



Residential New Construction and Addition Permit Application

Property Information

Project Address: 3206 GLENVIEW AVE, AUSTIN TX 78703

Tax Parcel ID: 119361

Legal Description: LOT 4 BLK 2 BRYKERWOODS D

Zoning District: SF-3-NP

Lot Area (sq ft): 6,405.20

Neighborhood Plan Area (if applicable): WINDSOR ROAD & C W AUSTIN

Historic District (if applicable): OLD WEST AUSTIN

Required Reviews

Is project participating in S.M.A.R.T. Housing? ☐ Y ☒ N
(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? ☐ Y ☒ N
(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? ☐ Y ☒ N
(If yes, approval through Aviation is required)

Does this site have a septic system? ☐ Y ☒ N
(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? ☐ Y ☒ N

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? ☐ Y ☒ N

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? ☐ Y ☒ N
(If yes, EHZ review is required)

Is this property within 100 feet of the 100 year floodplain?
☐ Y ☒ N (Proximity to floodplain may require additional review time.)

Are there protected size trees onsite or on adjacent sites? ☒ Y ☐ N

(If yes, [click here](#) for more information on the tree permit process.)

Was there a pre-development consultation for the Tree Review? ☐ Y ☒ N

Proposed impacts to trees: (Circle all that apply)
✓Root zone ✓Canopy Removal None/Uncertain

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☒ Y ☐ N

Does this site currently have: water availability? ☒ Y ☐ N
wastewater availability? ☒ Y ☐ N

(If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? ☐ Y ☒ N
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? ☐ Y ☒ N
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

(If yes, submit approved auxiliary and potable plumbing plans.)

Does this site require a cut or fill in excess of four (4) feet? ☐ Y ☒ N (If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? ☐ Y ☒ N
(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? ☐ Y ☒ N
(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☒ Y ☐ N
(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? ☐ Y ☒ N
(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? ☐ Y ☒ N Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? ☐ Y ☒ N
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? ☐ Y ☒ N (If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: ☐ vacant ☒ single-family residential ☐ duplex residential ☐ two-family residential ☐ other: _____

Proposed Use: ☐ vacant ☒ single-family residential ☐ duplex residential ☐ two-family residential ☐ other: _____

Project Type: ☐ new construction ☐ addition ☒ addition/remodel ☐ other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☒ Y ☐ N
(Note: Removal of all or part of a structure requires a demolition permit application.)

existing bedrooms: 2

bedrooms upon completion: 4

baths existing: 2.0

baths upon completion: 3.5

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

ADDITION OF SECOND FLOOR. REMODEL OF EXISTING HOUSE TO RECONFIGURE THE REAR PORTION OF THE EXISTING FIRST FLOOR, AND BRING REAR WALL AWAY FROM GARAGE TO CREATE 10' SEPERATION.

Trades Permits Required (Circle as applicable): ☒ electric ☒ plumbing ☒ mechanical (HVAC) ☐ concrete (R.O.W.)

Job Valuation		
Total Job Valuation: \$ <u>400,000.00</u> 0	Amount for Primary Structure: \$ <u>400,000.00</u> Elec: <input checked="" type="radio"/> Y <input type="radio"/> N Plmbg: <input checked="" type="radio"/> Y <input type="radio"/> N Mech: <input checked="" type="radio"/> Y <input type="radio"/> N	Total Remodeled Floor Area <u>1,496</u> sq ft. (work within existing habitable square footage)
Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.	Amount for Accessory Structure: \$ _____ Elec: <input type="radio"/> Y <input type="radio"/> N Plmbg: <input type="radio"/> Y <input type="radio"/> N Mech: <input type="radio"/> Y <input type="radio"/> N	

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information						
Area Description <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,496				1,496	0
b) 2 nd Floor conditioned area	0		1,448		1,448	0
c) 3 rd Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)	375				375	0
f) Covered patio, deck, porch, and/or balcony area(s)	35		63		98	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks			193		193	0
Total Building Area (total a through h)	1,906	0	1,704	0	3,610	0
i) Pool					0	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition / New Construction	1,496				1,496	0

Building Coverage Information
Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)
Total Building Coverage (sq ft): <u>1,969.00</u> % of lot size: <u>31</u>

Impervious Cover Information
Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)
Total Impervious Cover (sq ft): <u>2,430.00</u> % of lot size: <u>38</u>

Setbacks
Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) <input checked="" type="radio"/> Y <input type="radio"/> N Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) <input type="radio"/> Y <input checked="" type="radio"/> N Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) <input type="radio"/> Y <input checked="" type="radio"/> N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)	Parking (LDC 25-6 Appendix A & 25-6-478)
Building Height: <u>23</u> ft <u>6</u> in Number of Floors: <u>2</u>	# of spaces required: <u>12</u> # of spaces provided: <u>12</u>

Right-of-Way Information
Is a sidewalk required for the proposed construction? (LDC 25-6-353) <input checked="" type="radio"/> Y <input type="radio"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input type="radio"/> Y <input checked="" type="radio"/> N
Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? <input type="radio"/> Y <input type="radio"/> N <small>(If yes, drainage review is required)</small>

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,496				1,496
2 nd Floor		990			990
3 rd Floor					0
Area w/ ceilings > 15'			Must follow article 3.3.5		0
Ground Floor Porch* (check article utilized)	35	63	<input checked="" type="radio"/> Full Porch sq ft (3.3.3 A) <input type="radio"/> 200 sq ft (3.3.3 A 2)	98	0
Basement			Must follow article 3.3.3B, see note below		0
Attic		458	Must follow article 3.3.3C, see note below	458	0
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0
	Detached	375	<input checked="" type="radio"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="radio"/> 200 sq ft (3.3.2 B 2a / 2b)	375	0
Carport**: (check article utilized)	Attached		<input type="radio"/> 450 sq ft (3.3.2 A 3) <input type="radio"/> 200 sq ft (3.3.2 B 1)***		0
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0
Accessory Building(s) (detached)					0
Totals	1,906	1,511			2,486

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,486.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 39 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? ☐ Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? ☒ Y ☐ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

***Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

****Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

*****Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



For Office Use Only

Date of Submission: _____

Plan Review #: _____

Historic Review Application

Property Address: 3206 GLENVIEW AVE, AUSTIN, TX 78703

Historic Landmark ☐ Historic District (Local) ☐ National Register Historic District ☒

Historic Landmark or
Historic District Name: Old West Austin National Register Historic District

Applicant Name: BHAVANI SINGAL Phone #: 512.243.8346 Email: VANI@WORKSHOPNO5.COM

Applicant Address: 3027 N. LAMAR #302B City: AUSTIN State: TX Zip: 78705

Please describe all proposed exterior work with location and materials. If you need more space, attach an additional sheet.

PROPOSED WORK	LOCATION OF PROPOSED WORK	PROPOSED MATERIAL(S)
1) <u>ADDITION OF SECOND STORY</u> _____ _____	<u>SAME FOOTPRINT AS EXISTING FIRST FLOOR</u> _____	<u>MATCH NEW BRICK TO EXISTING BRICK EXTERIOR</u> _____
2) <u>REPLACE ROOF</u> _____ _____	<u>NEW ROOF ABOVE NEW SECOND STORY</u> _____	<u>MATCH EXISTING STYLE AND MATERIALS</u> _____
3) <u>REPLACE WINDOWS AND ADD NEW WINDOWS</u> _____ _____	<u>THROUGHOUT</u> _____ _____	<u>ENERGY EFFICIENT WINDOWS</u> _____ _____

Submittal Requirements

1. One set of dimensioned building plans. Plans must: a) specify materials and finishes to be used, and b) show existing and proposed conditions for alterations and additions.

Site Plan ☐ Elevations ☐ Floor Plan ☐ Roof Plan ☐

2. Color photographs of building and site:

Elevation(s) proposed to be modified ☐ Detailed view of each area proposed to be modified ☐

Any changes to these plans must be reviewed and approved by the Historic Preservation Office and/or Historic Landmark Commission.

Applicant Signature: R

Date: 4/16/19



Development SERVICES DEPARTMENT

One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Demolition Permit Application

Application Type: ☐ Commercial ☐ Residential

Fee Paid: \$ _____ Submission Date: _____

For Office Use Only – Permit Information

BP- _____ PR- _____ LHD_NRD_HDP- _____ Ca. _____

Referred By: _____ NRHD/LHD: _____

☐ Release Permit

☐ Do Not Release Permit

☐ HLC Review- _____

Historic Preservation Office

Date

IMPORTANT: Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after twelve (12) months from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office (see <http://www.austintexas.gov/department/historic-preservation>).

Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of the next page of this application, **OR** a **NOTARIZED** letter of authorization from the owner giving the applicant permission to apply
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 512-854-9473)
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street
- ☐ 5. Review Fee (see [fee schedule](#) for applicable fees)

Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped Site Plan OR an approved Site Plan Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

Property Information

Address: 3206 GLENVIEW AVENUE

City: AUSTIN Zip: 78703

Current Use: RESIDENTIAL

Demolition Type

☐ Total ☒ Partial – identify the exterior wall(s), roof, or portion of wall(s) and roof to be demolished:
PRIOR SIDING-CLAD ADDITION TO BRICK HOUSE TO BE REMOVED. REMOVAL/REPLACEMENT OF ALL WINDOWS

Demolition Contractor Information

Company: Southwest Destructors

Address: 11804 N Lamar Blvd

City: Austin Zip: 78753

Phone: 512-836-0667

Structural Information

Structures: 1 Square Feet: 390

Building Materials: WOOD FRAMING AND SIDING

Foundation Type: PIER AND BEAM

Estimated Cost of Demolition: 20,000.00





GLENVIEW ADDITION

3206 GLENVIEW AVENUE, AUSTIN, TEXAS 78703



GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION. IF THERE ARE ANY QUESTION OR CONFLICTS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES OR STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION. ALL NECESSARY PERMITS, LICENSES, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
- 2. ALL WORK RELATING TO THIS CONSTRUCTION SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.
- 3. THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK AND EQUIPMENT WITH TRADES INVOLVED.
- 4. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE. CLAIMS FOR EXTRA COMPENSATION FOR WORK THAT COULD HAVE BEEN FORESEEN BY SUCH INSPECTION, WHETHER SHOWN ON CONTRACT DOCUMENTS OR NOT, SHALL NOT BE ACCEPTED OR PAID.
- 5. ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OR ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO DO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME.
- 6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED, AS INTERPRETED BY THE ENGINEER. THE INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED CRAFTSMEN IN A NEAT, WORKMANLIKE MANNER. ALL MATERIALS, TOOLS, COSTS AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS AND PROPERTY ADJACENT, WITH WHICH WORK COMES IN CONTACT, OR OVER OR UNDER WHICH HE MAY TRANSPORT, HOIST, OR MOVE MATERIALS, EQUIPMENT, DEBRIS, ETC., AND SHALL REPAIR SATISFACTORILY ALL DAMAGES CAUSED BY HIM DURING CONSTRUCTION.
- 8. THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZES, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER, OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION IS BEGUN.
- 9. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT CONFIRMATIONS OF ORDERS, INCLUDING DELIVERY DATES, FOR ALL MATERIALS AND EQUIPMENT WHOSE TIMELY DELIVERY IS REQUIRED TO AVOID CHANGES IN THE CONSTRUCTION DOCUMENTS OR IN THE CONSTRUCTION SCHEDULE.
- 10. THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, FOR TECHNIQUES OR ASSEMBLY, FOR PERFORMING THE WORK IN A SAFE MANNER, AND FOR ADHERING TO ALL APPLICABLE CODES AND STANDARDS.
- 11. LOCATION OF ALL CEILING MOUNTED ITEMS ON THE ARCHITECTURAL DRAWINGS HAVE PRECEDENCE OVER MEP DRAWINGS. ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- 12. IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE A MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATION THAT IS COMPLETE. ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL, OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED.
- 13. ALL MEP RELATED ITEMS SHOULD BE REVIEWED BY THE ENGINEER AND MAY BE ADJUSTED PENDING NOTICE TO AND APPROVAL OF THE ARCHITECT.
- 14. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- 15. ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT.
- 16. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- 17. "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- 18. "SIMILAR" OR "SIM." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SIMILAR TO A CONDITION DETAILED FOR ANOTHER LOCATION.
- 19. THE CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS OF AS-BUILT CONDITIONS WHEN DIFFERENT FROM CONSTRUCTION DOCUMENTS, AND SHALL PROVIDE SAID DOCUMENTATION TO ARCHITECT WITHIN 30 CALENDAR DAYS OF COMPLETION OF CONSTRUCTION.
- 20. THIS COVER SHEET IS A MASTER INDEX. NOT ALL SYMBOLS/ITEMS WILL BE INCLUDED IN DRAWINGS.
- 21. DO NOT DISASSEMBLE THIS SET. COVER SHEET CONTAINS DATA PERTINENT TO ALL SHEETS.
- 22. REFER TO ADDITIONAL INFORMATION FOR ADDITIONAL GENERAL NOTES, IF ANY.

ADDITIONAL NOTES

- 1. OWNER/CONTRACTOR TO ENSURE COMPLIANCE OF EXISTING CONDITIONS WITH TAS SECTION 4.1.6(2) - (ALTERATIONS TO AN AREA CONTAINING A PRIMARY FUNCTION); ENSURE THAT CERTAIN EXISTING CONDITIONS COMPLY WITH, OR ARE BROUGHT INTO COMPLIANCE WITH, THE TEXAS ACCESSIBILITY STANDARDS: THE EXTERIOR AND INTERIOR ACCESSIBLE ROUTE FROM THE ACCESSIBLE PARKING TO THE TO THE ENTRANCE OF THE ALTERED AREA SHALL COMPLY WITH ALL SECTION 4.3 "ACCESSIBLE ROUTE" REQUIREMENTS.
- 2. ALL CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH THE APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, AND LAWS. WORKS MUST COMPLY WITH THE US DEPARTMENTS OF LABOR, OCCUPATIONAL HEALTH AND SAFETY STANDARDS.
- 3. DIMENSIONS ARE TO FACE OF GYPSUM BOARD AND STRUCTURAL GRID, UNLESS NOTED OTHERWISE (U.N.O.)
- 4. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- 5. ALL DRAWINGS AND SPECIFICATION NOTES BY THE ARCHITECT ARE COMPLEMENTARY. WHAT IS CALLED FOR BY ONE WILL BE BINDING AS CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS. WHEN DISCREPANCIES BETWEEN THE DRAWINGS AND THE REQUIREMENTS OF CODES ARISE, THE CODES SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- 6. EACH CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS AND PAY ANY FEES THAT MAY BE REQUIRED BY PUBLIC AUTHORITIES AND SERVICE CORPORATIONS HAVING JURISDICTION IN CONNECTION WITH THE WORK UNDER THIS CONTRACT. THE CONTRACTOR FOR CONSTRUCTION WORK SHALL ALSO OBTAIN AND PAY FOR THE GENERAL BUILDING PERMIT AS NECESSARY.
- 7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUB-TRADE INSPECTIONS AND CERTIFICATE OF OCCUPATION.
- 8. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DETAILS AND NOTES FOR INFORMATION REGARDING THE SCOPE OF THE WORK INTENDED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS AND/OR SPECIFICATIONS PRIOR TO BIDDING AND INSTALLATION OF ANY SUCH ITEMS.
- 9. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCY. COMMENCEMENT OF THE WORK IMPLIES ACCEPTANCE OF CONDITIONS. THE CONTRACTOR SHALL MAKE FIELD MEASUREMENTS FOR THE WORK AND BE RESPONSIBLE FOR THE ACCURACY OF THOSE MEASUREMENTS. ALL ELEVATIONS ARE RELATIVE TO THE FINISH FLOOR ELEVATION OF 0'-0".
- 10. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL CERTIFICATES OF INSPECTION AND OCCUPANCY THAT MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK, INCLUDING THE BOARD OF FIRE UNDERWRITERS CERTIFICATES, AND SHALL DELIVER THEM TO THE OWNER UPON COMPLETION OF THE WORK.
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE DOOR OPERATION AND HARDWARE WITH OWNER PRIOR TO INSTALLATION.
- 12. DOOR STOPS ARE REQUIRED AT ALL DOORS WITHOUT CLOSERS.
- 13. GENERAL CONTRACTOR TO FIELD VERIFY ALL OPENING DIMENSIONS PRIOR TO ORDERING DOORS AND WINDOWS.
- 14. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL 5/8" WRC GYPSUM BOARD AT ALL WALL SURFACES SCHEDULED TO RECEIVE WALL TILE.
- 15. GENERAL CONTRACTOR TO NEATLY CUT / DRILL ALL OPENINGS REQUIRED FOR CONDUIT, RECEPTACLES AND WIRING IN CASEWORK ASSEMBLIES.
- 16. GENERAL CONTRACTOR TO PAINT SURFACES TO A BRILLIANCE OF COLOR DESIRED, THIS MAY REQUIRE THREE OR MORE COATS OF PAINT.
- 17. GENERAL CONTRACTOR TO PAINT ALL AIR SUPPLY AND RETURN GRILLES, BATTERY PACK UNITS AND LIGHT FIXTURE RINGS TO MATCH ADJACENT SURFACE.
- 18. WALL BASE MATERIAL TO BE PRE-MOULD TO BE PRE-MOULD TO OUTSIDE CORNERS AND MITERED INTO INSIDE CORNERS.
- 19. OUTLET COVER AND SWITCH PLATES TO BE WHITE (U.N.O.)
- 20. ALL STAIR TREADS TO BE 11" DEEP TREAD-TO-TREAD MINIMUM RISERS SHALL BE FROM 4" - 7" HIGH, EQUALLY SPACED, WITH NO MORE THAN 3/8" VARIATION IN A FLIGHT TO OBTAIN ELEVATION NOTED.
- 21. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING INSURANCE OF THE TYPE AND QUANTITY AS REQUIRED BY THE OWNER, SUBCONTRACTORS, AND LOCAL AND/OR STATE JURISDICTIONS.
- 22. WORK SHALL NOT COMMENCE UNTIL THE CONTRACTOR RECEIVES A NOTICE TO PROCEED FROM THE OWNER.
- 23. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY SITE AND STORAGE AREA.
- 24. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR RECEIVING AND PROTECTION AND SAFEKEEPING OF PRODUCTS STORED AT THE SITE, INCLUDING ALL OWNER PROVIDED FIXTURES, FURNISHINGS AND EQUIPMENT.
- 25. THE GENERAL CONTRACTOR SHALL POST AND MAINTAIN SIGNS, NOTICES AND OTHER SAFEGUARDS REQUIRED BY LAW OR ORDINANCE.
- 26. LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SCALE DRAWINGS FOR WHICH THEY ARE INTENDED TO AMPLIFY. DIMENSIONS SHALL BE FIGURED - DO NOT SCALE DRAWINGS.
- 27. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIED EQUIPMENT, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION, INCLUDING HVAC, PLUMBING AND ELECTRICAL.
- 28. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ARCHITECT OF MATERIALS OR WORK SHOWN FOR WHICH NO QUALITY OR GRADE IS CLEARLY SPECIFIED, UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ASSUME GRADE OR QUALITY FOR PRODUCTS OR WORK SHOWN.
- 29. USE PREMISES FOR EXECUTION OF WORK AND FOR STORAGE AS DIRECTED BY THE OWNER, DO NOT UNREASONABLY ENCUMBER PREMISES AND ADJOINING STREETS WITH PRODUCTS OR EQUIPMENT.
- 30. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND STORAGE OF ITEMS SCHEDULED TO REMAIN, BUT REQUIRED FOR CONSTRUCTION.
- 31. THE PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING OF NAIL HOLES, CRACKS, ETC. PRIOR TO FINAL PAINTING. REFER TO FINISH SCHEDULE FOR EXTENT OF PAINTING WORK REQUIRED.
- 32. PROVIDE SUFFICIENT WOOD BLOCKING AT ALL STUDS FOR SECURING OF ALL ITEMS, WHETHER FURNISHED BY OWNER OR CONTRACTOR, INCLUDING AND NOT LIMITED TO, COUNTERS, SHELVING, CASEWORK, SIGNAGE, FURNITURE, ETC. SIGN LOCATIONS AND WEIGHTS SHALL BE COORDINATED WITH OWNERS SIGN SUPPLIER PRIOR TO BLOCKING INSTALLATION. EXACT LOCATIONS FOR SIGNS, BLOCKING REQUIREMENTS AND ELECTRICAL REQUIREMENTS TO BE CONFIRMED BY G.C. INFORMATION SHOULD BE INCLUDED IN SIGN COMPANY SHOP DRAWINGS. PROVIDE SIGN VENDOR SHOPS FOR ARCHITECTURAL REVIEW.
- 33. ALL WOOD INCLUDING CONCEALED WOOD IS TO BE FIRE RETARDANT TREATED UNLESS NOTED OTHERWISE. EXCEPT PAINTED OR STAINED FINISH TRIM.
- 34. GENERAL CONTRACTOR TO SUBMIT ALL FIRE SUPPRESSION SYSTEM (SPRINKLER) PLANS TO CITY FOR APPROVAL PRIOR TO INSTALLATION. (IF NOTED ON DRAWINGS)
- 35. GENERAL CONTRACTOR TO SEAL ALL PENETRATIONS IN WALLS FOR SMOKE PENETRATION.
- 36. GENERAL CONTRACTOR TO COORDINATE FINAL FIRE DEPT. CONNECTION WITH CITY PRIOR TO INSTALLATION.
- 37. NO ASBESTOS-CONTAINING MATERIALS SHALL BE USED. CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT NO ASBESTOS CONTAINING MATERIALS WERE USED.



VICINITY MAP

PROJECT TEAM

ARCHITECT:

Workshop No.5
Bhavani Singal
PO BOX 300126
Austin Texas 78703
832.641.2370
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STRUCTURAL ENGINEER:

Arch Consulting Engineers
Brad Farris
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Austin, Texas 78704
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bradf@archce.net

CONTRACTOR:

TBD

SHEET INDEX

SHEET NO.	SHEET NAME
A000	COVER SHEET
A002	SETBACK PLANES
A100	SITE PLAN
A200	DEMOLITION PLAN
A300	FLOOR PLANS
A400	EXTERIOR ELEVATIONS
A401	EXTERIOR ELEVATIONS
A600	ROOF PLAN
A700	INTERIOR ELEVATIONS
A800	DOORS AND WINDOWS
A900	ELECTRICAL PLANS

LEGAL DISCRIPTION

LOT 4 BLK 2 BRYKERWOODS D

PROJECT SCOPE

REMODEL OF EXISTING RESIDENCE TO ADD A SECOND FLOOR AND MODIFY EXISTING REAR WALL TO MAINTAIN 10' SEPERATION BETWEEN EXISTING GARAGE AND RESIDENCE.

PROJECT INFORMATION

PROJECT NAME	GLENVIEW ADDITION
PROJECT NUMBER	19-001
PROJECT LOCATION	3206 GLENVIEW AVENUE, AUSTIN, TX 78703
ZONING	SF3- NP (WINDSOR RD, CENTRAL WEST AUSTIN COMBINED NPA)
BUILDING COMPONENTS	WOOD FRAME CONSTRUCTION WITH BRICK VENEER
PREPARED BY	BHAVANI SINGAL

APPLICABLE CODES & ORDINANCES

LOCAL BUILDING CODE EDITION	2015 INTERNATIONAL BUILDING CODE AS AMENDED BY CITY OF AUSTIN ORDINANCE SUBCHAPTER F - RESIDENTIAL DESIGN AND COMPATABILITY STANDARDS
BUILDING DEPARTMENT	CITY OF AUSTIN
ADDRESS	505 BARTON SPRINGS ROAD, AUSTIN, TEXAS 78701
PHONE	-
CONTACT	-
ZONING ORDINANCES	CITY OF AUSTIN, LAND DEVELOPMENT CODE, TITLE 25
BUILDING CODE	2015 INTERNATIONAL RESIDENTIAL CODE
ACCESSIBILITY CODE	VISITABILITY REQUIRED FOR NEW CONSTRUCTION PROJECTS
OTHER CODES	25-12 TECHNICAL CODE

Seal:



04.17.2019

SHEET IS FORMATTED TO 22" x 34".
SCALES ARE ONE HALF OF NOTED
WHEN PRINTED AT HALF SIZE.

GLENVIEW
ADDITION

3206 GLENVIEW AVE
AUSTIN, TX 78703

Plan North True North



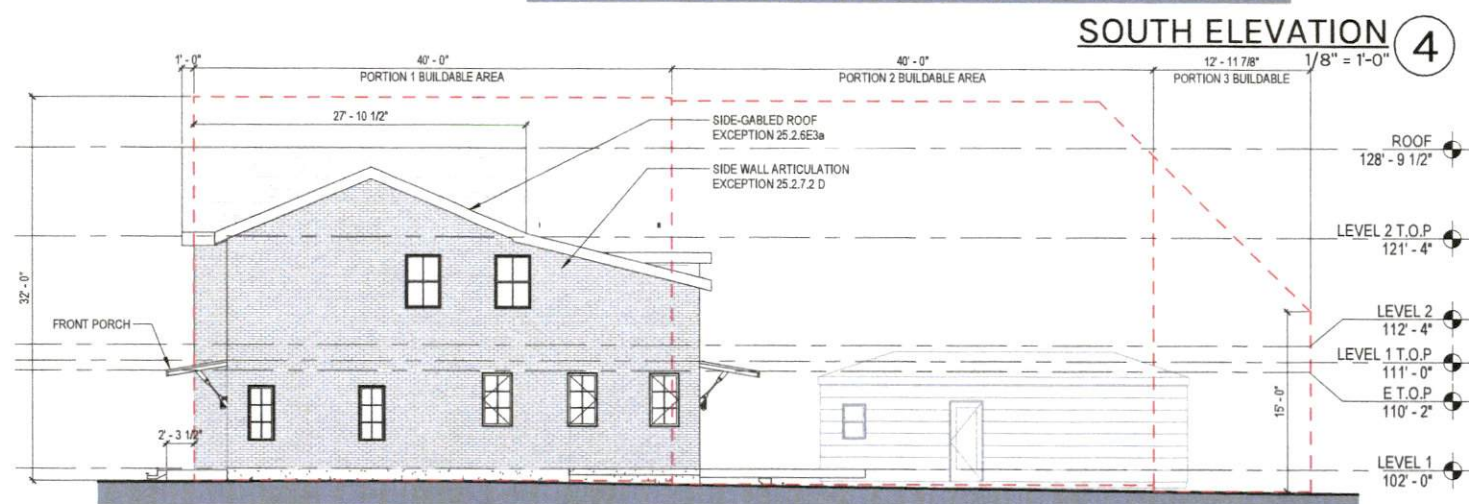
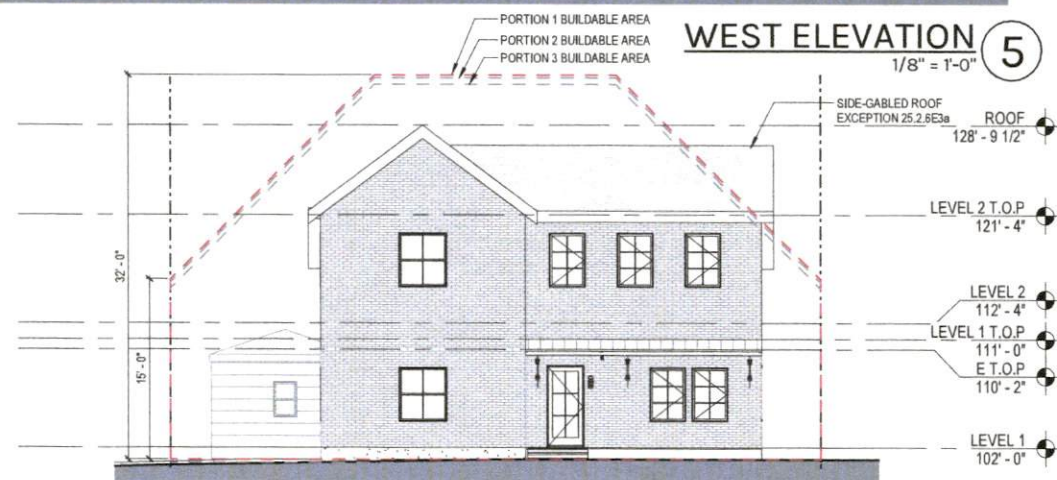
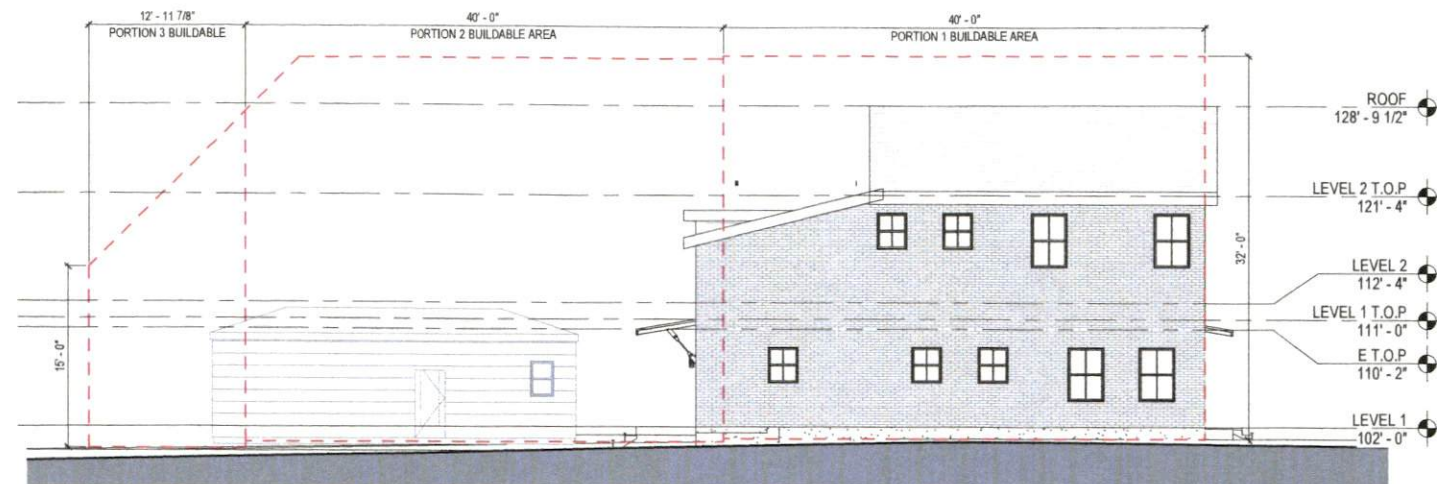
Issue

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Project Number, 19-001
Drawn By, BS
Checked By, BS

COVER SHEET

A000

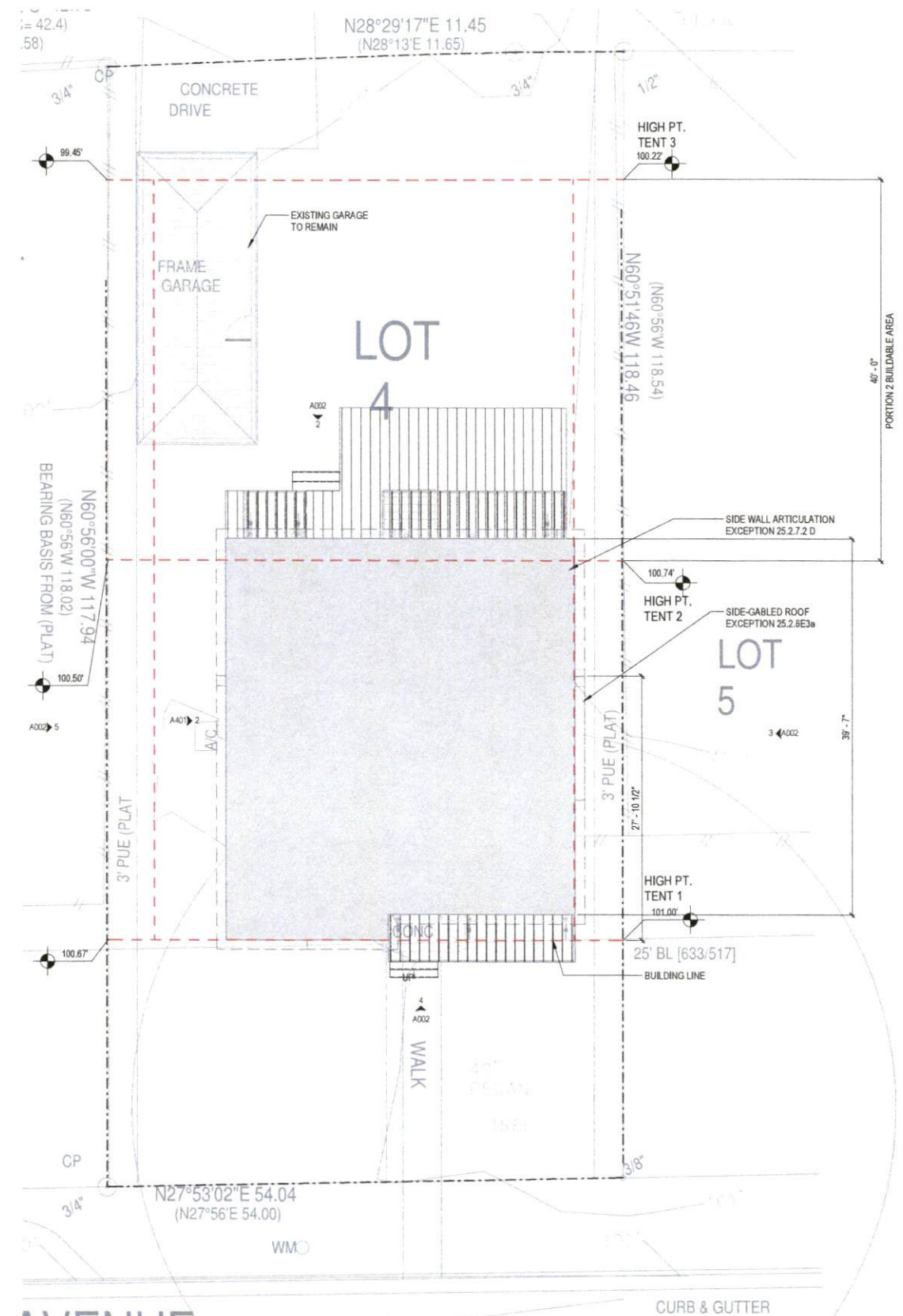


NORTH ELEVATION ②
1/8" = 1'-0"

EAST ELEVATION ③
1/8" = 1'-0"

SOUTH ELEVATION ④
1/8" = 1'-0"

WEST ELEVATION ⑤
1/8" = 1'-0"



CODE PLAN- LEVEL 1 ①
1/8" = 1'-0"

WORKSHOP

No 05

ARCHITECTURE + INTERIORS

3027 NORTH LAMAR BOULEVARD, SUITE 302B
AUSTIN, TEXAS 78705
512.760.8705

Seal:



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**GLENVIEW
ADDITION**

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Issue

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Project Number, 19-001
Drawn By, BS
Checked By, BS

SETBACK PLANES

A002

- LEGEND
- DEMOLISH
 - EXISTING
 - NEW WALL

GENERAL DEMO NOTES:

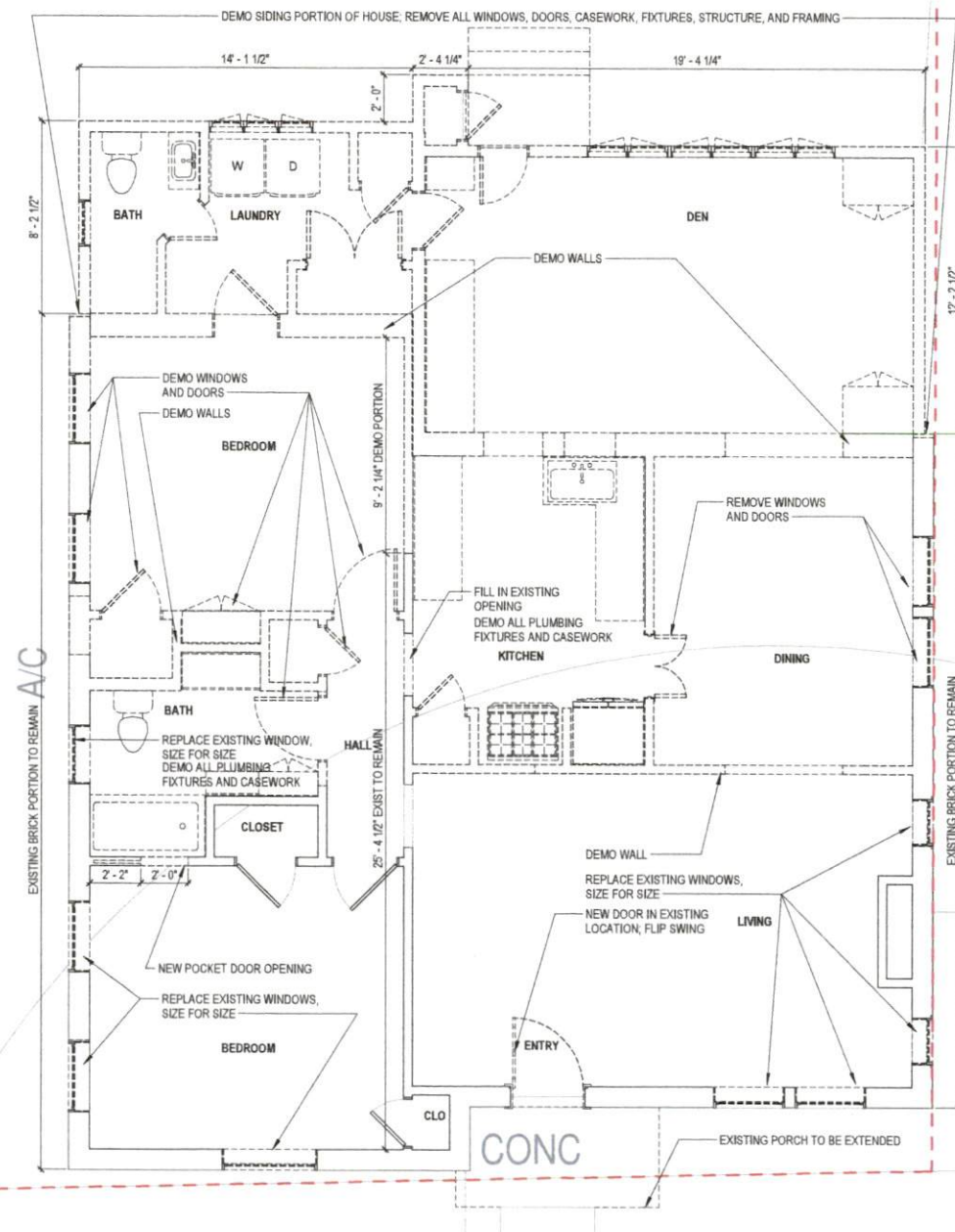
- COORDINATE WITH BUILDING OWNER FOR ITEMS TO BE SALVAGED.
- UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY. REMOVE FROM PROJECT SITE.
- ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN, WRAP IN PLASTIC AND PALLETIZE. ITEMS SHALL BE MOVED TO OWNER'S DESIGNATED STORAGE AREA.
- COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY OWNER.
- MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
- PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE.
- PROTECT BUILDING STRUCTURE AND INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
- PROTECT WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES THAT ARE TO REMAIN. COVER AND PROTECT FIXTURES, FURNISHINGS, AND EQUIPMENT THAT ARE TO REMAIN.
- NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
- PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE ANY AND ALL ITEMS REMOVED DURING THE DEMOLITION, WHICH ARE TO REMAIN. REPLACEMENT SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- WHERE ITEMS ARE DESIGNATED TO BE DEMOLISHED ON THE DRAWINGS, DEMOLITION SHALL INCLUDE ALL ASSOCIATED HANGERS, ACCESSORIES, APPURTENANCES, CONTROLS, AND WIRING UNLESS NOTED OTHERWISE.
- RELOCATE AND RECONNECT ACTIVE PORTIONS OF THE ELECTRICAL SYSTEM OUTSIDE OF THE SCOPE OF DEMOLITION, AS REQUIRED TO MAINTAIN A COMPLETE AND OPERATING SYSTEM THAT IS FUNCTIONALLY EQUIVALENT TO THE PRE-EXISTING SYSTEM PRIOR TO DEMOLITION.
- ALL EXISTING CONDUIT AND CONDUCTORS SERVING THE AREA UNDER CONTRACT NOT TO BE RE-USED SHALL BE TERMINATED AT LAST PORTION OF CIRCUIT REQUIRING ENERGIZATION BEFORE THE DEMOLITION AREA. IF A CIRCUIT SERVICES ONLY THE DEMOLITION AREA, REMOVE ALL CONDUITS AND CONDUCTORS BACK TO THE PANELBOARD OR BASE BUILDING GRID BOX AND DE-ENERGIZE THE CIRCUIT BREAKER, MAKING IT A SPARE. NOTE "SPARE" OR "GRID-SPARE" ACCORDINGLY ON PANELBOARD DIRECTORY FOR ALL UNUSED CIRCUITRY.
- ALL DEVICES REQUIRED TO BE DEMOLISHED ARE NOT NECESSARILY INDICATED ON PLANS. MAJOR EQUIPMENT IS INDICATED FOR REFERENCE. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING DEVICES LOCATED IN WALLS TO BE DEMOLISHED AND PROVIDING FOR COMPLETE DEMOLITION OR DEVICES AND ASSOCIATED WIRING, CONDUIT ETC.
- REMOVE ALL FIRE ALARM SYSTEM DEVICES AT DEMOLISHED WALLS AND REMOVE ALL ABANDONED CABLING BACK TO THE FIRE ALARM PANEL.
- REMOVE ALL COMMUNICATIONS CABLING IN THE DEMOLITION AREA. ALL EXISTING COMMUNICATIONS CABLING IN THE DEMOLITION AREA THAT IS TO REMAIN INTACT SHALL BE PROTECTED DURING DEMOLITION. COORDINATE ALL CABLING REMOVAL REQUIREMENTS WITH BUILDING OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- REMOVE ALL PLUMBING PIPING SERVING FIXTURES INDICATED TO BE DEMOLISHED. REMOVE PIPING BACK TO THE MAIN RISERS AND CAP. CAP UNDERGROUND SANITARY SEWER BY CAPPING PIPE BELOW FLOOR AND INSTALLING A FLOOR CLEANOUT.

FRAME
GARAGE

EXISTING GARAGE TO REMAIN

LOT
4

N60°51'46W 118.46



Seal:

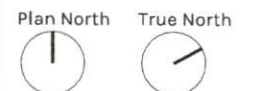


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GLENVIEW
ADDITION

3206 GLENVIEW AVE
AUSTIN, TX 78703



Issue

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Project Number, 19-001
Drawn By, ---
Checked By, ---

DEMOLITION PLAN

A200

DEMOLITION PLAN- LEVEL 1

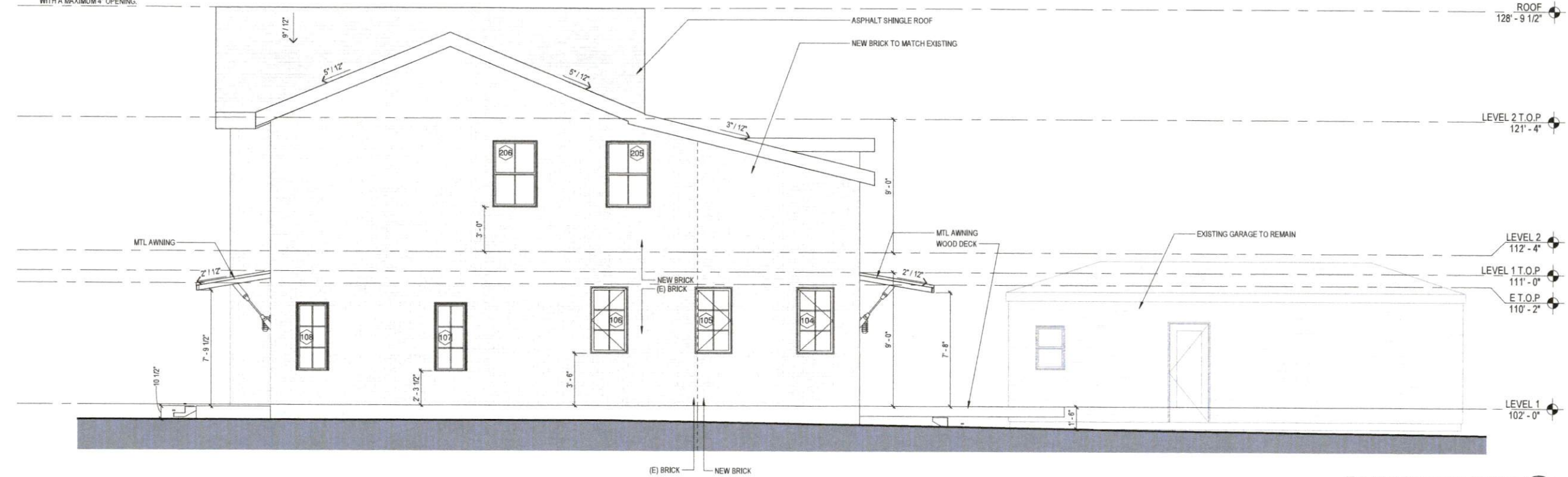
1/4" = 1'-0"

1

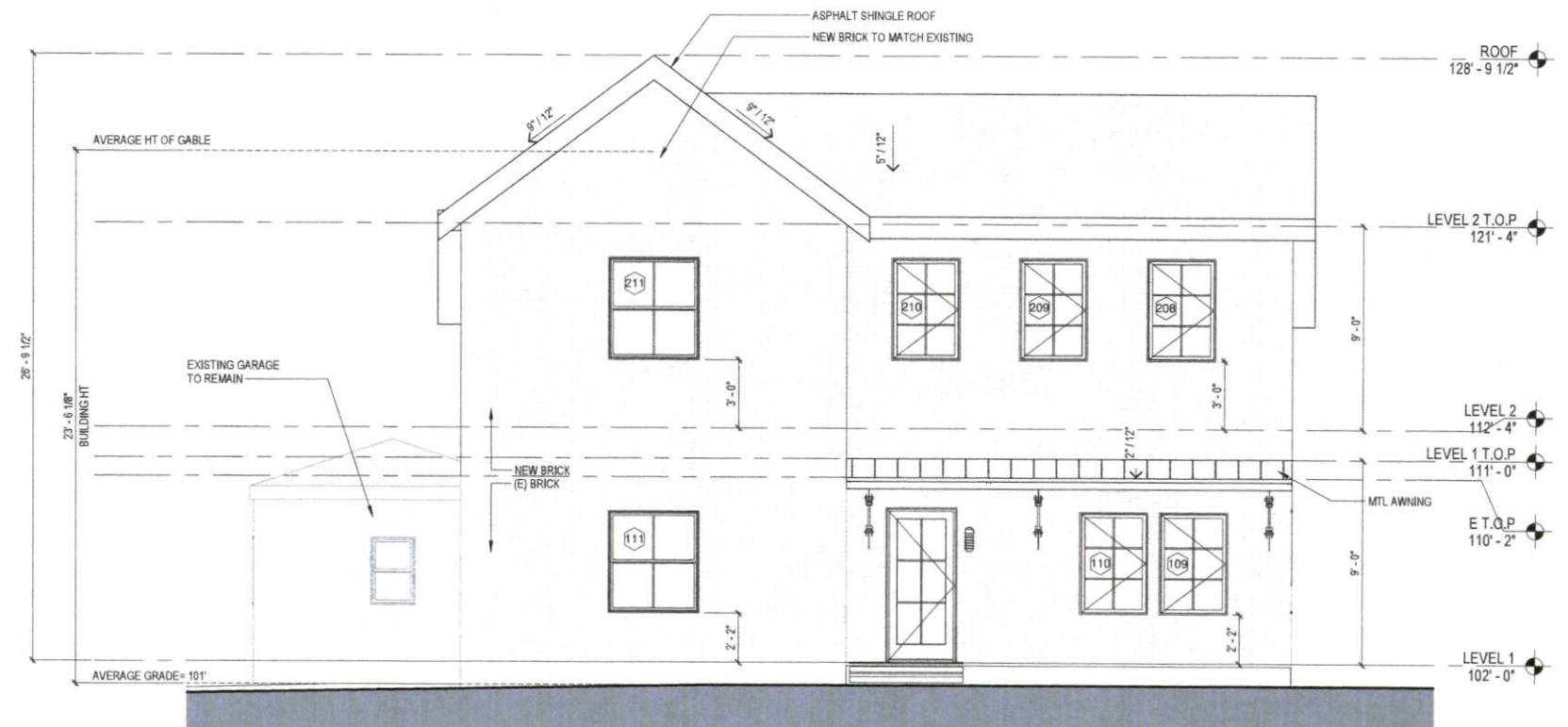
25

GENERAL ELEVATION NOTES

- HANDRAILS: PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HEIGHT: MEASURED VERTICALLY FROM THE SLOPED PLANE OF STAIRS OR RAMP SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38 INCHES.
- CONTINUITY: SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM DIRECTLY ABOVE THE TOP RISER TO DIRECTLY ABOVE THE LOWEST RISER AND SHALL BE RETURNED.
- PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, WITH A MAXIMUM 4" OPENING.



EAST ELEVATION ②
1/4" = 1'-0"



SOUTH ELEVATION ①
1/4" = 1'-0"

WORKSHOP

No 05

ARCHITECTURE + INTERIORS

3027 NORTH LAMAR BOULEVARD, SUITE 3028
AUSTIN, TEXAS 78705
512.790.8705

Seal:



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GLENVIEW ADDITION

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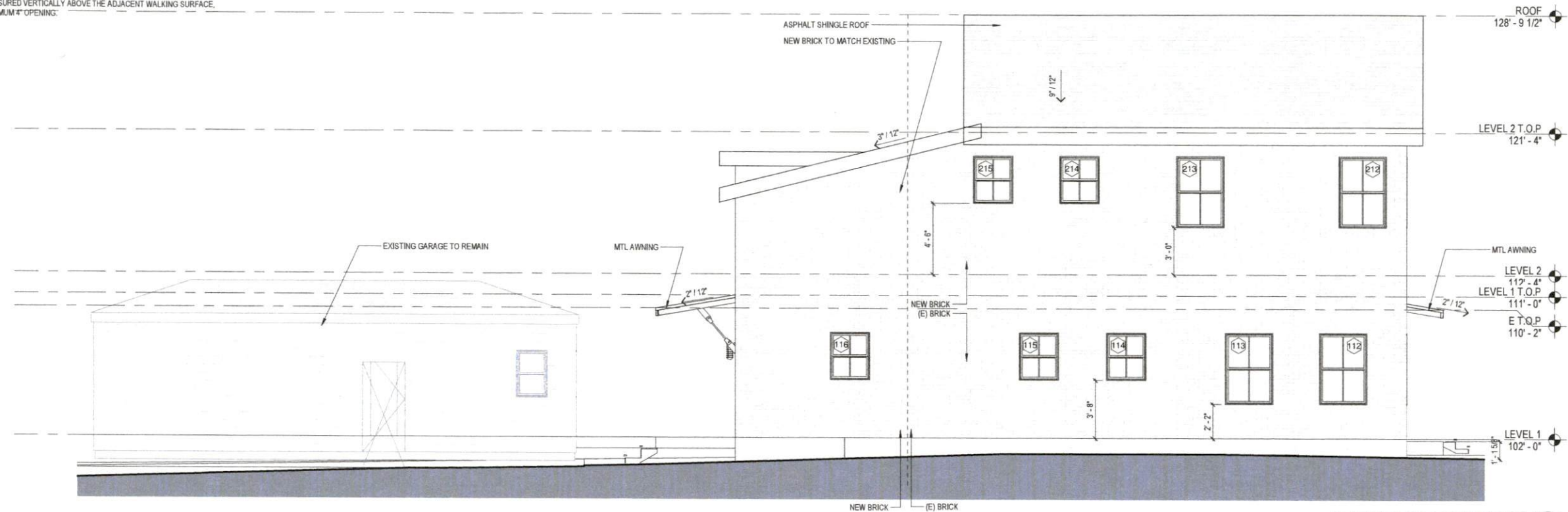
Project Number, 19-001
Drawn By, BS
Checked By, BS

EXTERIOR ELEVATIONS

A400

GENERAL ELEVATION NOTES

- HANDRAILS: PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- HEIGHT: MEASURED VERTICALLY FROM THE SLOPED PLANE OF STAIRS OR RAMP SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38 INCHES.
- CONTINUITY: SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM DIRECTLY ABOVE THE TOP RISER TO DIRECTLY ABOVE THE LOWEST RISER AND SHALL BE RETURNED.
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WEST ELEVATION ②
1/4" = 1'-0"



NORTH ELEVATION ①
1/4" = 1'-0"

WORKSHOP

No 05

ARCHITECTURE + INTERIORS

3027 NORTH LAMAR BOULEVARD, SUITE 302B
AUSTIN, TEXAS 78705
512.750.8705

Seal:



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GLENVIEW ADDITION

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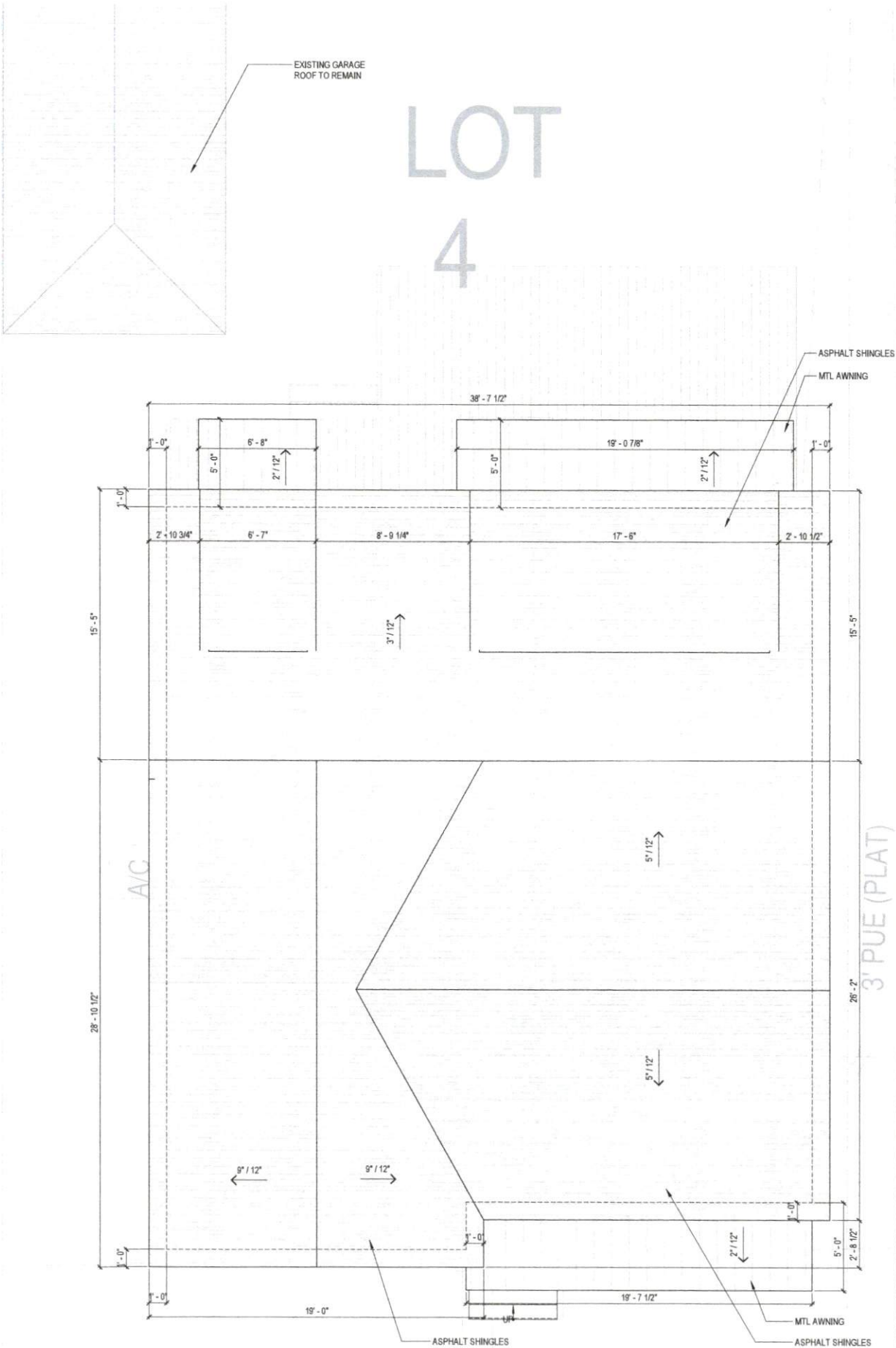
Checked By, BS

EXTERIOR ELEVATIONS

A401

N120°56'00"W 118.54'

3' PUE (PLAT



60°51'46"W 118.46'

(N60°56'W 118.54')

25' BL [633/517]

SOLAR-READY ZONE NOTES

1. SOLAR-READY ZONES MUST BE FREE FROM AND NOT SHADED BY OBSTRUCTIONS.
2. THE SOLAR-READY ZONE MUST HAVE A TOTAL OF NOT LESS THAN 240 SF PER NEW DETACHED SINGLE FAMILY OR TWO-FAMILY DWELLINGS. TOWNHOMES MUST HAVE AN AREA GREATER THAN 160 SF. AND MULTIFAMILY BUILDINGS OF FOUR STORIES OR FEWER MUST HAVE A ZONE THAT IS NOT LESS THAN 35% OF THE TOTAL ROOF AREA OF THE BUILDING.
3. IT MUST BE ORIENTED BETWEEN 90 AND 300 DEGREES OF TRUE NORTH, AND COMPRISE AREAS NOT LESS THAN SIX FEET ON ONE SIDE AND AT LEAST ONE AREA OF NOT LESS THAN 100 SF.
4. SOLAR-READY ZONES CAN BE IN MORE THAN ONE LOCATION.

WORKSHOP

No 05

ARCHITECTURE + INTERIORS

3007 NORTH LAMAR BOULEVARD, SUITE 300B
AUSTIN, TEXAS 78705
512.710.8705

Seal:



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ROOF PLAN

ROOF PLAN 1
1/4" = 1'-0"

A600

Seal:



04.17.2019

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GENERAL WINDOW NOTES

- ALL WINDOWS TO BE PROVIDED BY THE SAME MANUFACTURER, U.N.O.
- EXTERIOR FINISH FOR ALL WINDOWS TO BE METAL U.N.O.- COLOR TBD.
- INTERIOR FINISH FOR ALL WINDOWS TO BE DECIDED- COLOR TBD. REFER TO EXTERIOR ELEVATIONS FOR PLACEMENT OF WINDOWS FROM FINISH FLOOR.
- PROVIDE TEMPERED SAFETY GLAZING AS REQUIRED BY 2015 IRC SECTION R308.4.
- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING 5.7 SF, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND MINIMUM CLEAR OPENING WIDTH OF 20".

GENERAL DOOR, FRAME AND HARDWARE NOTES

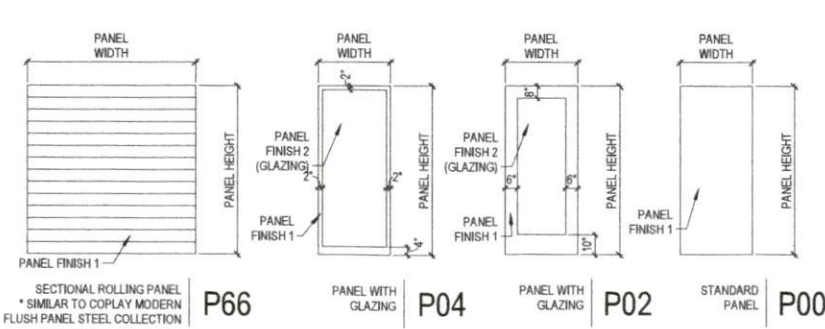
- ALL HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATION DEVICES ON ALL VISITABLE DOORS SHALL BE LEVER STYLE, U.N.O. AND MOUNTED AT 36" A.F.F.
- COORDINATE KEYING WITH BUILDING OWNER.
- IN CASE OF REMODEL OR ADDITION, DOOR HARDWARE TO MATCH EXISTING TYPE AND FINISH. NF IN SCHEDULE INDICATES NO FRAME.
- EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. MINIMUM HEIGHT TO BE 78". A LANDING WITH A MINIMUM DIMENSION OF 36" AND SLOPE OF 2% IN THE DIRECTION OF TRAVEL MUST BE PROVIDED. LANDINGS SHALL NOT BE MORE THAN 1 1/2' BELOW TOP OF THRESHOLD.
- FOR OUTSWINGING EXTERIOR DOORS PROVIDE EXTERIOR GRADE HARDWARE.
- PROVIDE SAFETY GLAZING FOR ALL GLAZED PANELS IN DOORS.

WINDOW SCHEDULE

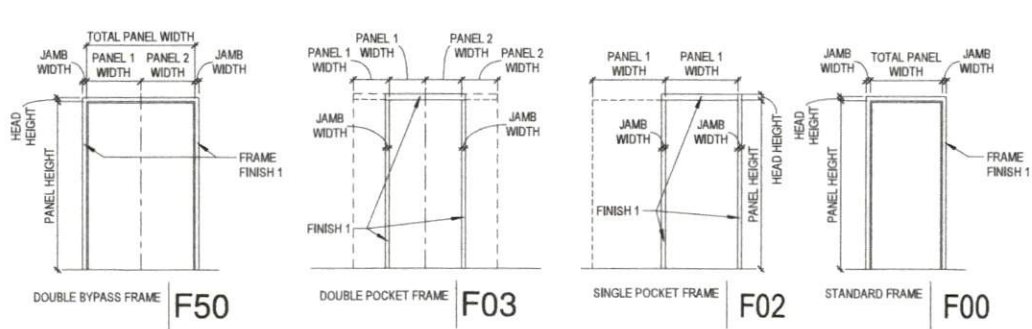
Mark	Type	Width	Height	Description	Head Height	Comments
100	A	3'-0"	6'-8"	FIXED	6'-8"	TEMPERED GLASS
101	B	3'-0"	1'-4"	FIXED TRANSOM	8'-0"	
102	A	3'-0"	6'-8"	FIXED	6'-8"	TEMPERED GLASS
103	B	3'-0"	1'-4"	FIXED TRANSOM	8'-0"	
104	C	2'-6"	4'-6"	CASEMENT	8'-0"	
105	C	2'-6"	4'-6"	CASEMENT	8'-0"	
106	C	2'-6"	4'-6"	CASEMENT	8'-0"	
107	H	2'-0"	4'-6"	FIXED	6'-8"	NEW WINDOW IN EXISTING OPENING
108	H	2'-0"	4'-6"	FIXED	6'-8"	NEW WINDOW IN EXISTING OPENING
109	E	3'-0"	4'-6"	CASEMENT	6'-8"	NEW WINDOW IN EXISTING OPENING
110	E	3'-0"	4'-6"	CASEMENT	6'-8"	NEW WINDOW IN EXISTING OPENING
111	F	4'-0"	4'-6"	SINGLE HUNG	6'-8"	NEW WINDOW IN EXISTING OPENING
112	D	3'-0"	4'-6"	SINGLE HUNG	6'-8"	NEW WINDOW IN EXISTING OPENING
113	D	3'-0"	4'-6"	SINGLE HUNG	6'-8"	NEW WINDOW IN EXISTING OPENING
114	G	2'-6"	3'-0"	SINGLE HUNG	6'-8"	NEW WINDOW IN EXISTING OPENING
115	G	2'-6"	3'-0"	SINGLE HUNG	6'-8"	
116	G	2'-6"	3'-0"	SINGLE HUNG	6'-8"	
200	E	3'-0"	4'-6"	CASEMENT	6'-0"	EGRESS
201	E	3'-0"	4'-6"	CASEMENT	6'-0"	EGRESS
202	I	3'-0"	4'-6"	FIXED	5'-10 1/2"	
203	I	3'-0"	4'-6"	FIXED	5'-10 1/2"	
204	E	3'-0"	4'-6"	CASEMENT	6'-0"	
205	D	3'-0"	4'-6"	SINGLE HUNG	7'-6"	EGRESS
206	D	3'-0"	4'-6"	SINGLE HUNG	7'-6"	
208	E	3'-0"	4'-6"	CASEMENT	7'-6"	
209	E	3'-0"	4'-6"	CASEMENT	7'-6"	EGRESS
210	E	3'-0"	4'-6"	CASEMENT	7'-6"	
211	F	4'-0"	4'-6"	SINGLE HUNG	7'-6"	
212	D	3'-0"	4'-6"	SINGLE HUNG	7'-6"	EGRESS
213	D	3'-0"	4'-6"	SINGLE HUNG	7'-6"	
214	G	2'-6"	3'-0"	SINGLE HUNG	7'-6"	
215	G	2'-6"	3'-0"	SINGLE HUNG	7'-6"	

DOOR SCHEDULE

Mark	Level	Width	Height	Type Comments	# of Panels	Comments
100	LEVEL 1	3' - 1 1/2"	6' - 10"			NEW DOOR IN EXISTING OPENING, FLIP SWING
104	LEVEL 1	6' - 0 5/8"	8' - 4"		2	
105	LEVEL 1	4' - 0"	6' - 8"		2	
106	LEVEL 1	2' - 8"	6' - 8"			EXISTING DOOR TO REMAIN
107	LEVEL 1	2' - 0"	6' - 8"			EXISTING DOOR TO REMAIN
108	LEVEL 1	2' - 6"	6' - 8"			EXISTING DOOR TO REMAIN
109	LEVEL 1	2' - 0"	6' - 8"			
110	LEVEL 1	2' - 0"	6' - 8"			
112	LEVEL 1	3' - 1 1/2"	8' - 4"			
201	LEVEL 2	2' - 8"	6' - 8"			
202A	LEVEL 2	2' - 8"	6' - 8"			
202B	LEVEL 2	2' - 4"	6' - 8"			
203	LEVEL 2	2' - 8"	6' - 8"			
204	LEVEL 2	5' - 0"	6' - 8"			
205	LEVEL 2	2' - 8"	6' - 8"			
206A	LEVEL 2	2' - 8"	6' - 8"			
207	LEVEL 2	2' - 8"	6' - 8"			
207B	LEVEL 2	2' - 8"	6' - 8"			
208	LEVEL 2	2' - 8"	6' - 8"			
209	LEVEL 2	2' - 8"	6' - 8"			
211	LEVEL 2	2' - 0"	4' - 8"			

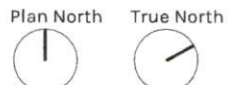


DOOR PANEL TYPES
1/4" = 1'-0"



DOOR FRAME TYPES
1/4" = 1'-0"

GLENVIEW
ADDITION
3206 GLENVIEW AVE
AUSTIN, TX 78703



Issue
1 04.17.2019 PERMIT SET

Project Number, 19-001
Drawn By, BS
Checked By, BS

DOORS AND WINDOWS
A800