

SUBDIVISION REVIEW SHEET

CASE NO.: C8-2016-0145.2A**Z.A.P. DATE:** April 16, 2019**SUBDIVISION NAME:** Parker Creek Ranch Phase 2**AREA:** 33.115 acres**LOTS:** 103**APPLICANT:** Forestar USA Real Estate Group
(Katherine Kitchen, V.P.)**AGENT:** BGE, Inc
(Brian J. Grace, P.E.)**ADDRESS OF SUBDIVISION:** 7620 Decker Lane**WATERSHED:** Decker Creek**COUNTY:** Travis**EXISTING ZONING:** SF-4A**JURISDICTION:** Full Purpose**PROPOSED LAND USE:** Single Family**VARIANCE:** none

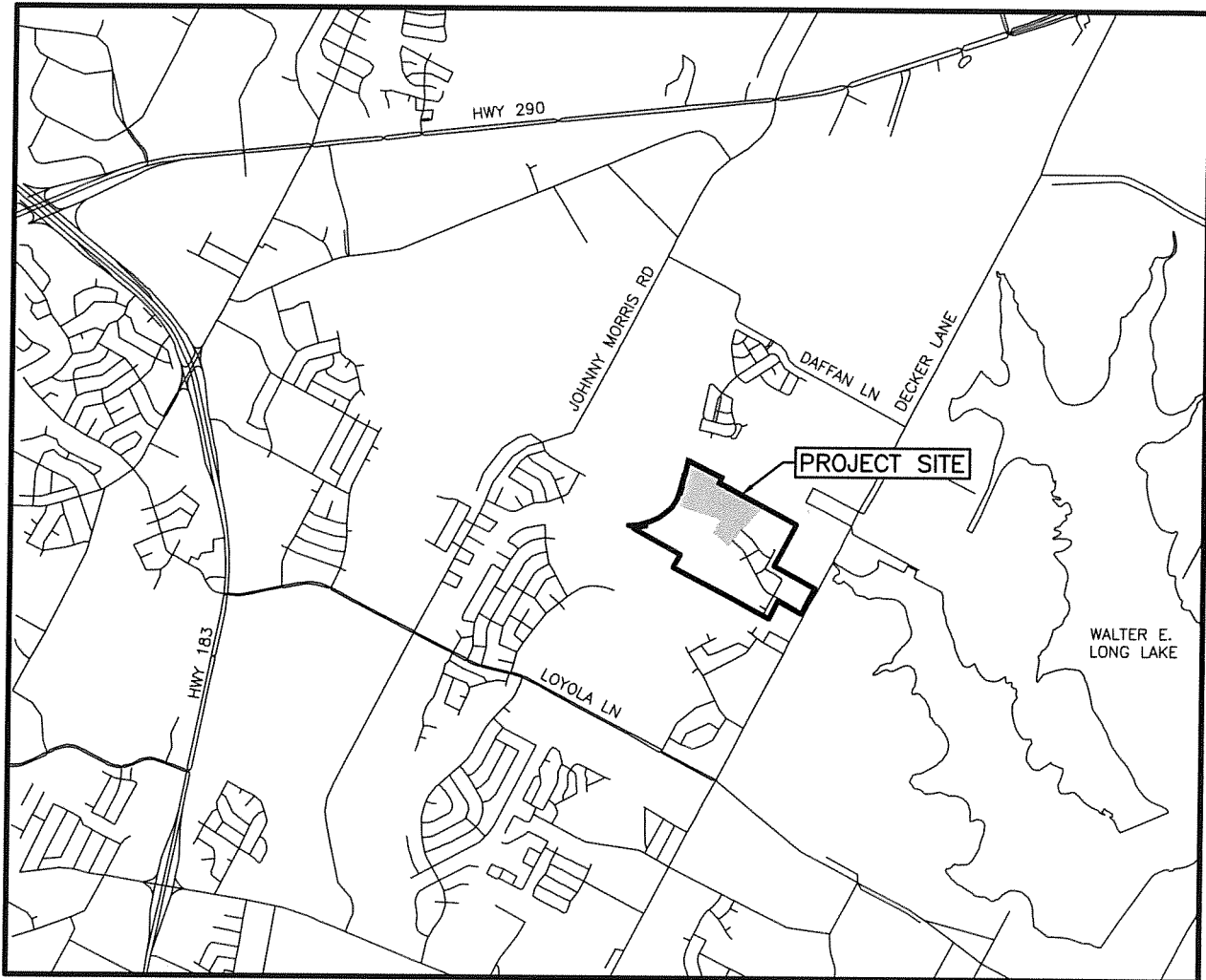
STAFF RECOMMENDATION: Staff recommends approval of the plat, the plat meets all applicable State and City of Austin Land Development Code requirements. The case follows the preliminary plan approved on October 3, 2017.

DEPARTMENT COMMENTS: The request is for the approval of the Parker Creek Ranch Phase 2 composed of 103 lots on 33.115 acres. The applicant proposes to subdivide the property for residential uses, ponds, open space, and roads. The developer will be responsible for all cost associated with required improvements.

CASE MANAGER: Cesar Zavala**PHONE:** 512-974-3404**E-mail:** cesar.zavala@austintexas.gov

LOCATION MAP - PARKER CREEK RANCH PHASE 2

COA GRID: P25, Q25
MAPSCO PG: 557V, 557Z, 558S, 558W



A SUBDIVISION OF 33.115 ACRES OF LAND
LOCATED IN THE
JAMES BURELSON SURVEY NO. 19,
TRAVIS COUNTY, TEXAS

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Austin, TX 78731
Tel: 512-879-0400 • www.bgeinc.com
TBPE Registration No. F-1048
TBPLS Licensed Surveying Firm No. 10106550



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