



# Development SERVICES DEPARTMENT

Residential Review – One Texas Center  
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

## Residential New Construction and Addition Permit Application

### Property Information

Project Address: 307 West 43rd Street, Austin TX 78751

Tax Parcel ID: 218048

Legal Description: E 65FT OF LOT 13 BLK 16 HYDE PARK ADDN NO 2

Zoning District: SF-3-HD-NCCD-NP

Lot Area (sq ft): 4,863.00

Neighborhood Plan Area (if applicable): Hyde Park

Historic District (if applicable): Hyde Park

### Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☐ N

(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☐ N

(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☐ N

(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☐ N

(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y ☐ N

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☐ N

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☐ N

(If yes, EHZ review is required)

Is this property within 100 feet of the 100 year floodplain?

Y ☐ N (Proximity to floodplain may require additional review time.)

Are there protected size trees onsite or on adjacent sites? ☐ Y N

(If yes, [click here](#) for more information on the tree permit process.)

Was there a pre-development consultation for the Tree Review? Y ☐ N

Proposed impacts to trees: (Circle all that apply)

Root zone Canopy Removal ☐ None/Uncertain

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☐ Y N

Does this site currently have: water availability? ☐ Y N

(If no, contact Austin Water Utility to apply for

wastewater availability? ☐ Y N

water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N

(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N

(If yes, submit approved auxiliary and potable plumbing plans.)

(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y ☐ N

(If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y ☐ N

(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☐ N

(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☐ Y N

(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? Y ☐ N

(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☐ N

Case # \_\_\_\_\_ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N

(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

### Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N

(If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: \_\_\_\_\_

Proposed Use: vacant ☐ single-family residential

duplex residential

two-family residential

other: \_\_\_\_\_

Project Type: new construction

addition

☐ addition/remodel

other: \_\_\_\_\_

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☐ Y N

(Note: Removal of all or part of a structure requires a demolition permit application.)

# existing bedrooms: 2

# bedrooms upon completion: 3

# baths existing: 1.0

# baths upon completion: 2.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

New master suite and sun room addition; new lap pool

Trades Permits Required (Circle as applicable):

☐ electric

☐ plumbing

☐ mechanical (HVAC)

concrete (R.O.W.)



Job Valuation		
<b>Total Job Valuation:</b> \$ <u>250,000</u>  Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.	<b>Amount for Primary Structure:</b> \$ <u>250,000</u> Elec: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N  <b>Amount for Accessory Structure:</b> \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N	<b>Total Remodeled Floor Area</b> <u>215</u> sq ft.  (work within existing habitable square footage)

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	873		498		1,371	0
b) 2 <sup>nd</sup> Floor conditioned area					0	0
c) 3 <sup>rd</sup> Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)					0	0
f) Covered patio, deck, porch, and/or balcony area(s)	107				107	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks			26		26	0
<b>Total Building Area</b> (total a through h)	980	0	524	0	1,504	0
i) Pool			72		72	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition / New Construction			215		215	0
<b>Building Coverage Information</b> Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21) Total Building Coverage (sq ft): <u>1,478.00</u> % of lot size: <u>30</u>						
<b>Impervious Cover Information</b> Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23) Total Impervious Cover (sq ft): <u>2,168.00</u> % of lot size: <u>45</u>						
<b>Setbacks</b> Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y <input checked="" type="checkbox"/> N						
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Building Height: <u>17</u> ft <u>6</u> in    Number of Floors: <u>1</u>			<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478) # of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
<b>Right-of-Way Information</b> Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="checkbox"/> Y <input type="checkbox"/> N *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.  Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input checked="" type="checkbox"/> N Width of approach (measured at property line): <u>12.0</u> ft      Distance from intersection (for corner lots only): _____ ft  Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input checked="" type="checkbox"/> N (If yes, drainage review is required)						



**Subchapter F****Gross Floor Area**

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	873	498			1,371
2 <sup>nd</sup> Floor					0
3 <sup>rd</sup> Floor					0
Area w/ ceilings > 15'			Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)	107		<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)		107
Basement			Must follow article 3.3.3B, see note below		0
Attic			Must follow article 3.3.3C, see note below		0
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0
Accessory Building(s) (detached)					0
Totals	980	498			1,478

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 1,478.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 28 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent"? ☒ Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

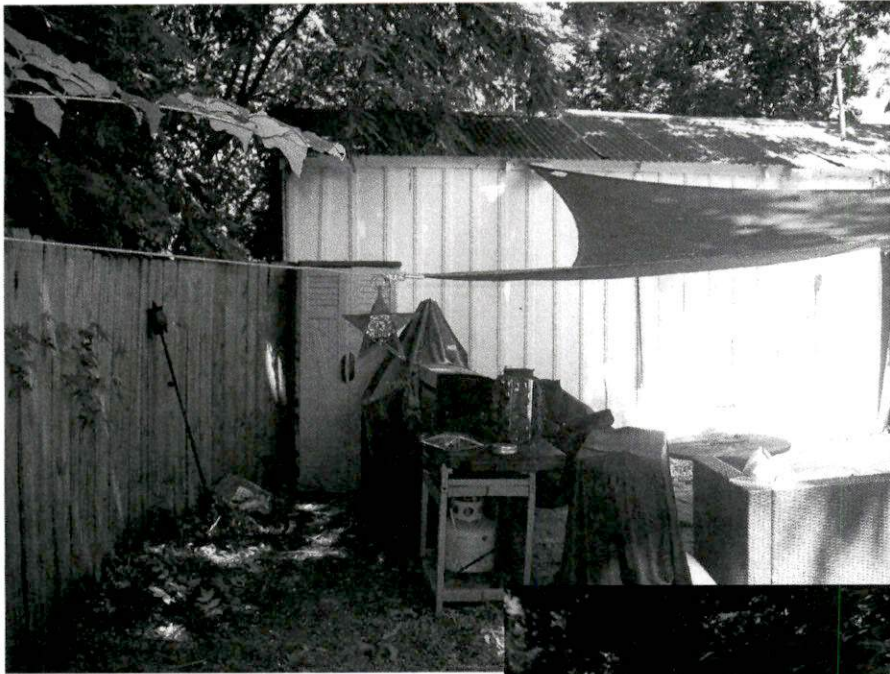
**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

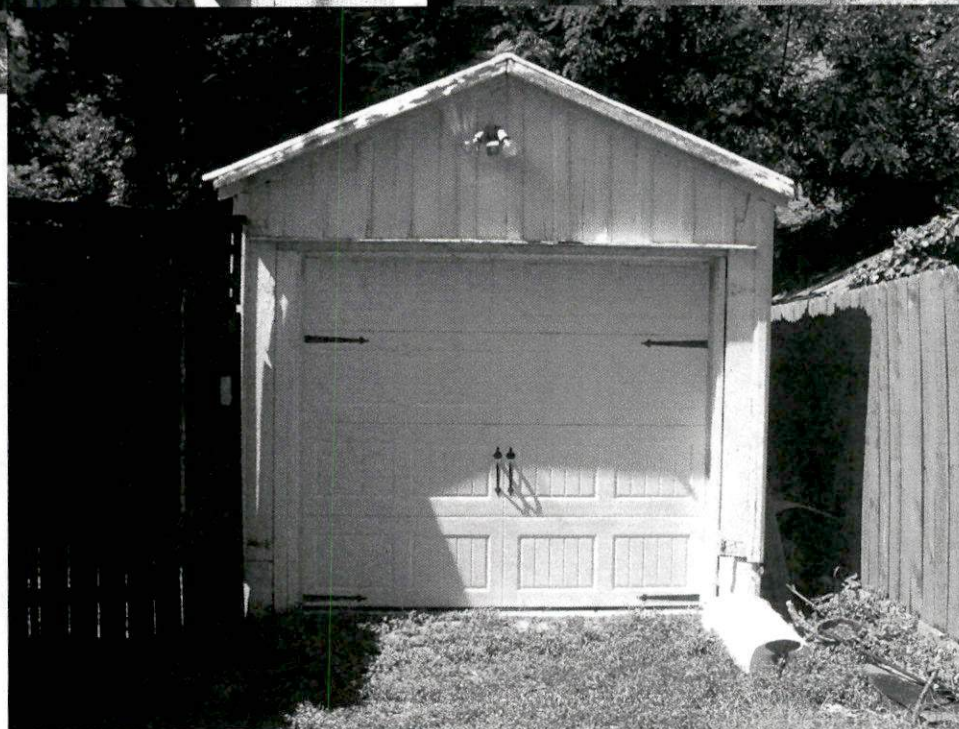


307 West 43rd Street

January 7, 2019



Garage  
(total demolition  
proposed)





307 West 43rd Street

January 7, 2019



South & Southwest sides  
of house (exterior wall  
& partial porch demolition  
proposed)





307 West 43rd Street

January 7, 2019



Front of house (north)



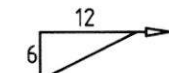



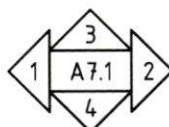

# MCCARTNEY-COURTER RESIDENCE

307 West 43rd Street  
Austin, Texas

## DRAWINGS SET INDEX

- A1.1 -- SITE PLAN
- A2.1 -- DEMOLITION PLAN
- A3.1 -- FLOOR PLAN
- A3.2 -- ROOF PLAN
- A4.1 -- REFLECTED CEILING PLAN W/ ELECTRIC
- A5.1 -- EXTERIOR ELEVATION NORTH
- A5.2 -- EXTERIOR ELEVATION WEST
- A5.3 -- EXTERIOR ELEVATION SOUTH
- A5.4 -- EXTERIOR ELEVATION EAST
- A6.1 -- BUILDING SECTION
- A6.2 -- BUILDING SECTION
- A6.3 -- BUILDING SECTION
- A7.1 -- INTERIOR ELEVATIONS
- A7.2 -- INTERIOR ELEVATIONS

## LEGEND

-  ROOF SLOPE
-  KEYED NOTE
-  TYPICAL ASSEMBLY
-  HEIGHT
-  ELEVATION VIEW AT NUMER / SHEET INDICATED
-  SECTION VIEW AT NUMBER / SHEET INDICATED

## COMMON ABBREVIATIONS

- AFF ABOVE FINISHED FLOOR
- MIN MINIMUM
- CL CENTER LINE
- SIM SIMILAR
- ETR EXISTING TO REMAIN
- TYP TYPICAL
- EQ EQUAL - DIVIDE  
AVAILABLE SPACE  
EQUALLY

## PROJECT NOTES

1. THESE ARCHITECTURAL DRAWINGS ARE NOT AUTHORIZED FOR USE FOR ANY PART OF THE CONSTRUCTION OF THIS PROJECT UNLESS THE ARCHITECT'S SEAL AND SIGNATURE ARE PRESENT, AND THE DRAWINGS ARE DENOTED "PERMIT / CONSTRUCTION DRAWINGS" IN THE TITLE BLOCK.
2. FIELD VERIFY ALL CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE ARCHITECT OF CONDITIONS THAT VARY FROM THAT SHOWN.
3. STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DESIGN ARE BY OTHERS. STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS IS SCHEMATIC IN NATURE AND FOR DESIGN COORDINATION PURPOSES ONLY.
4. CROSS-REFERENCE ALL PERMIT / CONSTRUCTION DRAWINGS AND NOTIFY THE ARCHITECT OF CONFLICTING INFORMATION PRIOR TO BEGINNING CONSTRUCTION.
5. PROJECT COMPONENTS SHOWN HEREIN ARE BASED UPON GENERAL CHARACTERISTICS OF COMMON BRANDS AND MODELS. IF PRODUCTS WITH SUBSTANTIALLY DIFFERENT CHARACTERISTICS ARE SUBSTITUTED, THIS FACT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK, SO THAT DESIGN CONFLICTS CAN BE RESOLVED.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS RESULTING FROM FAILURE TO ABIDE BY THESE INSTRUCTIONS.



## DRAWING NOTE

THIS DRAWING IS PART OF A SET, WHICH INCLUDES IMPORTANT RELATED INFORMATION ON OTHER SHEETS. CROSS-REFERENCE AND VERIFY ALL INFORMATION ON THIS SHEET WITH THE FULL DRAWING SET BEFORE BEGINNING CONSTRUCTION.

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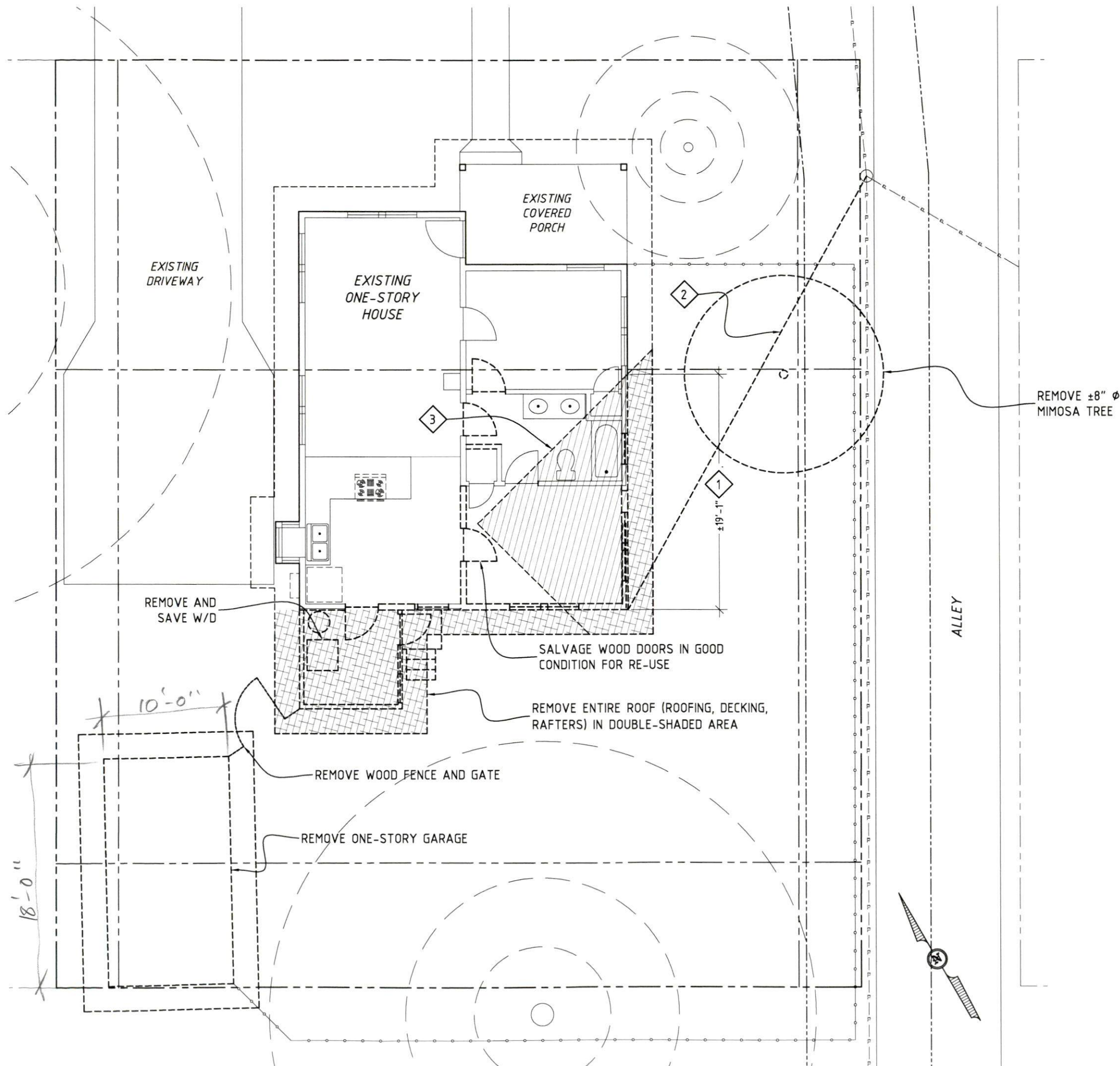
TITLE SHEET  
MCCARTNEY RESIDENCE | 307 West 43rd Street | Austin, Texas  
DRAWING SCALE: NONE  
CONSTRUCTION / PERMIT DRAWING  
DATE: 14 JAN 2019  
PROJECT NUMBER: 16-623  
REVISIONS:

A0.1









## SHEET NOTES

- UNLESS OTHERWISE NOTED, DIMENSIONS ON THIS SHEET ARE TYPICALLY TO THE FOLLOWING POINTS:
  - FACE OF STRUCTURAL ELEMENT (WALL STUD, TRUSS, SLAB, ETC.) AT NEW CONSTRUCTION
  - FINISHED FACE OF ELEMENT AT EXISTING CONSTRUCTION
  - FINISHED FACE OF NON-STRUCTURAL ELEMENT (CABINETS, ETC.)
  - CENTERLINE OF COLUMNS, FIXTURES & OPENINGS
- DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST INCH.
- SHORE AND/OR BRACE EXISTING STRUCTURE DURING DEMOLITION, AS DIRECTED BY THE STRUCTURAL ENGINEER.

## KEYED NOTES

NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

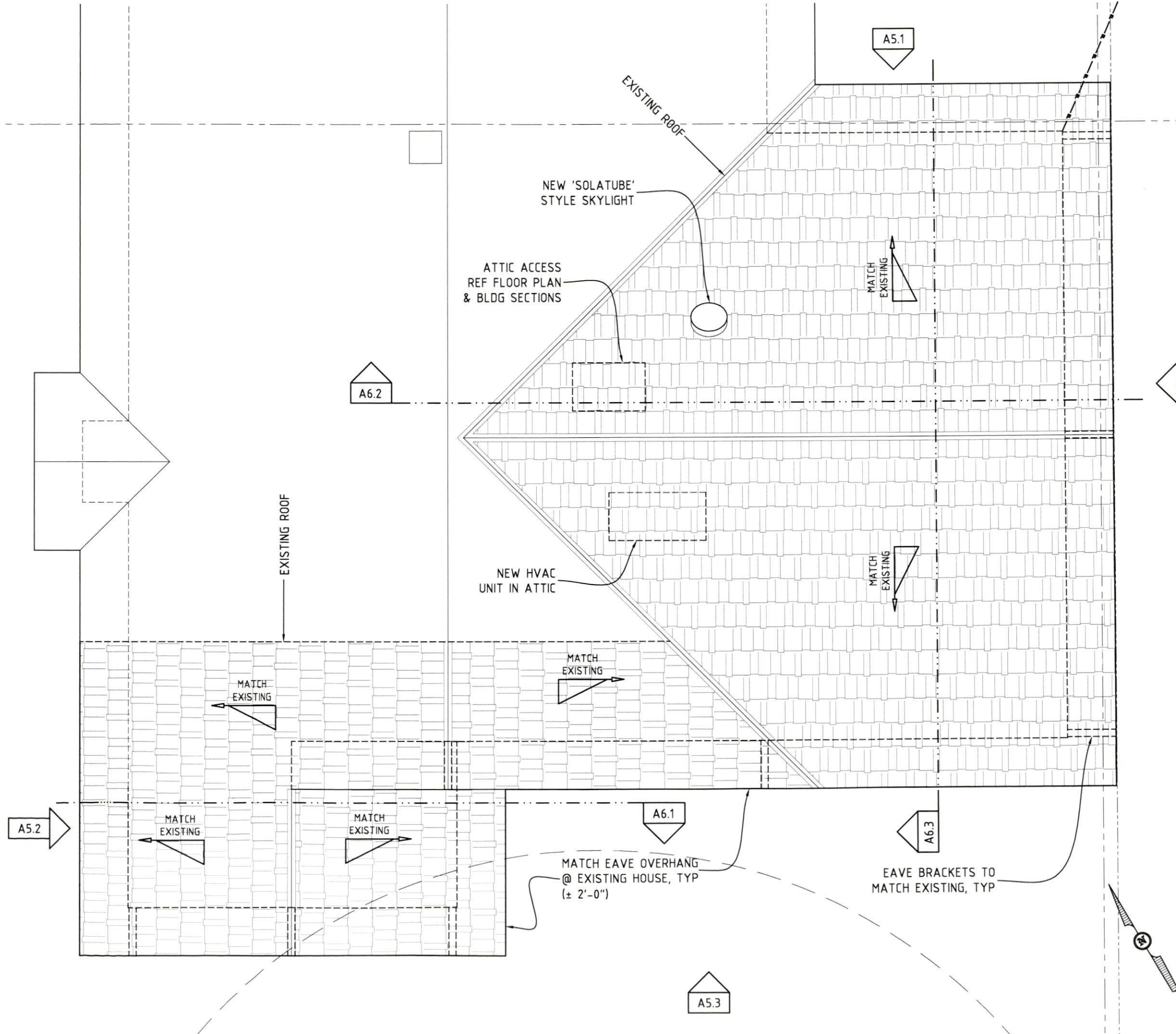
- REMOVE WINDOWS AND EXTERIOR SIDING, SHEATHING AND TRIM AT THIS SECTION OF WALL -- STUD FRAMING AND INTERIOR FINISH AT EXISTING BATHROOM TO REMAIN
- REMOVE EXISTING OVERHEAD ELECTRICAL SERVICE
- REMOVE ROOFING ONLY (DECKING & RAFTERS TO REMAIN) IN SINGLE-SHADED AREA



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HOUSE FLOOR PLAN DETAIL

DRAWING SCALE: 1/4" = 1'-0"

CONSTRUCTION / PERMIT DRAWING

MCCARTNEY RESIDENCE | 307 West 43rd Street | Austin, Texas

DATE: 14 JAN 2019

REVISIONS:

PROJECT NUMBER: 16-623

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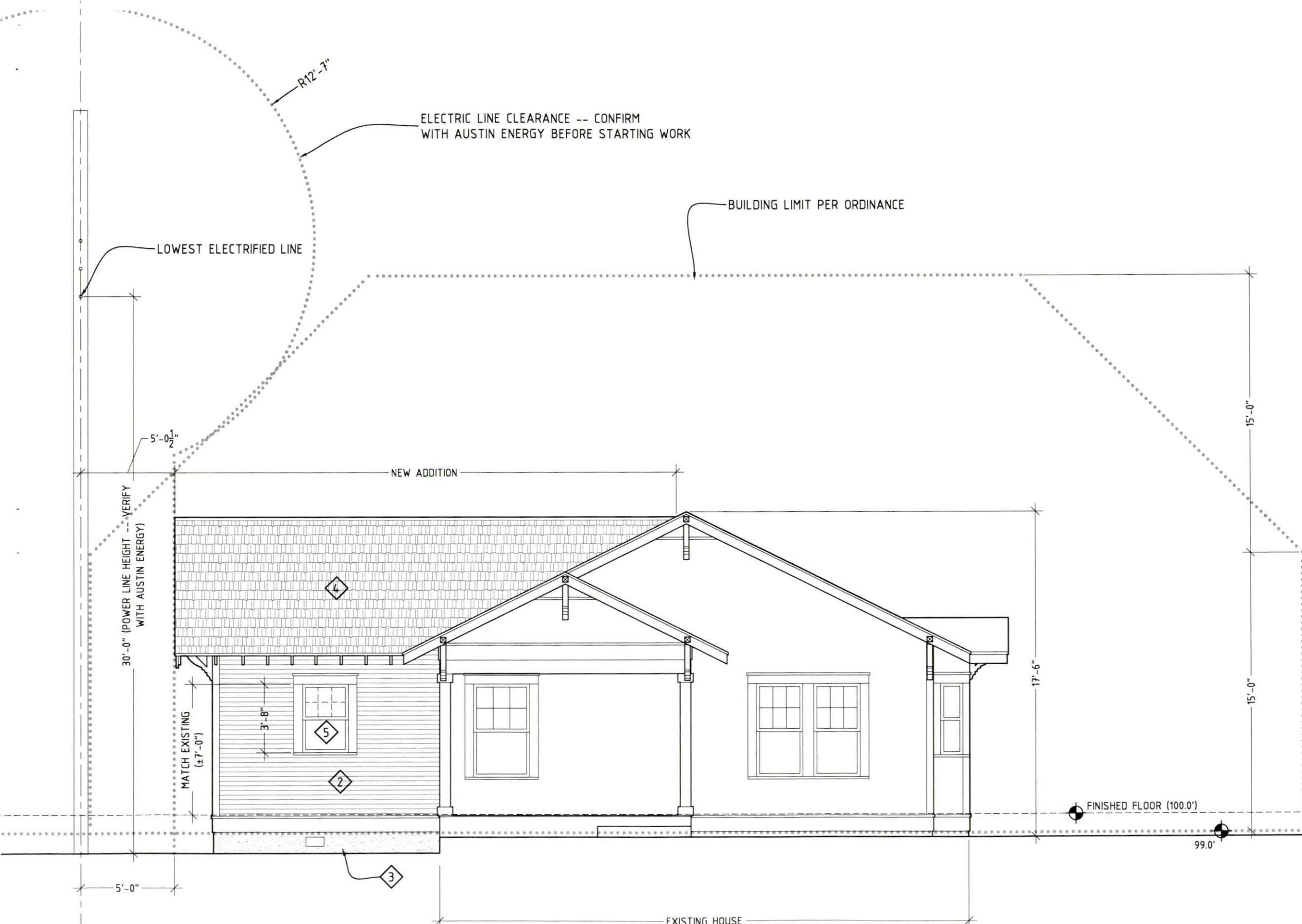
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A3.2





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3. REF FLOOR PLAN FOR WINDOW AND DOOR WIDTHS.
4. UNLESS NOTED OTHERWISE ALL TRIMS, CASINGS, RAILINGS, ETC. ARE TO BE PAINTED WOOD, PROFILE TO MATCH EXISTING.
5. REF TYPICAL ASSEMBLIES LISTED ON BUILDING SECTION SHEETS FOR ADDITIONAL FINISH MATERIALS.

KEYED NOTES

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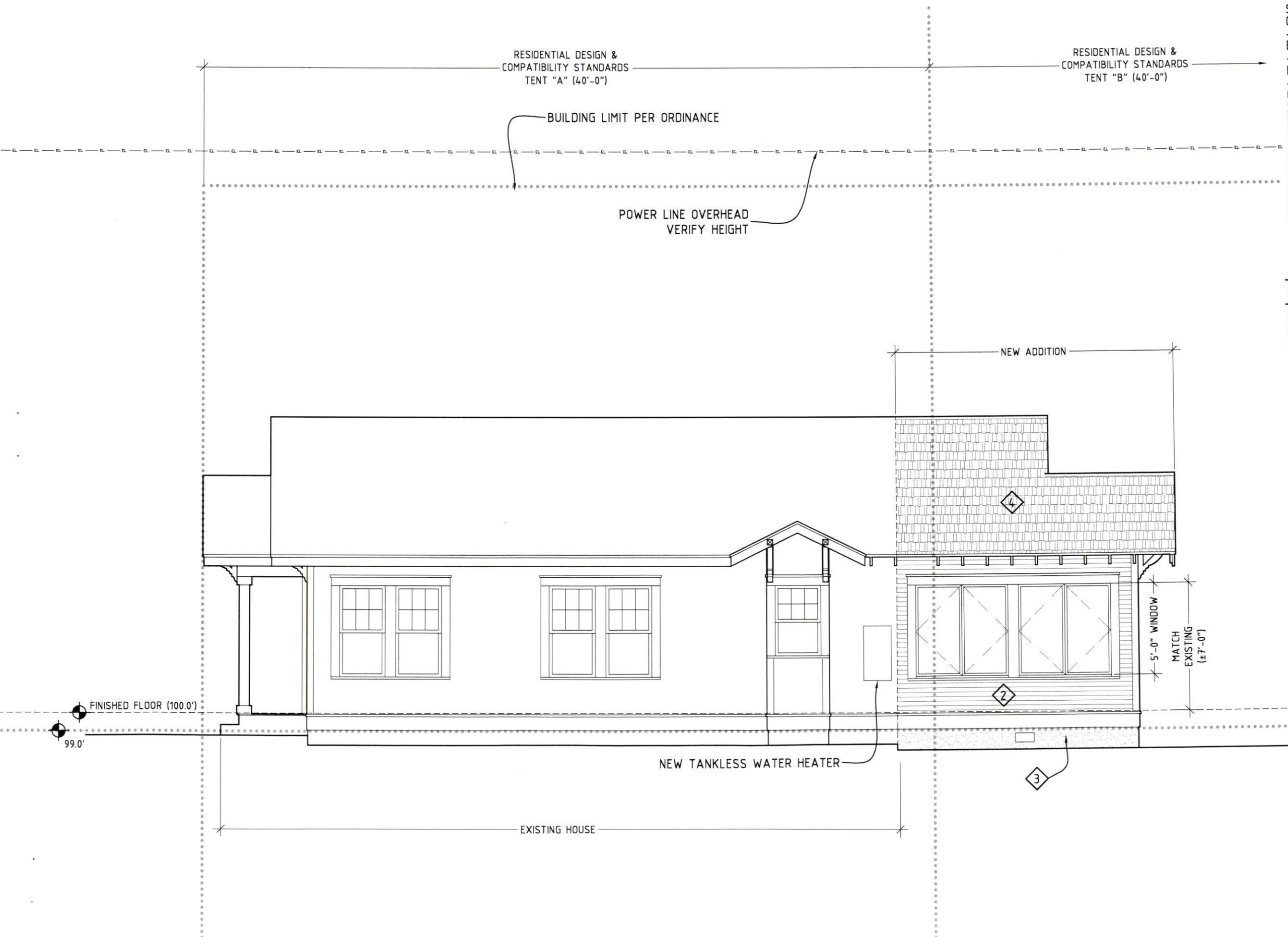
- 1 (NOT USED)
- 2 NEW PAINTED WOOD SIDING TO MATCH EXISTING, TYP
- 3 NEW STUCCO SKIRTING WITH FOUNDATION VENTS AS SHOWN, TYP
- 4 NEW ASPHALT SHINGLE ROOF TO MATCH EXISTING, TYP
- 5 NEW WOOD SCREENS TO MATCH EXISTING TYP @ D.H. WINDOWS



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307 West 43rd Street | Austin, Texas

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MCCARTNEY RESIDENCE

DATE: 14 JAN 2019

PROJECT NUMBER: 16-623

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EXTERIOR ELEVATION -- WEST

DRAWING SCALE: 3/16" = 1'-0"

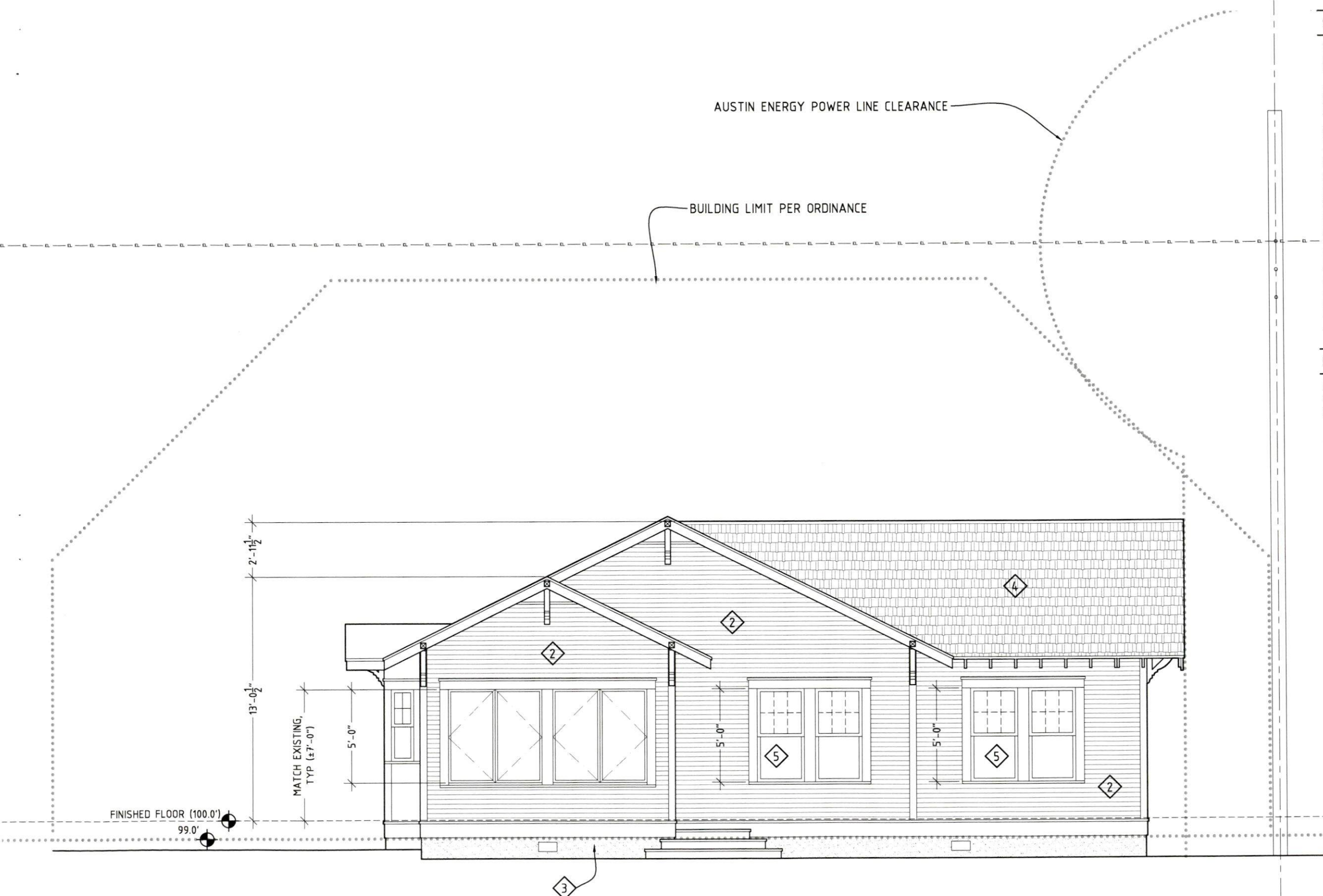
CONSTRUCTION / PERMIT DRAWING

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REVISIONS:

A5.2





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EXTERIOR ELEVATION -- SOUTH	MCCARTNEY RESIDENCE   307 West 43rd Street   Austin, Texas
DRAWING SCALE: 3/16" = 1'-0"	PROJECT NUMBER: 16-623
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2. DIMENSIONS ON THIS SHEET ARE ROUNDED TO THE NEAREST HALF-INCH.
3. REF FLOOR PLAN FOR WINDOW AND DOOR WIDTHS.
4. UNLESS NOTED OTHERWISE ALL TRIMS, CASINGS, RAILINGS, ETC. ARE TO BE PAINTED WOOD, PROFILE TO MATCH EXISTING.
5. REF TYPICAL ASSEMBLIES LISTED ON BUILDING SECTION SHEETS FOR ADDITIONAL FINISH MATERIALS.

KEYED NOTES

NOTE: NOT ALL KEYS ARE USED ON ALL SHEETS, AND KEYS MAY VARY FROM SHEET TO SHEET

- 1 (NOT USED)
- 2 NEW PAINTED WOOD SIDING TO MATCH EXISTING, TYP
- 3 NEW STUCCO SKIRTING WITH FOUNDATION VENTS AS SHOWN, TYP
- 4 NEW ASPHALT SHINGLE ROOF TO MATCH EXISTING, TYP
- 5 NEW WOOD SCREENS TO MATCH EXISTING TYP @ D.H. WINDOWS



DRAWING NOTE

THIS DRAWING IS PART OF A SET, WHICH INCLUDES IMPORTANT RELATED INFORMATION ON OTHER SHEETS. CROSS-REFERENCE AND VERIFY ALL INFORMATION ON THIS SHEET WITH THE FULL DRAWING SET BEFORE BEGINNING CONSTRUCTION.

