

HISTORIC LANDMARK COMMISSION
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
FEBRUARY 25, 2019
NRD-2019-0011
Old West Austin National Register Historic District
3005 Funston Street

PROPOSAL

Construct a new single-family residence.

PROJECT SPECIFICATIONS

The proposed building is a two-story, wood-frame neo-traditional structure with Colonial Revival detailing on a 2249 sf slab. It is capped with a compound front- and side-gable roof of various pitches and heights. The design features a front-facing garage beneath a second-floor covered porch, a gabled entryway with wood-wrapped box columns, and two dormers on the main (western) façade.

The exterior is clad in HardiePlank lap siding with brick and shingle detailing. The second-floor porch has a siding-clad half-wall at the main façade and a wrought-iron railing for drainage at the northern elevation. Roof materials include composition shingle and copper, with a thinset brick chimney.

Windows on the main façade are single-hung vinyl 2/2 (spec sheet available in backup documentation). Transoms have been added to a bank of 4 2/2 mullied windows at the southernmost first-floor bay. A trio of single-hung divided-light windows at the central second-floor gable is framed by brick trim and thinset brick cladding. Secondary elevations contain single-hung 2/2, fixed-glass 2/2, fixed-glass undivided, and horizontal sliding windows.

STANDARDS FOR REVIEW

The Secretary of the Interior's Standards for Rehabilitation are used to evaluate projects in National Register historic districts. The following standards apply to the proposed new buildings:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed building is appropriately differentiated from the historic houses by its neo-traditional style and mixed materials. The Colonial Revival elements of the building are more formal than the historic-age Minimal Traditional homes on the street. Though the proposed structure is much larger and more complex in design than the simple single-story historic-age houses in the neighborhood, it is similar in scale to other contemporary structures on the street, including the building next door and several across the street.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The district's integrity would remain intact if the proposed structure were to be removed in the future.

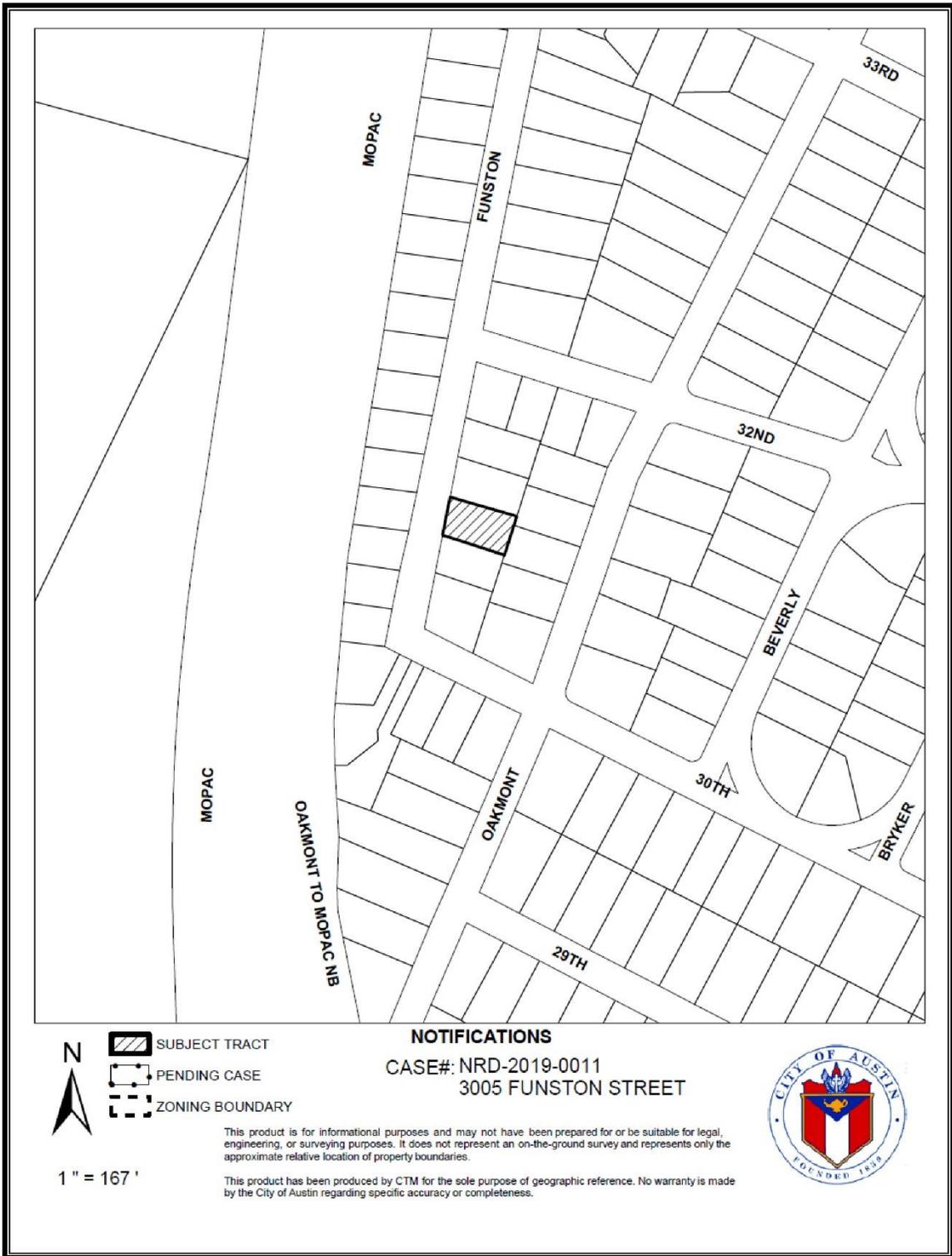
COMMITTEE RECOMMENDATION

Set the 2nd-floor porch back from the main façade to break up the massing of the proposed design. Add a half-wall to the porch and clad with siding to create further visual recession of the garage.

STAFF RECOMMENDATION

Release the application as proposed, as the applicant has implemented the Committee's recommendations. Encourage the applicant to consider further simplification of the house's main façade and roof form to enhance cohesion with the smaller historic-age Minimal Traditional homes that remain on the streetscape.

LOCATION MAP





Views down Funston St.



02-15-2019 – Committee recommendations implemented



01-25-2019 – Original submittal