

REMODEL-ADDITION

1900 AIROLE WAY
AUSTIN, TX 78704

JANUARY 24, 2019

INFORMATION:		ISSUE/REVISION DATE:		
		COA PERMIT		
COV	COVER SHEET	01/24/2019		
ARCHITECTURAL DRAWINGS:				
A1.1	EXIST. SURVEY & SITE DEMOLITION PLAN			
A1.2	NEW SITE PLAN & IMPERVIOUS COVER & MCMANSION PLAN CALCS.			
A1.3	TREE EXHIBIT/STAGING PLAN			
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A1.5	SUBCHAPTER F ENLARGED ELEVATIONS, NORTH & SOUTH			
A1.6	SUBCHAPTER F ENLARGED ELEVATIONS, EAST & WEST			
A2.0	BUILDING DEMOLITION PLAN			
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A2.5	ROOF PLAN			
A3.1	FRONT/EAST & REAR/WEST ELEVATIONS			
A3.2	SIDE/NORTH ELEVATION & SIDE/SOUTH ELEVATION			
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SUP-3	EXTERIOR ELEVATIONS & SECTIONS			
SUP-4	1980'S ADD'N. SHEET #1 - ELEV'S., PLAN, FOUND'N PLAN, INT. ELEV'S.			
SUP-5	1980'S ADD'N. SHEET #2 - WALL SECTIONS, WALL & PLAN DET'S.			



ADDRESS:
1900 AIROLE LN.
AUSTIN, TX 78704

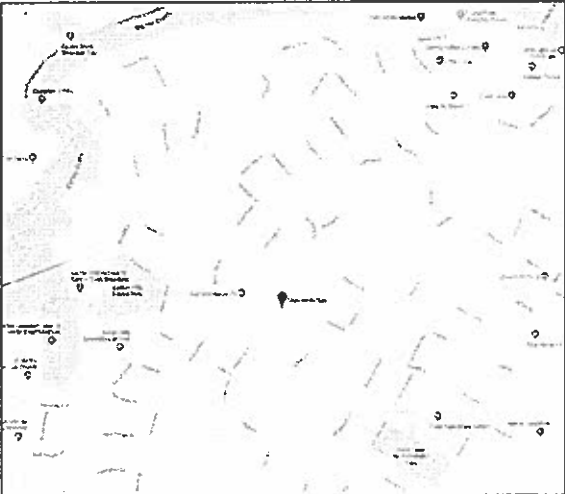
LEGAL DESCRIPTION:
LOT 15A, RESUBDIVISION OF LOTS 15 AND 16,
A. D. STENGER ADDITION,
A SUBDIVISION IN TRAVIS COUNTY, TEXAS,
ACCORDING TO THE MAP OR PLAT THEREOF,
RECORDED IN VOLUME 17, PAGE 9,
PLAT RECORDS OF TRAVIS COUNTY, TEXAS,
SAVE AND EXCEPT THE NORTH 3.33',
AS DESCRIBED IN GENERAL WARRANTY DEED
RECORDED IN DOCUMENT NUMBER 2003249891,
OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

RESTRICTIONS:
SUBJECT TO RESTRICTIONS IN VOLUME 2207,
PAGE 319 AND AS PER PLATS IN VOLUME 5, PAGE 99,
AND VOLUME 17, PAGE 9.

FLOOD ZONE:
THIS PROPERTY DOES NOT LIE WITHIN
THE 100 YEAR FLOOD-PLAIN, AND HAS A ZONE
RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS
F.I.R.M. MAP NO. 48453C0445J
PANEL: 0445J
DATED: JANUARY 6, 2016

ZONING: SF-3

NEIGHBORHOOD PLAN:
BARTON HILLS
SOUTH LAMAR COMBINED NPA



SITE LOCATION - SCALE: N.T.S.

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WILLIAM BURKHARDT ARCHITECT PLLC
AUSTIN, TX 78704
WILLIAM@BRKARTSTUDIO.COM

REGISTERED ARCHITECT
WILLIAM BURKHARDT
STATE OF TEXAS
12237

JANUARY 24, 2019

NOTE:
11" X 17" SIZE
IS 50% OF
PRINTED SCALE
ON DWGS

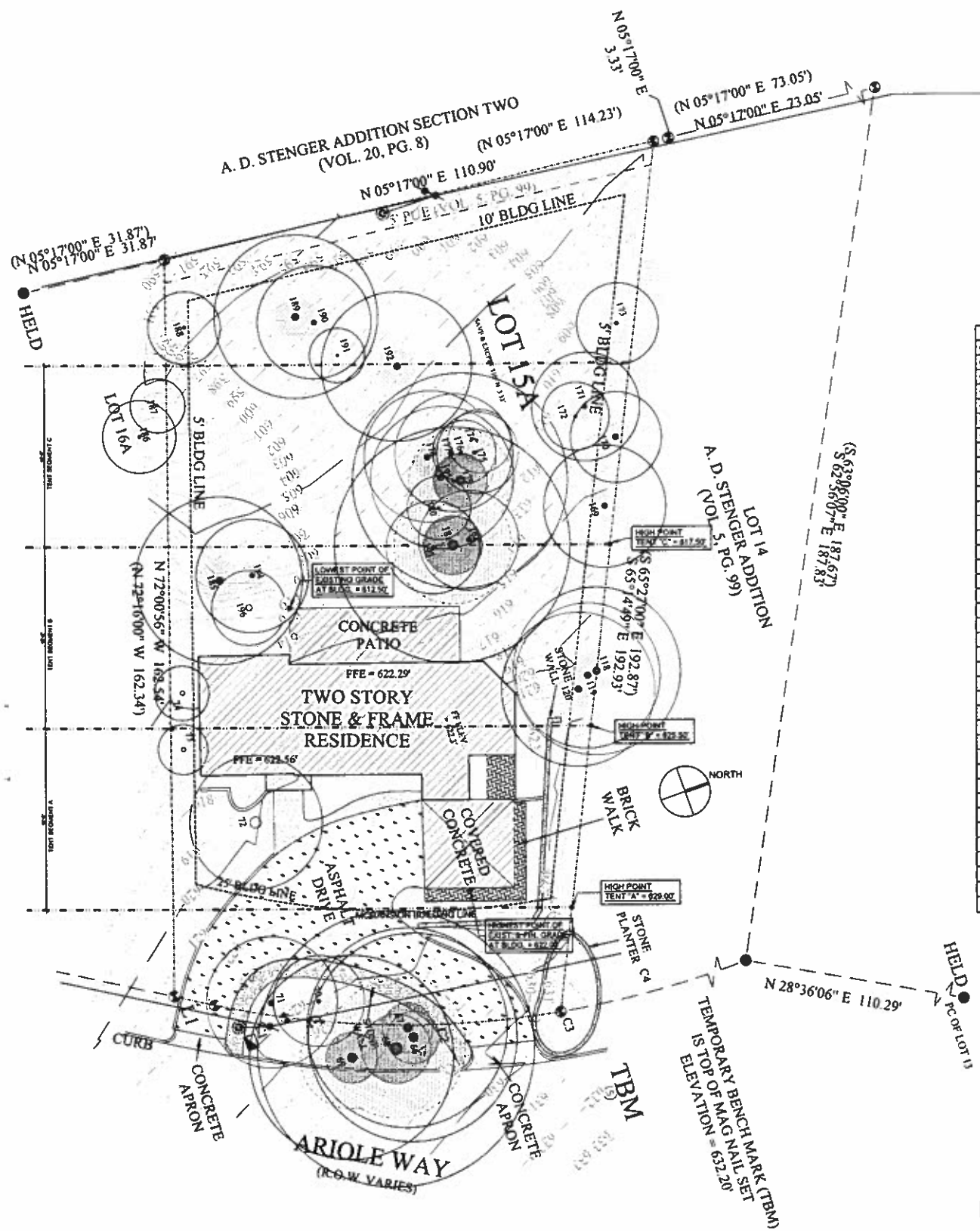
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1900 AIROLE WAY
AUSTIN, TX 78704

REVISIONS	DATE

Sheet Name:
COVER SHEET

PROJECT:	HAUSMEISTER
ISSUE DATE:	JAN. 24, 2019
PHASE:	CD
DRAWN BY:	WB
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COV

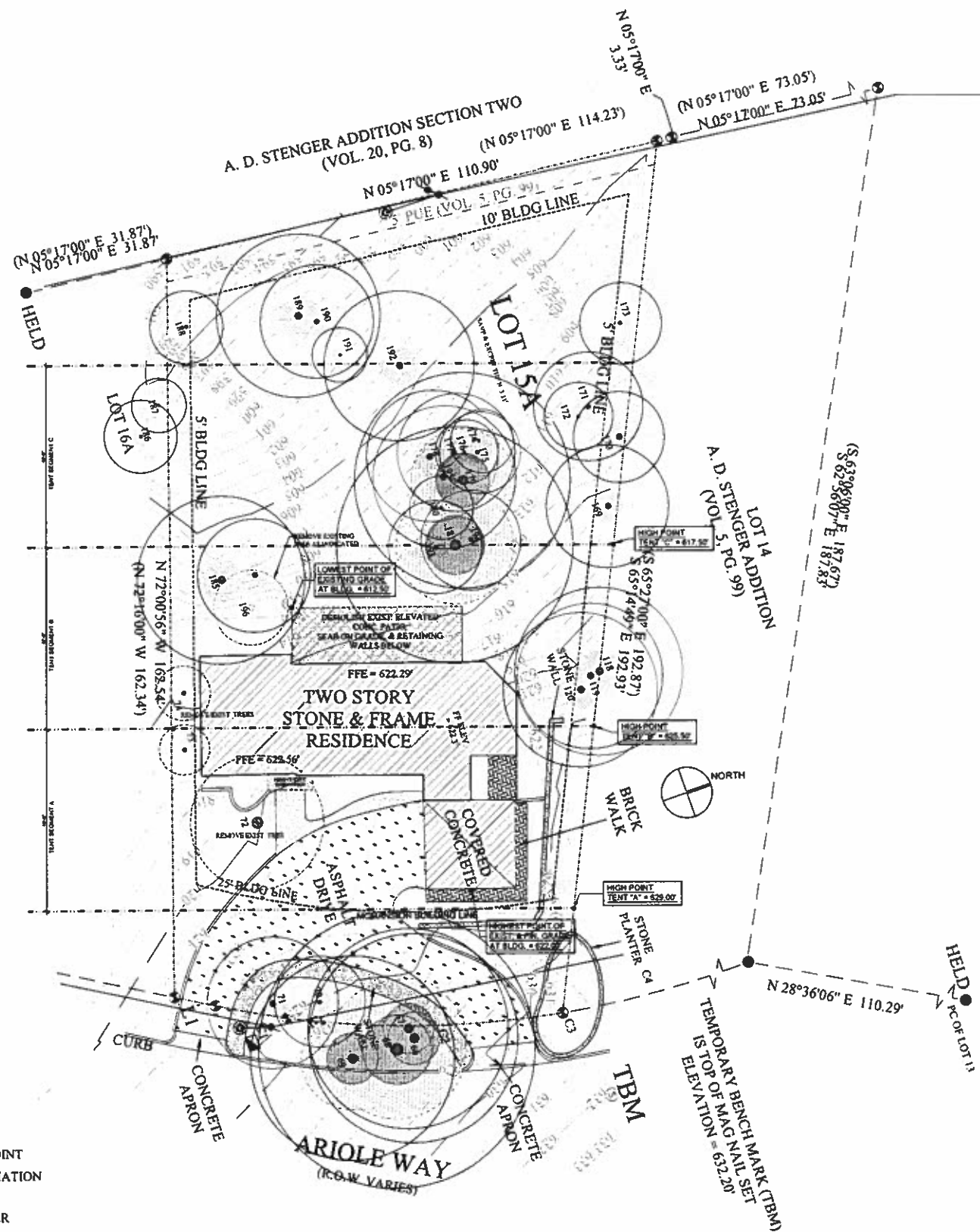


EXISTING SURVEY
SCALE: 1/16" = 1'-0"

TREE LIST	
23" LIVE OAK (D)	1
22" LIVE OAK (D)	2
30.5" LIVE OAK (D)	3
22.5" LIVE OAK (D)	4
16" CEDAR (L)	5
14.5" CEDAR (L)	6
29.5" TALLOW	7
11" TREE (D)	8
12" TREE (D)	9
18.5" LIVE OAK	10
16" LIVE OAK	11
17" LIVE OAK (D)	12
17" LIVE OAK	13
13.5" CEDAR (L)	14
15" CEDAR (L)	15
12" HACKBERRY (D)	16
7.5" HACKBERRY	17
9" CEDAR (L)	18
7" LIVE OAK	19
9" LIVE OAK	20
7" LIVE OAK	21
13" LIVE OAK	22
14.5" LIVE OAK	23
23.75" LIVE OAK (D)	24
7" LIVE OAK	25
26" LIVE OAK (D)	26
12.5" LIVE OAK	27
18.5" LIVE OAK (D)	28
8" HACKBERRY	29
6" HACKBERRY	30
8" CEDAR (L)	31
18" CEDAR (L)	32
12.5" CEDAR (L)	33
6" CEDAR (L)	34
16.5" CEDAR (L)	35
10.25" LIVE OAK	36
11.8" LIVE OAK	37
15.75" LIVE OAK	38
16.5" LIVE OAK	39

LEGEND

- 1/2" ROD FOUND
- CALCULATED POINT
- () RECORD INFORMATION
- ⊠ WATER METER
- ⊞ AIR CONDITIONER
- ⊟ UTILITY POLE
- OH DOWN GUY
- ⊙ FIRE HYDRANT
- ⊕ SEPTIC
- (M) MULTI-STEM TREE
- (P) PROTECTED TREE
- (H) HERITAGE TREE
- ⊙ MAG NAIL SET



SITE DEMOLITION PLAN
SCALE: 1/16" = 1'-0"



JANUARY 24, 2019

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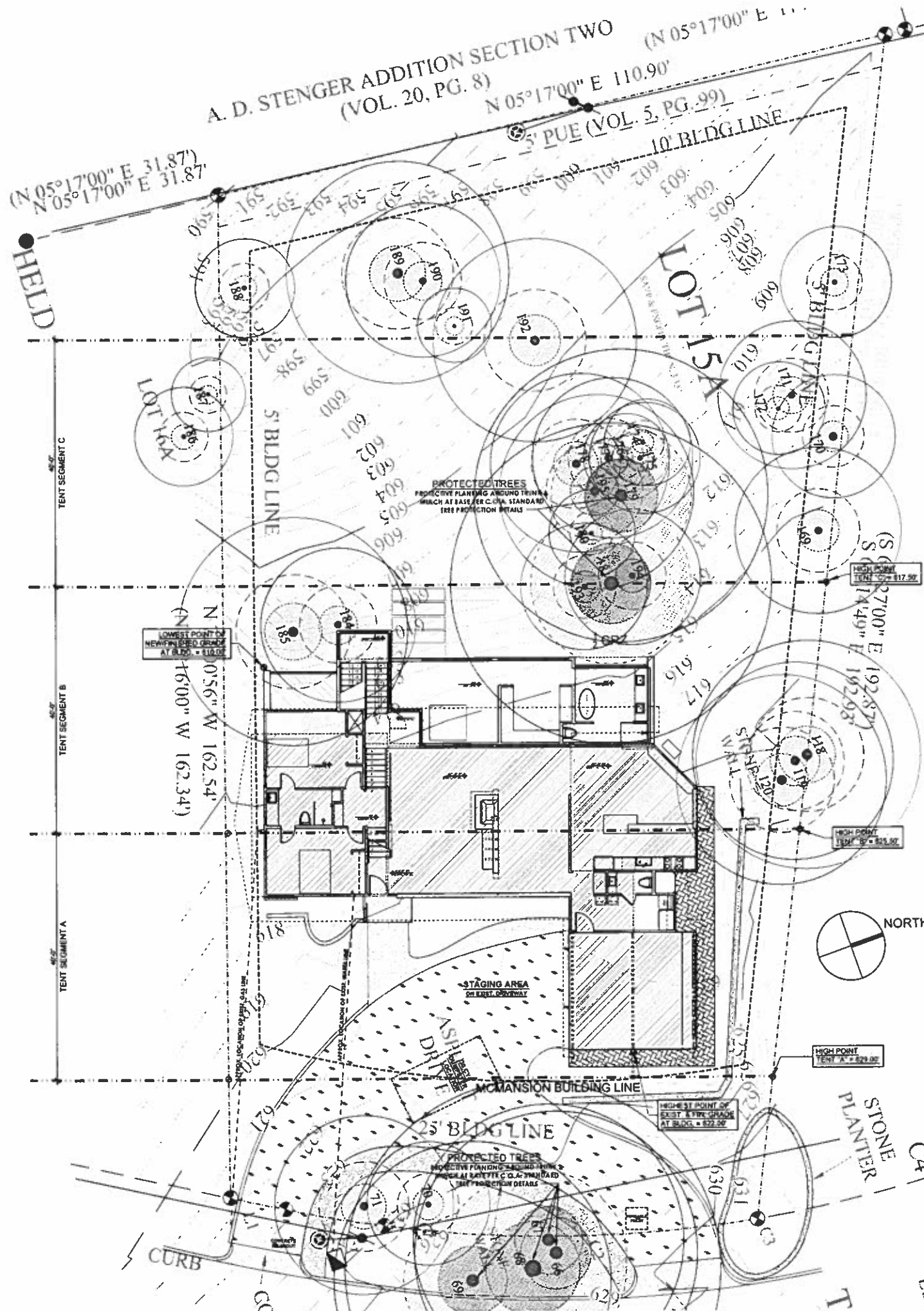
REMODEL-ADDITION
1900 AIOLE WAY
AUSTIN, TX 78704

REVISIONS	DATE

Sheet Name:
EXISTING SURVEY & SITE DEMOLITION PLAN

PROJECT:	HAUSMEISTER
ISSUE DATE:	JAN. 24, 2019
PHASE:	CD
DRAWN BY:	WB
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A1.1



All structures must maintain
7'6" clearance from AE energized
distribution power lines. Enforced
by AE and NESC codes-this review
DOES NOT include transmission
power lines.

TREE LIST	
20	22" LIVE OAK (H) (P)
21	22" LIVE OAK (P) (H)
22	30.5" LIVE OAK (H) (H)
23	22.5" LIVE OAK (H) (P)
24	10" CEDAR ELH
25	14.5" CEDAR ELH
26	29.5" TALLOW
27	17" TREE (H)
28	12" TREE (H)
29	18.5" LIVE OAK
30	16" LIVE OAK
31	17" LIVE OAK (H)
32	18" LIVE OAK
33	13.5" CEDAR ELH
34	15" CEDAR ELH
35	12" HACKBERRY (H)
36	7.5" HACKBERRY
37	8" CEDAR ELH
38	7" LIVE OAK
39	9" LIVE OAK
40	7" LIVE OAK
41	13" LIVE OAK
42	14.5" LIVE OAK
43	23.75" LIVE OAK (H) (H)
44	7" LIVE OAK
45	26" LIVE OAK (H) (H)
46	12.5" LIVE OAK
47	18.5" LIVE OAK (H)
48	8" HACKBERRY
49	6" HACKBERRY
50	8" CEDAR ELH B
51	18" CEDAR ELH (H)
52	12.5" CEDAR ELH
53	6" CEDAR ELH
54	14.5" CEDAR ELH (H)
55	10.25" LIVE OAK
56	11.8" LIVE OAK
57	15.75" LIVE OAK
58	14.5" LIVE OAK

NEW SITE PLAN
SCALE: 1" = 10'

LEGEND

- 1/2" ROD FOUND
- CALCULATED POINT
- RECORD INFORMATION
- WATER METER
- AIR CONDITIONER
- UTILITY POLE
- OH
- DOWN GUY
- FIRE HYDRANT
- SEPTIC
- (M) MULTI-STEM TREE
- (P) PROTECTED TREE
- (H) HERITAGE TREE
- (S) MAG NAIL SET

GRADE/HEIGHT CALCULATIONS:

NATURAL GRADE CALCULATIONS:
HIGHEST NATURAL GRADE AT BUILDING = 622.00'
LOWEST NATURAL GRADE AT BUILDING = 612.50'
AVERAGE NATURAL GRADE AT BUILDING = 617.25'

FINISHED GRADE CALCULATIONS:
HIGHEST FINISHED GRADE AT BUILDING = 622.00'
LOWEST FINISHED GRADE AT BUILDING = 610.00'
AVERAGE FINISHED GRADE AT BUILDING = 616.00'

FINAL GRADE FOR HEIGHT CALCULATION:
LOWER OF NATURAL OR FINISHED GRADE = 616.00'

IMPERVIOUS COVER:

TOTAL SITE AREA: 17,279 SF
45% OF TOTAL SITE AREA: 7,775 SF ALLOWABLE

AREA DESCRIPTION	EXISTING SF	NEW/ADDED SF	TOTAL SF
1ST FLOOR CONDITIONED AREA: (MASTER BR. SUITE + EXIST. BEDROOMS)	475 SF (EXIST. BDRMS)	742 SF (MBR SUITE)	1,217 SF
2ND FLOOR CONDITIONED AREA: (MAIN LEVEL - STAIR + LIV. RM. & KITCHEN)	1,282 SF (INCLUDE BELOW)	368 SF (INCLUDE BELOW)	1,650 SF (INCLUDE BELOW)
3RD FLOOR CONDITIONED AREA: (UPPER BEDROOMS + STAIR)	528 SF (EXCLUDE BELOW)	174 SF (EXCLUDE BELOW)	702 SF (EXCLUDE BELOW)
BASEMENT (N/A): COVERED PARKING (CARPORT): COVERED PORCH: (INCLUDES OF STONE TERRACE BELOW)	0 SF (EXCLUDE BELOW) 393 SF 33 SF	0 SF (EXCLUDE BELOW) 0 SF -33 SF	0 SF (EXCLUDE BELOW) 393 SF 0 SF
OTHER: (ROOF OVERHANG > 2') OTHER: (STORAGE AREA WIDECK OVER)	92 SF 0 SF	0 SF 73 SF	92 SF 73 SF
TOTAL BUILDING COVERAGE:	2,275 SF	1,150 SF	3,425 SF
DRIVEWAY: SIDEWALKS & CONC STEPS: UNCOVERED CONC. PORCHES, TERRACES:	1,620 SF 371 SF 0 SF	0 SF 128 SF 63 SF	1,620 SF 499 SF 63 SF
UNCOVERED WOOD STEPS (N/A) A/C PADS: OTHER (RET. WALLS/LANDSCAPE EDGING):	0 SF 14 SF 301 SF	0 SF 0 SF 0 SF	0 SF 14 SF 301 SF
TOTAL SITE COVERAGE:	4,581 SF	1,341 SF	5,922 SF
EXISTING BUILDING COVERAGE: % OF LOT SIZE:	2,275 SF 13.2%		
PROPOSED BUILDING COVERAGE: % OF LOT SIZE:	3,425 SF 19.8%		
EXISTING IMPERVIOUS COVER: % OF LOT SIZE:	4,581 SF 26.5%		
PROPOSED IMPERVIOUS COVER: % OF LOT SIZE:	5,922 SF 34.3%		

F.A.R. CALCULATIONS

TOTAL SITE AREA: 17,279 SF
ALLOWABLE 40% OF TOTAL SITE AREA: 6,912 SF

AREA DESCRIPTION	EXISTING SF	NEW SF	EXEMPTION	TOTAL SF
1ST FLOOR CONDITIONED AREA: (MASTER BR. SUITE + EXIST. BEDROOMS + STAIR)	475 SF (EXIST. BDRMS)	742 SF (MBR SUITE + STAIR)	0 SF	1,217 SF
2ND FLOOR CONDITIONED AREA: (MAIN LEVEL - STAIR + LIV. RM. & KITCHEN)	1,282 SF	368 SF	0 SF	1,650 SF
3RD FLOOR CONDITIONED AREA: (UPPER BEDROOMS + STAIR)	528 SF	174 SF	0 SF	702 SF
AREA OVER 15' IN HEIGHT: (PARTIAL STAIR)	0 SF	81 SF	0 SF	81 SF
BASEMENT (N/A): ATTIC (N/A):	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF
GARAGE (ATTACHED, 200 SF EXEMPTION): (DETACHED):	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF
CARPORT (ATTACHED): (DETACHED):	393 SF 0 SF	0 SF 0 SF	393 SF 0 SF	0 SF 0 SF
ACCESSORY BUILDINGS (STORAGE): COVERED GROUND-FLOOR PORCHES:	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF	0 SF 0 SF
TOTAL S.F. = 3,650 SF = 21.1% F.A.R.				3,650 SF

VISITABILITY NOTE: PER R320.1, RESIDENTIAL CODE, RESIDENCE IS EXISTING.
WORK IS NOT NEW CONSTRUCTION, WORK IS REMODEL-ADDITION.
VISITABILITY COMPLIANCE NOT REQ'D.

AE APPROVED

FEB 04 2019
35-206
WGM

REVIEWED

FEB 4 2019

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

brkartstudio
WILLIAM BURKHARDT ARCHITECT PLLC
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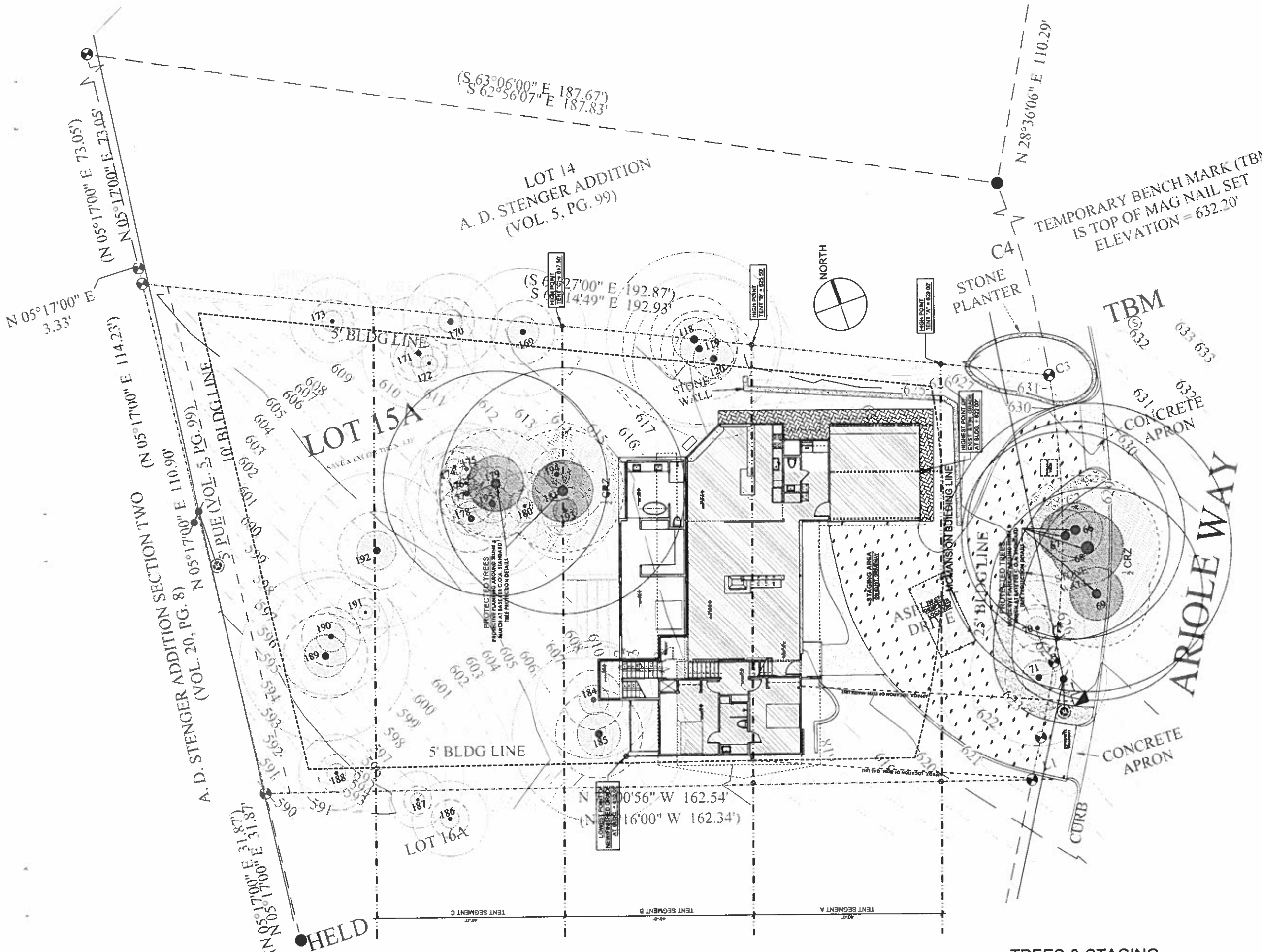
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1900 AIROLE WAY
AUSTIN, TX 78704

REVISIONS	DATE

Sheet Name:
SITE PLAN,
IMP. COVER,
FAR &
GRADES

PROJECT: HAUSMEISTER
ISSUE DATE: JAN. 24, 2019
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A1.2



TREE LIST	
60	23" LIVE OAK (PI)
61	22" LIVE OAK (PI)
62	30.5" LIVE OAK (PI)
63	22.5" LIVE OAK (PI)
64	16" CEDAR (LH)
65	14.5" CEDAR (LH)
66	29.5" FALLOW
67	17" TREE (H)
68	12" TREE (H)
69	10.5" LIVE OAK
70	16" LIVE OAK
71	17" LIVE OAK (H)
72	11" LIVE OAK
73	13.5" CEDAR (LH)
74	15" CEDAR (LH)
75	12" HACKBERRY (H)
76	7.5" HACKBERRY
77	9" CEDAR (LH)
78	7" LIVE OAK
79	9" LIVE OAK
80	7" LIVE OAK
81	13" LIVE OAK
82	14.5" LIVE OAK
83	23.75" LIVE OAK (PI)
84	7" LIVE OAK
85	26" LIVE OAK (PI)
86	12.5" LIVE OAK
87	10.5" LIVE OAK (H)
88	8" HACKBERRY
89	6" HACKBERRY
90	8" CEDAR (LH)
91	10" CEDAR (LH)
92	12.5" CEDAR (LH)
93	6" CEDAR (LH)
94	16.5" CEDAR (LH)
95	10.25" LIVE OAK
96	11.8" LIVE OAK
97	15.75" LIVE OAK
98	16.5" LIVE OAK

- LEGEND**
- 1/2" ROD FOUND
 - CALCULATED POINT
 - RECORD INFORMATION
 - WATER METER
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 - FIRE HYDRANT
 - SEPTIC
 - MULTI-STEM TREE
 - PROTECTED TREE
 - HERITAGE TREE
 - MAG NAIL SET

TREES & STAGING
SCALE: 1" = 10'

brkartstudio
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BRKART
REGISTERED ARCHITECT
STATE OF TEXAS
JANUARY 24, 2019

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AUSTIN, TX 78704**

REVISIONS	DATE

Sheet Name:
**TREE
EXHIBIT
&
STAGING**

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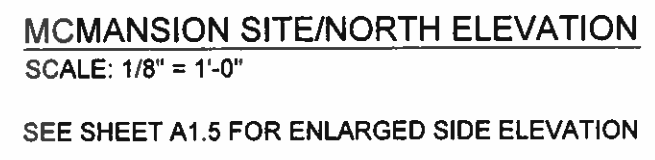
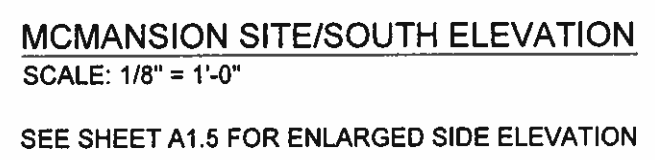
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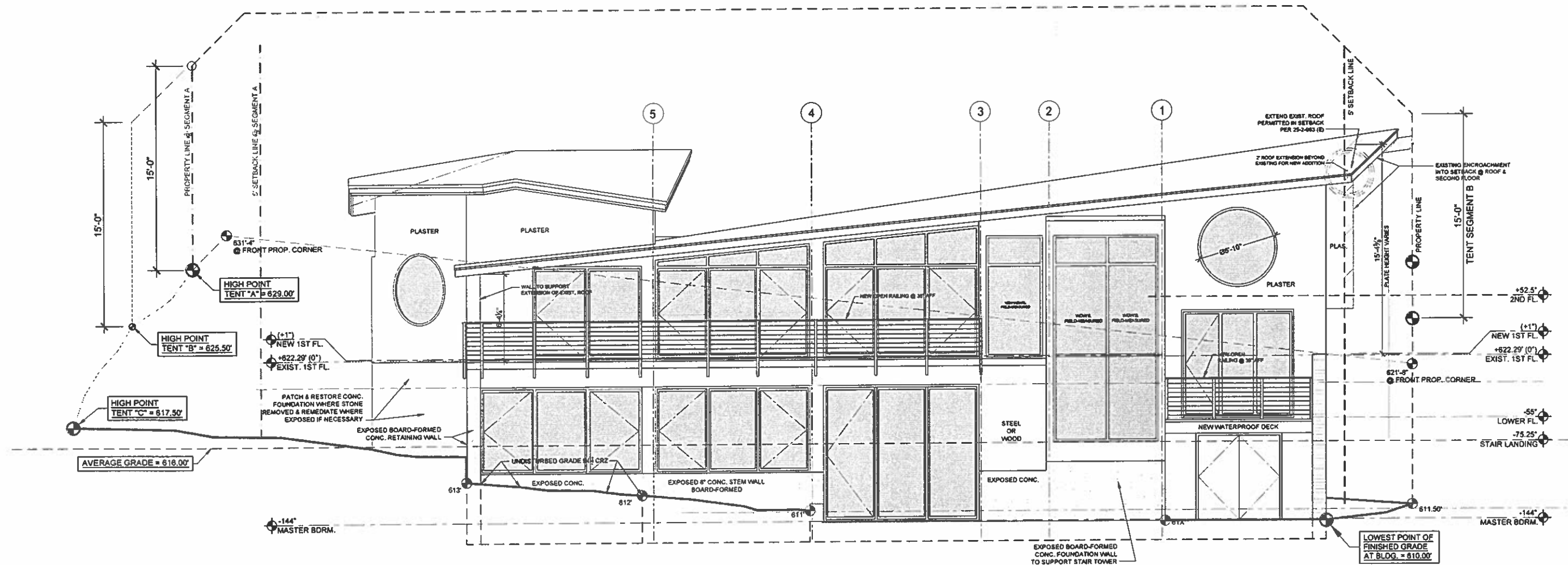
REVISIONS	DATE

Sheet Name:
**MCMANSION
SITE
ELEVATIONS**

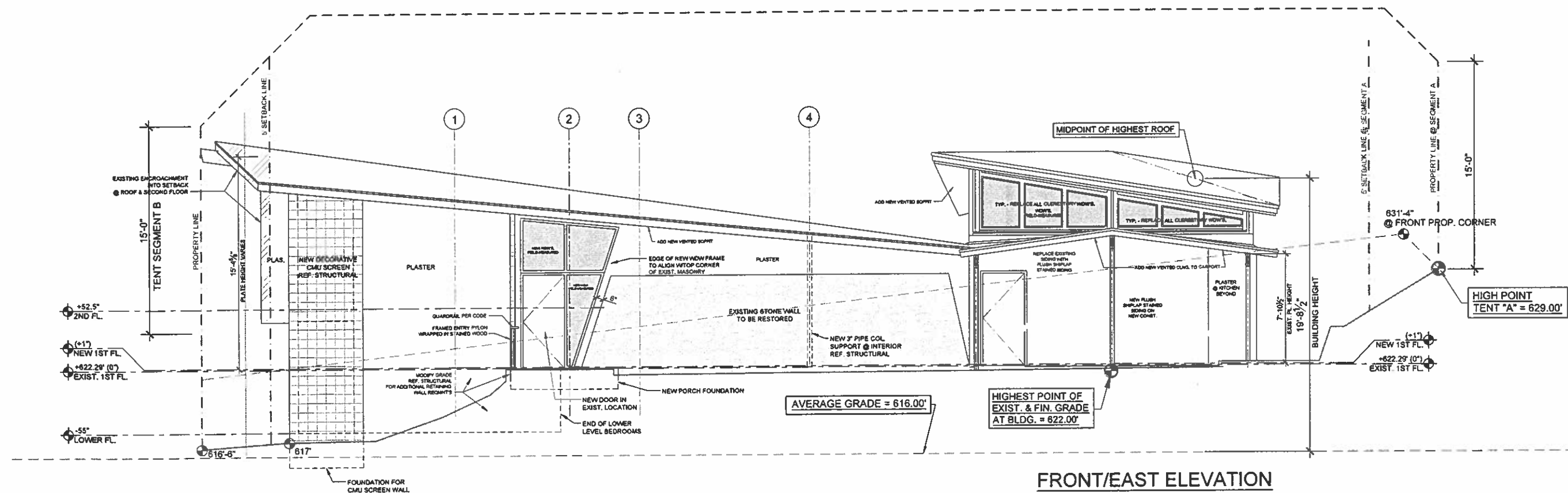
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A1.4

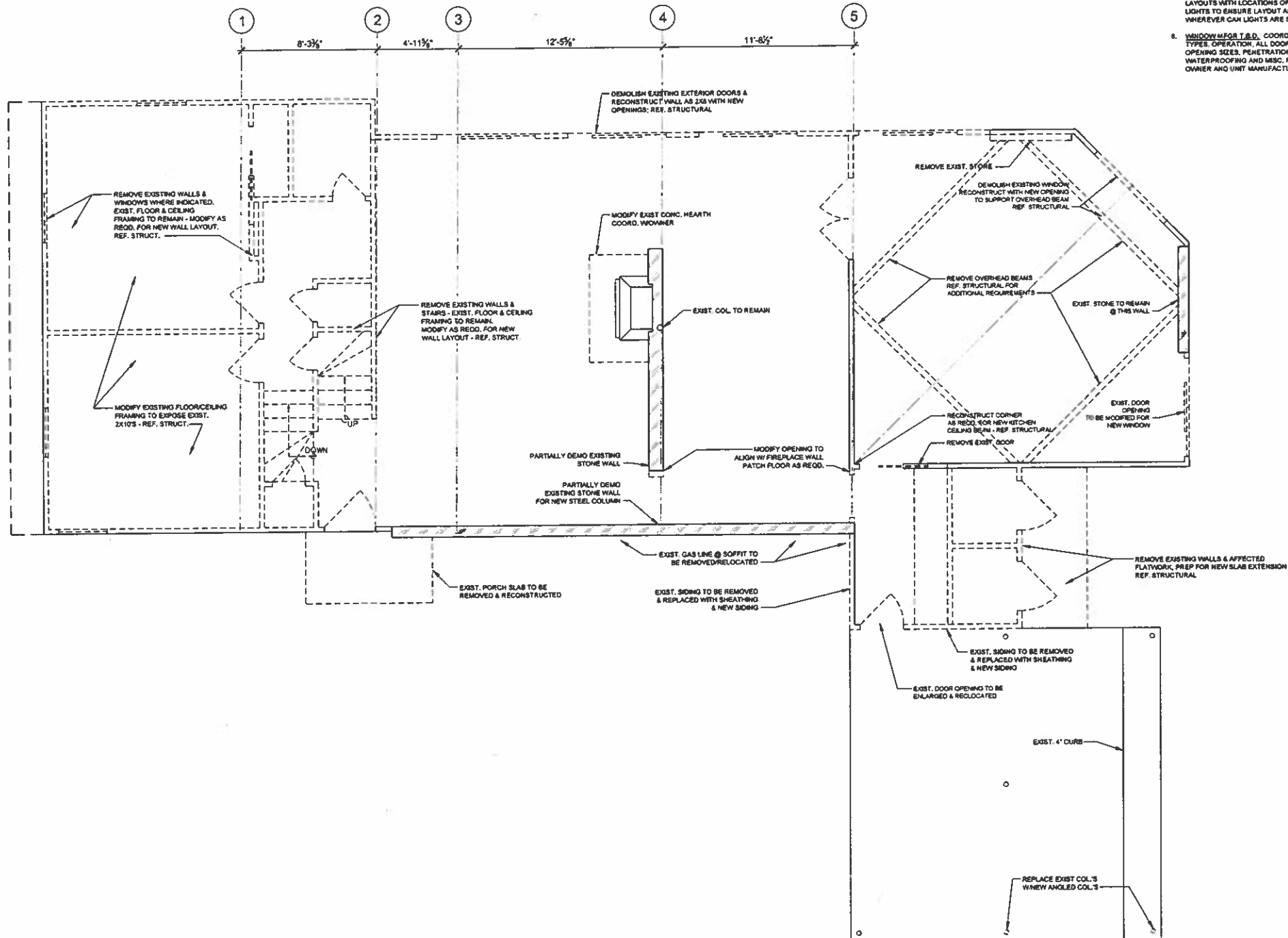




REAR/WEST ELEVATION
SCALE: 1/4" = 1'-0"



FRONT/EAST ELEVATION
SCALE: 1/4" = 1'-0"



DEMO PLAN
SCALE: 1/4" = 1'-0"

NOTES:

1. PROVIDE MIN. R-13 INSULATION IN EXTERIOR 2X4 WALLS.
2. PROVIDE MIN. R-19 INSULATION IN EXTERIOR 2X6 WALLS.
3. PROVIDE MIN. R-30 INSULATION IN ATTIC ROOF.
4. COORDINATE NEW WINDOW TYPES WITH OWNER - ALL WINDOWS IN ROOMS/RIGHT AREA TO MATCH; REPLACE ADDITIONAL AS REQUIRED OR COORDINATE WITH OWNER FOR UNITS NOT TO BE CHANGED OUT - SEE PLAN NOTES.
5. WINDOW/DOOR GLASS U-VALUE & SHGC TO CORRESPOND TO CURRENT CITY OF AUSTIN REQUIREMENTS:
a. SHGC = 0.40 MAX.
b. SHGC = 0.25 MAX.
6. PROVIDE TEMPERED GLASS AT ALL LOCATIONS REQUIRED BY CODE - REFERENCE R308.4.2015 IBC.
7. COORDINATE ALL FLOOR/CEILING FRAMING LAYOUTS WITH LOCATIONS OF ALL RECESSED CAN LIGHTS TO ENSURE LAYOUT AS SHOWN - TYP. WHEREVER CAN LIGHTS ARE SHOWN.
8. WINDOW/DOOR T.E.D. COORDINATE ALL WINDOW TYPES, OPERATION, ALL DOORS AND FINAL OPENING SIZES, PENETRATION REQUIREMENTS, WATERPROOFING AND MISC. FLASHING WITH OWNER AND UNIT MANUFACTURER.

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER.
2. NOTES APPLY TO ALL SHEETS, ALL ACTIVITIES, AND ALL DISCIPLINES, REGARDLESS OF THE SHEET ON WHICH THEY MAY APPEAR. QUESTIONS AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER IMMEDIATELY.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO ACHIEVE THE DESIGN INTENT OF THE PROJECT AS DESCRIBED IN THE ATTACHED DOCUMENTS.
4. CONSTRUCTION DOCUMENTS ARE DESIGNED TO COMPLY WITH APPLICABLE RESIDENTIAL BUILDING CODE, LOCAL LAND DEVELOPMENT CODE, AND RELEVANT NEIGHBORHOOD PLAN RESTRICTIONS. CONTRACTOR AND SUBCONTRACTORS ARE FULLY RESPONSIBLE TO PERFORM ALL WORK IN COMPLIANCE WITH AND ADHERENCE TO SUCH RELEVANT CODES AND ORDINANCES.
5. CONTRACTOR TO VERIFY AND ACQUIRE ALL PERMITS AND INSPECTIONS NECESSARY AND REQUIRED FOR THE WORK.
6. REVISIONS AND CHANGES SHOULD NOT BE MADE TO THE WORK BY THE OWNER OR THE CONTRACTOR WITHOUT THE INVOLVEMENT OF THE ARCHITECT. ALL WORK UNDERTAKEN WITHOUT SUCH INVOLVEMENT OR NOTIFICATION WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
7. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, LOCATIONS OF ALL UTILITIES, AND EXISTING GRADES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL CONFIRM DIMENSIONS TAKEN FROM KNOWN OR IDENTIFIABLE POINTS AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMITTING TO CONSTRUCTION. AT BUILDING STAKEOUT CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS AND THE LOCATIONS OF ALL LOT LINES, EASEMENTS, BUILDING SETBACK LINES AND SIDE AND REAR YARD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE CORRECT AND ACCURATE PLACEMENT OF THE BUILDING AND THE RELATIONSHIP OF THESE ELEMENTS TO WHAT WILL BE CONSTRUCTED.
8. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH NEW WORK SHOWN ON DRAWINGS.
9. CONTRACTOR SHALL CONSTANTLY PROTECT ALL OPEN OR OTHERWISE EXPOSED CONSTRUCTION FROM WEATHER, RAIN, AND EXPOSURE TO THE ELEMENTS. ALL EXPOSED CONSTRUCTION SHALL BE PROTECTED AT THE END OF EACH DAY'S WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO RESIDENCE RESULTING FROM FAILURE OF SUCH PROTECTION.
10. ALL EXISTING TREES TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. PROTECT ACCORDING TO STANDARD PROTECTION DETAILS AND REQUIREMENTS.
11. TREE PROTECTION: WHEN IN PROXIMITY OF 1/2 CAZ OF PROTECTED TREE, FOLLOW STANDARD ROOT ZONE PROCEDURE FOR ROOTS AFFECTED BY EXCAVATION FOR GRADE BEAMS.
12. ANY EXISTING PLANTING TO BE RELOCATED IS TO BE EXCAVATED, POTTED OR BURLAPPED TEMPORARILY STORED AND MAINTAINED IN GOOD CONDITION FOR REPLANTING BY CONTRACTOR AT PROJECT COMPLETION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SITE WHICH MAY OCCUR DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES. IF OPERATIONS DAMAGE DRIVE OR PLATWORK, CONTRACTOR SHALL REPLACE DAMAGED WORK PRIOR TO PROJECT CLOSE-OUT.
14. FENCING: CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO FENCING WHICH MAY OCCUR DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE EXISTING AND NEW SITE PERIMETER FENCING TO ORIGINAL CONDITION IF SUCH IS SCHEDULED TO REMAIN.
15. COMPLETELY GRUB TREE ROOTS AND SUBSURFACE VEGETATION & EXCAVATE TO UNDISTURBED SUBGRADE WHERE REQUIRED FOR NEW FOUNDATION (REF. STRUCTURAL).
16. CONTRACTOR SHALL CONFIGURE GAS LINE, ELECTRICAL LINES AND DROPS, CABLE FEEDS, EXHAUSTS AND VENTS, ETC. AS REQUIRED TO ACHIEVE THE MOST EFFICIENT AND/OR APPROPRIATE ROUTING. LOCATE ALL VENTS AND EXHAUSTS AS FAR TO THE REAR OF THE STRUCTURE AS POSSIBLE TO AVOID VISIBILITY FROM STREETS. CONSOLIDATE VENTS TO THE FEWEST POSSIBLE NUMBER OF ROOF PENETRATIONS.
17. DASHED LINES TYPICALLY INDICATE OVERHEAD COMPONENTS SUCH AS SHELVES, BUILT-IN CABINETS, ETC., UNLESS NOTED OTHERWISE.
18. FRAME ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS PER MANUFACTURER'S DIMENSIONS.
19. REFER TO STRUCTURAL DRAWINGS FOR SITE AND FOUNDATION PREPARATION REQUIREMENTS.
20. ALL WORK, MATERIALS, ASSEMBLIES AND FINISHES ARE TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS, INDUSTRY STANDARDS AND BEST CONSTRUCTION PRACTICES.
21. THE CONSTRUCTION DOCUMENTS DO NOT SHOW OR DETAIL ROOFING OR WATERPROOFING OR WALL PENETRATIONS AND/OR SIMILAR ASSEMBLIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND FULL AND COMPLETE DETAILING BETWEEN MATERIALS, COMPONENTS AND ASSEMBLIES USED IN THE PROJECT AS NECESSARY AND INFERRABLE AS REQUIRED FOR A COMPLETE, WEATHERTIGHT AND PROFESSIONALLY FINISHED PROJECT, WHETHER SPECIFIED OR NOT, AND WHETHER OR NOT INDICATED OR REFERENCED.
22. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS USED FOR ALL WORK PERFORMED.
23. WALL FRAMING TO BE 2X4 OR 2X6 @ 16" O.C. U.N.O., AS INDICATED ON PLANS.
24. DIMENSIONS SHOWN ON PLAN DRAWINGS ARE TO FACE OF SLAB FOR EXTERIOR WALLS AND TO FACE OF STUDS FOR INTERIOR WALLS. DIMENSIONS TYPICALLY DO NOT INCLUDE DRYWALL, ADDITIONAL FINISH SURFACES SUCH AS TILE OR SIDING, UNLESS SPECIFICALLY DIMENSIONING MASONRY, WHICH IS DIMENSIONED TO THE FINISHED FACE.
25. LOCATE HOSE BIBS APPROXIMATELY 24" A.F.F. U.N.O.
26. FIELD-VERIFY ALL DIMENSIONS: NOTIFY ARCHITECT IF DISCREPANCIES OR IF UNABLE TO RECONCILE.
27. ALL HEIGHTS ARE RELATIVE TO FINISH FLOOR AND NOT TO FOUNDATION/SLAB ELEVATION U.N.O.
28. WALLS NOT HATCHED DO NOT EXTEND TO CEILING.
29. ALL SHOWER HEADS TO BE MOUNTED @ 7'-0" U.N.O.
30. ALL INTERIOR WALL AND CEILING MATERIAL IS GYPSUM BOARD U.N.O. PROVIDE IN-WALL BLOCKING FOR ALL LOAD-BEARING SURFACE-MOUNTED COMPONENTS SUCH AS FANS, GRAB BARS, HANDRAILS, MULLWORK, ETC.
31. ALL STRUCTURAL ENGINEERING TO BE PROVIDED BY LICENSED ENGINEER OR APPROPRIATELY LICENSED PROFESSIONAL (ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING).
32. ALL MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING TO BE PERFORMED BY LICENSED ENGINEERS OR APPROPRIATELY LICENSED PROFESSIONALS. (ARCHITECT IS NOT RESPONSIBLE FOR SEPTIC OR MEP ENGINEERING).

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JANUARY 24, 2019

NOTE:
11" X 17" SIZE
IS 50% OF
PRINTED SCALE
ON DWGS

REMODEL-ADDITION
1900 AIROLE WAY
AUSTIN, TX 78704

REVISIONS	DATE

Sheet Name:
DEMO PLAN

PROJECT:	HAUSMEISTER
ISSUE DATE:	JAN. 24, 2019
PHASE:	CD
DRAWN BY:	WB
SHEET DATE:	JAN. 24, 2019
SHEET NO:	

A2.0



JANUARY 24, 2019

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REMODEL-ADDITION
1900 AIROLE WAY
AUSTIN, TX 78704

REVISIONS DATE

Sheet Name:

ROOF
PLAN

PROJECT: HAUSMEISTER

ISSUE DATE: JAN. 24, 2019

PHASE: CD

DRAWN BY: WB

SHEET DATE: JAN. 24, 2019

SHEET NO:

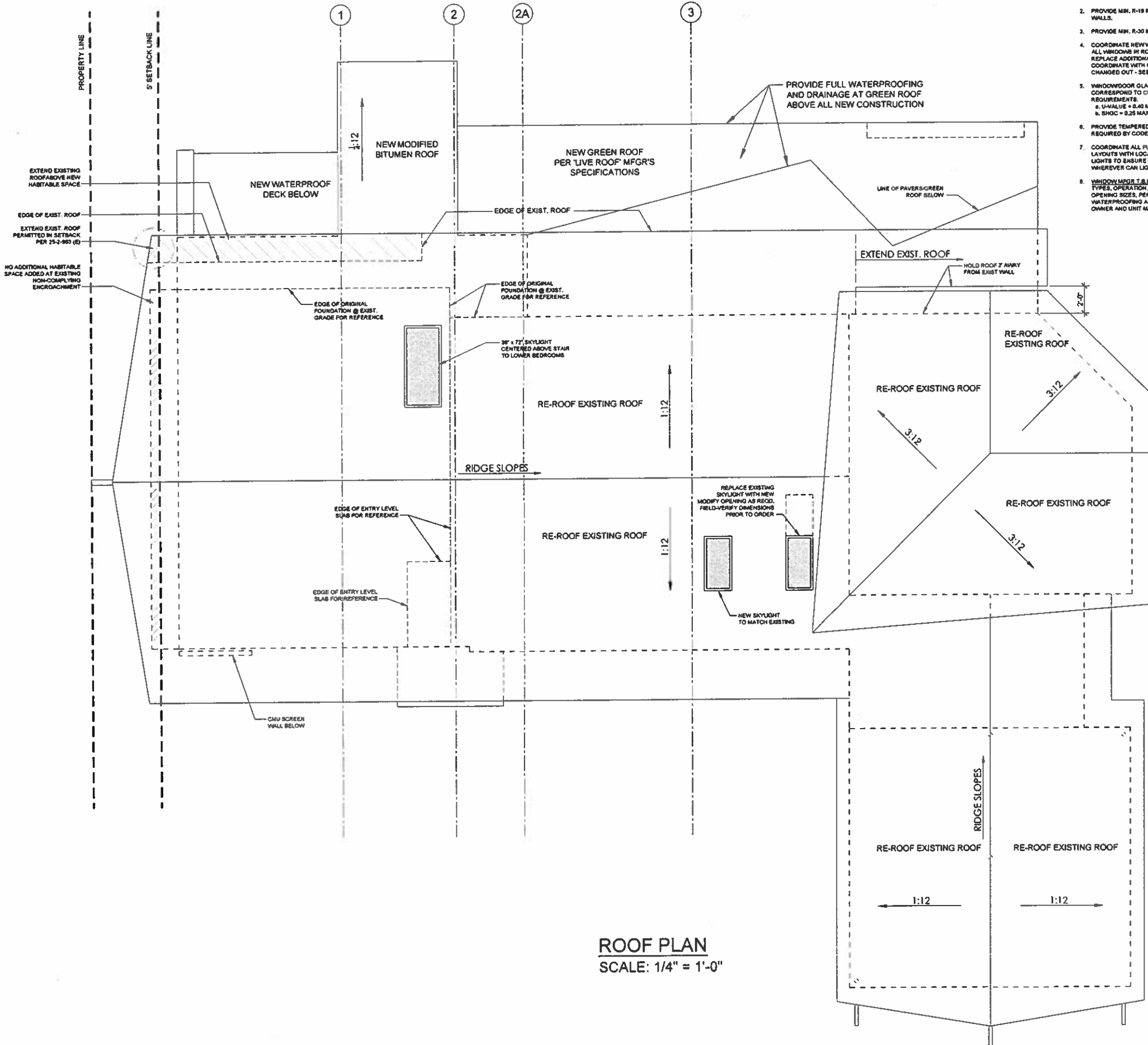
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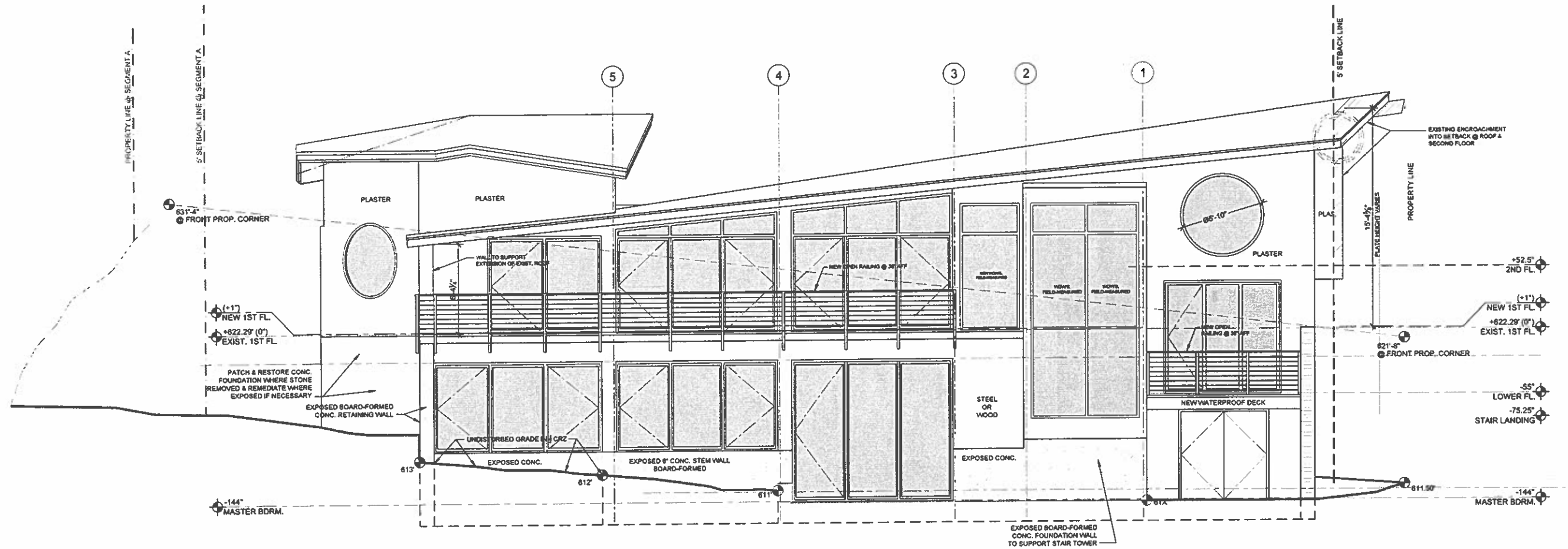
1. PROVIDE MIN. R-13 INSULATION IN EXTERIOR 2X4 WALLS.
2. PROVIDE MIN. R-19 INSULATION IN EXTERIOR 2X6 WALLS.
3. PROVIDE MIN. R-30 INSULATION IN ATTIC/ROOF.
4. COORDINATE NEW WINDOW TYPES WITH OWNER - ALL WINDOWS IN ROOMS/STAIR AREA TO MATCH; REPLACE ADDITIONAL AS REQUIRED OR COORDINATE WITH OWNER FOR UNITS NOT TO BE CHANGED OUT - SEE PLAN NOTES.
5. WINDOW/DOOR GLASS U-VALUE & SHGC TO CORRESPOND TO CURRENT CITY OF AUSTIN REQUIREMENTS:
a. U-VALUE = 0.40 MAX.
b. SHGC = 0.25 MAX.
6. PROVIDE TEMPERED GLASS AT ALL LOCATIONS REQUIRED BY CODE - REFERENCE R206.4, 2015 IRC.
7. COORDINATE ALL FLOOR/CEILING FRAMING LAYOUTS WITH LOCATIONS OF ALL RECESSED CAN LIGHTS TO ENSURE LAYOUT AS SHOWN - TYP. WHEREVER CAN LIGHTS ARE SHOWN.
8. WINDOW/DOOR T.S.D. COORDINATE ALL WINDOW TYPES, OPERATION, ALL DOORS AND FINAL OPENING SIZES, PENETRATION REQUIREMENTS, WATERPROOFING AND MISC. FLASHING WITH OWNER AND UNIT MANUFACTURER.

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER.
2. NOTES APPLY TO ALL SHEETS, ALL ACTIVITIES, AND ALL DISCIPLINES, REGARDLESS OF THE SHEET ON WHICH THEY MAY APPEAR. QUESTIONS AND DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR THE OWNER IMMEDIATELY.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO ACHIEVE THE DESIGN INTENT OF THE PROJECT AS DESCRIBED IN THE ATTACHED DOCUMENTS.
4. CONSTRUCTION DOCUMENTS ARE DESIGNED TO COMPLY WITH APPLICABLE RESIDENTIAL BUILDING CODE, LOCAL LAND DEVELOPMENT CODE, AND RELEVANT NEIGHBORHOOD PLAN RESTRICTIONS. CONTRACTOR AND SUBCONTRACTORS ARE FULLY RESPONSIBLE TO PERFORM ALL WORK IN COMPLIANCE WITH AND ADHERENCE TO SUCH RELEVANT CODES AND ORDINANCES.
5. CONTRACTOR TO VERIFY AND ACQUIRE ALL PERMITS AND INSPECTIONS NECESSARY AND REQUIRED FOR THE WORK.
6. REVISIONS AND CHANGES SHOULD NOT BE MADE TO THE WORK BY THE OWNER OR THE CONTRACTOR WITHOUT THE INVOLVEMENT OF THE ARCHITECT. ALL WORK UNDERTAKEN WITHOUT SUCH INVOLVEMENT OR NOTIFICATION WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY.
7. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, LOCATIONS OF ALL UTILITIES, AND EXISTING GRADES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL CONFIRM DIMENSIONS TAKEN FROM KNOWN OR IDENTIFIABLE POINTS AND SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMITTING TO CONSTRUCTION. AT BUILDING STAKEOUT CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS AND THE LOCATIONS OF ALL LOT LINES, EASEMENTS, BUILDING SETBACK LINES AND SIDE AND REAR YARD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE CORRECT AND ACCURATE PLACEMENT OF THE BUILDING AND THE RELATIONSHIP OF THESE ELEMENTS TO WHAT WILL BE CONSTRUCTED.
8. COORDINATE DEMOLITION OF EXISTING CONSTRUCTION WITH NEW WORK SHOWN ON DRAWINGS.
9. CONTRACTOR SHALL CONSTANTLY PROTECT ALL OPEN OR OTHERWISE EXPOSED CONSTRUCTION FROM WEATHER, RAIN, AND EXPOSURE TO THE ELEMENTS. ALL EXPOSED CONSTRUCTION SHALL BE PROTECTED AT THE END OF EACH DAYS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO RESIDENCE RESULTING FROM FAILURE OF SUCH PROTECTION.
10. ALL EXISTING TREES TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. PROTECT ACCORDING TO STANDARD PROTECTION DETAILS AND REQUIREMENTS.
11. TREE PROTECTION: WHEN IN PROXIMITY OF 1/2 CAZ OF PROTECTED TREES, FOLLOW STANDARD ROOT ZONE PROCEDURE FOR ROOTS AFFECTED BY EXCAVATION FOR GRADE BEAMS.
12. ANY EXISTING PLANTING TO BE RELOCATED IS TO BE EXCAVATED, POTTED OR BURLAPPED TEMPORARILY, STORED AND MAINTAINED IN GOOD CONDITION FOR REPLANTING BY CONTRACTOR AT PROJECT COMPLETION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SITE WHICH MAY OCCUR DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES. IF OPERATIONS DAMAGE DRIVE OR FLATWORK, CONTRACTOR SHALL REPLACE DAMAGED WORK PRIOR TO PROJECT CLOSE-OUT.
14. FENCING: CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO FENCING WHICH MAY OCCUR DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE EXISTING AND NEW SITE PERIMETER FENCING TO ORIGINAL CONDITION IF SUCH IS SCHEDULED TO REMAIN.
15. COMPLETELY GRUB TREE ROOTS AND SUBSURFACE VEGETATION & EXCAVATE TO UNDISTURBED SUBGRADE WHERE REQUIRED FOR NEW FOUNDATION (REF. STRUCTURAL).
16. CONTRACTOR SHALL CONFIGURE GAS LINE, ELECTRICAL LINES AND DROPS, CABLE FEEDS, EXHAUSTS AND VENTS, ETC. AS REQUIRED TO ACHIEVE THE MOST EFFICIENT AND/OR APPROPRIATE ROUTING. LOCATE ALL VENTS AND EXHAUSTS AS FAR TO THE REAR OF THE STRUCTURE AS POSSIBLE TO AVOID VISIBILITY FROM STREETS. CONSOLIDATE VENTS TO THE FEWEST POSSIBLE NUMBER OF ROOF PENETRATIONS.
17. DASHED LINES TYPICALLY INDICATE OVERHEAD COMPONENTS SUCH AS SHELVES, BUILT-IN CABINETRY, ETC. UNLESS NOTED OTHERWISE.
18. FRAME ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS PER MANUFACTURER'S DIMENSIONS.
19. REFER TO STRUCTURAL DRAWINGS FOR SITE AND FOUNDATION PREPARATION REQUIREMENTS.
20. ALL WORK, MATERIALS, ASSEMBLIES AND FINISHES ARE TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS, INDUSTRY STANDARDS AND BEST CONSTRUCTION PRACTICES.
21. THE CONSTRUCTION DOCUMENTS DO NOT SHOW OR DETAIL ROOFING OR WATERPROOFING OR WALL PENETRATIONS AND/OR SIMILAR ASSEMBLIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND FULL AND COMPLETE DETAILING BETWEEN MATERIALS, COMPONENTS AND ASSEMBLIES USED IN THE PROJECT AS NECESSARY AND INFERRABLE AS REQUIRED FOR A COMPLETE, WEATHERTIGHT AND PROFESSIONALLY FINISHED PROJECT, WHETHER SPECIFIED OR NOT, AND WHETHER OR NOT INDICATED OR REFERENCED.
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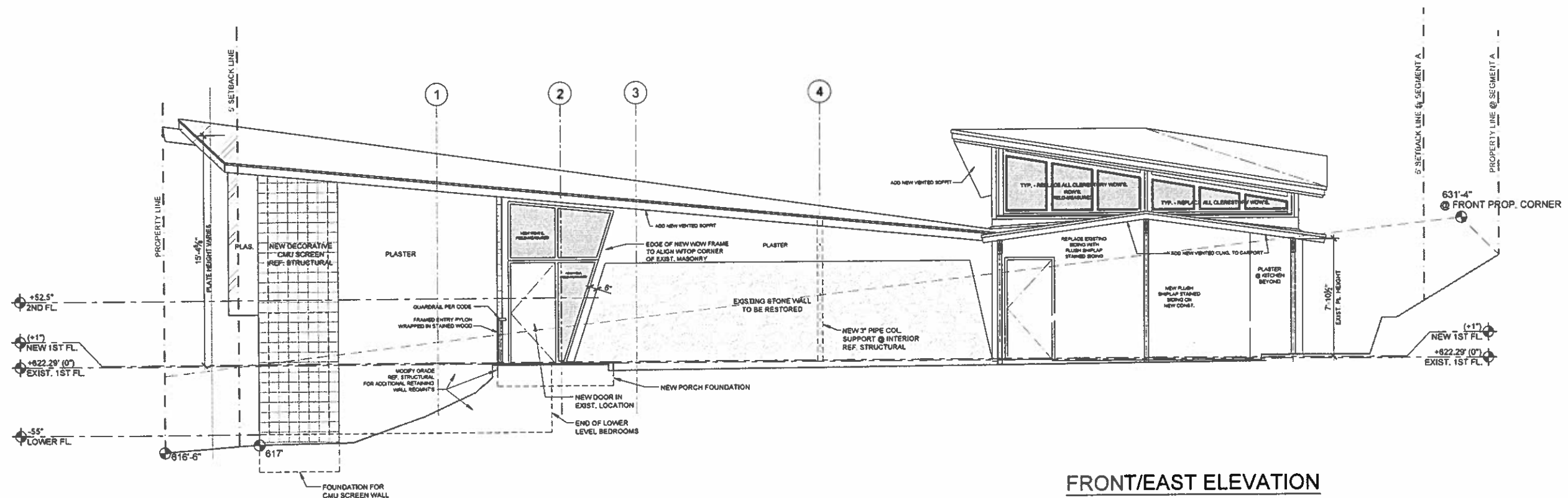


ROOF PLAN
SCALE: 1/4" = 1'-0"



REAR/WEST ELEVATION

SCALE: 1/4" = 1'-0"



FRONT/EAST ELEVATION

SCALE: 1/4" = 1'-0"

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**FRONT &
REAR
ELEVATIONS**

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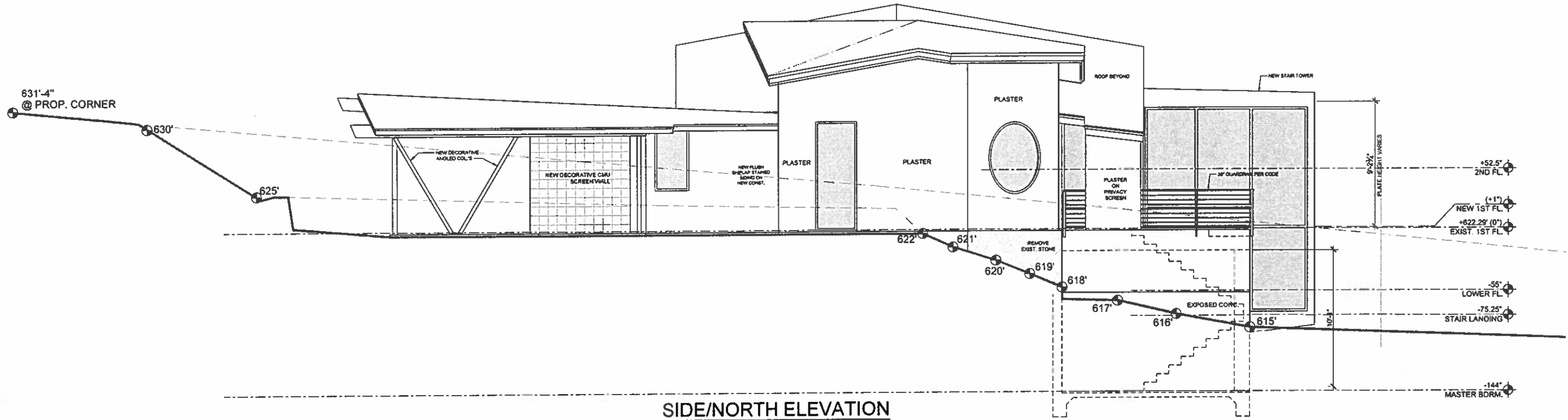
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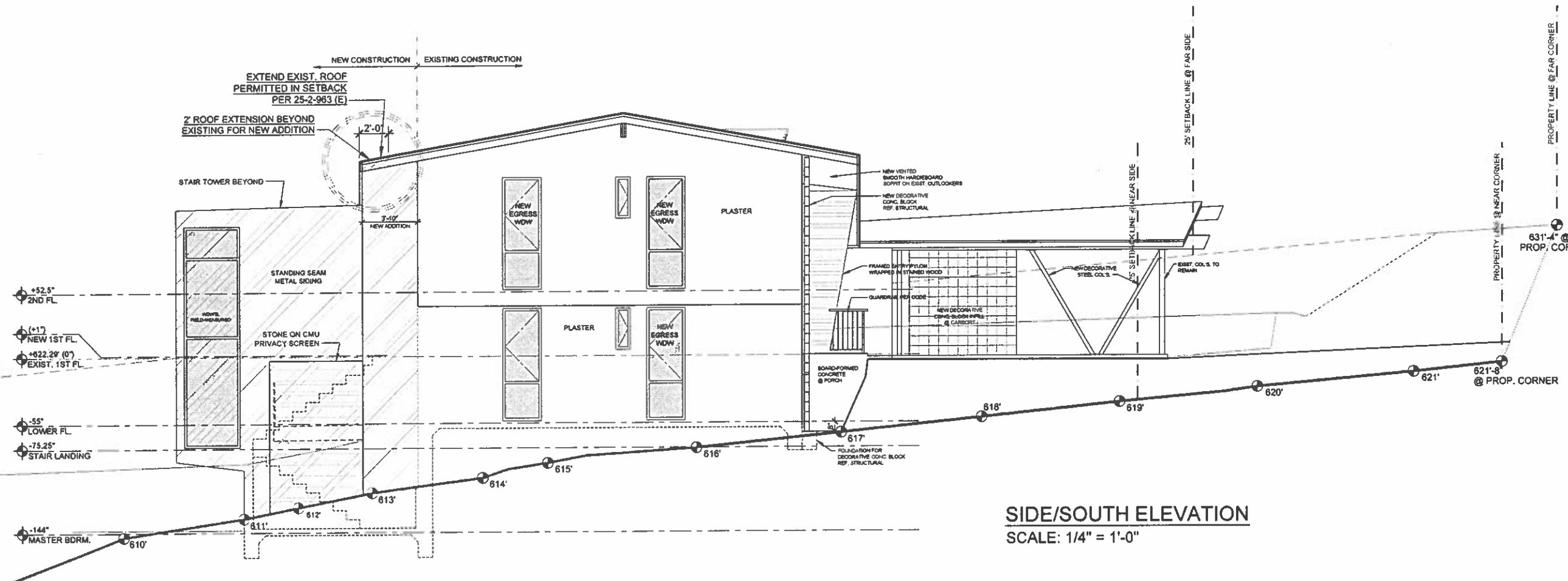
Sheet Name:
SIDE ELEVATIONS

PROJECT: HAUSMEISTER
ISSUE DATE: JAN. 24, 2019
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DRAWN BY: WB
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SHEET NO.:

A3.2



SIDE/NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SIDE/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"