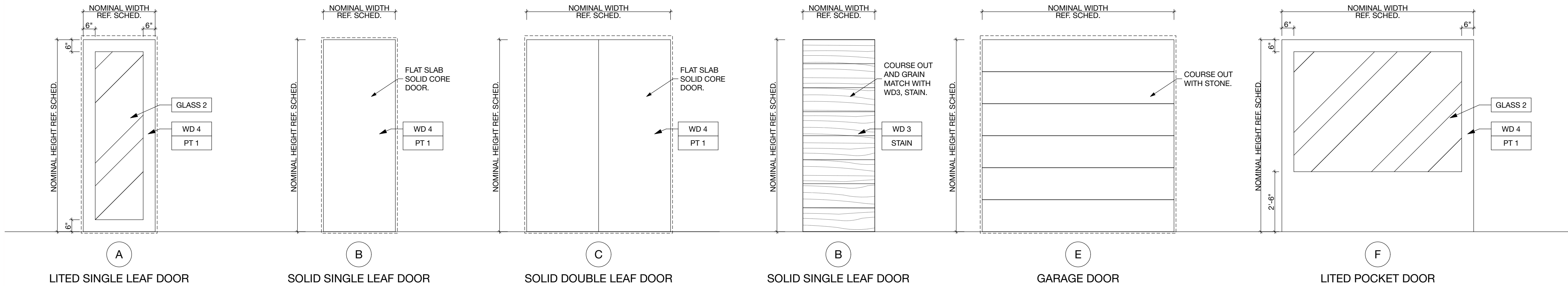
DOOR SCHEDULE

1

HARDWARE SCHEDULE				
TAG	HDWR / DESCRIPTION	MFR / MODEL #	FINISH / COLOR	NOTES
HDWR 1				
HDWR 2				
HDWR 3				
HDWR 4				
HDWR 5				
HDWR 6				
HDWR 7				
HDWR 8				
HDWR 9				
HDWR 10				
HDWR 11				
HDWR 12				
HDWR 13				
HDWR 14				
HDWR 15				

HARDWARE SCHEDULE

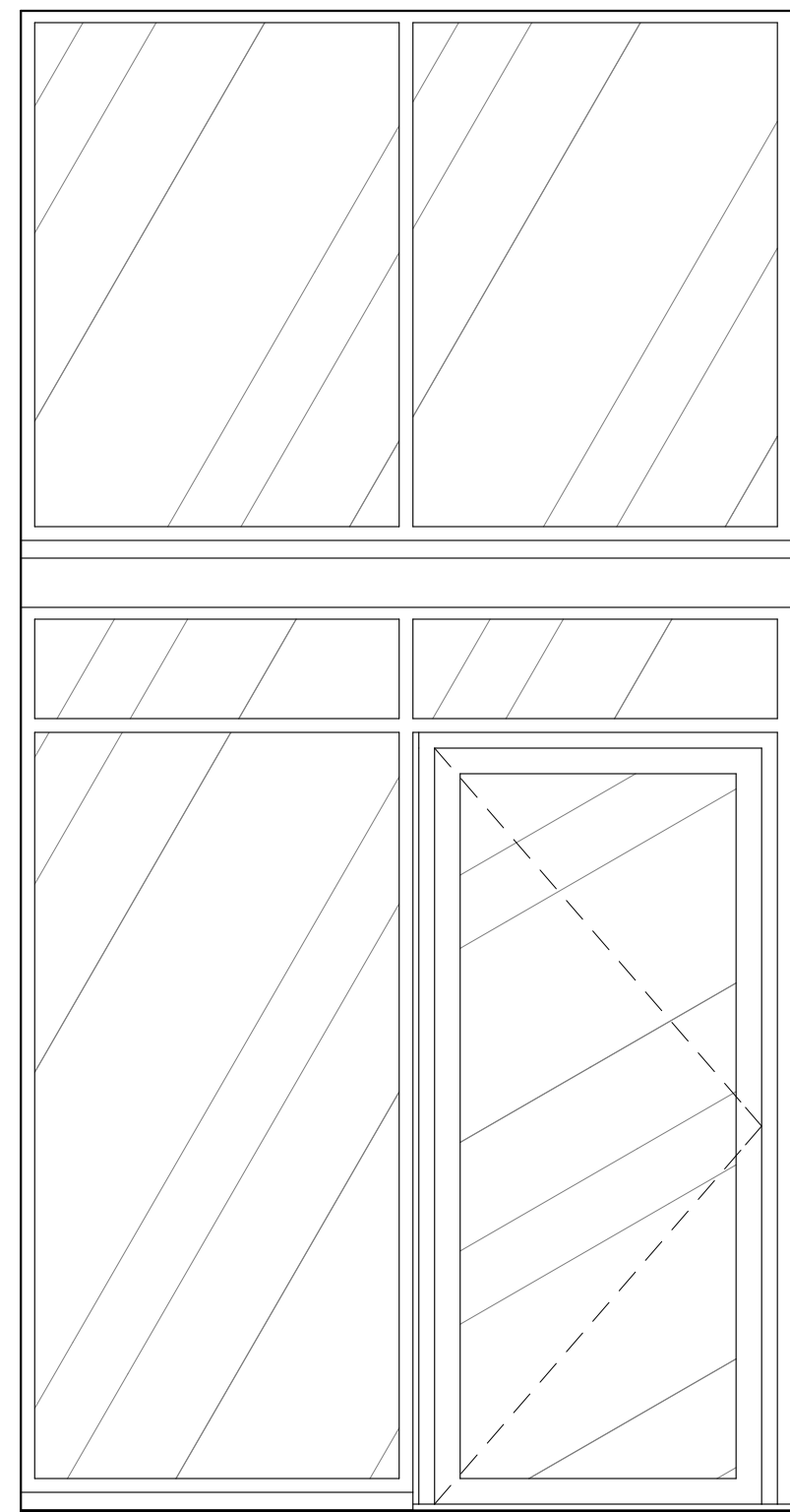
2



DOOR TYPES

Scale: 3/8" = 1'-0"

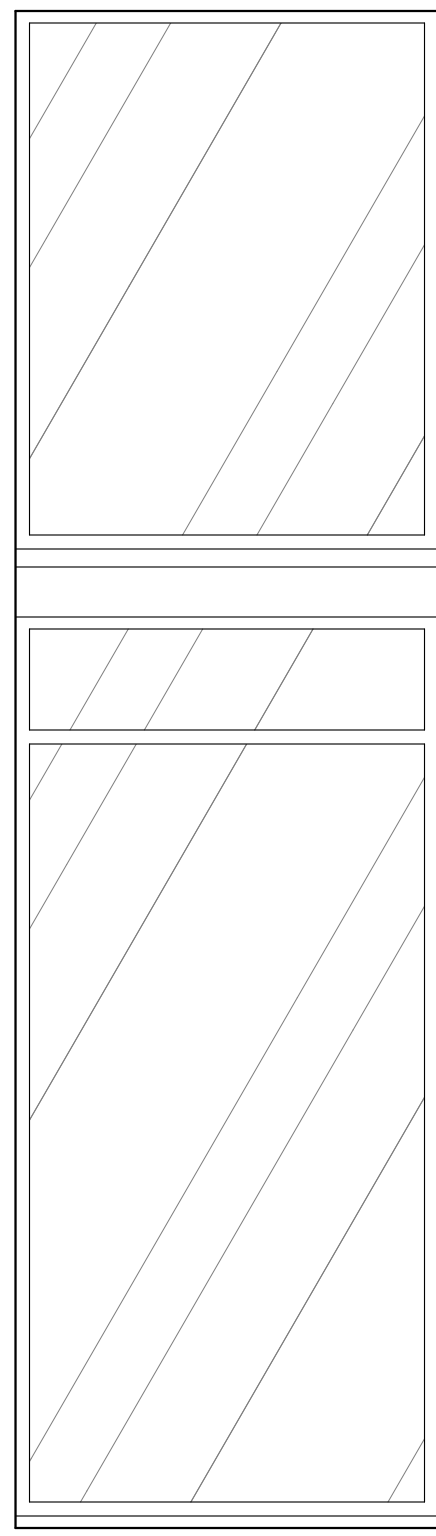
3



1-A

WDW 1-A ENTRY

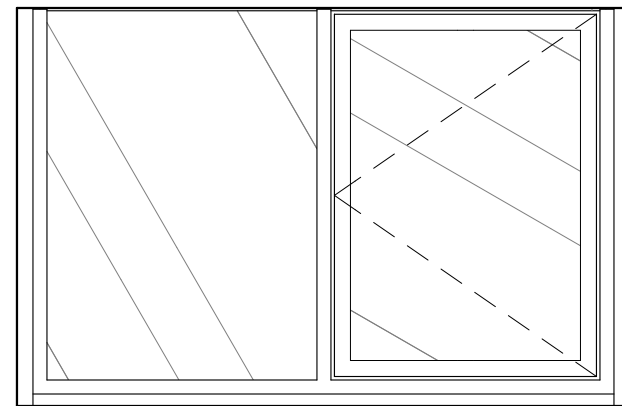
1



1-B

WDW 1-B LIVING ROOM

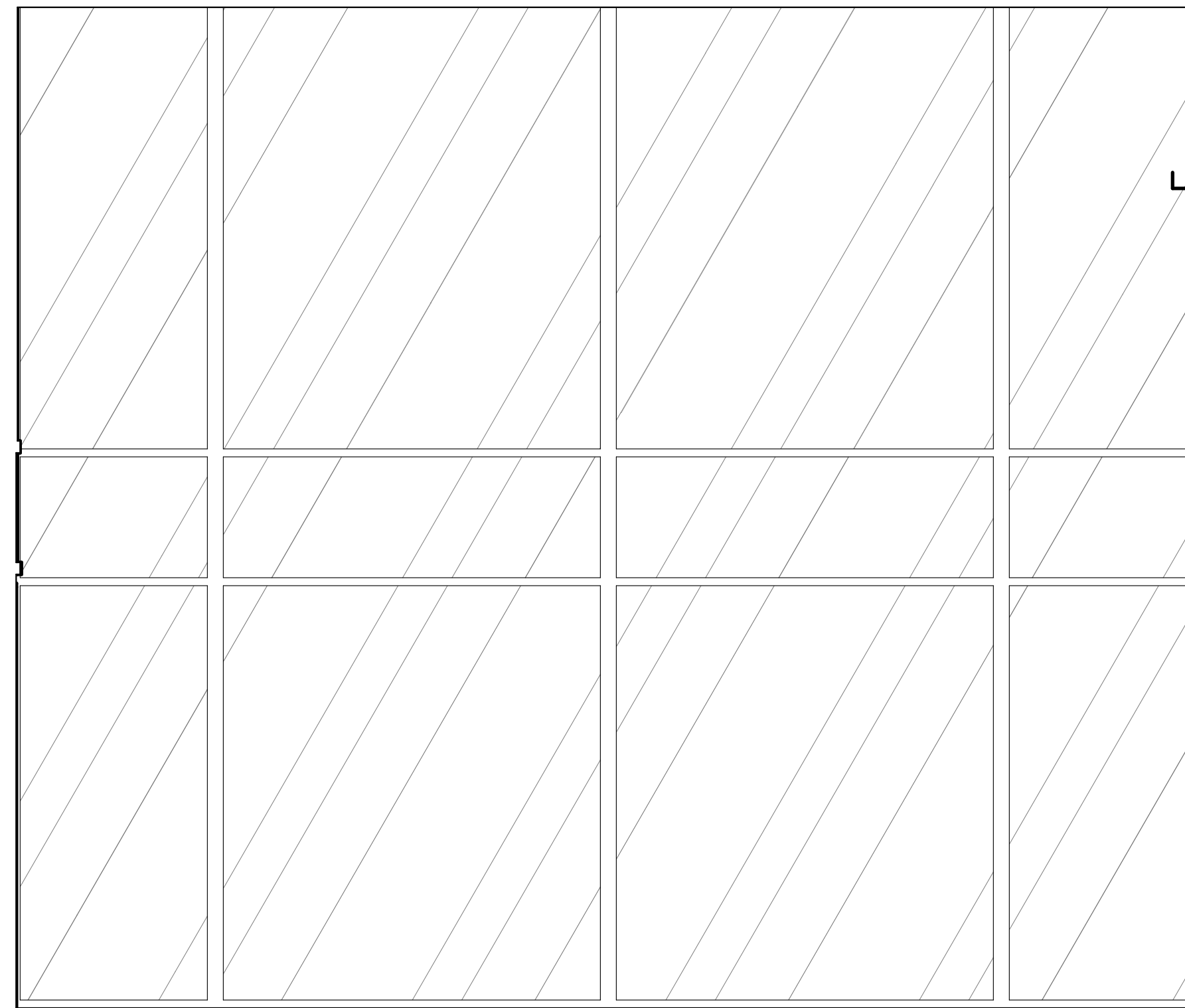
2



1-C

WDW 1-C GUEST SUITE

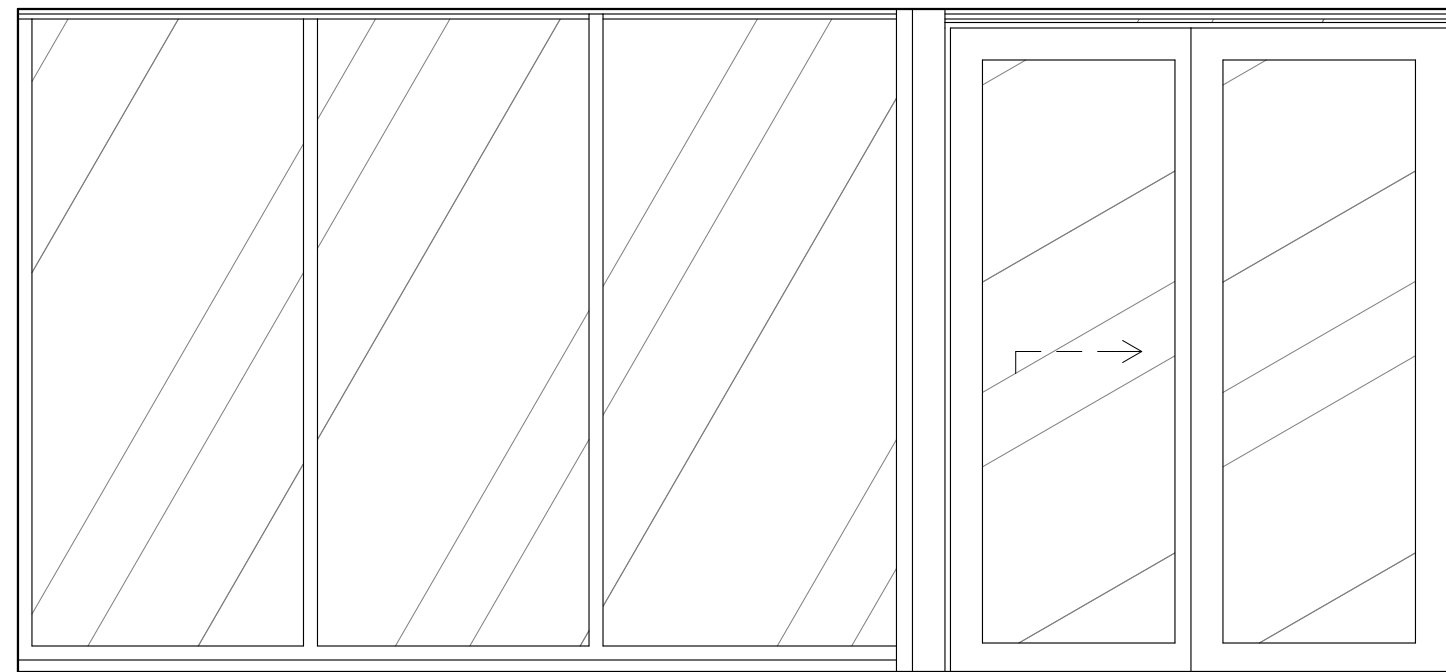
3



1-D

WDW 1-D KITCHEN / STAIR

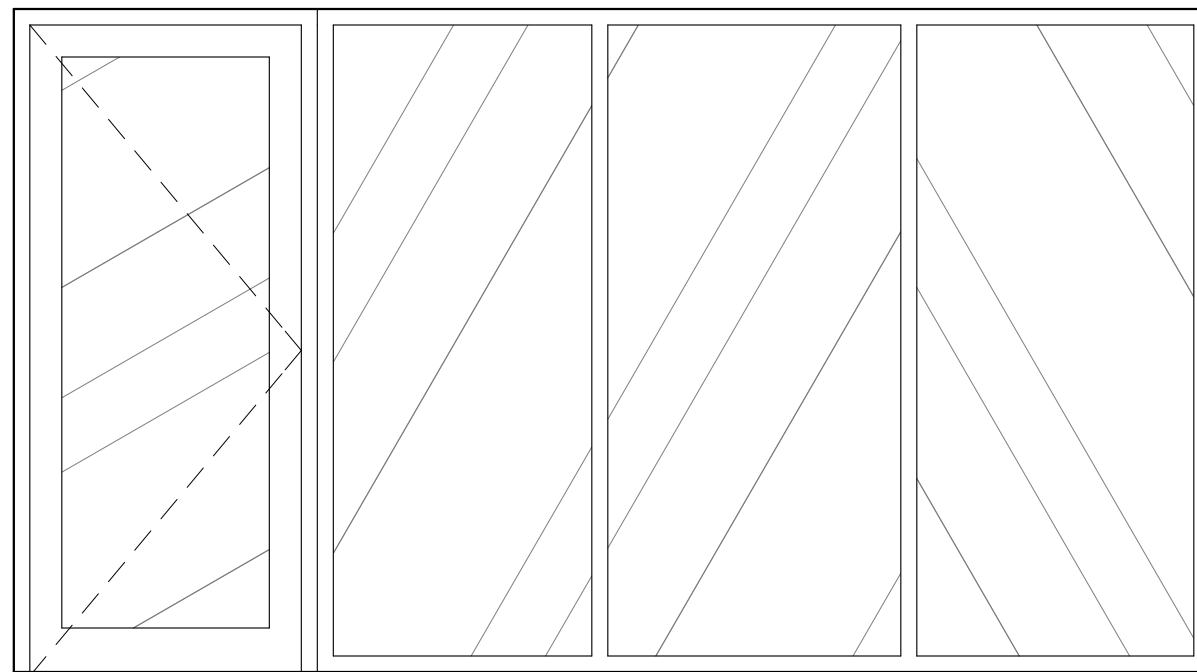
4



1-E

WDW 1-E LAUNDRY

5



1-F

WDW 1-F MUD ROOM / LAUNDRY

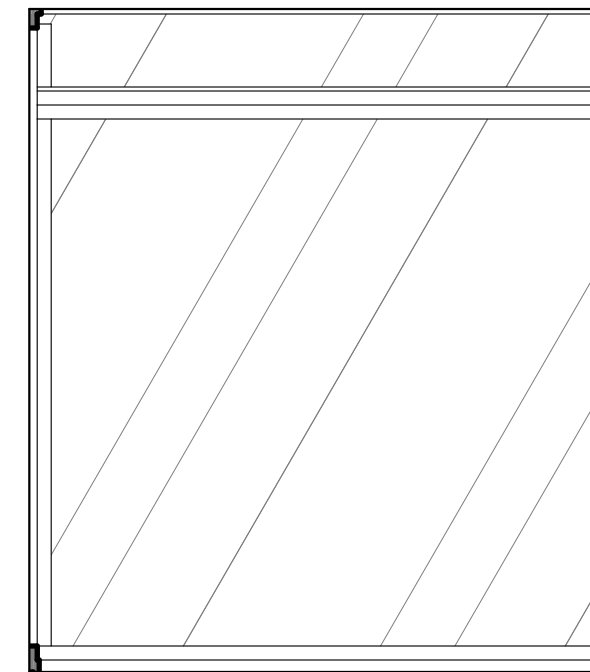
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1-G

WDW 1-G STAIR

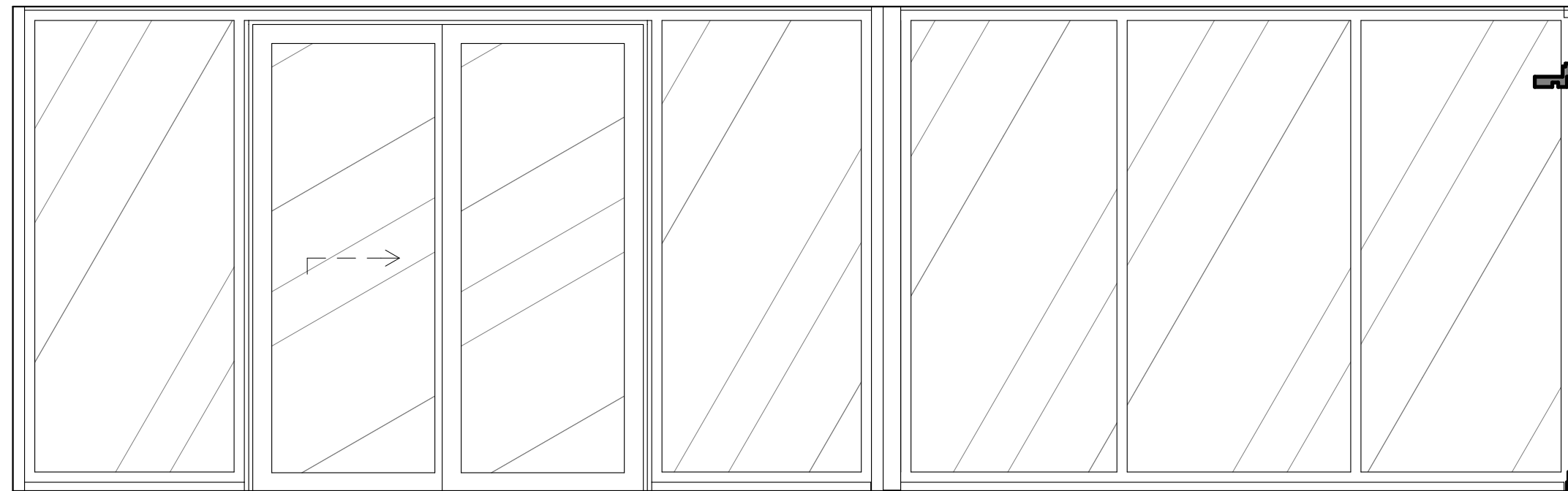
7



1-H

WDW 1-H STAIR

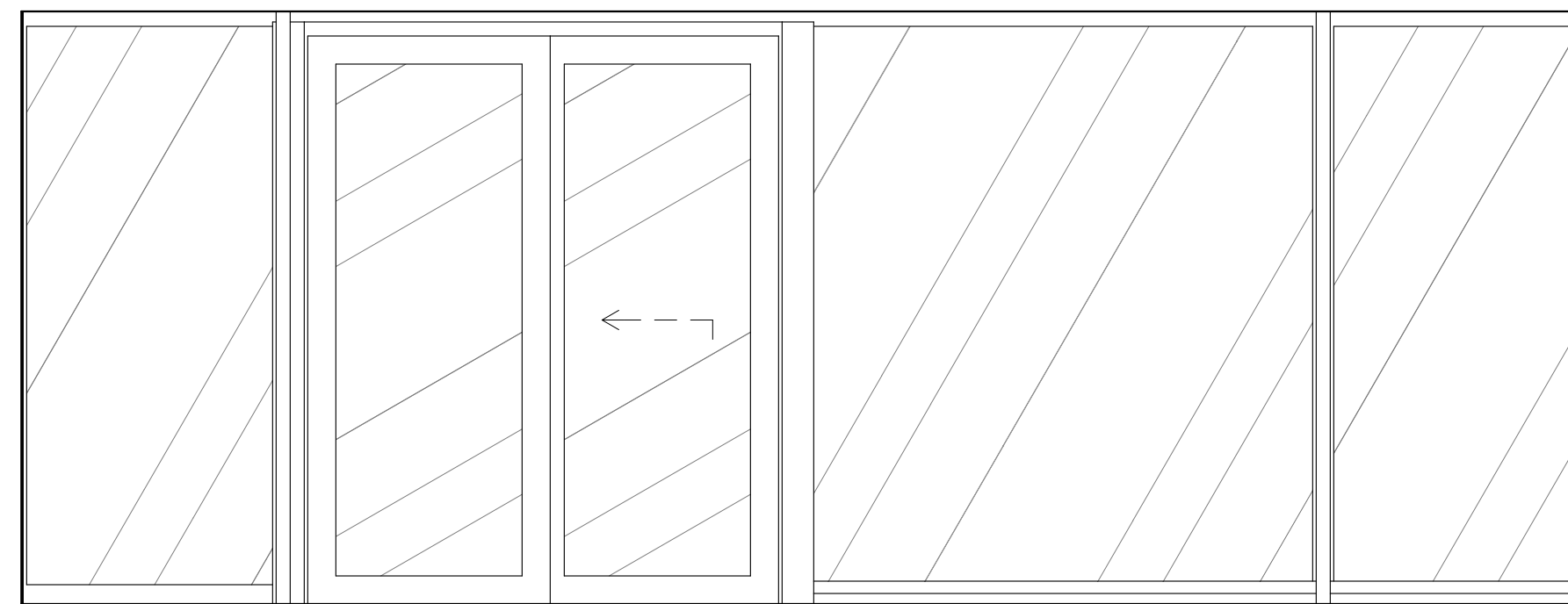
8



1-J

WDW 1-J FAMILY ROOM

9



1-K

WDW 1-K KITCHEN

10

ARCHITECTURE
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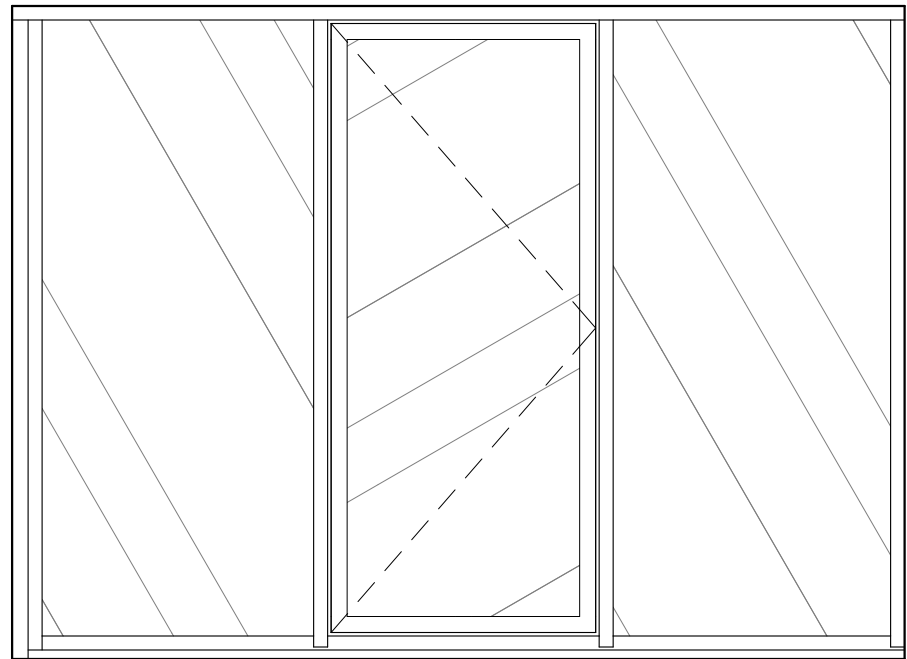
512.236.1032

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Fax 512.236.1039

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PROC50_False03

A004
WINDOW TYPES

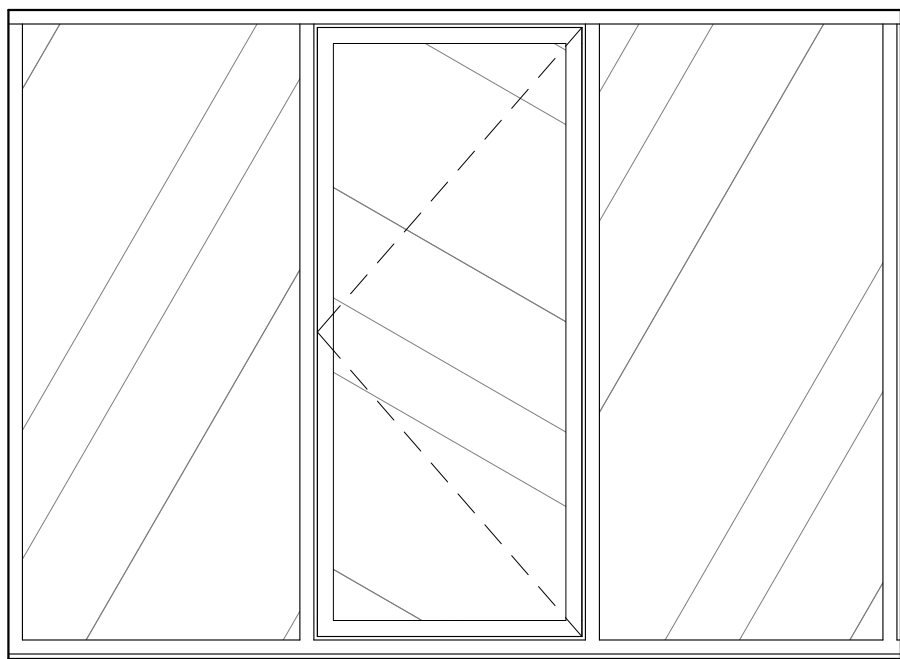
4/35



2-A

WDW 2-A FRANNIE'S BEDROOM

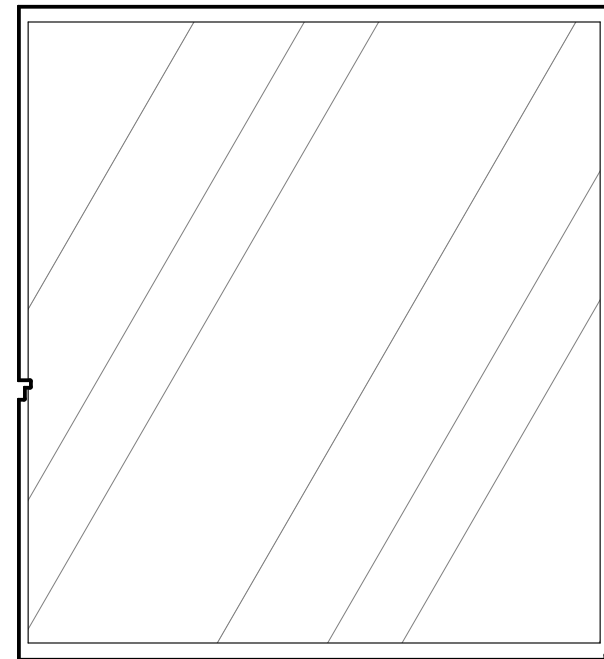
1



2-B

WDW 2-B FRANNIE'S BEDROOM

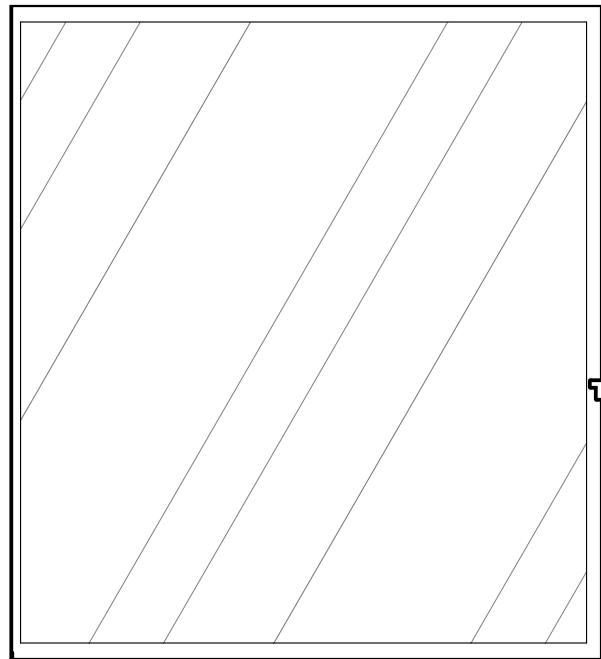
2



2-C

WDW 2-C STAIR

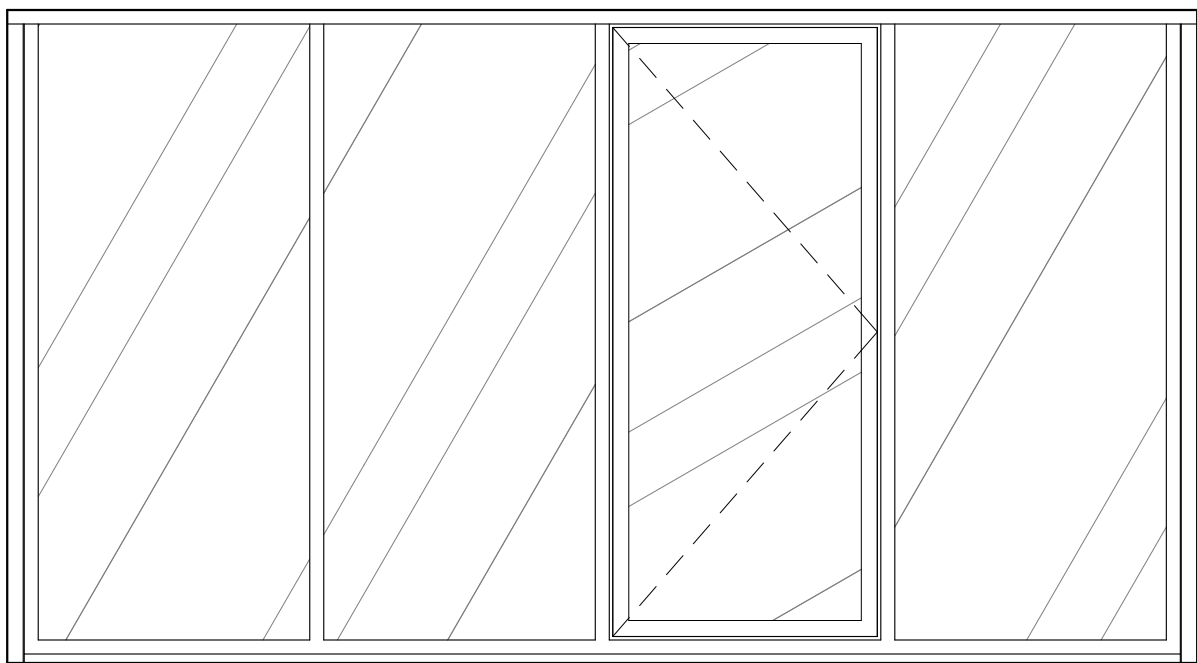
3



2-D

WDW 2-D STAIR

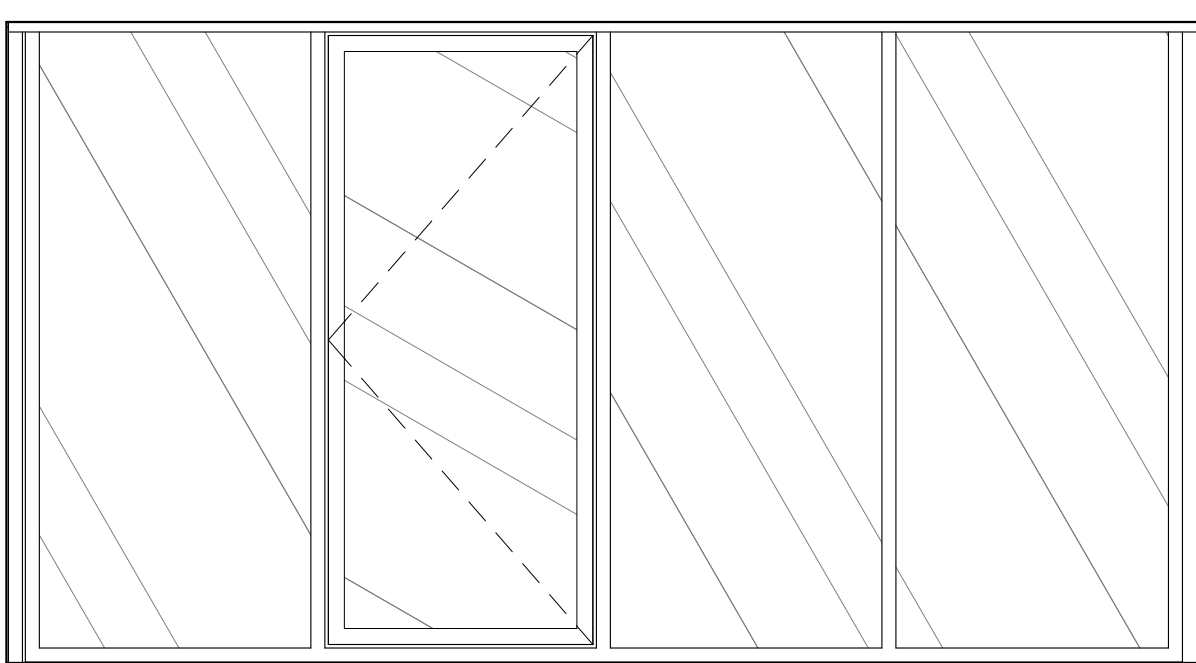
4



2-E

WDW 2-E HAYS' BEDROOM

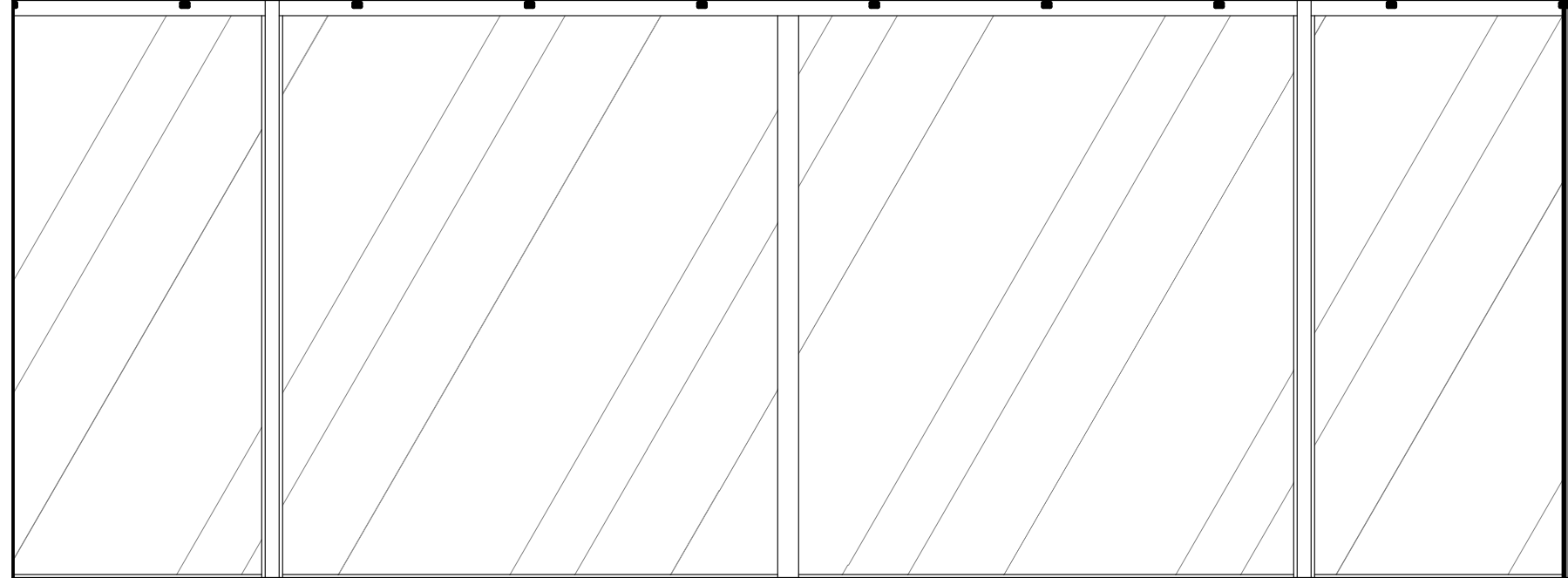
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2-F

WDW 2-F HAYS' BEDROOM

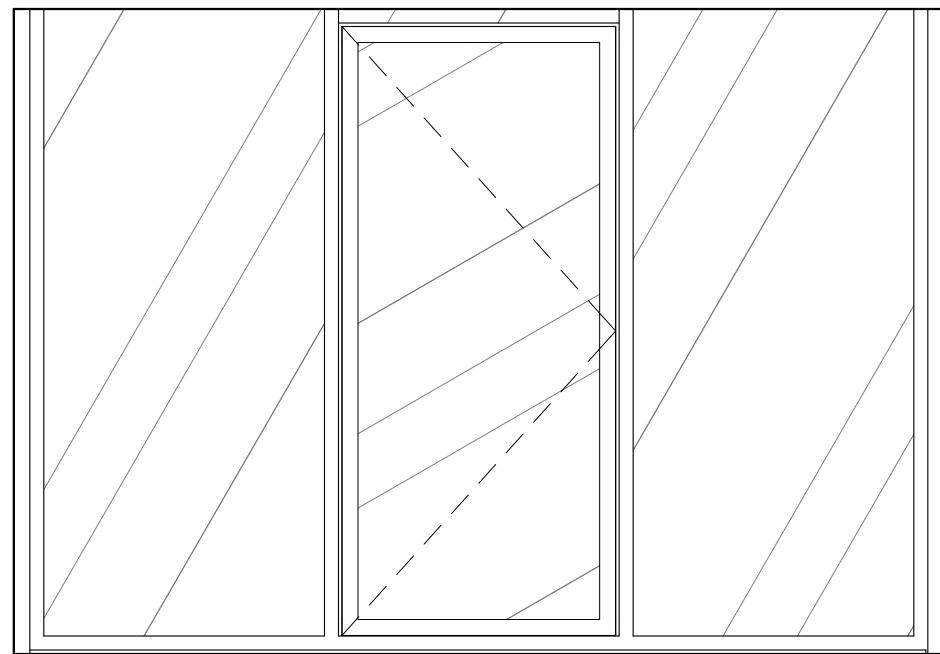
6



2-G

WDW 2-G WALKWAY

7



2-H

WDW 2-H MASTER BEDROOM

8

ARCHITECTURE

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A005

WINDOW TYPES

5/35

GRNL
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9/35



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APPROVAL,
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CONSTRUCTION

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GRNL

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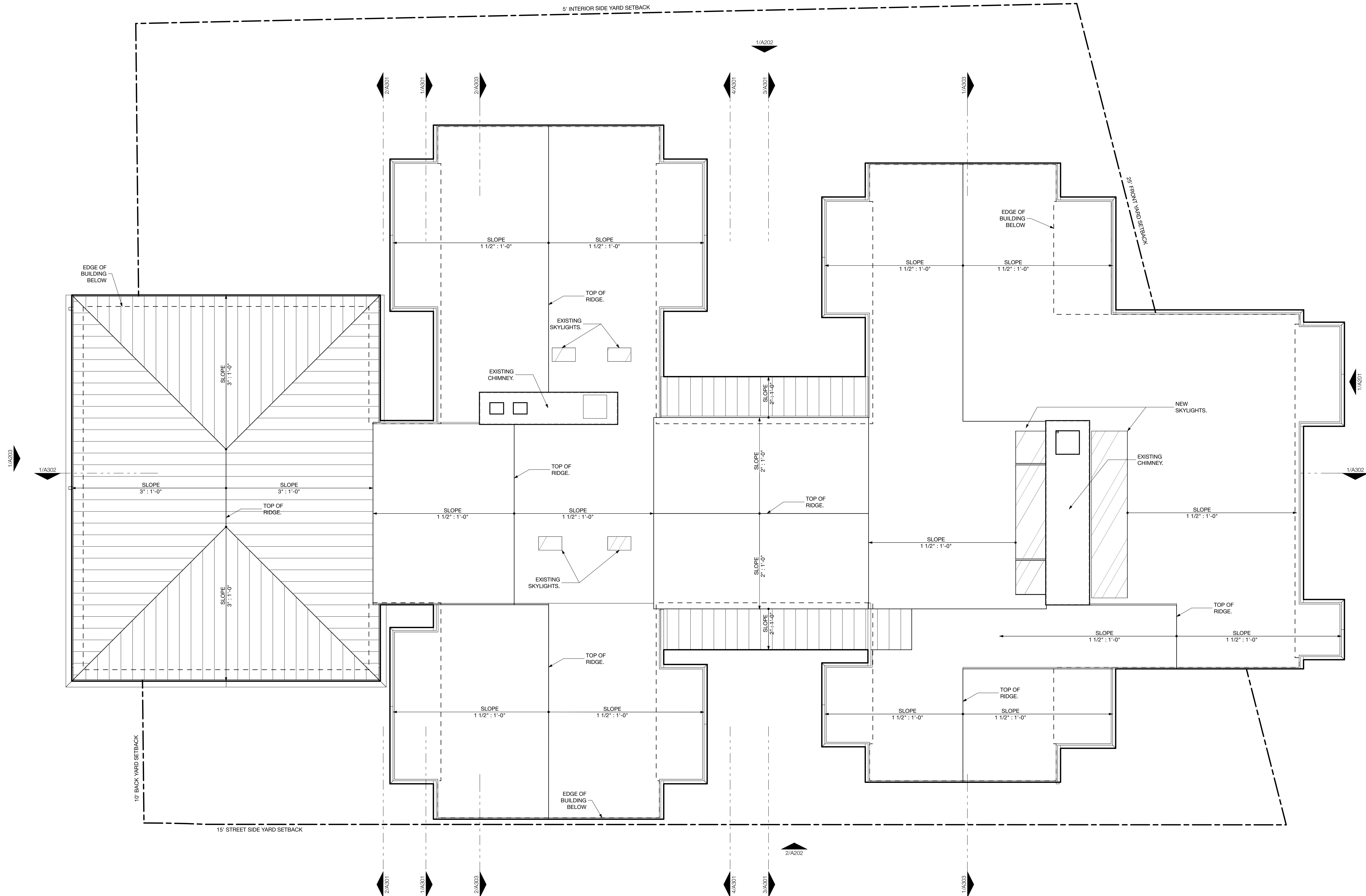
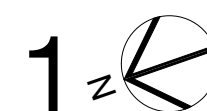
Thursday, January 24, 2019

PROC50_False03

A104
ROOF PLAN

12/35

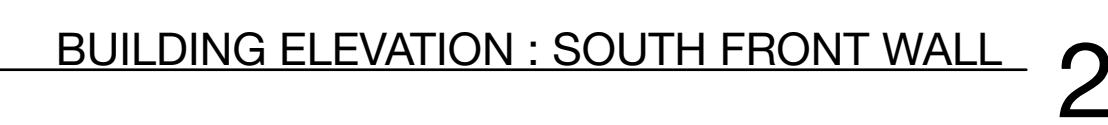
ROOF PLAN
Scale: 1/4" = 1'-0"



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•



2

15/35

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GRN



Scale: 1/4" = 1'-0"

1



Scale: 1/4" = 1'-0"

2

ARCHITECTURE

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A202

BUILDING
ELEVATIONS : E & W

16/35

BIM Server: bimservr.local - BIM Server 20/GRNL_180815 Ver. 18.004 Thursday, January 24, 2019 1:46 PM

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APPROVAL,
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CONSTRUCTION

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ARCHITECTURE

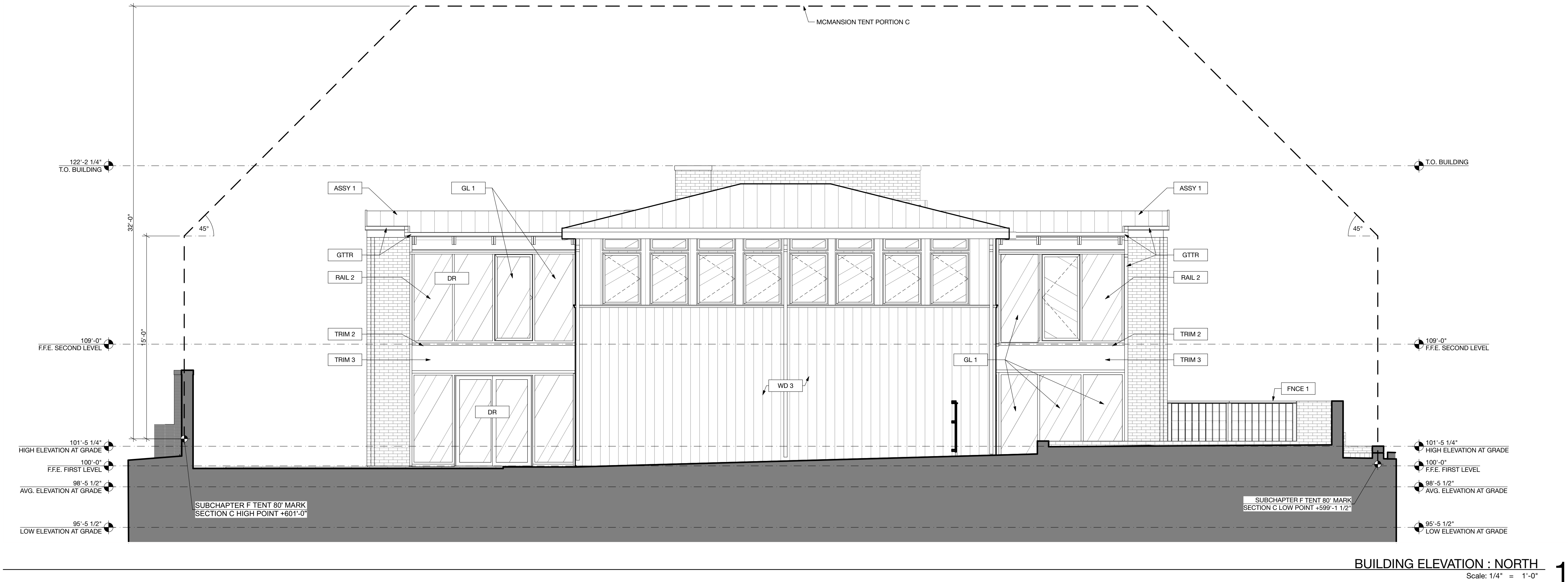
Webber + Studio, Inc.

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Austin, Texas 78701
Fax 512.236.1039

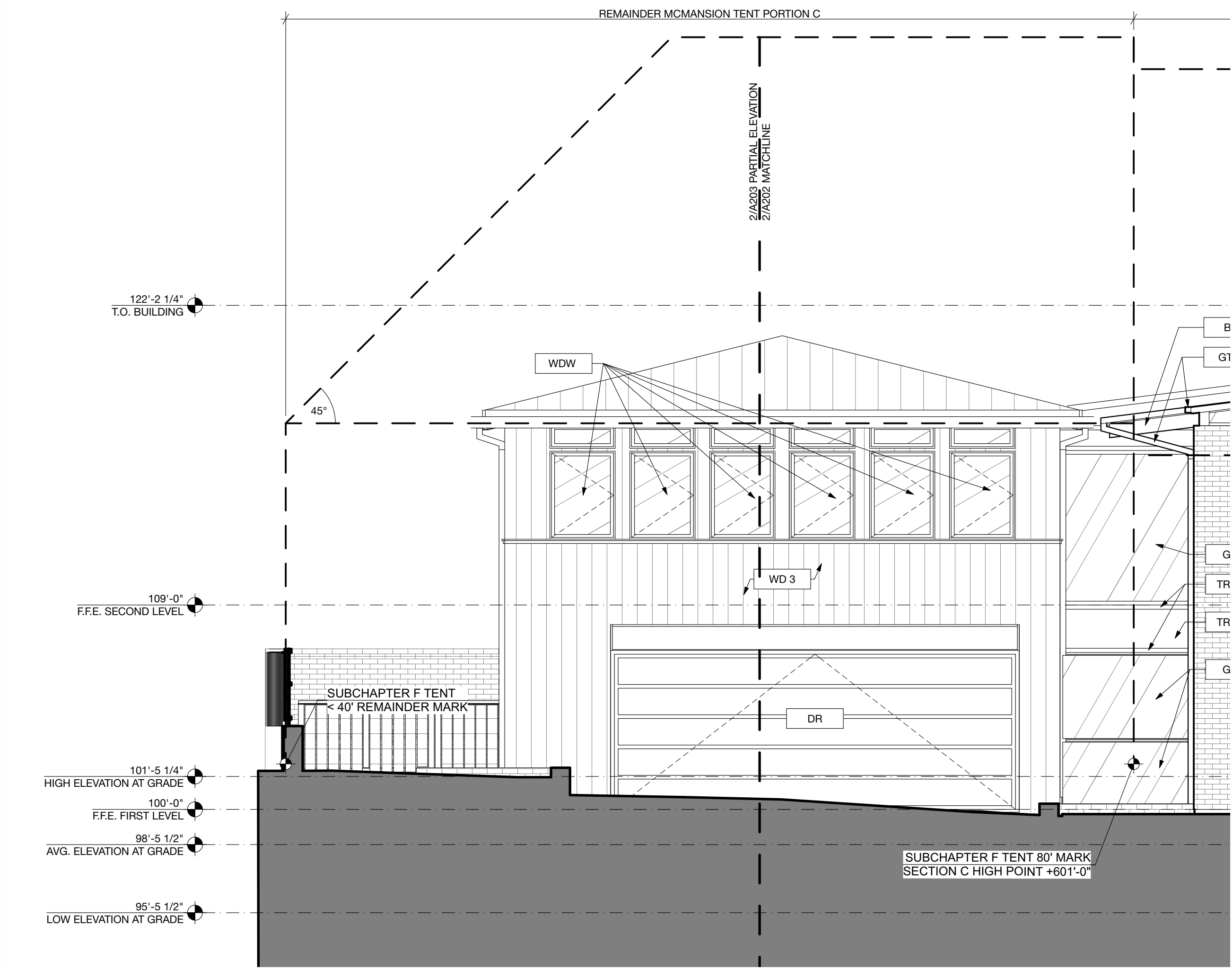
Thursday, January 24, 2019
PROC50_False03

A203
BUILDING
ELEVATIONS : N &
PARTIAL
17/35



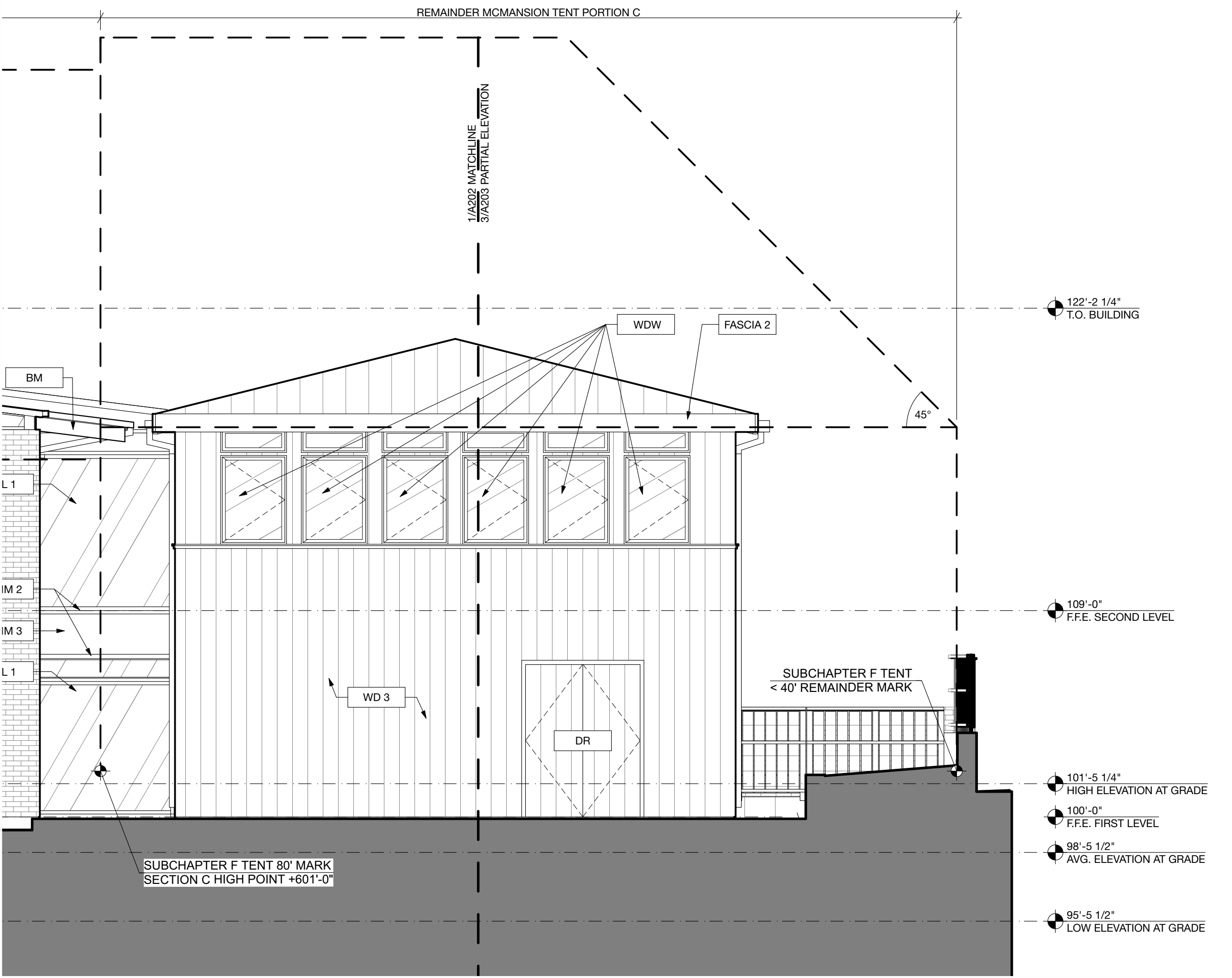
BUILDING ELEVATION : NORTH
Scale: 1/4" = 1'-0"

1



PARTIAL BUILDING ELEVATION : WEST
Scale: 1/4" = 1'-0"

2



PARTIAL BUILDING ELEVATION : EAST
Scale: 1/4" = 1'-0"

3

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

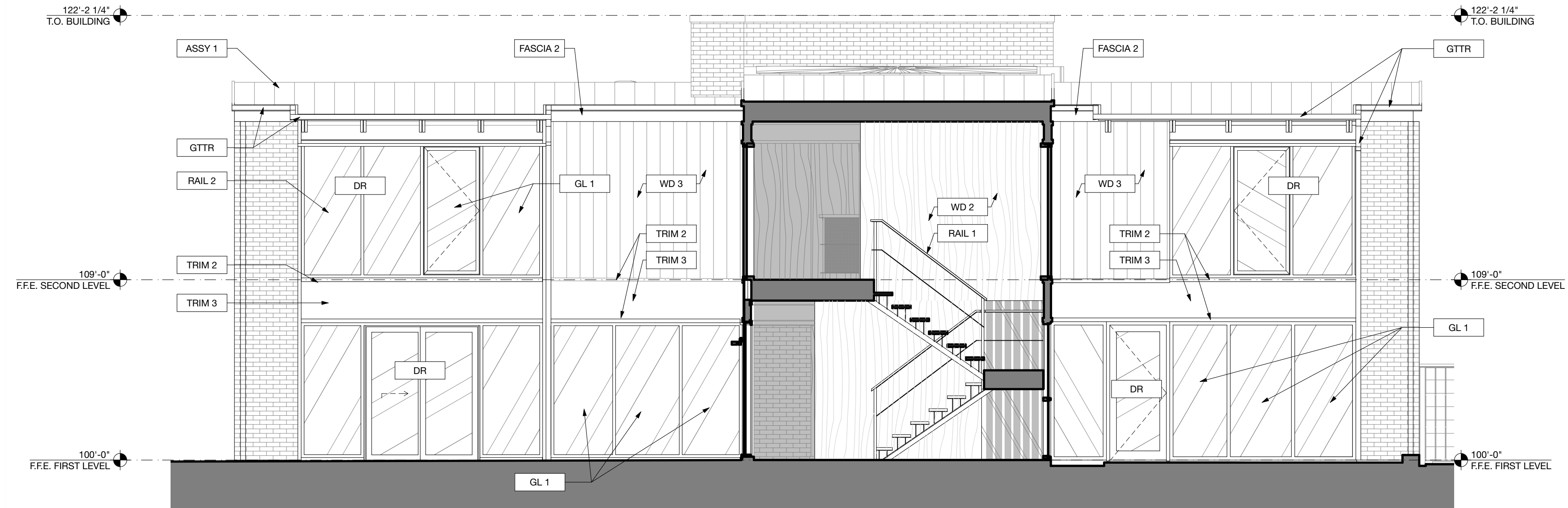
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Austin, Texas 78701
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Thursday, January 24, 2019
PROC50_False03

A301
BUILDING SECTIONS

17/35



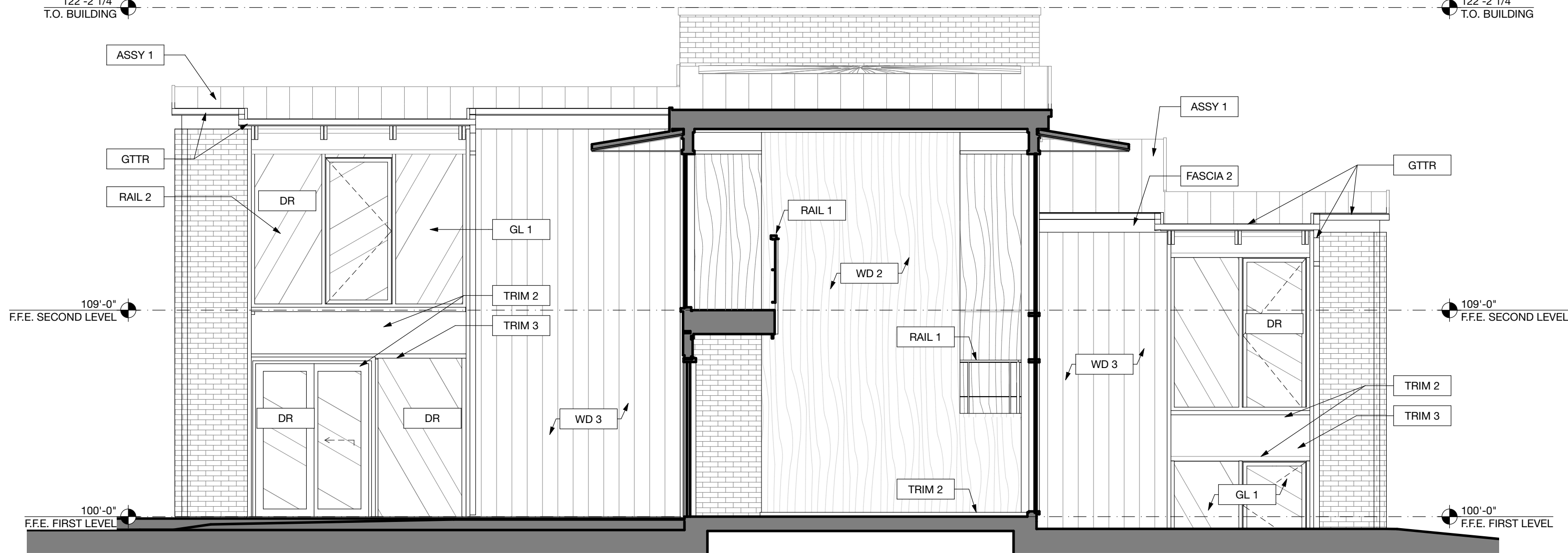
BUILDING SECTION : E-W THROUGH MAIN STAIR
Scale: 1/4" = 1'-0"

1



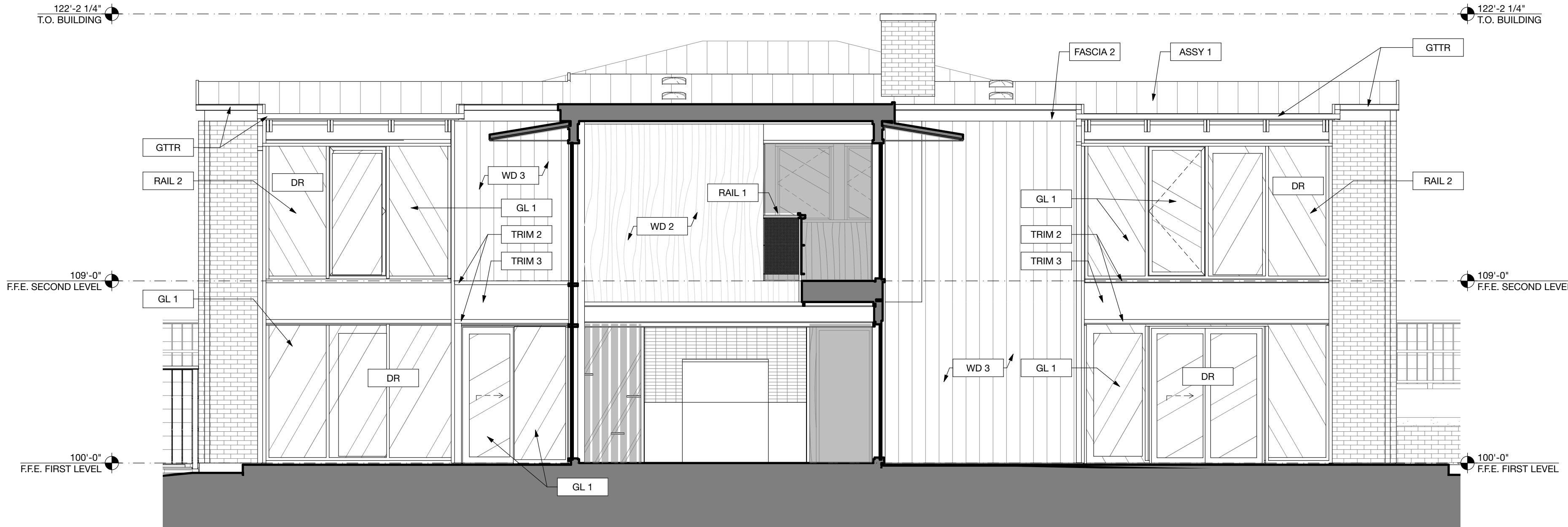
BUILDING SECTION : W-E THROUGH MAIN STAIR
Scale: 1/4" = 1'-0"

2



BUILDING SECTION : E-W THROUGH BREAKFAST
Scale: 1/4" = 1'-0"

3



BUILDING SECTION : W-E THROUGH BREAKFAST
Scale: 1/4" = 1'-0"

4