I-3/1

BOA CASE REVIEW SHEET

CASE: C15-2019-0017

BOA DATE: April 8, 2019

ADDRESS: 1301 S. 5th

COUNCIL DISTRICT: 9

OWNER: Elizabeth Carey

AGENT: None

ZONING: SF-3-NP (Bouldin)

AREA: N. 68 feet of Lot 9, Block 9, South Heights

VARIANCE REQUEST: lot size, width, setbacks

SUMMARY: garage/storage conversion to living space

ISSUES: small lot, all issues existing no expansion of building footprint

	ZONING	LAND USES
Site	SF-3-NP (Bouldin)	Single Family Residential
North	SF-3-NP (Bouldin)	Single Family Residential
South	SF-3-NP (Bouldin)	Single Family Residential
East	SF-3-NP (Bouldin)	Single Family Residential
West	SF-3-NP (Bouldin)	Single Family Residential

NEIGHBORHOOD ORGANIZATIONS: Austin Independent School District; Austin Neighborhoods Council; Bike Austin; Bouldin Creek Neighborhood Association; Bouldin Creek Neighborhood Plan Contact Team; Friends of Austin Neighborhoods; Homeless Neighborhood Association; Neighborhood Empowerment Foundation; Perry Grid 614; Preservation Austin; SEL Texas; Sierra Club, Austin Regional Group; South Central Coalition

N

SUBJECT TRACT

PENDING CASE

ZONING BOUNDARY

1 " = 117 '

NOTIFICATIONS

CASE#: C15-2019-0017

LOCATION: 1301 S 5TH Street

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

CITY OF AUSTIN
Development Services Department
One Texas Center | Phone: 512.978.4000
505 Barton Springs Road, Austin, Texas 78704

Board of Adjustment
General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, click here to Save the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 1301 S 5 ST

Subdivision Legal Description:

N 68 FT OF LOT 9 BLK 9 SOUTH HEIGHTS

Lot(s): 9 Block(s): 9

Outlot: _____ Division: South Heights

Zoning District: _____

I/We Elizabeth J Carey on behalf of myself/ourselves as authorized agent for myself & Scott Ingalls affirm that on Month February, Day 20, Year 2019, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

○ Erect ○ Attach ○ Complete ◉ Remodel ○ Maintain ○ Other: _____

Type of Structure: _____

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

25-2-492

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use
The zoning regulations applicable to the property do not allow for a reasonable use because:

The house is currently less than 500 square feet and can never be expanded upon.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

As new owners of this property (purchased July of 2018), we were unaware of the issues concerning the way this property was subdivided. We would not have purchased this property if we had know we couldn't convert the garage as it is a little too small for our long term needs.

b) The hardship is not general to the area in which the property is located because:

Just on this street, there are several houses adjacent to this property that were subdivided the exact same way.

Area Character
The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

We are only remodeling and will be keeping the character of the home as is.

Parking (additional criteria for parking variances only)
Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

n/a

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

n/a

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: _____ Date: 02/20/2019

Applicant Name (typed or printed): Elizabeth J Carey

Applicant Mailing Address: 1301 S 5th St

City: Austin State: TX Zip: 78704

Phone (will be public information): 512-517-0552

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ Date: 02/20/2019

Owner Name (typed or printed): Elizabeth J Carey & Scott Ingalls

Owner Mailing Address: 1301 S 5th St

City: Austin State: TX Zip: 78704

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

Section 3: Applicant Certificate

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Applicant Name (typed or printed): Elizabeth J Carey

Applicant Mailing Address: 1301 S 5th St

City: Austin State: TX Zip: 78704

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: _____ & _____ Date: 02/20/2019

Owner Name (typed or printed): Elizabeth J Carey & Scott Ingalls

Owner Mailing Address: 1301 S 5th St

City: Austin State: TX Zip: 78704

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: _____

Agent Mailing Address: _____

City: _____ State: _____ Zip: _____

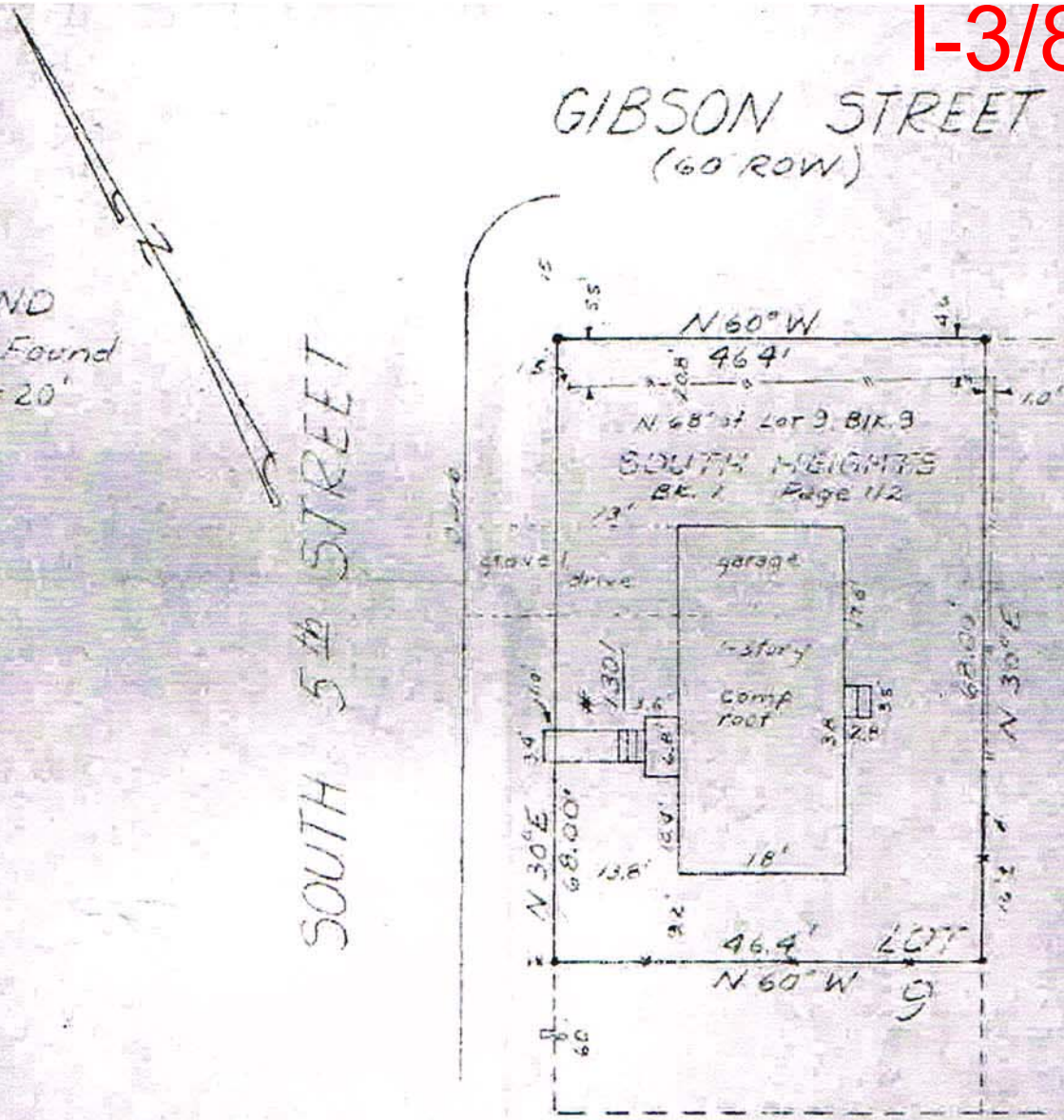
Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

I-3/8



NORTH 68' OF LOT 9, BLOCK 9
SOUTH HEIGHTS
According to a plat of record in Book 1 at Page 112, Plat Records of Travis County, Texas.

STATE OF TEXAS
COUNTY OF TRAVIS

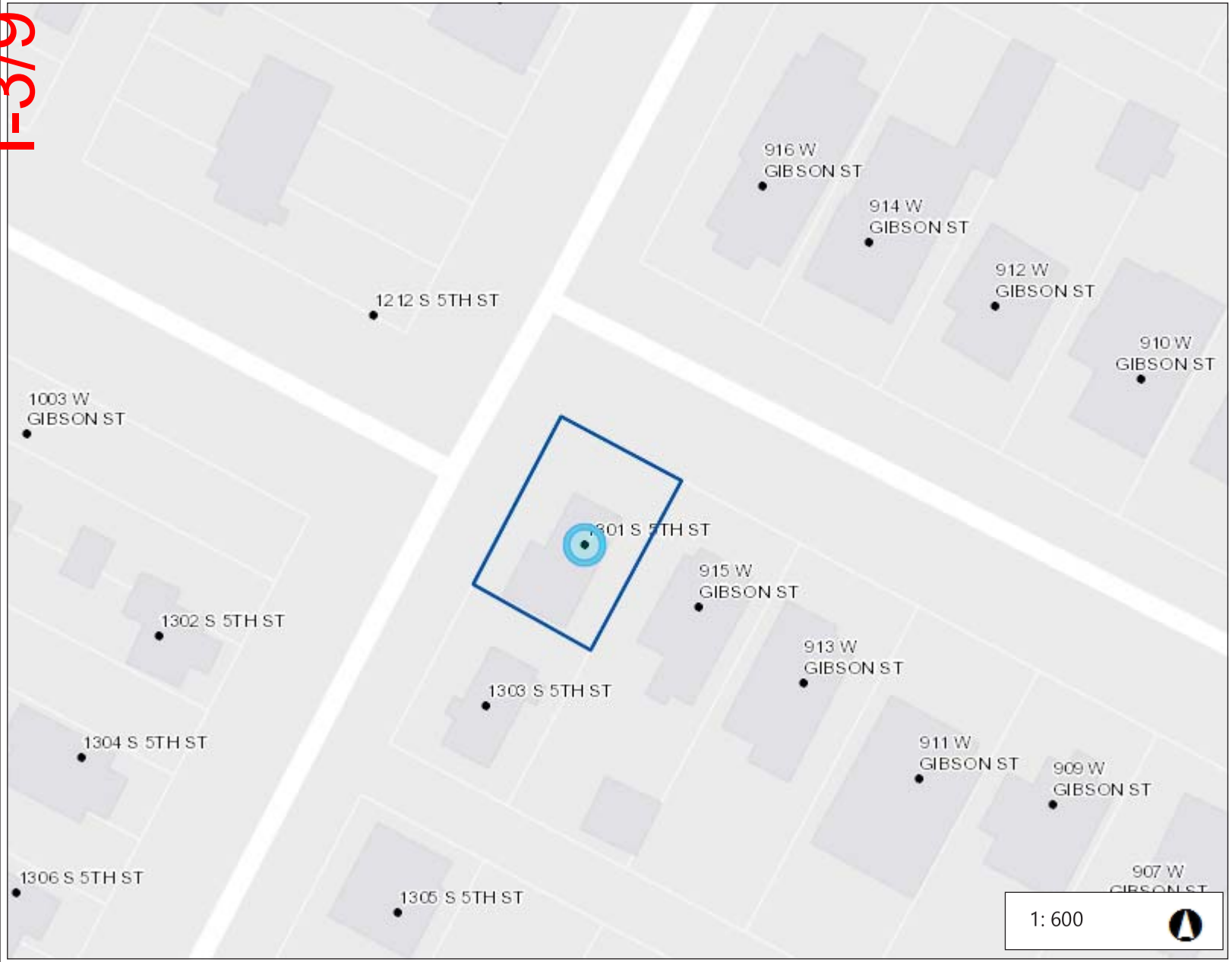
This is to certify that I have made a ground survey of the property shown on this plat. The property and improvements were found as shown and there are no encroachments.

SURVEYED BY B. F. Priest DATE 7-15-64

B. F. Priest, Reg. Public Surveyor

I-3/9

Property Profile



Legend

- Addresses

Jurisdiction

- FULL PURPOSE
- LIMITED PURPOSE
- EXTRATERRITORIAL JURISDICTI
- 2 MILE ETJ AGRICULTURAL AGR
- OTHER CITY LIMITS
- OTHER CITIES ETJ

0.0 0 0.01 0.0 Miles

NAD_1983_StatePlane_Texas_Central_FIPS_4203_Feet

Date Printed:

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Notes

I-3/10

A. L. Davis & Sons 1303 South 5th Street

114 - 9 So.55'of 9 -

South Heights

Framr res. and garage attached

29568 3-21-46 $3,250.00

A. M. McClendon

5

I-3/11

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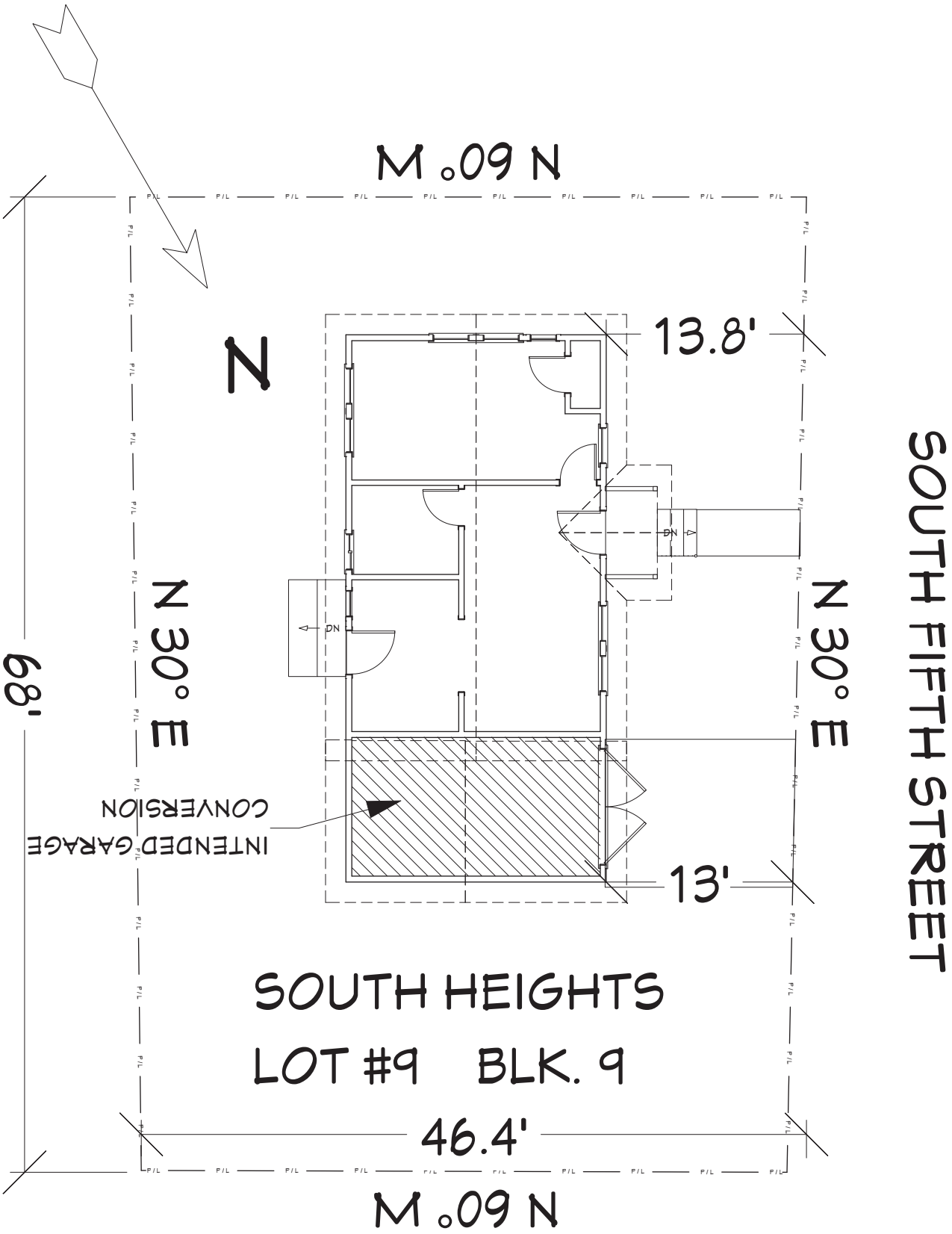

EXISTING SITE PLAN

1" = 10' - 0" SCALE

SUNERGY Home Services
3267 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+888) 239-8548

Sunergy Home Services
1301 S 5th St.
Austin 78704

VERSION
6/13/18

A-1

I-3/12

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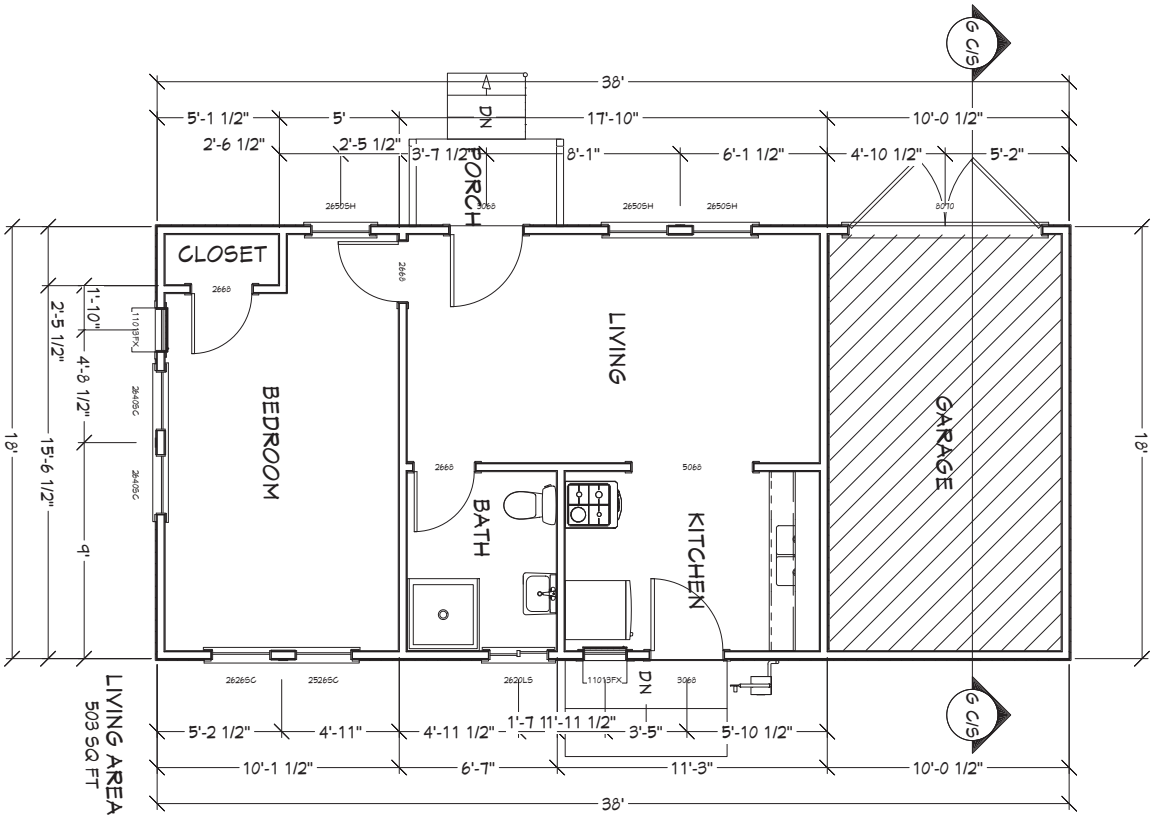

EXISTING FLOOR PLAN

1/8" = 1' - 0" SCALE

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3267 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+888) 239-8548

Sunergy Home Services
1301 S 5th St.
Austin 78704

VERSION
6/13/18

A-2

I-3/13

A-3

FRONT ELEVATION

REAR ELEVATION

EXISTING ELEVATIONS

1/8" = 1' - 0" SCALE

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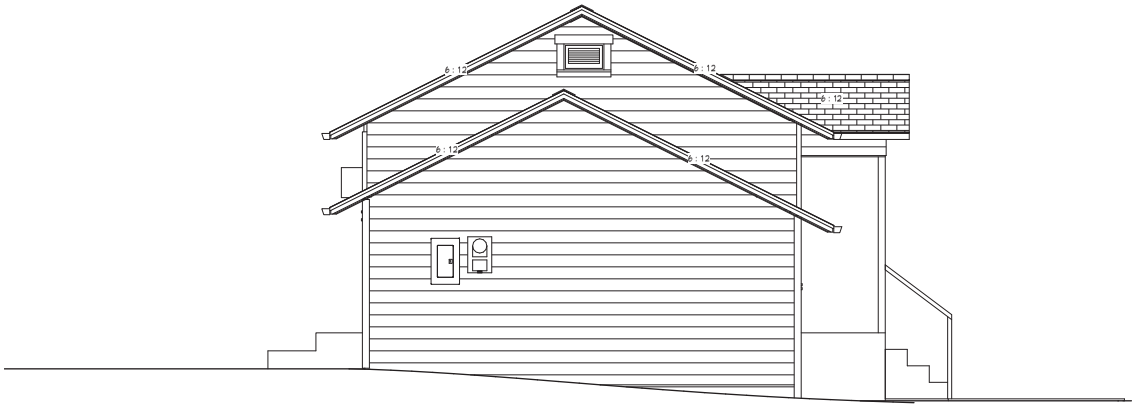
I-3/14

A-4

RIGHT ELEVATION



LEFT ELEVATION

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EXISTING ELEVATIONS

1/8" = 1' - 0" SCALE

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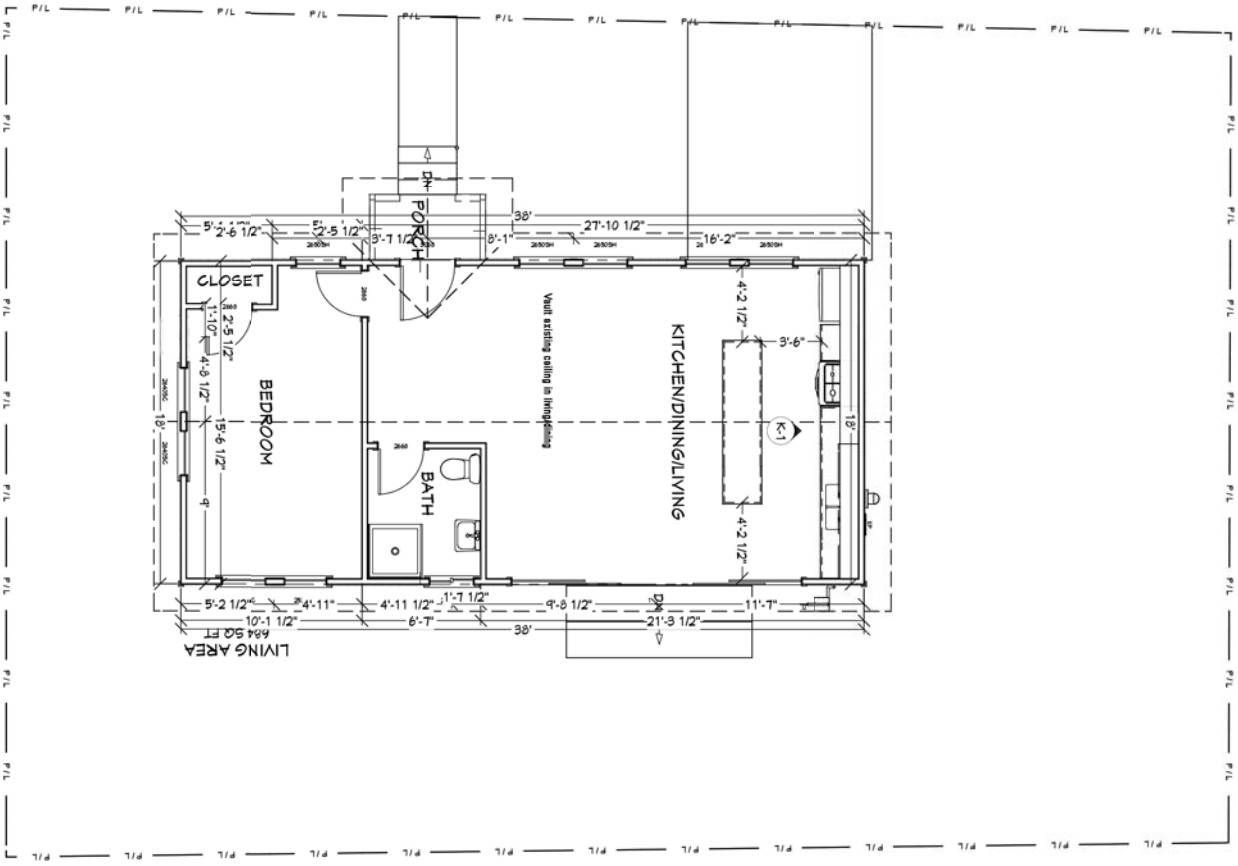

PROPOSED SITE PLAN

3/16" = 1' - 0" SCALE

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I-3/16

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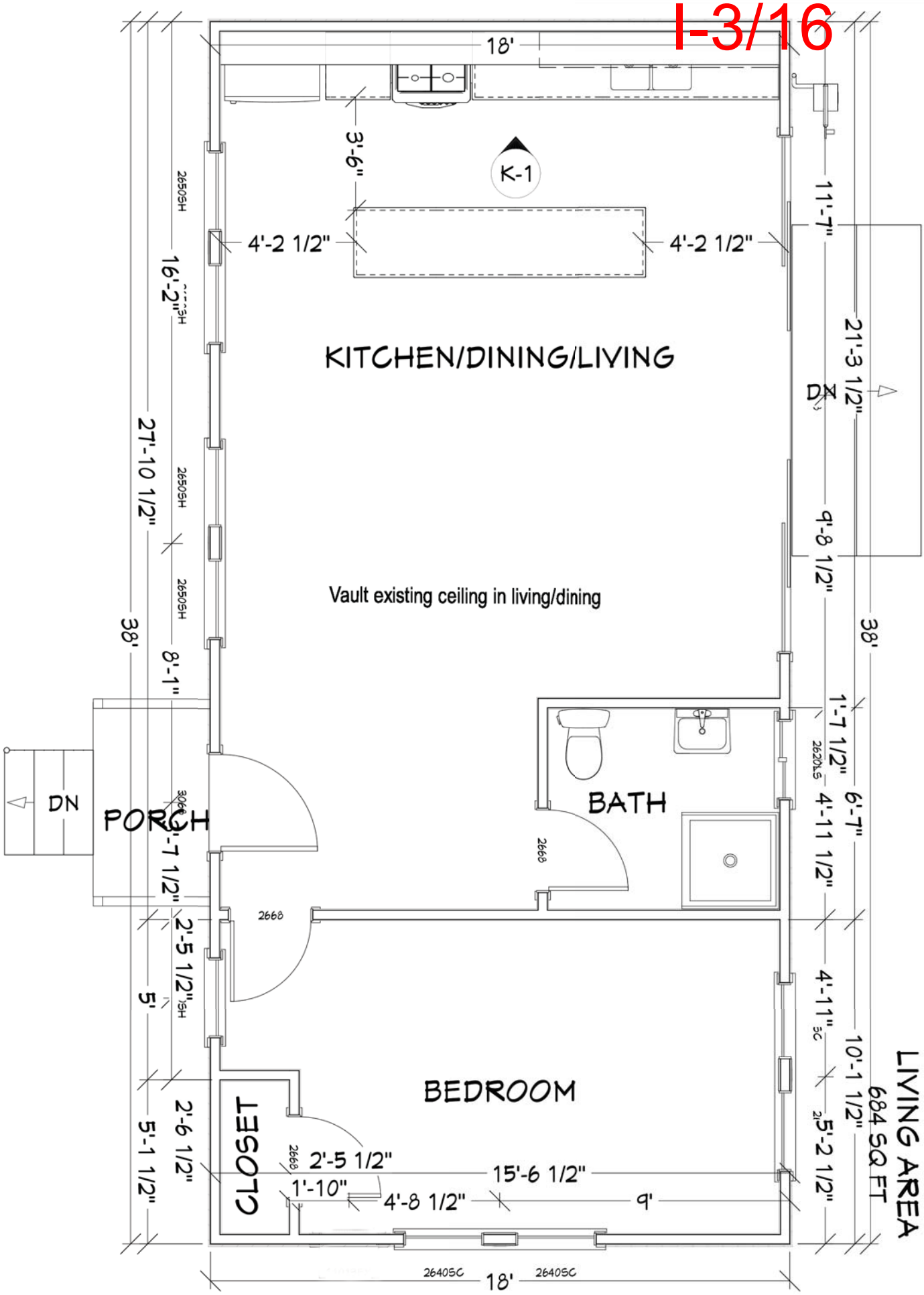
PROPOSED FLOOR PLAN

1/4" = 1' - 0" SCALE



LIVING AREA
684 SQ FT

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3267 Bee Cave Rd., Ste 107-174
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VERSION
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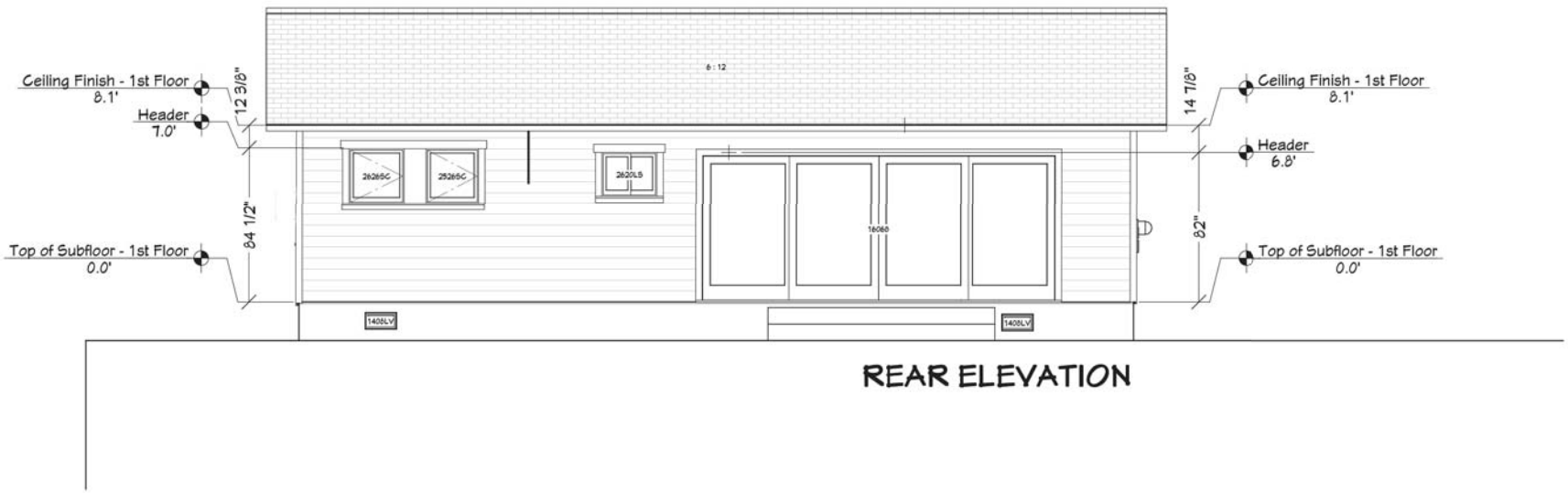
I-3/17

FRONT ELEVATION



REAR ELEVATION

PROPOSED ELEVATIONS

1/8" = 1' - 0" SCALE

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LEFT ELEVATION

RIGHT ELEVATION

PROPOSED ELEVATIONS

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I-3/19

20

JL 30 [illegible] * 280
JL 30 [illegible] * [illegible]

THE STATE OF TEXAS)
) KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF TRAVIS)

That we, Walter C. Schwarzer and wife, Lena Mae Schwarzer,

of the County of Travis, State of Texas, for and in consideration of the sum of Ten and no/100 Dollars ($10.00), cash, and other good and valuable consideration to us in hand paid by Raymond R. Castro and wife, Agapita Castro, receipt of all of which consideration is hereby acknowledged and payment of no part of which is secured by a lien, expressed or implied, upon the hereinafter described premises, and the further consideration of the execution and delivery by the said Raymond R. Castro and wife, Agapita Castro, of their one certain promissory note, of even date herewith, for the sum of One Thousand Nine Hundred and no/100 Dollars ($1,900.00) payable to the order of The Mutual Savings Institution, bearing interest at the rate of 7 % per annum, due in monthly installments of Fifty-Five and 50/100 Dollars ($55.50), each, including interest, such monthly installments commencing on the first day of September, A.D. 1964, and continuing until said note is fully paid, said note containing the usual provisions for accelerated maturity and attorney's fees in case of default, and payment of said note being additionally secured by the lien of a deed of trust of even date herewith, executed by Grantees herein conveying the hereinafter described property to Fred C. Morse, Jr., Trustee,

Have GRANTED, SOLD and CONVEYED and by these presents do GRANT, SELL and CONVEY unto the said Raymond R. Castro and wife, Agapita Castro, of the County of Travis, State of Texas, all that certain lot, tract or parcel of land lying and being situated in the County of Travis, State of Texas, known and described as follows, to-wit:

I-3/20

The North Sixty-eight feet (N. 68') of Lot No. Nine (9), Block Nine (9), South Heights, an addition to the City of Austin, Travis County, Texas, according to the map or plat of record in Vol. 1, Page 112 of the Plat Records of Travis County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Raymond R. Castro and wife, Agapita Castro, their heirs, executors, administrators, and assigns forever. And we do hereby bind ourselves, our heirs and assigns, to WARRANT and FOREVER DEFEND, all and singular the said premises unto the said Raymond R. Castro and wife, Agapita Castro, their heirs, executors, administrators and assigns, against every person whomsoever, lawfully claiming or to claim the same, or any part thereof, subject to covenants, conditions, restrictions and easements of record.

But it is expressly agreed and stipulated that the vendor's lien is retained in favor of Walter C. Schwarzer and wife, Lena Mae Schwarzer, against the above described property, premises and improvements until the above described note, together with all interest thereon, has been fully paid according to its face and tenor, effect and reading, when this deed shall become absolute; and for and in consideration of the sum of One Thousand Nine Hundred and no/100 Dollars ($1,900.00) cash, to us in hand paid by The Mutual Savings Institution, receipt of which is hereby acknowledged, we do hereby grant, sell and convey unto the said The Mutual Savings Institution, the vendor's lien, contract lien, superior title and all of our right, title and interest in and to the above described property securing the payment of said note, which transfer, however, is without recourse on us in any event.

WITNESS OUR HANDS this the 29th day of July, A. D. 1964.

$4.40 U.S. INT. REV. STAMPS CANCELLED

Walter C. Schwarzer
Walter C. Schwarzer

Lena Mae Schwarzer
Lena Mae Schwarzer

DEED RECORDS
Travis County, Texas

VOL 2819 PAGE 336

I-3/21

THE STATE OF TEXAS)
)
COUNTY OF TRAVIS)

BEFORE ME, the undersigned authority, on this day personally appeared President of

known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act of the said
a corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AN E, this the
.D. 19

for Travis County, Texas

168356

BEFORE ME, the undersigned authority, on
appeared
known to me to be the person(s) whose name(s) subscribed to the foregoing instrument, and acknowledged to me that executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the
day of , A.D. 19 .

Notary Public in and for Travis County, Texas

THE STATE OF TEXAS)
)
COUNTY OF TRAVIS)

BEFORE ME, the undersigned authority, on this day personally appeared Walter C. Schwarzer and wife, Lena Mae Schwarzer,
known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed, and the said Lena Mae Schwarzer, wife of Walter C. Schwarzer,
having been examined by me privily and apart from her husband and having the same fully explained to her by me, she, the said Lena Mae Schwarzer, acknowledged such instrument to be her act and deed, and declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 27th
day of July , A.D. 19 64 .

(NOTARY SEAL)

Notary Public in and for Travis County, Texas

I-3/22

FILED FOR RECORD
at 2:25 o'clock P M.
JUL 30 1964
MISS EMILIE LIMBERG
Clerk County Court, Travis County, Texas
By [illegible] Deputy

STATE OF TEXAS
COUNTY OF TRAVIS

I hereby certify that this instrument was FILED on the date and at the time stamped hereon by me; and was duly RECORDED, in the Volume and Page of the named RECORDS of Travis County, Texas, as Stamped hereon by me, on

AUG 3 1964

Emilie Limberg
COUNTY CLERK,
TRAVIS COUNTY, TEXAS

DEED RECORDS
Travis County, Texas

VOL 2819 PAGE 338

I-3/23

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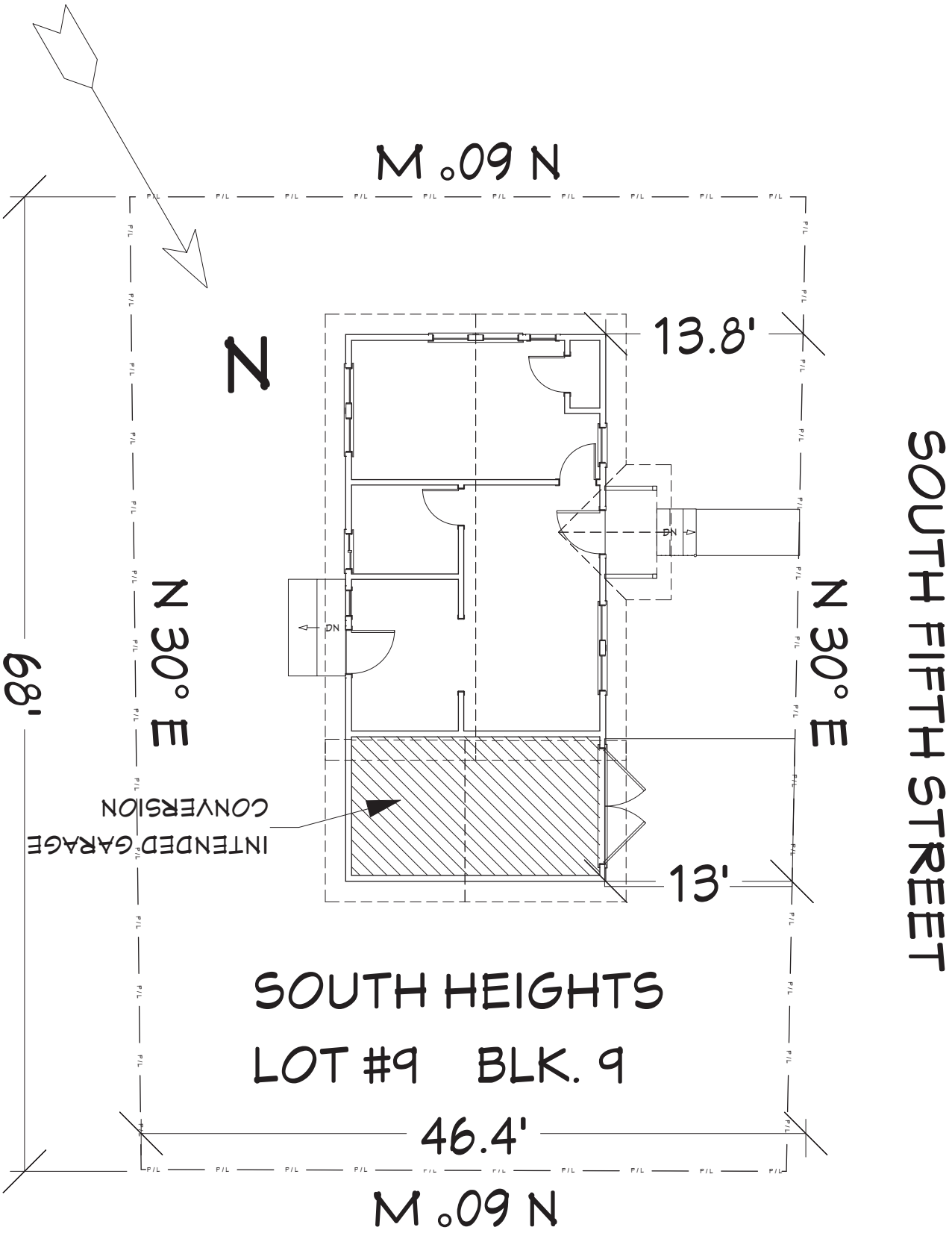

EXISTING SITE PLAN

1" = 10' - 0" SCALE

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Austin 78704

VERSION 6/13/18

A-1

I-3/24

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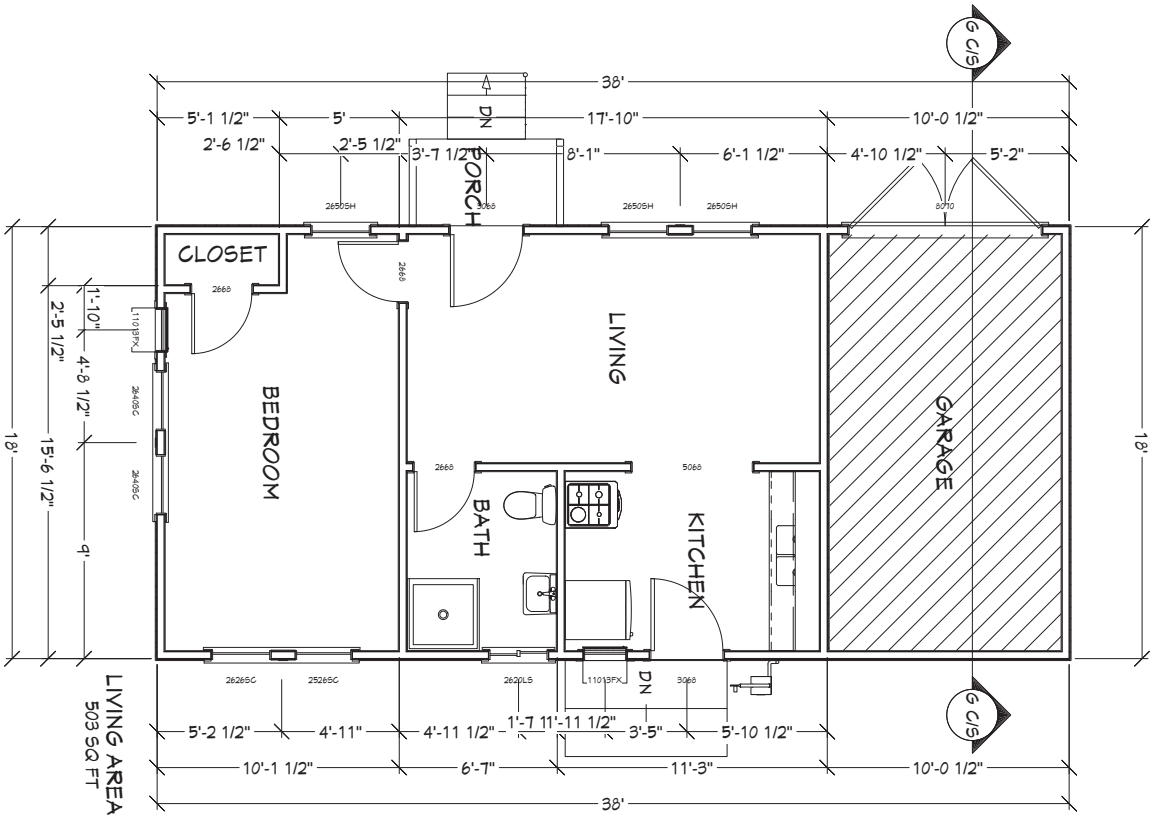

EXISTING FLOOR PLAN

1/8" = 1' - 0" SCALE

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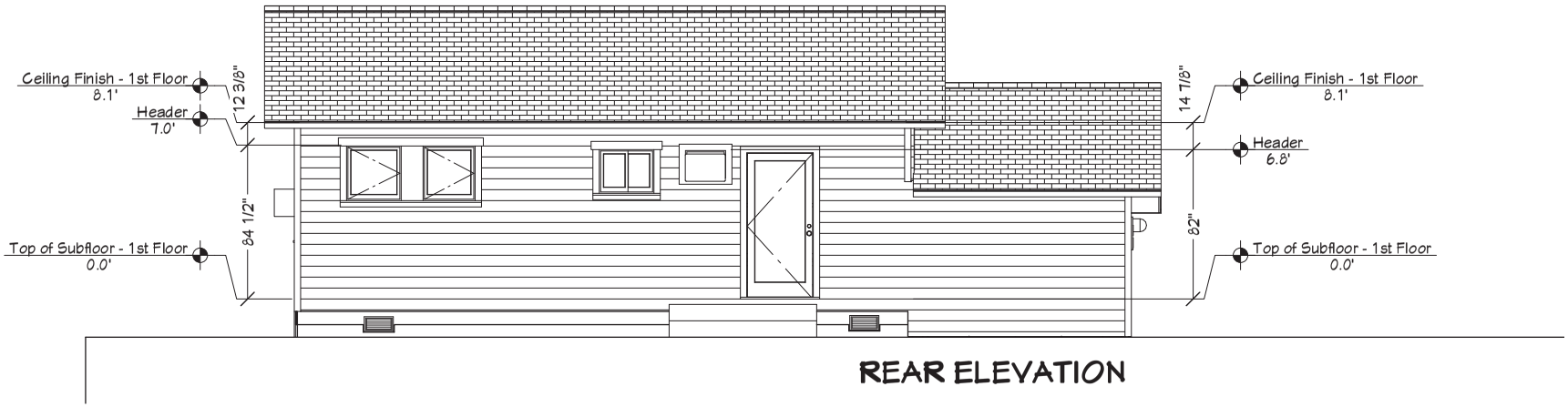
VERSION
6/13/18

A-2

I-3/25

A-3

FRONT ELEVATION



REAR ELEVATION

EXISTING ELEVATIONS

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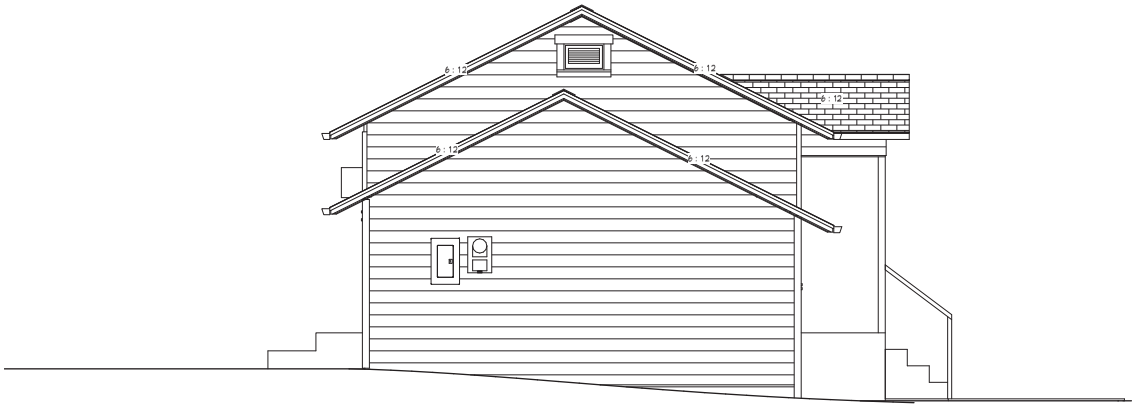
I-3/26

A-4

RIGHT ELEVATION



LEFT ELEVATION

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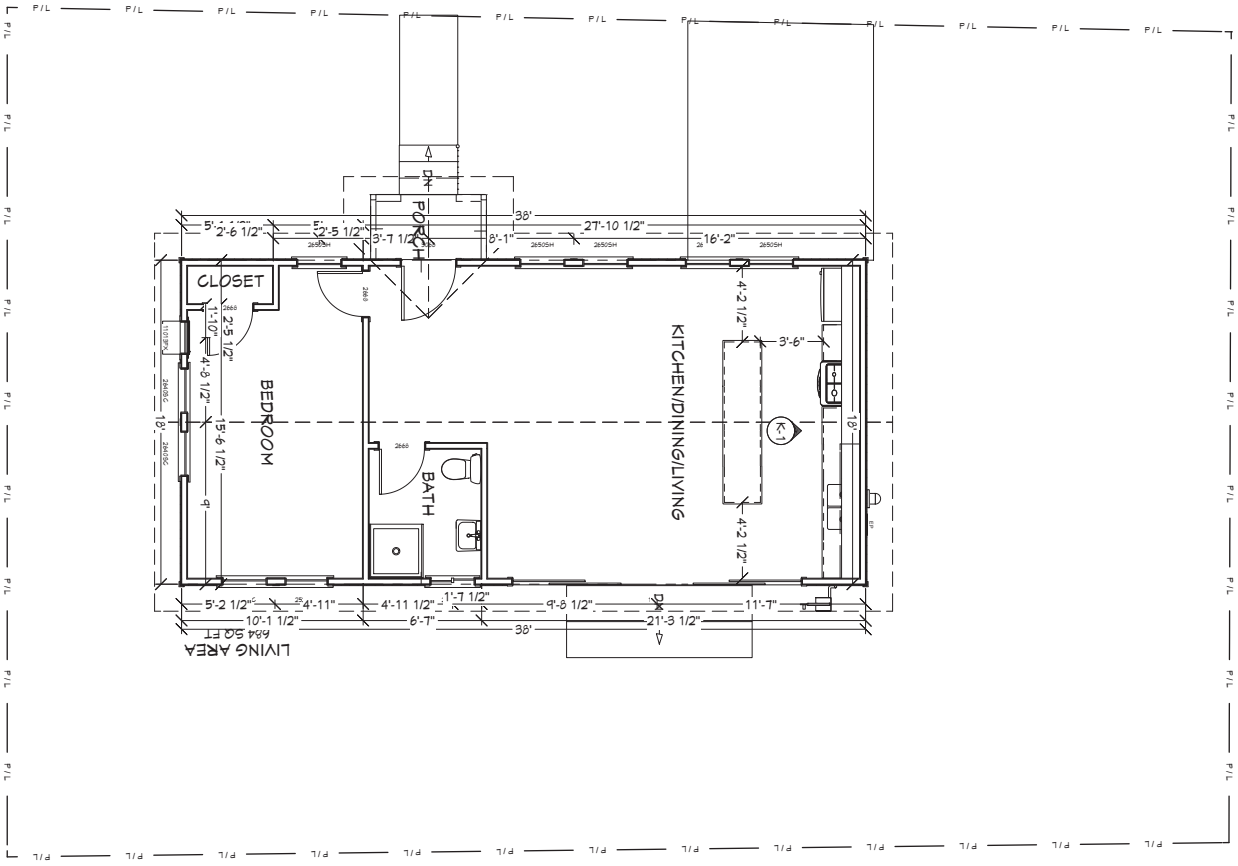

PROPOSED SITE PLAN

3/16" = 1' - 0" SCALE

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Sunergy Home Services
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Austin 78704

VERSION
6/13/18

I-3/28

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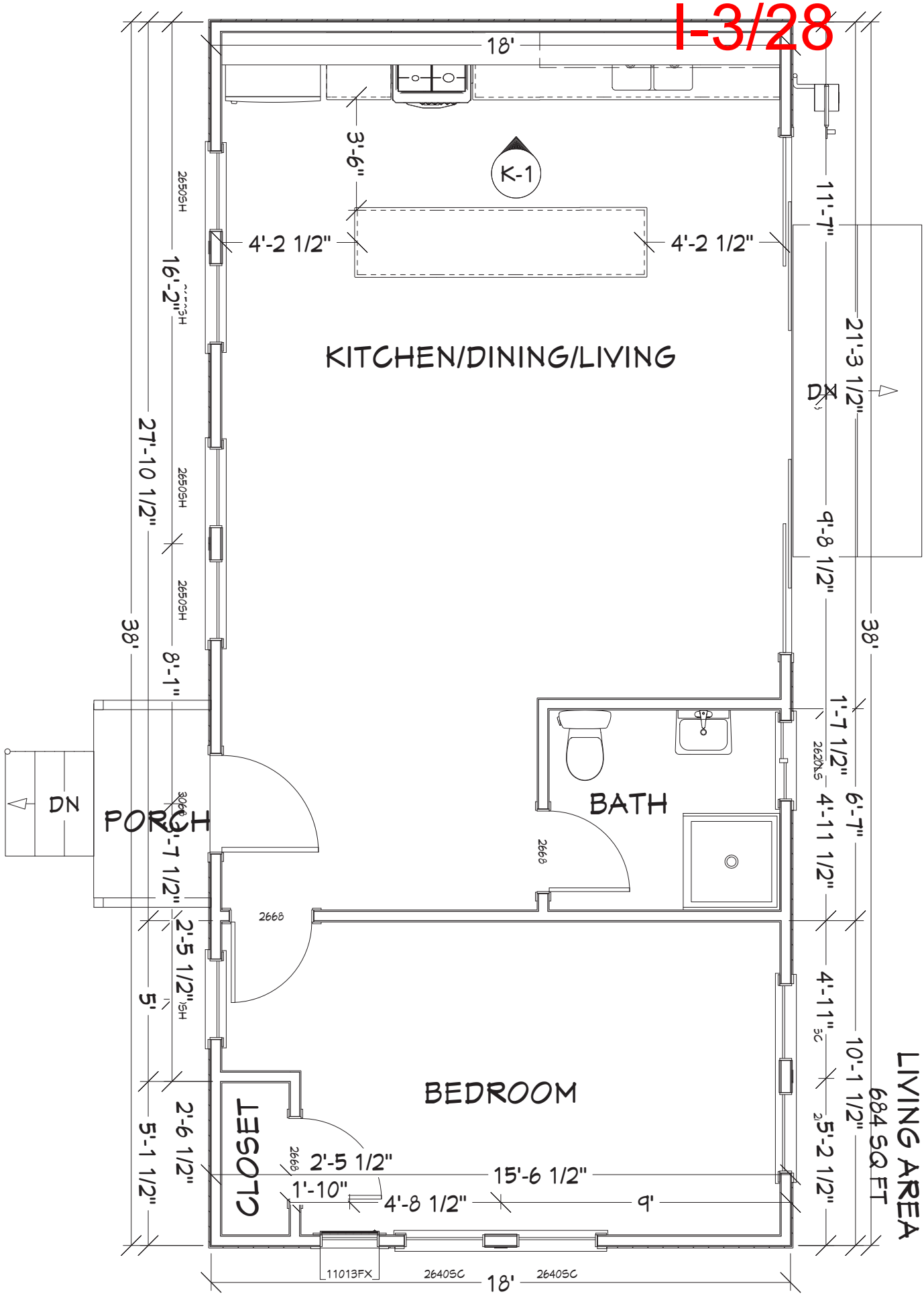
PROPOSED FLOOR PLAN

1/4" = 1' - 0" SCALE



LIVING AREA
684 SQ FT

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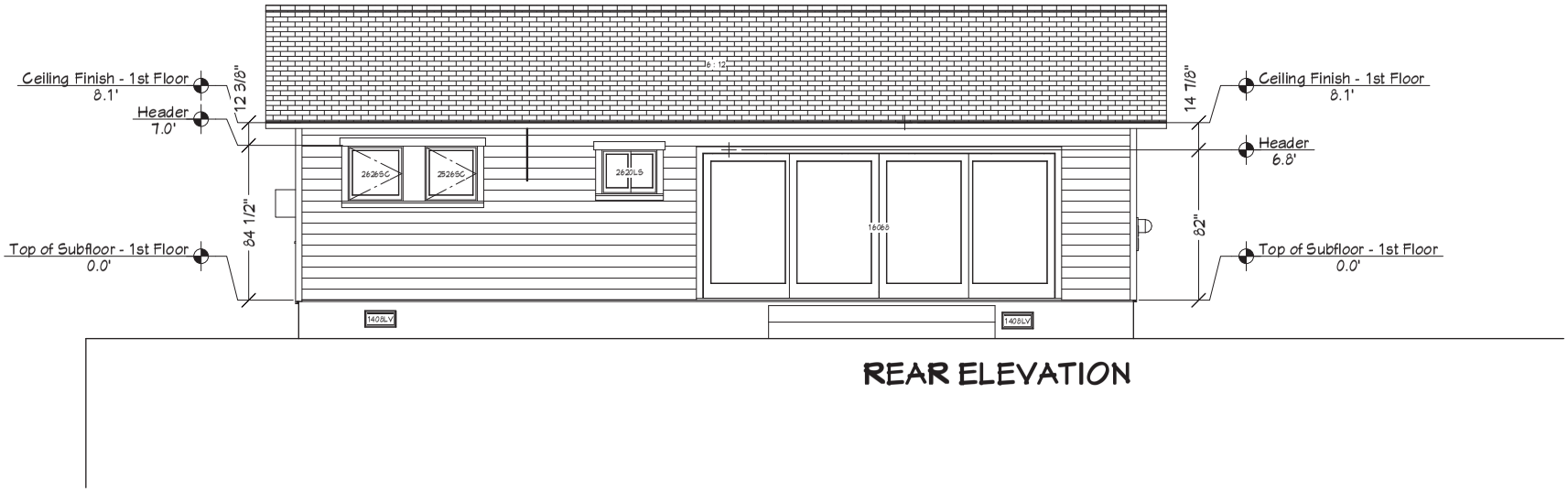
VERSION
6/13/18

I-3/29

FRONT ELEVATION



REAR ELEVATION

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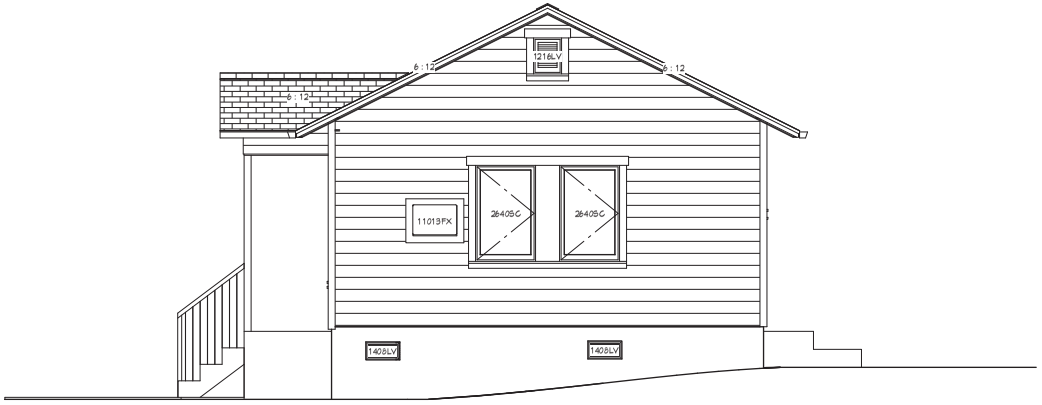
I-3/30

LEFT ELEVATION



RIGHT ELEVATION

PROPOSED ELEVATIONS

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I-3/31

CITY OF AUSTIN **Development** SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Garage Conversion and Carport/Porch Enclosure Permit Application

Property Information

Project Address: 1301 S. 5th St.

Tax Parcel ID: 0100031702

Legal Description: 68' of LOT 9, Blk 9, South Heights Addition

Zoning District:

Lot Area (sq ft): 3,155.2

Neighborhood Plan Area (if applicable):

Historic District (if applicable):

Required Reviews

Does project have a Green Building requirement? (If yes, attach signed conditional approval letter from Austin Energy Green Building.) Y (N)

Is this site within an Airport Overlay Zone? Y (N)
(If yes, approval through Aviation is required.)

Does this site have a septic system? Y (N)
(If yes, submit a copy of approved septic permit.)

Will the structure exceed 3,600 square feet total under roof? Y (N) (If yes, Fire review is required.)

Is this property within 200 feet of a hazardous pipeline? Y (N) (If yes, Fire review is required.)

Is this site located within an Erosion Hazard Zone? Y (N)
(If yes, EHZ review is required.)

Is this property within 150 feet of the 100-year floodplain? Y (N)
(Proximity to floodplain may require additional review time.)

Is there a protected sized tree on this lot or adjacent lot(s)? Y (N) (If yes, click here for more information on the tree permit process.)
Note: Include tree location(s) on plot plan.

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) (Y) N

Does this site have a Board of Adjustment (BOA) variance? Y (N) Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y (N)
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

The proposed work is to convert/enclose a (circle all that apply): (Garage) Carport Porch

Will Total Completed Building Area ≥ 5,000 sq ft? (Y) N (If yes, construction material recycling is required per LDC 25-11-39.)

Existing Use of Property: (single-family residential) duplex residential two-family residential other: _____

Proposed Use of Property: (single-family residential) duplex residential two-family residential other: _____

The garage/carport is: (attached) detached

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y (N)
Note: Removal of all or part of a structure requires a demolition permit application.

existing bedrooms: 1 | # bedrooms upon completion: 1 | # baths existing: 1 | # baths upon completion: 1

existing parking spaces (include garage/carport spaces): 3

parking spaces upon completion (include garage/carport spaces): 2

Circle if the conversion/enclosure will include: (electric) (plumbing) (mechanical (HVAC)) concrete (R.O.W.)

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Convert garage into conditioned space and relocate kitchen to it. Rewire existing outlets and lighting. Install ductless air conditioners. Install new doors and windows. Install new roof. Repair siding. Install insulation.

Job Valuation

Total Remodeled Floor Area	Amount for Primary Structure: $ 32,000	Total Job Valuation:
684 sq ft	Elec: ☒Y ☐N | Plmbg: ☒Y ☐N | Mech: ☒Y ☐N	$ 32,000
(work within existing habitable square footage)	Amount for Accessory Structure: $ _____	Note: The total job valuation should be the sum total of all valuations noted to the left. Labor and materials only, rounded to nearest dollar.
	Elec: ☐Y ☐N | Plmbg: ☐Y ☐N | Mech: ☐Y ☐N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information

Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1st Floor conditioned area	503				0	0
b) 2nd Floor conditioned area					0	0
c) 3rd Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)	181				0	0
f) Covered patio, deck, porch, and/or balcony area(s)					0	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks					0	0
Total Building Area (total a through h)	0	0	0	0	0	0
i) Pool					0	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition/New Construction					0	0

Setbacks

Are any existing structures on this site non-compliant based on a yard setback requirement? (LDC 25-2-492) Y (N)
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y (N)
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y (N)
If the front porch is proposed to be enclosed, does it encroach into the required front setback? Y (N)

Is there a Neighborhood Plan governing this property? Y (N)

If there a Neighborhood Plan, does it include the Front Porch Infill Tool? Y (N)

Parking (LDC 25-6 Appendix A & 25-6-478) # of spaces required: 2 # of spaces provided: 2

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) Y (N)

*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y (N)

Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y (N)
(If yes, drainage review is required)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

Will this conversion affect a garage, carport or porch taking an exemption found in Subchapter F? Y N

		Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1st Floor		503	181			0.00
2nd Floor						0.00
3rd Floor						0.00
Area w/ ceilings > 15'				Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)				☐ Full Porch sq ft (3.3.3 A) ☐ 200 sq ft (3.3.3 A 2)		0.00
Basement				Must follow article 3.3.3B, see note below		0.00
Attic				Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached	~~181~~	0	☐ 200 sq ft (3.3.2 B 1)		0.00
	Detached			☐ 450 sq ft (3.3.2 A 1 / 2a) ☐ 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached			☐ 450 sq ft (3.3.2 A 3) ☐ 200 sq ft (3.3.2 B 1)***		0.00
	Detached			☐ 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)						0.00
Totals		503	181			0.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) ~~0.00~~ 684

(Total Gross Floor Area ÷ Lot Area) x 100 = 21.68 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.

Contact Information			
Owner	Scott Ingalls	Applicant/Agent	Adam Stepan
Mailing Address	1301 S. 5th St. 78704	Mailing Address	3267 Bee Cave Rd. Ste 107-174
Phone	860-810-7783	Phone	512.517.0552
Email		Email	Adams@sunergytexas.com
General Contractor	Sunergy, LLC	Design Professional	Tucker Engineering, Inc.
Mailing Address	3267 Bee Cave Rd. Ste 107-174	Mailing Address	1311 Chisholm Trl. Ste 303 RR TX
Phone	512.817.0552	Phone	512-255-7477
Email	Adams@sunergytexas.com	Email	Zach@tuckerengineering.net

Authorization

AS I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.

AS I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.

AS I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. Water services, meters, and wastewater cleanouts are not permitted within or beneath driveways or sidewalks. Private plumbing appurtenances will not be located in public right-of-way or public easements. Private plumbing lines will not cross lot lines.

AS **I agree that this application is good for twelve (12) months after the date it is filed, and will expire if not approved for compliance within that time frame. If the application expires, a new submittal will be required and compliance with current code may be required.**

AS I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.

AS I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.

AS I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.

AS I also understand that if there is a septic system located on the property, I am required to complete an On-site Sewage Facility (a.k.a. an OSSF or septic system) application by contacting Austin Water at (512) 972-0050 or ossf@austintexas.gov . This initiates the septic system permitting requirement needed to proceed with the development review process.

AS Erosion and Sedimentation Controls are required per Section 25-8-181 of the LDC. **Failure to comply with this requirement may result in a Stop Work Order and/or legal action by the City of Austin including criminal charges and fines of up to $2,000.00 per day.**

AS I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

AS I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.

AS I am the record owner of this property and authorize the agent/applicant listed above to apply for and acquire a permit on my behalf.

Owner's signature: Scott Ingalls Date: Aug 27, 2018

Applicant's signature: Date: 10/17/18

Design Professional's signature: Date: 10/17/18

General Contractor's signature: Date: 10/17/18

CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Garage Conversion and Carport / Porch Enclosure Permit Application

Additional Information

Application Process

Please submit all documents single-sided.

Submission requirements:

- ☐ Completed application
- ☐ 2 large-format sets of permit exhibits (11"x17", 12"x18", 18"x24", or 24"x36")
- ☐ 1 small-format set of permit exhibits (11"x17", 8.5"x14", or 8.5"x11")
- ☐ Austin Energy Building Service Plan Application (BSPA)
  Note: The BSPA and the small-format plot plan must be stamped by AE in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
- ☐ Austin Water Utility W&WW Service Plan Verification, if water demand is to increase (e.g. addition of a bath)
  Note: The AWU form and the small-format plot plan must be stamped by AWU in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
- ☐ Completed Demolition application with all required documentation, if any portion of an exterior wall is to be removed or modified. If submitting for a total demolition for new construction, demolition application must be submitted separately.

All drawings must be to a City of Austin verifiable scale, see Residential Building Permit Customer Submittal Checklist for additional details and a list of acceptable scales.

Check for expired permits: https://www.austintexas.gov/devreview/a_queryfolder_permits.jsp
If there are expired permits associated with this property, they must be resolved. This can be done in the following ways:
Submit an Acknowledgement of Expired Permits form with this application. OR
If the work qualifies for an express permit, include it in the description of work on this application.
If the Acknowledgement of Expired Permits form is used for this project, information about what will be required to resolve the expired permit(s) can be obtained during Residential Review General Information Walk-in hours.

Submit application package during Intake hours. Please note limited hours for total demolition application submittal.
For hours and additional information go to our website at http://www.austintexas.gov/department/residential-building-review

About the Review Disciplines

Technical Review – Any permit exhibits not sealed and signed by a Texas-registered architect or certified building designer will be subject to a limited technical review. The technical review is not intended to be exhaustive of all possible building code requirements.

Floodplain Review – Any work requiring a permit on property located within 150 feet of an identified flood plain will require additional review. If review is anticipated, include supporting information such as FEMA elevation certificate form 086-0-033 and/or topographic surveys referencing NAVD88. To check your property for proximity to a flood plain visit www.ATXFloodPro.com or the City's Floodplain Development Information website.

Historic Review – There is additional review of exterior changes if property is a City Landmark or located in a Local Historic District, National Register Historic District, H or HD zoned district, or partial demolition of exterior features on property over 40 years old.

Erosion Hazard – There is a review of structural design if a property is located in the Erosion Hazard Zone, as defined by the boundaries located on the City of Austin GIS map. These zones align with locations where water flow and watershed could lead to erosion damage of the surrounding land features (e.g creeks, stream beds, …).

Fire Review – There is additional review of a project if the square footage of a structure exceeds 3,600 square feet in area. The 3,600 sq. ft. includes the total goss building area: all first, second, and additional floor areas; attached covered porches, patios, decks, and balconys; attached garages; and any other attached roofed areas. The review ensures adequate proximity to fire hydrants and sufficient water supply to the hydrants based on the total gross area of the structure. Properties within 200 feet of a hazardous pipeline may also require additional review.

Additional Information, Continued

Documentation Explanations and Definitions

Permit Exhibits:

Plot Plan – Plot Plans must be drawn to a standard scale and are to include but are not limited to the following items: property address and legal description, north arrow, drawing scale, trees within the ROW or trees equal to or greater than 19 inches in diameter located on the property and immediately adjacent to the property, property lines, building lines for both existing and proposed improvements, easements, required zoning setbacks and roof overhangs, water meter and wastewater cleanout locations, underground and overhead utility lines and appurtenances, and water and/or wastewater line size and material.

Floorplan(s) – Floorplans must be drawn to a standard scale and are to include (but are not limited to) the following items: drawing scale, room labels, new wall measurements, new ceiling heights, new door and window schedule, smoke detector* and carbon monoxide detector** specifications and locations, dimensioned locations of new plumbing fixtures, handrail/guardrail locations and room square footages. Please provide Existing and Proposed Floor plan if part of the improvements includes removing or adding any wall, window, door, plumbing fixtures, etc. Clearly differentiate between existing, demolished, and new items.

*provide smoke detector system (hardwired, interconnected, battery back-up) at each sleeping room and vicinity in accordance with IRC R314

**provide carbon monoxide detector in immediate vicinity of sleeping rooms in accordance with IRC R315.

Exterior Elevations – Elevation plans must be drawn to a standard scale are are to include front, rear, and sides of the structure. For additions, elevations are reqired of all sides of the new portion of the structure. Height deminsions are required on all elevations. If ceiling height exceeds 20' or building is multi-story include deminsions of high, low, and average elevations at grade.

Structural Drawing(s) –
Foundation plan will be needed for structures without existing foundations.

Criteria for this Application

Criteria:

This application may only be used for converting the following into interior space:

- Legally established garages
- Legally established carports
- Legally established porches

The following is NOT PERMITTED with this application:

- A change of use for the property. (If the property is currently single-family, the property must remain single-family. This permit does not allow for the creation of a duplex or any additional dwelling unit)
- An increase or modification to the buidling footprint or to the building height.

I-3/37

AUSTIN ENERGY
One Texas Center | 505 Barton Springs Road
Phone: (512) 974-2632, (512) 974-9112
Email: aebspaespa@austinenergy.com

Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only
For use in DAC only

Responsible Person for Service Request: _____

Email: Adams@Slinergytexas.com Fax: _____ Phone: 512.517.0552

○ Residential ○ Commercial ○ New Construction ○ Remodeling

Project Address: _____ –OR–

Legal Description: _____ Lot: _____ Block: _____

Who is your electrical provider? ☐ AE ☐ Other: _____

Ø Overhead Service ○ Underground Service ○ Single-Phase (1Ø) ○ Three-Phase (3Ø)

Location of meter: House

Number of existing meters on gutter: 1 (show all existing meters on riser diagram)

Expired permit #: _____

Comments: garage conversion

AE APPROVED

OCT 17 2018

290-508

MCP

Adam Stepan — 512.517.0552
BSPA Completed by (print name) — Phone

10/17/18
BSPA Completed by (signature) — Date

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

_____ Approved ☐ Yes ☐ No _____ _____
AE Representative — Date — Phone

I-3/38

Austin WATER | CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center | 505 Barton Springs Road, Austin, Texas 78704 | Phone: 512-978-4000

Water & Wastewater Service Plan Verification (WWWSPV)

All fields are required

Service Address: 1301 S. 5th St. Austin, TX 78704

Lot: 9 Block: 9 Subdivision: South Heights Addition

Dwelling Units demolished? Y☐ N☒ New Dwelling Units to be built? Y☐ N☒

Multiple Dwelling Units on same Lot? Y☐ N☒ Corner Lot? Y☒ N☐

Land Status/Re-subdivision? Y☐ N☒

Original Address: _____ Existing Use: SFR

Proposed Use: ☒ Single-Family Res. _____ sq. ft. ☐ Two-Family Res.

☐ Duplex ☐ Accessory Dwelling Unit (< 1,100 sq. ft.)

☐ Other: _____

Existing # Baths: 1 Additional # Baths: Ø Total # bathrooms the meter(s) will serve: 1

First Meter: 1 Second Meter: _____

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways

Relocation of services from proposed sidewalks or driveways shall be performed at the applicant's expense.

Signing this form verifies that the information provided is deemed accurate and complete based on available records. The customer is responsible to confirm the location and suitability of existing water and wastewater services. The customer may be responsible for costs associated to corrections due to invalid information provided.

Adam Steyon [signature] 10/17/18 512.517.0552

Applicant Name & Signature *Date* *Phone*

City of Austin Office Use Only

Water main size: _____ Service stub size: _____ Service stub change required: Y☐ N☐

Shared Service? Y☐ N☐ Meter #, size & address: _____

Existing meter #: _____ Existing meter size: _____

Existing water service line/meter location: _____

Upgrade required: Y☐ N☐ New meter(s) size: _____

Existing water or wastewater main located on the property: Y☐ N☐

WW main size: _____ WW Service line/clean-out location: _____

Secondary address needed at property: Y☐ N☐ Utility Plan required: Y☐ N☐

Instruction sheet provided to Customer: Y☐ N☐ Is the lot legally Platted? Y☐ N☐

Garage conversion – No bath added / No dwelling unit added.

AW Engineer No SPV required *Date* *Phone*

[signature] 10/17/18

AW Taps *Date* *Phone*

A stamp in this box indicates AW approves for Plan Review

APPROVED OCT 17 2018

Austin WATER | CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center | 505 Barton Springs Road, Austin, Texas 78704 | Phone: 512-978-4000

Instructions:

The intent of the WWWSPV is to ensure that prior to beginning a residential project, adequate water and wastewater services can be provided to the site and is planned for as part of the overall project and to ensure the applicant is aware of the potential costs and lead times associated with any requirement of relocation, new installation, or upgrade of services to the site.

A WWWSPV is required prior to submitting a residential plan review for the following project types:

- Construction of a new home, duplex, garage apartment, or secondary structure unless identified as a volume builder project
- Remodeling to an existing structure that increases the number of total bathrooms to more than three
- Remodeling to an existing structure to increase the number of units on the site (i.e. converting a single family home to a duplex)
- Remodeling to an existing structure/site causing change to driveway location, garage entry/approach that would impact water/wastewater service placement.

A WWWSPV is NOT required prior to submitting for a residential plan review for the following project types:

- Remodel of an existing structure that keeps the total bathroom count to three or less
- Construction of a swimming pool
- Additions to an existing residence, such as decks
- Projects that are part of a large commercial site project where utility plans must be reviewed by AW engineers

If a WWWSPV form is required, complete the verification form and provide a copy of the plot plan for the site.

The plot plan should be to a standard scale and show all existing, included water meter and wastewater cleanout locations, in order to complete verification, as well as any proposed improvements. Submit the verification form and planning materials to AW Taps for approval prior to submitting for a residential building permit.

If Residential Plan Review deems a different use for the proposed structure(s) than what was submitted in the review, this could trigger different meter requirements for the site. If this is the case, please contact the AW Taps Office, at either location below, for a new assessment:

Austin Water – Waller Creek Center
625 E. 10th St, Austin, TX 78701
Taps Office – Suite 200 - 512-972-0000
Engineering Office – Suite 300 – 512-972-0220

Development Assistance Center – One Texas Center
505 Barton Springs Rd, Austin, TX 78704
512-978-4000

Applicant must contact AW Taps office at either location above to submit an application for a meter upgrade or a new service after plan review has been submitted and before issuance of the building permit. **If a Utility Plan is required, the tap plan must be approved by Austin Water Engineering before taps can be sold.**

If the existing water meter was pulled for non-billing account during demolition, contact Customer Care at 512-494-9400 to request account set-up and same size meter reinstalled within 120 days of meter removal (with an active building permit) to avoid city reconnect charges.

WWWSPV form is only valid for the life of Plan Review permit.

Utility Criteria Manual

2.9.2 Water Meters shall be placed within the public right of way or in an easement. Water meter boxes are not allowed in sidewalks or driveways.

2.9.4 Services to lots without a water/wastewater easement will terminate at the property line with a clean-out; service to lots having a 5' x 5' water/wastewater easement will terminate within the easement. For details, see the City of Austin Standard Details. Wastewater cleanouts are not allowed in sidewalks or driveways.

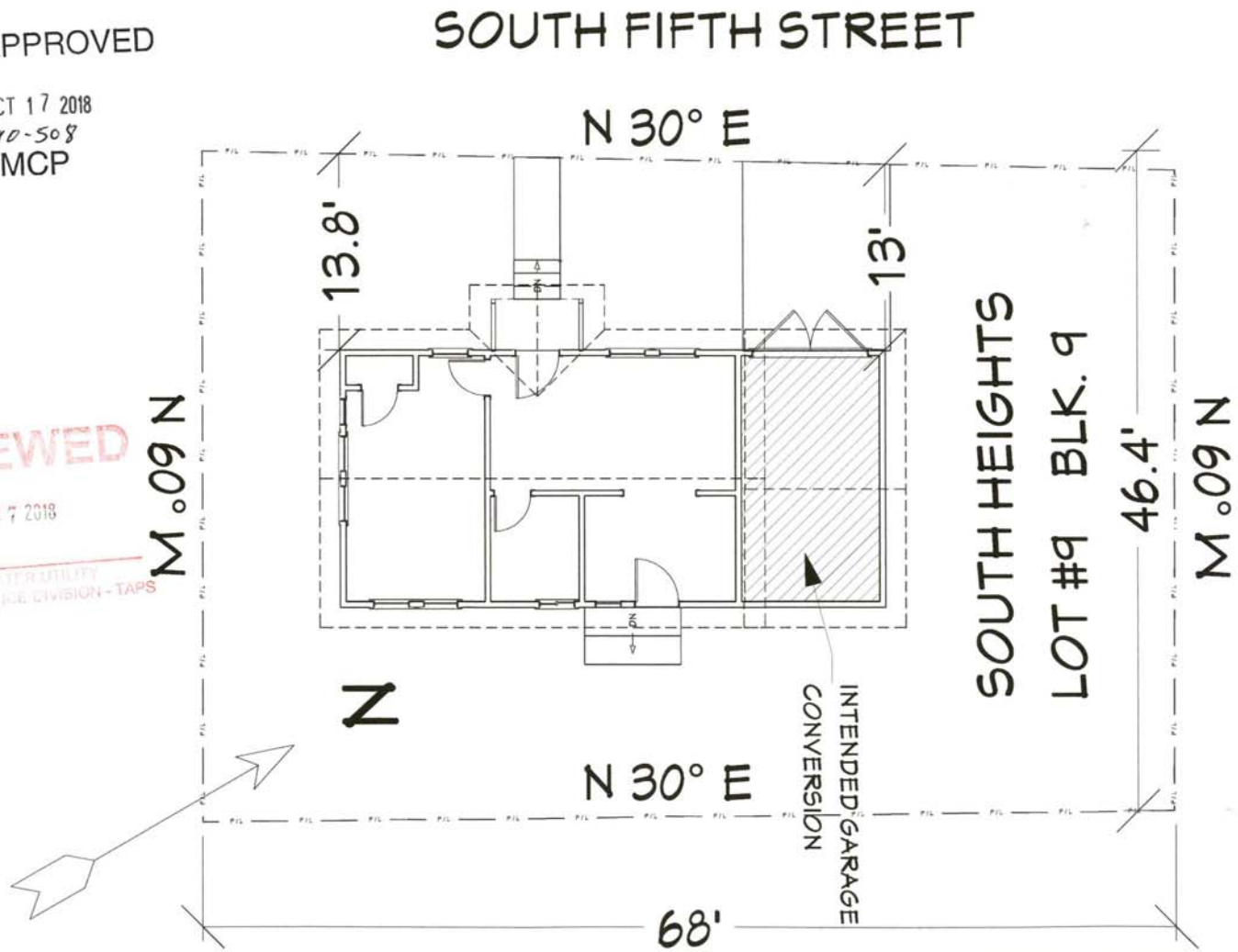
I-3/40

AE APPROVED

OCT 17 2018
290-508
MCP

REVIEWED
OCT 17 2018
CONSUMER SERVICE DIVISION - TAPS

A-1



EXISTING SITE PLAN

1" = ~~10'~~ - 0" SCALE

1/8" = 1'

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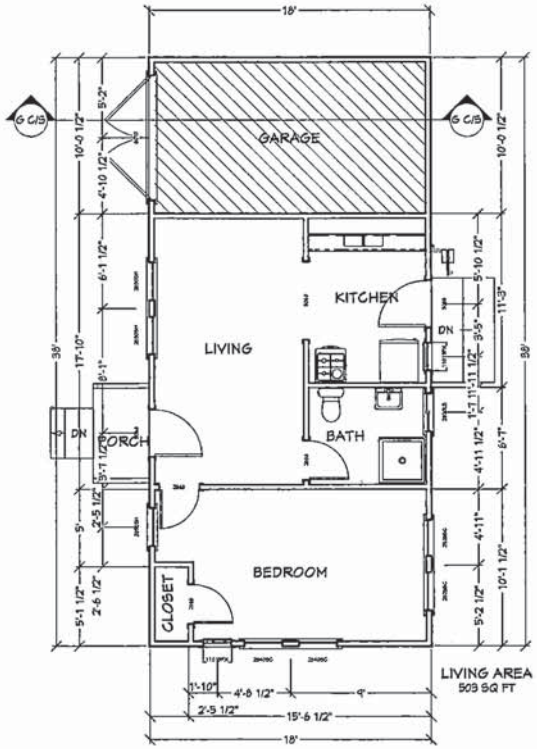
VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY Home Services 3267 Bee Cave Rd., Ste 107-174 Austin, TX 78746 (+888) 239-8548

I-3/42



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EXISTING FLOOR PLAN

1/8" = 1' - 0" SCALE

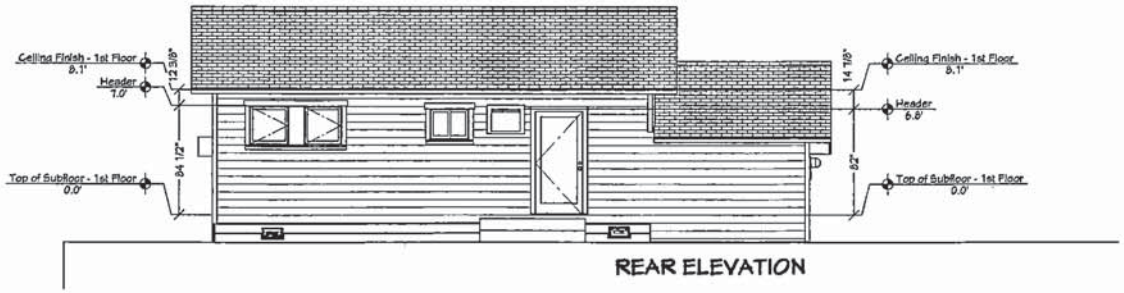
A-2

VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY Home Services
2307 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+688) 239-8540

FRONT ELEVATION



REAR ELEVATION

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EXISTING ELEVATIONS

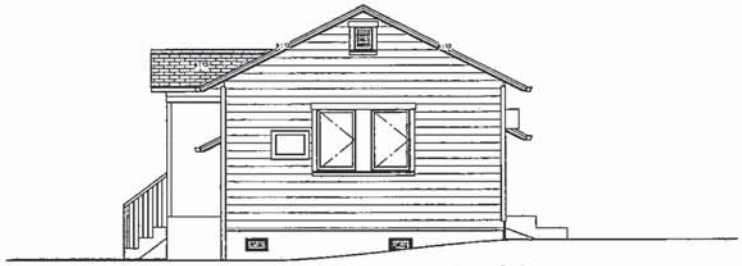
1/8" = 1' - 0" SCALE

A-3

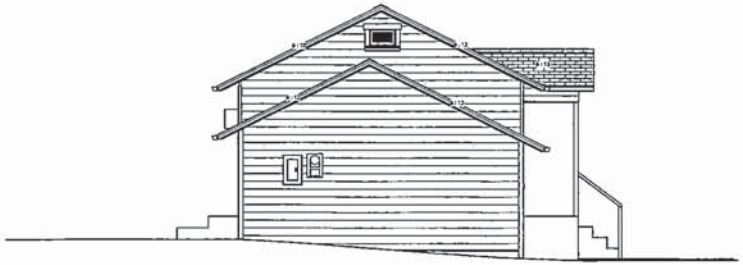
VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY Home Services
3267 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+512) 239-3545



RIGHT ELEVATION



LEFT ELEVATION

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EXISTING ELEVATIONS

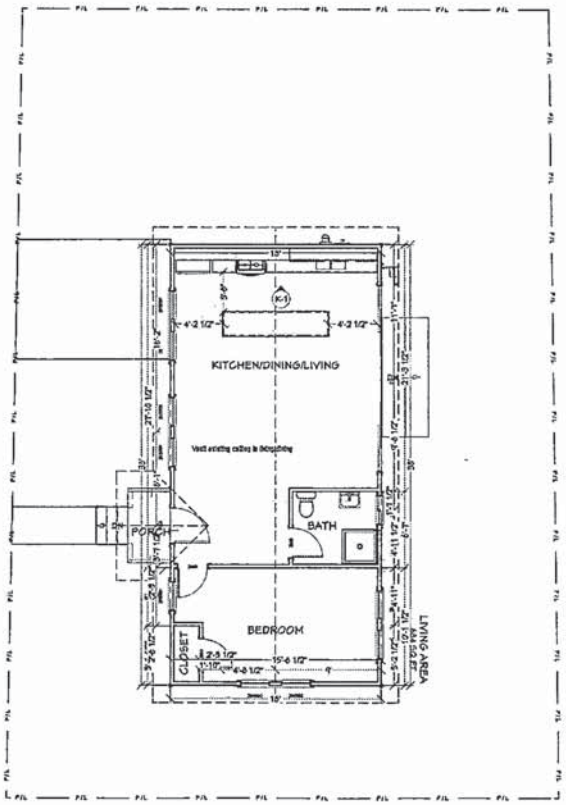
1/8" = 1' - 0" SCALE

A-4

VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY
Home Services
3267 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+888) 239-8548



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PROPOSED SITE PLAN

3/16" = 1' - 0" SCALE

VERSION
6/13/18

Synergy Home Services
1301 S 5th St.
Austin 78704

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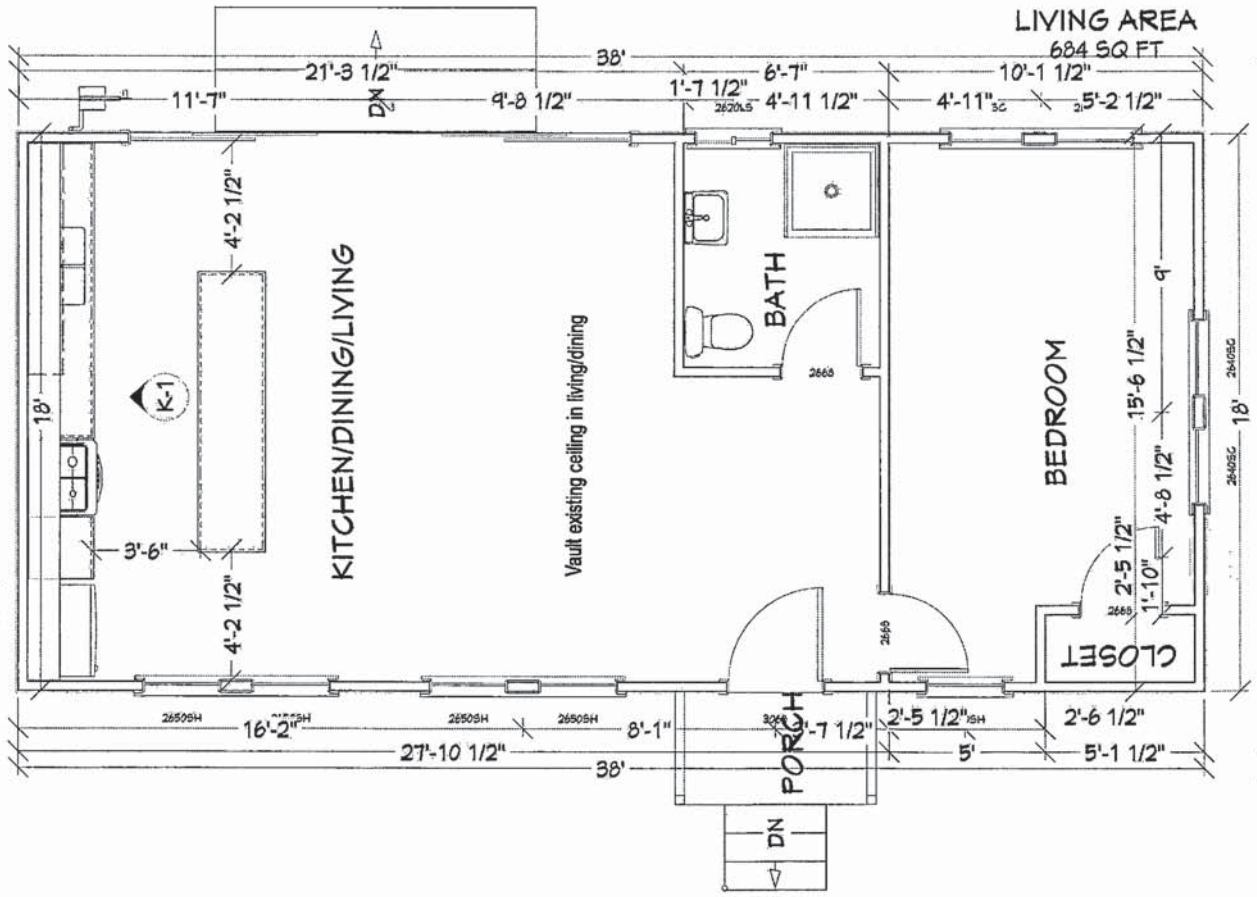
Home Services
3107 Bee Caves Rd., Ste 107-174
Austin, TX 78746 (888) 233-8346

I-3/46



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PROPOSED FLOOR PLAN

1/4" = 1' - 0" SCALE

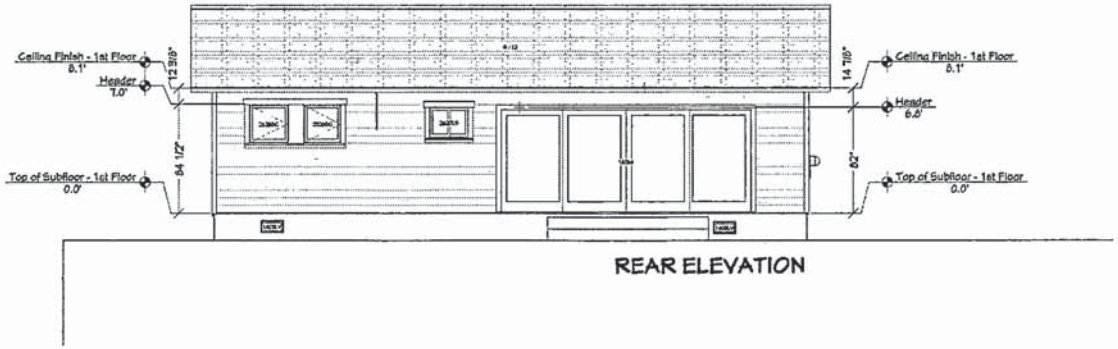
VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY
Home Services
2357 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+888) 239-8548

I-3/47

FRONT ELEVATION



REAR ELEVATION

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PROPOSED ELEVATIONS

1/8" = 1' - 0" SCALE

VERSION
6/13/18

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1301 S 5th St.
Austin 78704

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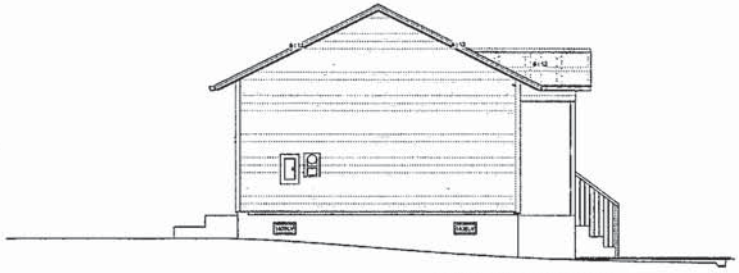
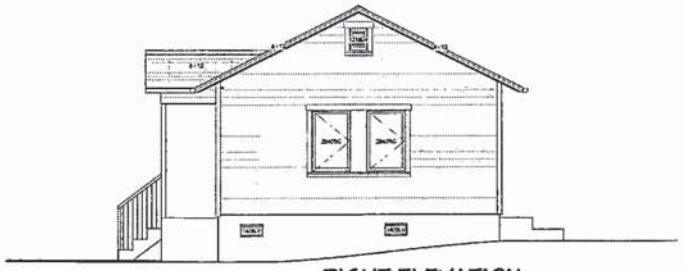
Home Services
3287 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (+980) 239-8548



LEFT ELEVATION



RIGHT ELEVATION

FORMATTED FOR LETTER SIZED PAPER

PROPOSED ELEVATIONS

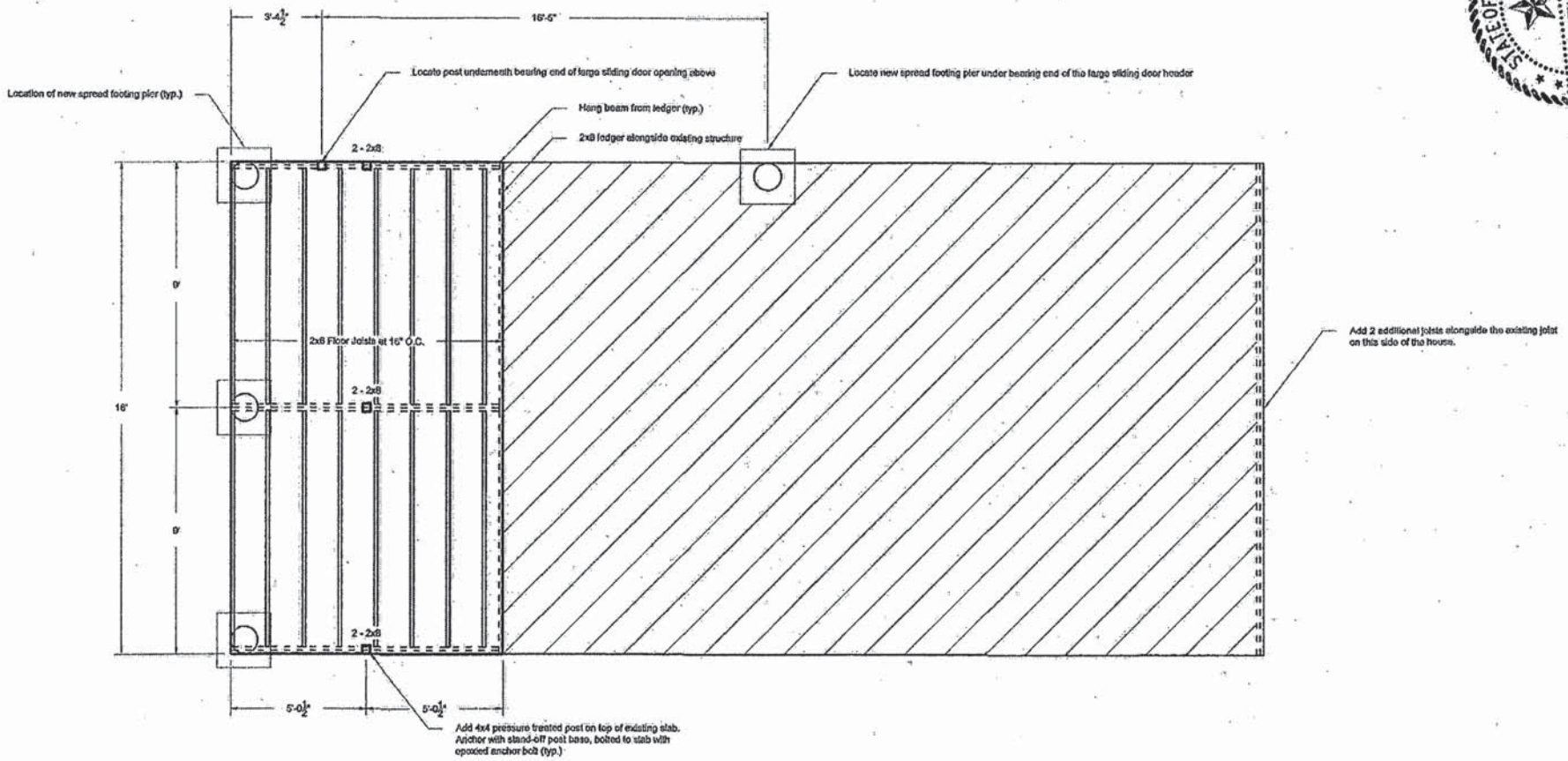
1/8" = 1' - 0" SCALE

VERSION
6/13/18

Sunergy Home Services
1301 S 5th St.
Austin 78704

SUNERGY
Home Services 3267 Bee Cave Rd., Ste 107-174
Austin, TX 78746 (488) 239-6040

I-3/49



STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED
PROFESSIONAL ENGINEER

Notes:
All dimensions are approximate. Defer to architectural plans for all dimensions. Contractor to verify dimensions in the field.

TUCKER engineering

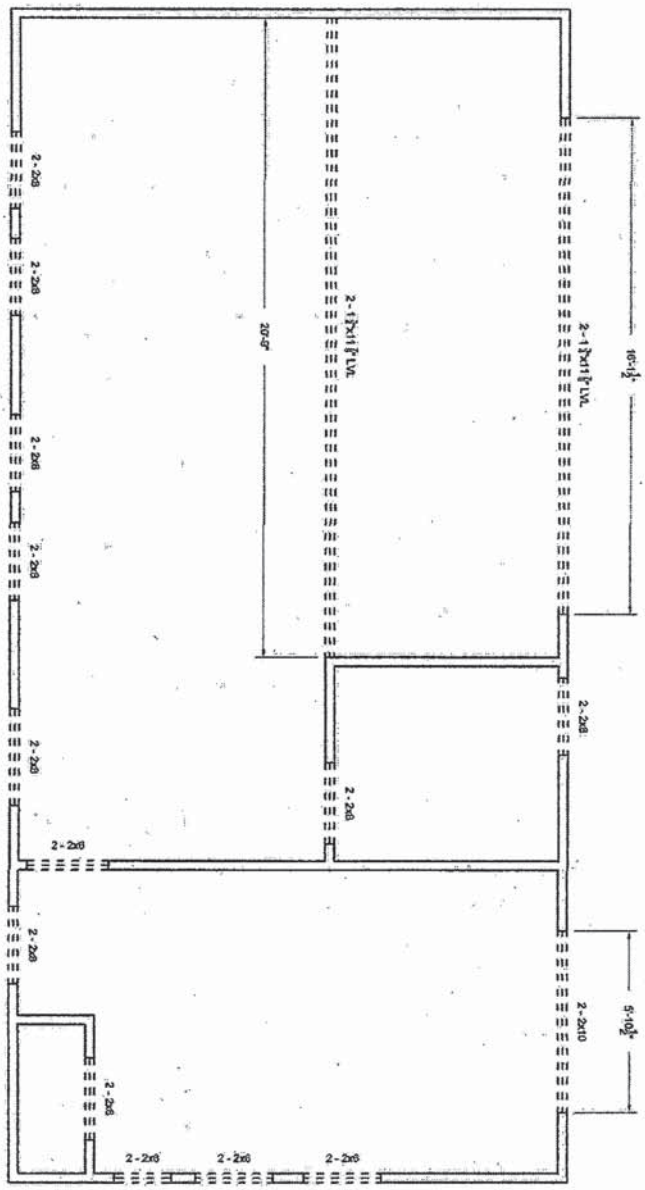
Foundation Plan

1301 South 5th Street, Austin, Texas

Scale: 1/4" = 1'-0" Page Number: 1 / 7 Date Issued: 7/20/2018 Drawn By: MG

Tucker Engineering, Inc., Business Registration F-6811 - 1311 Chisholm Trail, Suite 203, Round Rock, Texas 78681 - (512) 255-7477 - TuckerEngineering.net

Notes:
All dimensions are approximate. Defer to architectural plans for all dimensions. Contractor to verify dimensions in the field.



STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED
PROFESSIONAL ENGINEER
7/20/2018

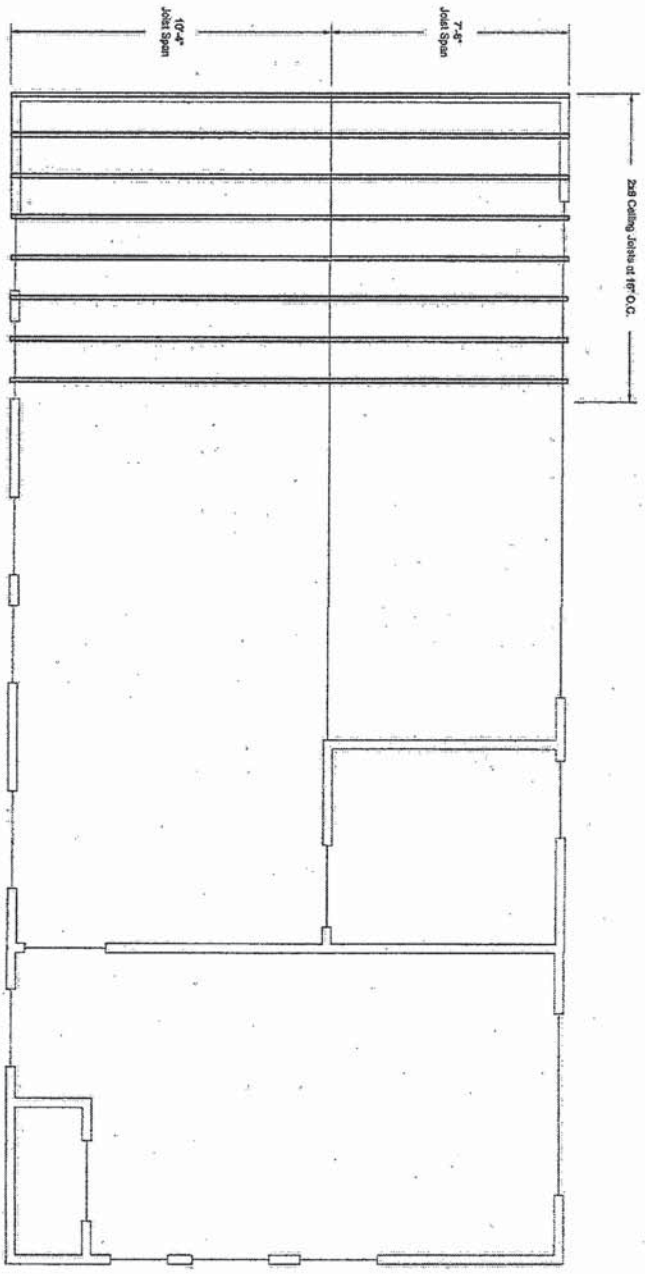
TUCKER engineering

Wall and Header Framing Plan

1301 South 5th Street, Austin, Texas

Scale: 1/4" = 1'-0" Page Number: 2 / 7 Date Issued: 7/20/2018 Drawn By: MS

Notes:
All dimensions are approximate. Defer to architectural plans for all dimensions. Contractor to verify dimensions in the field.



STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED
PROFESSIONAL ENGINEER
7/20/2015

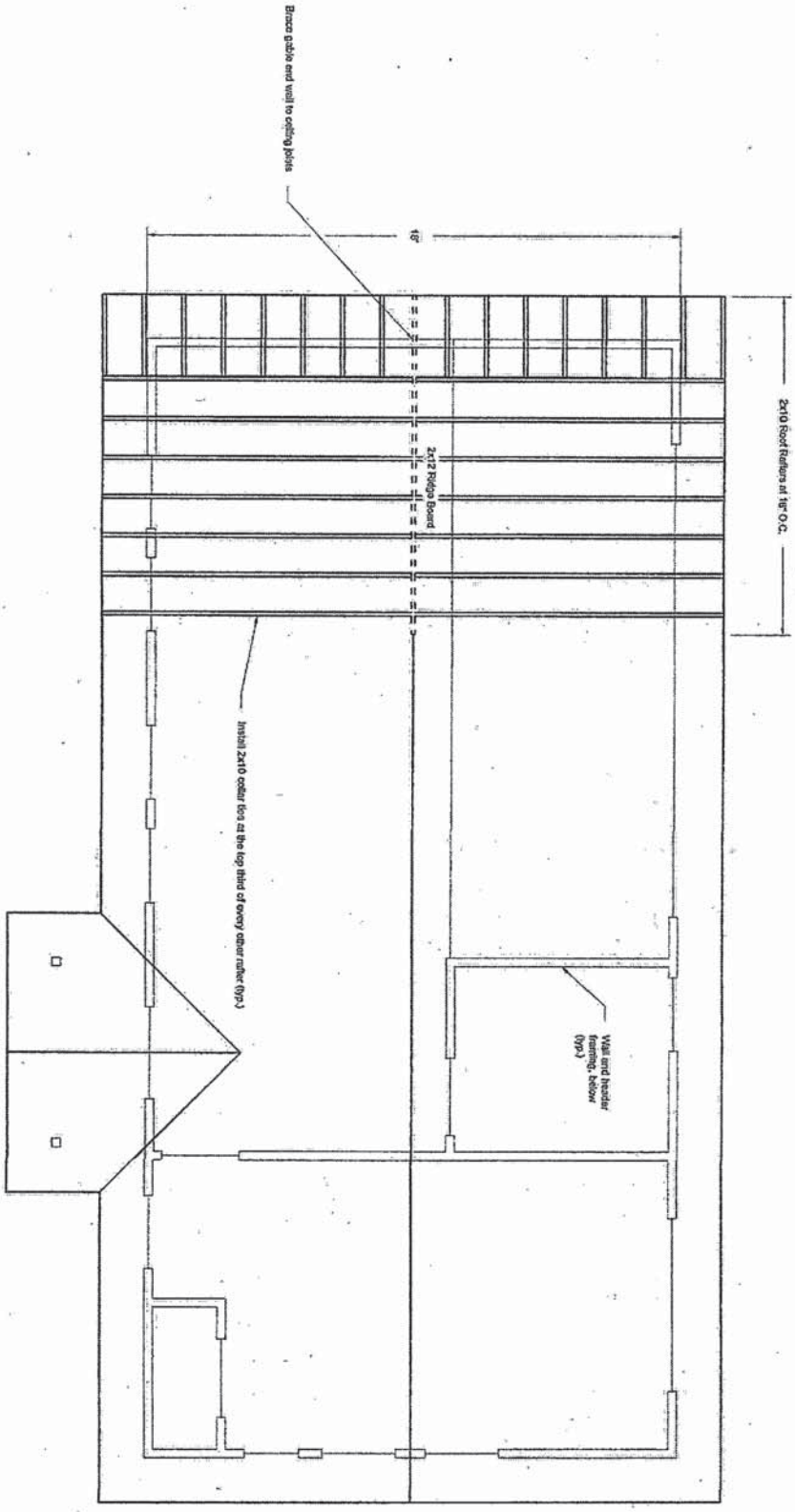
TUCKER engineering

Ceiling Framing Plan

1301 South 5th Street, Austin, Texas

Scale: 1/4" = 1'-0" Page Number: 3 / 7 Date Issued: 7/20/2015 Drawn By: MS

Notes:
All dimensions are approximate. Refer to architectural plans for all dimensions. Contractor to verify dimensions in the field.



STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED
PROFESSIONAL ENGINEER
7/20/2018

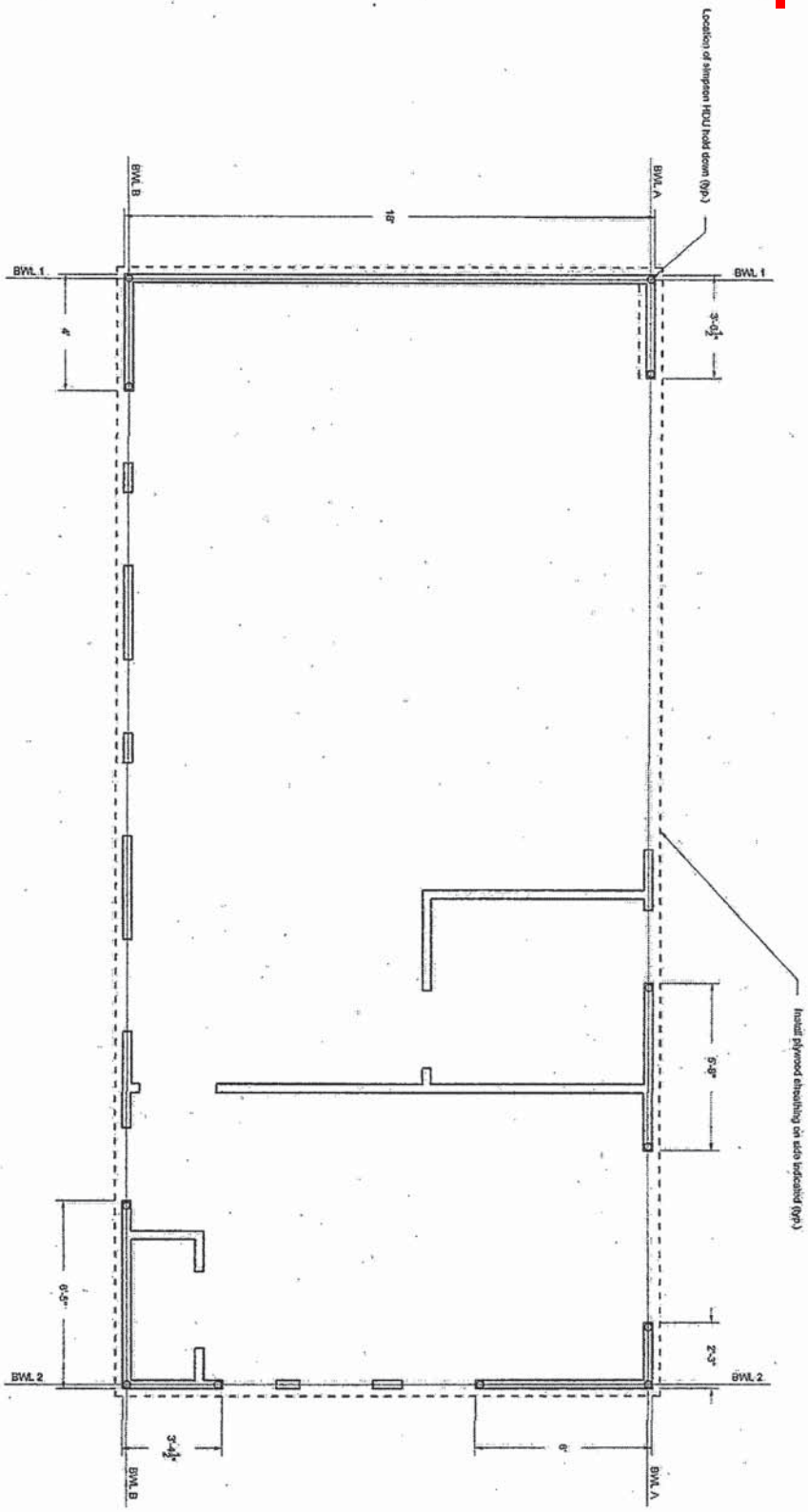
TUCKER engineering

Roof Framing Plan

1301 South 5th Street, Austin, Texas

Scale: 1/4" = 1'-0" Page Number: 4 / 7 Date Issued: 7/20/2018 Drawn By: MS

Notes:
All dimensions are approximate. Refer to architectural plans for all dimensions. Contractor to verify dimensions in the field.



STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED
PROFESSIONAL ENGINEER
7/20/2018

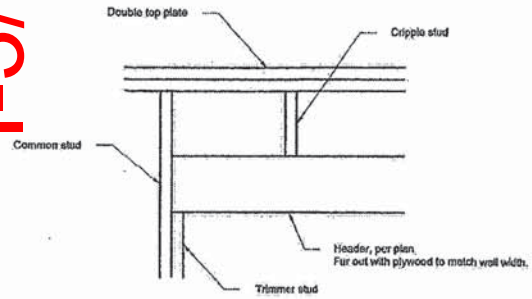
TUCKER engineering

Braced Wall Plan

1301 South 5th Street, Austin, Texas

Scale: 1/4" = 1'-0" Page Number: 5 / 7 Date Issued: 7/20/2018 Drawn By: MS

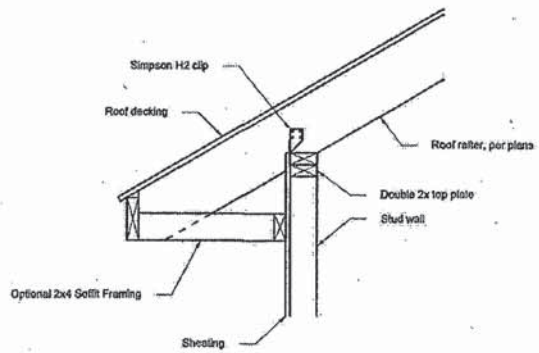
I-3/54



6.1 Header Detail

Scale: not to scale

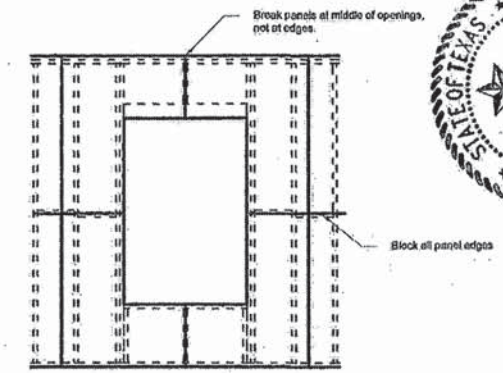
Notes:



6.2 Roof and Soffit Detail

Scale: not to scale

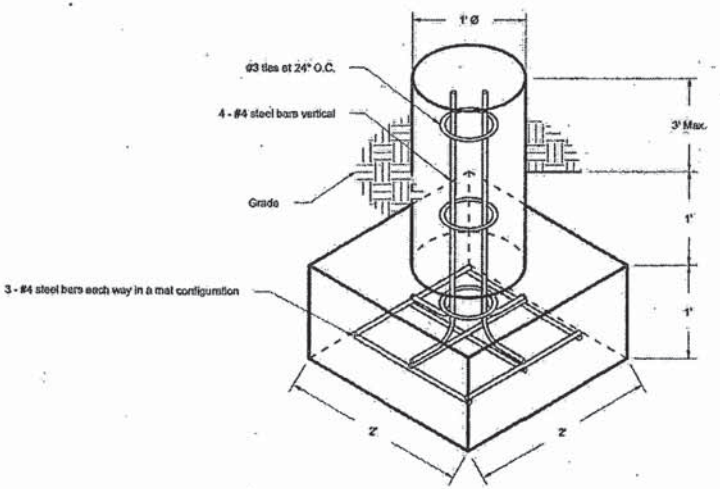
Notes:



6.3 Structural Sheathing Detail

Scale: not to scale

Notes:
Use 1/2" exterior grade plywood or OSB. Nail to studs, blocking and plates with 6d nails at 6" O.C. around the edges and 12" O.C. throughout the field.



6.4 Spread Footing Pier Detail

Scale: 3/4" = 1'-0"

Notes:
These piers on clay soil may experience movement resulting in sticking doors and unlevel floors. Periodic adjustments may be required.

STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED PROFESSIONAL ENGINEER

TUCKER engineering

Structural Details

1301 South 5th Street, Austin, Texas

Scale: N/A Page Number: 6 / 7 Date Issued: 7/20/2018 Drawn By: MS

Tucker Engineering, Inc., Business Registration F-8811 - 1311 Chisholm Trail, Suite 300, Round Rock, Texas 78681 - (512) 255-7477 - TuckerEngineering.net

GENERAL:

1. Dimensions refer to rough surfaces. The contractor must verify all dimensions prior to start of construction. The contractor shall be notified of any discrepancies or inconsistencies.

2. All drawings are considered part of the contract documents. The contractor shall be responsible for review and coordination of all drawings and specifications prior to the start of construction. Any discrepancies that occur shall be brought to the attention of the engineer prior to the start of construction so that clarification can be issued. Any work in conflict with the contract documents or any code requirements shall be corrected by the contractor at his own expense and at no expense to the owner or structural engineer.

3. All work shall conform to the minimum standards of the [illegible] as well as any other regulating authority over any portion of the work including those additional codes and standards listed in the structural notes and specifications.

4. The engineer shall not control and shall not be responsible for construction means, methods, techniques, sequences or procedures; for safety precautions and programs in connection with the work; for acts or omissions of the contractor, subcontractor or for any persons performing the work; or for the failure of any of them to carry out the work in accordance with contract documents.

5. Site observations by field representatives of the engineer are solely for the purpose of determining if the work of the contractor is proceeding in accordance with the structural contract drawings. This limited site observation should not be construed as exhaustive or continuous to check the quality or quantity of the work, but rather an effort to guard the owner against defects or deficiencies in the work of the contractor.

6. All structures require periodic maintenance to extend life span and to insure structural integrity from exposure to the environment. A planned program of maintenance shall be established by the building owner. This program shall include items such as painting of structural steel, protective coating for concrete, sealants, caulked joints, expansion joints, control joints, spall and cracks in concrete.

DESIGN DATA

GENERAL BUILDING CODE
The contract documents are based on the requirements of THE 2015 INTERNATIONAL RESIDENTIAL CODE

Ground snow load:	5psf
Wind speed (3 second gust)	115mph
Risk Category:	II
Exposure category:	C
Seismic Design Category:	A

Live Loads:

exterior balconies:	60psf
decks:	40
passenger vehicle garages:	50
attics without storage:	10
attics with storage:	20
rooms other:	40
sleeping rooms:	30
guardrails and handrails	200 lbs

Roof Live Load:

roof slope	tributary area 0-200	201-600	601+
4:12	20 psf	16	12
4:12 to <12:12	16	14	12
12:12 and up	12	12	12

Dead Loads:

roofing:	metal (2psf)
flooring:	ceramic tile 3/4" thick (10psf) hardwood 7/8" thick (4psf) carpet and pad (2psf)

Materials indicated above were assumed in design. Prior to construction, builder must compare to actual materials and weights and contact engineer if differences are found. Actual dead loads must not exceed the loads indicated.

DEFLECTIONS:

The building movement specified below is anticipated and should be considered by the contractor in the performance of the work.

rafters:	L/180
floors/ceilings:	L/360
decks:	L/240

STRUCTURAL OBSERVATION:

1. The structural engineer of record, or his designate, shall provide structural observation of the structural system for general conformance to the approved plans and specifications at significant construction stages and at completion of the structural system as noted elsewhere in the contract documents.

2. The contractor shall notify the engineer a minimum of 72 hours prior to the date the observation is required in order to ensure availability of an inspector.

3. The following items require structural observation:
- Foundation reinforcing and pre-pour setup
- Framing prior to installation of gypsum board or wall covering.

WOOD FRAMING:

GENERAL:

1. Lumber: All materials and workmanship shall conform with the requirements of the latest "National Design Specifications for Stress-Grade Lumber and its Fastenings" by National Forest Products Association.

2. All lumber shall be Southern Pine (S4S) conforming to the standard grading and dressing rules of the Southern Pine Inspection Bureau.

3. Unless indicated otherwise, the minimum grade of structural members shall be as follows:

studs	no. 3
other lumber	no. 2

4. Microlam (LVL) laminated veneer lumber: LVL shall be manufactured by and designed in accordance with ICBO ES ER-4979.

5. Plywood or OSB: Sheathing/single floor shall be exterior grade bear the following APA span rating:

15/32" roof sheathing:	32/16
11/8" single floor t&g:	48 oc
15/32" wall sheathing:	32/16

6. All floor sheathing shall be glued to the joists. The field-glued system shall comply with the recommendations of the American Plywood Association.

7. At roofs, unsupported plywood panel end and side edges shall be backed with 2x4 flat blocking or Simpson panel sheathing clips.

8. Where connectors and fasteners contact treated lumber, use stainless steel or hot-dipped galvanized connectors and and fasteners.

9. Columns and beams which are exposed to the elements or part of a pier-and-beam foundation or floor system shall be pressure treated.

STUD WALL NOTES:

1. See architectural drawings for exact plate height.

2. Compare architect's plate heights and wall sizes to the table below for acceptable maximum. Contact engineer if discrepancies are found.

supporting roof only	
2x4 @ 24" o.c.	10'-0"
2x4 @ 16" o.c.	12'-0"
2x6 @ 24" o.c.	16'-0"
2x6 @ 16" o.c.	18'-0"

supporting one floor and a roof	
2x4 @ 24" o.c.	not permitted
2x4 @ 16" o.c.	10'-0"
2x6 @ 24" o.c.	14'-0"
2x6 @ 16" o.c.	18'-0"

3. Bottom plate: Treated 2x same width as wall studs. Anchor with 1/2" diameter anchor bolt embedded 7" and spaced maximum 6'-0" o.c.. Locate anchors within 12" of each end of each plate section.

4. Attach interior walls to slab with PAFs spaced at 12" o.c. with two pins 6" and 10" from each end of each plate.

5. Where joists, trusses or rafters are spaced more than 16" o.c. and bearing studs below are spaced at 24" members must bear within 5" of studs beneath.

6. Drilling and notching - Studs:
a. In exterior walls or bearing partitions, notch a maximum of 25%.

b. In nonbearing partitions, notch a maximum of 40%.

c. Any stud, bore/drill no closer than 5/8" to edge of stud and not in the same section as a cut or notch and a maximum diameter of 40%.

d. Studs may be bored to 60% of stud width provided the stud is doubled and no more than two successive studs are bored. With engineer's prior approval Simpson HSS/SS stud shoes may be used in specific cases of notches or bores exceeding those maximums.

7. Drilling and notching - Top plate: When piping in a wall necessitates the cutting of a top plate by more than 50% its width, use a Simpson RPS strap tie at each plate with six 16d nails each side of notch.

WALL BRACING NOTES:

1. Braced wall lines: Using braced wall panel construction in accordance with the prescriptive methods of IRC, brace walls as follows:

a. Exterior walls: Continuous structural panel sheathing (thickness as noted above).Including above and below openings, shall be used on the outside face of all exterior walls (blocking of edges not required), and any braced wall lines that include an exterior wall are considered adequately braced.

b. Interior walls: 1x4 let-in braces sloped between 45 and 60 degrees from horizontal and notched into top and bottom plates and intervening studs and attached with two 8d nails at each plate/stud or Simpson WB wall bracing installed in accordance with manuf. specs. or 1/2" thickness gypsum board minimum 48" wide attached to studs w/ 6d nails @ 7"o.c.

2. Bracing locations: As describe below, where architectural layout will not permit the application of these prescriptive methods, use engineered shear walls as indicated and detailed on these drawings. Contractor must review drawings prior to construction and contact engineer if discrepancies are found.

a. For one story or top story of two or three: Locate at each end and at least every 25 feet on center but not less than 10% of braced wall line.

b. First story of two story,second story of three story: Locate at each end and at least every 25 feet on center but not less than 25% of braced wall line.

3. Locate braced wall panels within 12'-0" of the end of each braced wall line.

4. Out-of-plane offsets up to 4'-0" are permitted in braced wall lines.

5. Alternate braced wall panel: In one and two story houses, a panel constructed in accordance with IRC R602.10.6 can be considered a braced panel.

ROOF AND CEILING STRUCTURE NOTES:

1. Where shown on plan, provide purlin same size as rafters and braced with (2) 2x4 braces at 48"o.c.. Slope braces between 45 degrees and vertical and lap onto rafters and nail.

2. Ridge board braced as shown on plan with (2) 2x4 braces sloped between 60 degrees and vertical.

3. Brace roof only as shown on plan. Contractor must compare resulting rafter spans to allowable span chart and contact engineer for approval of any necessary additional braces.

4. Unless noted otherwise, for ridges, hips and valleys, use one mill size larger than the common rafters it supports. Center any splices on an approved brace point.

5. At point-of-support for braces, adequately block walls and beams to prevent rotation and horizontal movement.

6. Compare ceiling joists sizes shown on plan with allowable span table below and contact engineer if discrepancies are found.

Maximum Span for #2 Southern Pine Ceiling Joists:

spacing	24"o.c.	16"o.c.	12"o.c.
2x6 :	11'-0"	13'-6"	15'-6"
2x8 :	14'-2"	17'-5"	20'-1"
2x10 :	16'-11"	20'-9"	23'-11"
2x12 :	19'-10"	24'-4"	28'-1"

from International Residential Code Table R802.4.2 with 20 psf live load, 10 psf dead load, L/240 allowable deflection

7. Maximum Span for #2 Southern Pine Rafters with Light Roof Covering and Not Supporting Ceiling:

spacing	24"o.c.	16"o.c.	12"o.c.
2x6 :	12'-3"	14'-1"	15'-6"
2x8 :	15'-10"	18'-6"	20'-5"
2x10 :	18'-11"	23'-2"	24'-0"
2x12 :	22'-2"	24'-0"	24'-0"

from International Residential Code Table R802.5.1(1) with 20 psf live load, 10 psf dead load, L/180 allowable deflection

8. Unless noted otherwise, install Simpson H2.5 hurricane ties at every rafter.

REINFORCED CONCRETE:

STANDARD SPECIFICATIONS AND CODES:

Structural Concrete Building Code Requirements for Reinforced Concrete, ACI 318-02.

MATERIALS:

1. Concrete shall meet the following requirements:

28 day strength:	3000 psi
aggregate type:	C33
max. aggregate size:	11/2"

2. Reinforcing steel shall meet the following requirements:

#3 to #18: ASTM A615 grade 60

CONCRETE TESTING

Furnish mix design for all classes of concrete. Retain a qualified testing laboratory to make concrete cylinders and perform compressive tests. A minimum of three cylinders shall be taken per 50 cubic yards of concrete with one test at 7 days and two at 28 days.

REINFORCING STEEL COVERAGE:

For layer nearest surface unless specified otherwise on drawings.

1. Concrete surfaces cast against and permanently in contact with earth:
#3 to #18 bars: 3"

2. Concrete surfaces exposed to earth or weather:

#3 to #5 bars:	1.5"
#6 to #18 bars:	2"

3. Concrete surfaces not exposed to weather or in contact with earth:

#3 to #11 bars in slabs & walls:	1"
#3 to #18 bars in beams & columns	1.5"

DETAILS:

1. Contractor shall submit proposed locations for construction joints not shown on drawings for review by the Architect and Structural Engineer.

2. Embedded conduits, pipes, and sleeves shall meet the requirements of ACI 318-02, Section 6.3.

3. Continuous reinforcing bars shall have a minimum lap of 30 diameters or 24 inches; whichever is greater.

CONCRETE CRACK CONTROL:

1. Install crack control joints @ 15'-0" o.c.e.w. If crack control is not a consideration as determined by both the builder and the owner, then the joints may be eliminated.

2. Create crack control joints by tooling or sawcutting to a depth of one third the slab thickness. Tool the base of all drope-in-slab to function as control joints.

FOUNDATION:

The foundation design was based on a limited geotechnical investigation. Soils were probed and field inspected to a depth of 3' or refusal. There may be deeper sub-surface conditions that are unknown at the time of design and would require a more thorough geotechnical investigation.

SOILS:

The central Texas area has clay soil, which shrinks and swells with variations in the moisture content. This phenomenon can cause foundations to move and cracks to occur. The homeowner must maintain a constant moisture content in the soil around the foundation in order to reduce foundation movement in the future.

STRUCTURAL STEEL:

STANDARD SPECIFICATIONS AND CODES:

Structural Steel design, fabrication and construction governed by AISC Specification for Structural Steel Buildings; Specification for Structural Joints using ASTM A325 or A490 bolts; and Code of Standard Practice for Steel Buildings and Bridges.

MATERIALS:

1. All hot rolled structural steel plates, shapes and bars shall be new steel conforming to ASTM A6-98A.

2. Unless noted otherwise on these drawings, structural steel shall be as follows:

W-shapes:	ASTM A992
C-shapes:	ASTM A36
L-shapes:	ASTM A36
HSS-shapes	ASTM A500, Fy = 46ksi

3. All connection material including bearing plates, gusset plates, stiffener plates, angles, etc. : ASTM A36 (unless higher grade is required by strength)

CONNECTIONS:

1. See typical details on drawings.

STRUCTURAL BOLTS AND THREADED FASTENERS:

1. Unless noted otherwise, all bolts in structural connections shall conform to ASTM A325 type 1.

2. Threaded rod: ASTM 572 grade 50

3. Pins: ASTM A36

WELDING:

1. Welding shall conform to the American Welding Society Standard D1.1.

2. Unless noted otherwise, electrodes for welding shall conform to E70XX (SMAW)

GROUT:

1. Grout: non-metallic, non-shrink grout with a minimum strength of 6000psi.

HEADED CONCRETE ANCHORS:

1. Headed concrete anchors shall be nelson headed concrete anchors (or approved equal), and shall conform to ASTM A108, grades C-1010 through C-1020.

2. Anchors shall be automatically end welded with suitable stud welding equipment in the shop or in the field. Welding shall be in accordance with the recommendations of the nelson stud welding company.

STATE OF TEXAS
MATTHEW SOLUM
129777
LICENSED PROFESSIONAL ENGINEER
7/20/2016

Structural Notes
1301 South 5th Street, Austin, Texas

Scale: N/A | Page Number: 7 / 7 | Date Issued: 7/20/2016 | Drawn By: MS

TUCKER engineering

tucker Engineering, Inc., Business Registration F-8611 - 1311 Chisholm Trail, Suite 300, Round Rock, Texas 78681 - (512) 255-7477 - TuckerEngineering.net

THE STATE OF TEXAS
THE COUNTY OF TRAVIS
KNOW ALL MEN BY THESE PRESENTS:

That we, Elizabeth J. Carey and Scott Ingalls, owners of a portion of Lot 9, Block 9, South Heights, a subdivision in Travis County, Texas, according to the map or plat thereof recorded in Volume 1 Page 112 of the Plat Records of Travis County, Texas, as conveyed to us by General Warranty Deed recorded in Document Number 2018103344 of the Official Public Records of Travis County, Texas, said subdivision having been approved for resubdivision pursuant to the public notification and hearing provision of Chapter 212.014, of the Local Government Code, do hereby resubdivide a portion of Lot 9 in accordance with the attached map or plat shown hereon to be known as

RESUBDIVISION OF A PART OF
LOT 9, BLOCK 9 SOUTH HEIGHTS

and do hereby dedicate to the Public the use of all streets and easements shown hereon, subject to any easements and/or restrictions heretofore granted, and not released.

WITNESS MY HAND this the _____day of _____, A.D. 20 _____.

_____
Elizabeth J. Carey
1301 S. 5th Street
Austin, Texas 78704

WITNESS MY HAND this the _____day of _____, A.D. 20 _____.

_____
Scott Ingalls
1301 S. 5th Street
Austin, Texas 78704

THE COUNTY OF TRAVIS
THE STATE OF TEXAS

I, the undersigned authority, on this the_____day of_____, A.D., 20____, did personally appear Elizabeth J. Carey, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and she acknowledged before me that she executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC _____

Printed Name _____

Commission Expires _____

THE COUNTY OF TRAVIS
THE STATE OF TEXAS

I, the undersigned authority, on this the_____day of_____, A.D., 20____, did personally appear Scott Ingalls, known to me to be the person whose name is subscribed to the foregoing instrument of writing, and he acknowledged before me that he executed the same for the purposes and considerations therein expressed.

NOTARY PUBLIC _____

Printed Name _____

Commission Expires _____

THE STATE OF TEXAS
THE COUNTY OF TRAVIS

I, Dana DeBeauvoir, Clerk of Travis County, Texas, do hereby certify that the foregoing Instrument of Writing and its Certificate of Authentication was filed for record in my office on the _____day of_____, 20 ___A.D., at_____ o'clock_____M. and duly recorded on the_____ day of_____ 20 ___, A.D., at ___ o'clock _____M., Plat Records of said County and State in Document No._____
Official Public Records of Travis County, Texas.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK OF SAID COUNTY this the _____ day of _____ 20 ___, A.D

DANA DEBEAUVOIR, COUNTY CLERK TRAVIS COUNTY, TEXAS

BY:_____
Deputy

THE STATE OF TEXAS
THE COUNTY OF TRAVIS

I, Holt Carson, am authorized under the laws of the State of Texas to practice the profession of surveying and hereby certify that this plat complies with Title 25 of the Austin City Code, and is true and correct and was prepared from an actual survey of the property made by me or under my supervision on the ground.

_____ 3-15-2019
Date

Holt Carson
Registered Professional Land Surveyor No. 5166
HOLT CARSON, INC.
1904 Fortview Road Austin, Texas 78704
(512)-442-0990

STATE OF TEXAS REGISTERED HOLT CARSON 5166 PROFESSIONAL LAND SURVEYOR

THE STATE OF TEXAS ×
THE COUNTY OF TRAVIS ×

This is to certify that I am authorized to practice the profession of engineering in the State of Texas, that I participated in the preparation of the plan submitted herewith and that all information shown thereon is accurate and correct to the best of my knowledge as related to the engineering portions thereof and that to the best of my knowledge said plat complies with Title 25 of the Austin City Code, as amended, and all other applicable codes and ordinances.

No portion of this subdivision is within the boundaries of the 100-year flood plain according to the Federal Flood Administration FIRM panel 48453C 0445 J, January 6, 2016.

_____ _____
Date

Kerri Pena PE 90255
GREEN CIVIL DESIGN, LLC
Firm No. F-17563
11130 Jollyville Road Suite 101
Austin, Texas 78759

This subdivision is located in the Full Purpose Jurisdiction of the City of Austin this the_____day of_____, 20___, A.D.

APPROVED, ACCEPTED AND AUTHORIZED for record by the Director, Development Services Department, City of Austin, County of Travis, this the_____day of _____, 20____, A.D.

_____
Steve Hopkins, for:
Denise Lucas, Acting Director
Development Services Department

ACCEPTED and AUTHORIZED for record by the Planning Commission of the City of Austin, Texas, on this the _____day of _____20 ___, A.D.

_____ _____
James Shieh Chair Patricia R. Seeger Secretary

NOTES:

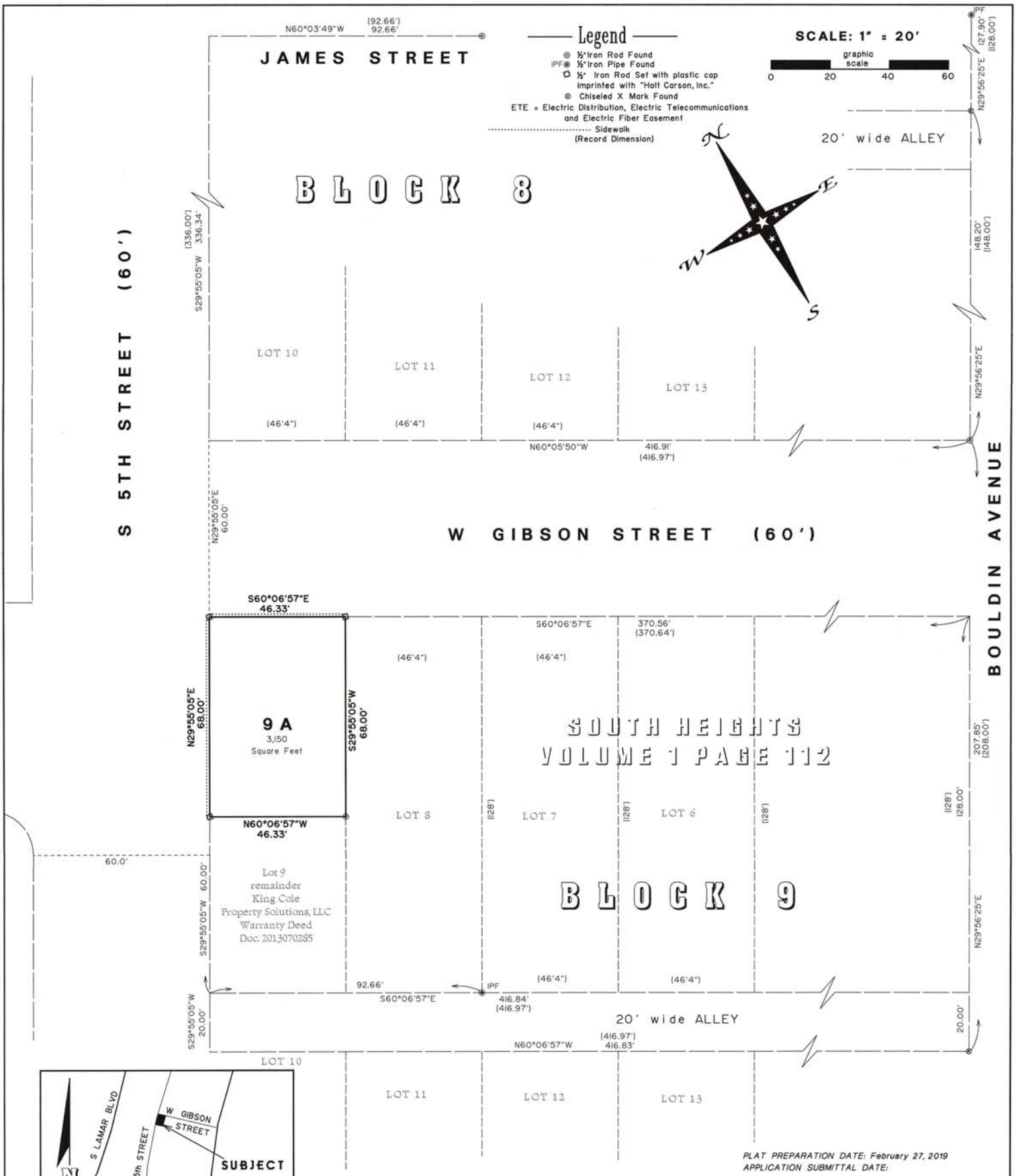
1. No lot shall be occupied until the structure is connected to the City of Austin water and wastewater utility system.
2. The water and wastewater utility system serving this subdivision must be in accordance with the City of Austin Design Criteria. The water and wastewater utility plan must be reviewed and approved by Austin Water. All water and wastewater construction must be inspected by the City of Austin. The landowner must pay the City Inspection Fee with the utility construction.
3. A variance to Section 25-2-492(D) of the Land Development Code (minimum lot size and width) was granted by the Board of Adjustment on _____
4. The owner of this subdivision, and his or her successors and assigns, assumes responsibility for plans for construction of subdivision improvements which comply with applicable codes and requirements of the City of Austin. The owner understands and acknowledges that plat vacation or replatting may be required, at the owner's sole expense, if plans to construct this subdivision do not comply with such codes and requirements.
5. Prior to construction, except detached single family on any lot in this subdivision, a Site Development Permit must be obtained from the City of Austin.
6. Austin Energy has the right to cut and trim trees and shrubbery and remove obstructions to the extent necessary to keep the easements clear of obstructions. Austin Energy will perform all tree work in compliance with the City of Austin Land Development Code.
7. The owner/developer of this subdivision/lot may provide Austin Energy with any easement and/or access required for the installation and ongoing maintenance of overhead and underground electric facilities within or along the perimeter of this subdivision/lot. These easements/access are required to provide electric service to the buildings and will not be located as to cause the site to be out of compliance with the City of Austin Land Development Code.
8. The owner shall be responsible for installation of temporary erosion control, revegetation and tree protection. In addition, the owner shall be responsible for any initial pruning and tree removal that is within ten feet of the center line of the proposed overhead electrical facilities designed to provide electric service to this project. The owner shall include Austin Energy's work within the limits of construction for this project.
9. By approving this plat, the City of Austin assumes no obligation to construct any infrastructure in connection with this subdivision. Any subdivision infrastructure required for the development of the lots in this subdivision is the responsibility of the developer and/or the owners of the lots. Failure to construct any required infrastructure to City standards may be just cause for the City of deny applications for certain development permits including building permits, site plan approvals and/or certificates of occupancy.
10. Development activity for single family or duplex use for Lot 9A is not subject to Drainage Criteria Manual, 1.2.2.D. or E in accordance with Drainage Criteria Manual Section 1.2.2.G. and Engineer's certification dated _____
11. The owner of the property is responsible for maintaining clearances required by the National Electric Safety Code, Occupational Safety and Health Administration (OSHA) regulations, City of Austin rules and Texas state laws pertaining to clearances when working in close proximity to overhead power lines and equipment. Austin Energy will not render electric service unless required clearances are maintained. All costs incurred because of failure to comply with the required clearances will be charged to the owner.
12. All restrictions and notes from the previous subdivision, South Heights, according to the map or plat of record in Volume 1 Page 112 of the Travis County Plat Records, shall apply to this resubdivision plat.
13. All electric easements must be shown on all plan sheets, left clear for electric use and maintenance on a 24/7 basis in perpetuity and maintain necessary clearances from any proposed structures, vegetation, etc at all times. Necessary clearance informations (AE, OSHA, NESC, and NEC) may be found in Austin Energy's Design Criteria Manual -- Section 1.5.3.9. The manual is available on Austin Energy's website under contractors/electric service design and planning.
14. Public sidewalks, built to City of Austin standards, are required along the following streets and as shown by a dotted line on the face of the plat: S 5th Street and W Gibson Street These sidewalks shall be in place prior to the lot being occupied.
Failure to construct the required sidewalks may result in the withholding of Certificates of Occupancy, building permits, or utility connections by the governing body or utility company.
15. No buildings, fences, landscaping or other obstructions are permitted in drainage easements except as approved by the City of Austin or Travis County.
16. The property owner or assigns shall maintain all drainage easements on private property.

RESUBDIVISION OF A PART OF LOT 9, BLOCK 9
SOUTH HEIGHTS

PLAT PREPARATION DATE: February 27, 2019
APPLICATION SUBMITTAL DATE:

CASE NUMBER C8-2019-0000.0A

1031112

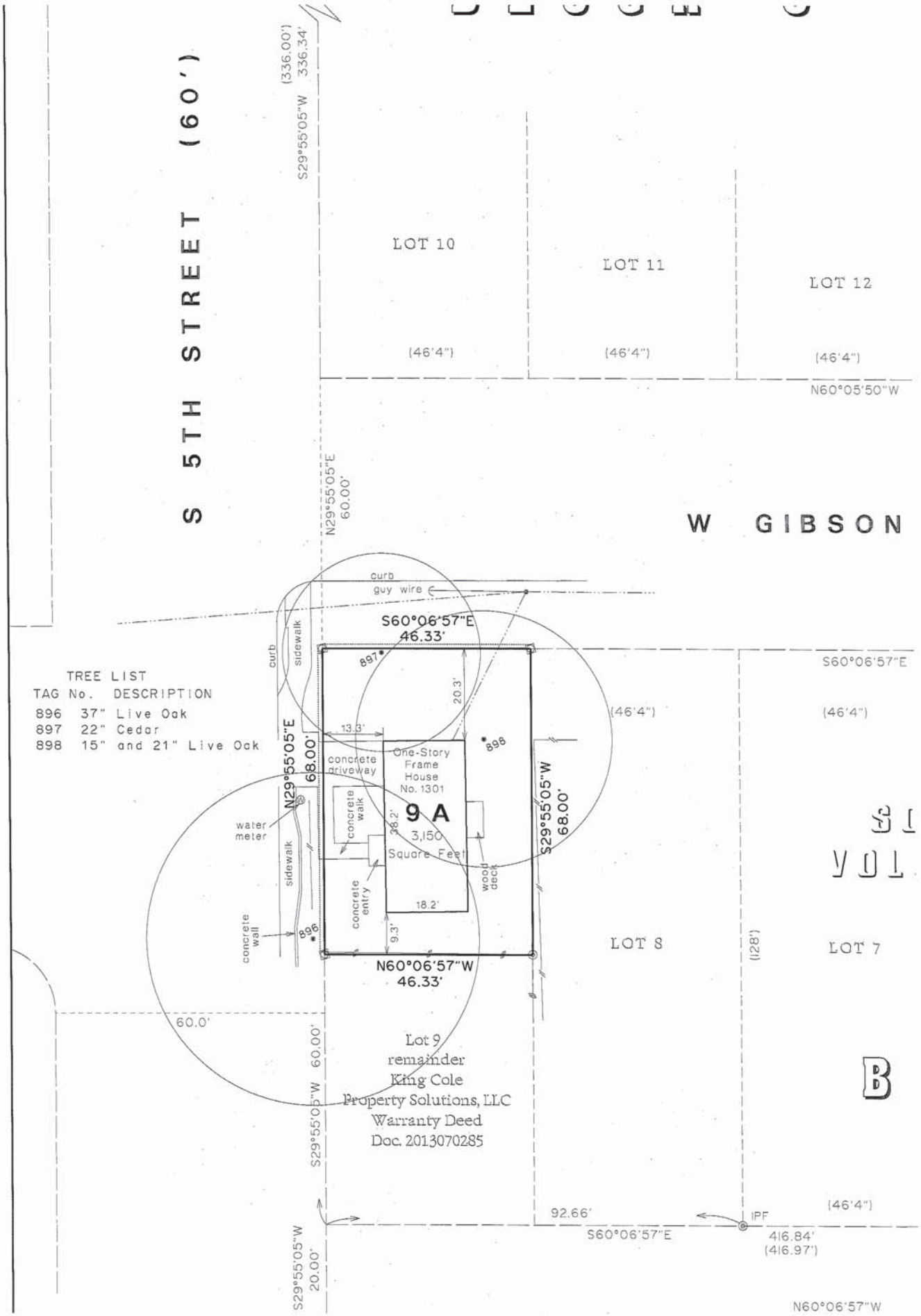


PLAT PREPARATION DATE: February 27, 2019
APPLICATION SUBMITTAL DATE:

RESUBDIVISION OF A PART OF LOT 9, BLOCK 9
SOUTH HEIGHTS

1031112

CASE NUMBER C8-2019-0000.0A


S 5TH STREET (60')
W GIBSON
(336.00') 336.34'
S29°55'05"W
LOT 10
LOT 11
LOT 12
(46'4")
(46'4")
(46'4")
N60°05'50"W
N29°55'05"E 60.00'
curb
guy wire
S60°06'57"E 46.33'
curb
sidewalk
897
20.3'
13.3'
898
One-Story Frame House No. 1301
9 A
3,150 Square Feet
concrete driveway
concrete walk
38.2'
concrete entry
wood deck
18.2'
9.3'
N29°55'05"E 68.00'
S29°55'05"W 68.00'
water meter
sidewalk
concrete wall
896
N60°06'57"W 46.33'
S60°06'57"E
(46'4")
(46'4")
LOT 8
(128')
LOT 7
60.0'
Lot 9
remainder
King Cole
Property Solutions, LLC
Warranty Deed
Doc. 2013070285
S29°55'05"W 60.00'
92.66'
IPF
(46'4")
S60°06'57"E
416.84'
(416.97')
S29°55'05"W 20.00'
N60°06'57"W
TREE LIST
TAG No. DESCRIPTION
896 37" Live Oak
897 22" Cedar
898 15" and 21" Live Oak

L-3/64

I-3/65

ELECTRONICALLY RECORDED 2018103344

TRV 2 PGS

After Recording Return To:
ELIZABETH J CAREY
1301 S. 5TH ST
AUSTIN, TEXAS 78704

15/ITC/COB/ 1810155 -BAL

TEXAS GENERAL WARRANTY DEED

With Vendor's Lien

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Effective Date: June 28, 2018 to be effective June 29, 2018

Grantor (whether one or more): CARL GUNNAR HEDMAN AND CORINNE L HEDMAN

Grantee (whether one or more): ELIZABETH J CAREY AND SCOTT INGALLS, WIFE AND HUSBAND

Grantee's Mailing Address: 1301 S. 5TH ST
AUSTIN, TEXAS 78704

Consideration:
Ten and no/100 Dollars ($10.00) and other good and valuable consideration, including a note of the same date in the principal amount of THREE HUNDRED THIRTY-SIX THOUSAND AND NO/100 Dollars ($336,000.00) (the "Note"), executed by the Grantee and payable to the order of UNIVERSITY FEDERAL CREDIT UNION (the "Lender"). The Note is secured by a first and superior vendor's lien and superior title retained in this deed in favor of the Lender, and by a deed of trust of the same date from the Grantee to ALLAN B. POLUNSKY, Trustee for the benefit of the Lender.

Property (including improvements):
That certain property located in TRAVIS County, Texas to-wit: BEING THE NORTH 68' OF LOT 9, BLOCK 9, SOUTH HEIGHTS ADDITION, A SUBDIVISION OF RECORD IN VOLUME 1, PAGE 112, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

Reservations from Conveyance: The first and superior vendor's lien and superior title to secure payment of the Note.

Exceptions to Conveyance and Warranty:
Liens described as part of the Consideration and any other liens described in this deed as being either assumed or to which title is taken subject to; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing instruments, or matters apparent from those instruments, including reservations outstanding in parties other than Grantor, other than conveyances of the surface fee estate, that affect the Property; any discrepancies or conflicts in boundary lines; any encroachments or overlapping of improvements;and taxes for the current year and subsequent years, which Grantee assumes and agrees to pay any subsequent assessments for the current year and prior years due to change in land usage, ownership, or both, the payment of which Grantee assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any wise belonging; To Have and To Hold unto Grantee, and Grantee's heirs, successors and assigns, forever. Grantor, and Grantor's heirs, successors and assigns, shall warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

I-3/66

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
Scott Reichle	1212-A S. 5th ST	[illegible]
Gary Ashcraft	1003 W. Gibson St	[illegible]
Catherine Lee Door	914 W. Elizabeth St.	Catherine Lee Door
Joanie Magsord	908 W. Elizabeth St	[illegible]
Carol Watts	1308 So. 5th St.	Carol Watts
Jordan Ward	1302 S 5th ST	[illegible]
Jason Still	1303 S 6th St	[illegible]
Joe Gepfert	912 W. Gibson St	[illegible]
Molly White	1200 S. 5th	Molly White
Molly White	1206 S. 5th	Molly White
Harriet Keraldp	1208 South 5th	Harriet Keraldp
Casey Wenzel	1211 S. 6th	[illegible]
Velia Castillo	1305 S. 6th	Velia L Castillo

The Lender, at Grantee's request, has paid in cash to Grantor the portion of the purchase price of the Property that is evidenced by the Note. The first and superior vendor's lien against and superior title to the Property are retained for the benefit of the Lender, and are transferred to the Lender without recourse against Grantor.

When the context requires, singular nouns and pronouns include the plural.

Executed to be effective as of the Effective Date. JUNE 28, 2018

Carl Gunnar Hedman 6-28-18 Corinne L Hedman 6-28/18

CARL GUNNAR HEDMAN Date CORINNE L HEDMAN Date

Acknowledgements

Individual

STATE OF WISCONSIN
COUNTY OF MILWAUKEE

This instrument was acknowledged before me on JUNE 28 2018, by CARL GUNNAR HEDMAN and CORINNE L HEDMAN.

Patricia Lilek
Notary Public
Printed Name: PATRICIA LILEK
COMMISSION EXPIRES 11-8-19

NOTARY PUBLIC (Seal) PATRICIA LILEK STATE OF WISCONSIN

Individual

STATE OF TEXAS
COUNTY OF

This instrument was acknowledged before me on _____, by _____.

Notary Public
Printed Name:

(Seal)

Corporate/Partnership

STATE OF TEXAS
COUNTY OF _____

This instrument was acknowledged before me on _____, by _____ of _____, on its behalf.

Notary Public
Printed Name:

(Seal)

Attorney-In-Fact

STATE OF TEXAS
COUNTY OF _____

This instrument was acknowledged before me on _____, by _____ attorney-in-fact on behalf of _____.

Notary Public
Printed Name:

(Seal)

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS

Dana DeBeauvoir

DANA DEBEAUVOIR, COUNTY CLERK
TRAVIS COUNTY, TEXAS
July 02 2018 11:33 AM
FEE: $ 30.00 **2018103344**

I-3/68

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
TLP Homes, LLC	917 James	
TLP Homes II, LLC	915 James	
CHERYL CHANDLER MALCOM CAREY SMITH	912 W. ELIZABETH.	Malcom Carey Smith by Cheryl Chandler w/ permission
Harold W Derenburger	908 W Gibson	Harold W Derenburger
Linda L. Golden	1301 S. 6th St ~~[illegible]~~ 78703	Linda L Golden
LAURA THOMAS	916 W. ELIZABETH 78704	Laura Thomas
David Foster	1303 S. 5th St 78704	
Suzanne Barker	915 W. Gibson 78704	Suzanne Barker
Rebecca Bishop	910 W Elizabeth 78704	
DOUG RINES	905 W GIBSON	

I-3/69

I, Elizabeth Carey, am applying for a variance from the Board of Adjustment regarding Section _____ of the Land Development Code. The variance would allow me the ability to Convert existing garage into kitchen/living space.

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
Cecily Parks	916 W. Gibson St. Austin TX 78704	
MIKE PIZINGER	906 W. GIBSON	
Sandra Mowery	911 W Gibson St	
TAMARA GUNTER	909 W. GIBSON ST	
Thomas Walthall	907 W. Gibson St	
Charles Mell Lawrence	913 W. Gibson St.	
Troy Weatherly	914 W. Gibson St.	