

AUSTIN ENERGY REPORT



June 27, 2019

Robin Campbell
1200 W 29th St
Austin TX, 78703

Property Description: LOT 1 BELMONT

Re: C15-2019-0035

Dear Robin,

Austin Energy (AE) has reviewed your application for the above referenced property, requesting that the Board of Adjustment consider a variance(s) from the Garage Placement requirement of Section 25-2-1604 (C) (1) & (2) for a garage from 50% (required) to 224% (requested) with a width of 21 feet 1 inch in order to erect a single family residential use in a "SF-3NP", Family Residence – Neighborhood Plan zoning district. (Windsor Road Neighborhood Plan).

Austin Energy does not oppose request provided any proposed and existing improvements are in compliance with AE clearance criteria requirements, The National Electric Safety Code and OSHA. Any removal or relocation of existing electric facilities will be at owners/applicants expense.

Please use this link to be advised of our clearance and safety requirements which are additional conditions of the above review action:

https://library.municode.com/tx/austin/codes/utilities_criteria_manual?nodeId=S1AUENDECR_1.10.0CLSARE

If you require further information or have any questions regarding the above comments, please contact our office. Thank you for contacting Austin Energy.

Eben Kellogg, Property Agent

Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
(512) 322-6050

BOA CASE REVIEW SHEET

CASE: C15-2019-0035

BOA DATE: July 8, 2019

ADDRESS: 1200 W. 29th St.

COUNCIL DISTRICT:

OWNER: Srimathi Rangarajan

AGENT: Perry Hunt for David Weekley

ZONING: SF-3-NP (Windsor Road)

LEGAL DESCRIPTION: LOT 1 BELMONT

VARIANCE REQUEST: Garage Placement 25-2-1604

SUMMARY: to build a Single-Family Residence

ISSUES: The lot has a slope that requires the garage to be on a lower level

	ZONING	LAND USES
<i>Site</i>	SF-3-NP	Single-Family
<i>North</i>	SF-3-NP	Single-Family
<i>South</i>	SF-3-NP	Single-Family
<i>East</i>	SF-3-NP; P-NP	Single-Family; Park
<i>West</i>	SF-3-NP	Single-Family

NEIGHBORHOOD ORGANIZATIONS:

Austin Independent School District, Austin Neighborhoods Council, Bike Austin, Bryker Woods Neighborhood Association, Central West Austin Neighborhood Plan Contact Team, Friends of Austin Neighborhoods, Hill Country Conservancy, Homeless Neighborhood Association, Neighborhood Empowerment Foundation, Preservation Austin, SEL Texas, Shoal Creek Conservancy, Sierra Club, Austin Regional Group, West Austin Neighborhood Group

I-3/2



SUBJECT TRACT



PENDING CASE



ZONING BOUNDARY

NOTIFICATIONS

CASE#: C15-2019-0035

LOCATION: 1200 W 29TH ST



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

1" = 333'



CITY OF AUSTIN

Development Services Department

One Texas Center | Phone: 512.978.4000

505 Barton Springs Road, Austin, Texas 78704

Board of Adjustment General/Parking Variance Application

WARNING: Filing of this appeal stops all affected construction activity.

This application is a fillable PDF that can be completed electronically. To ensure your information is saved, [click here to Save](#) the form to your computer, then open your copy and continue.

The Tab key may be used to navigate to each field; Shift + Tab moves to the previous field. The Enter key activates links, emails, and buttons. Use the Up & Down Arrow keys to scroll through drop-down lists and check boxes, and hit Enter to make a selection.

The application must be complete and accurate prior to submittal. ***If more space is required, please complete Section 6 as needed.*** All information is required (if applicable).

For Office Use Only

Case # _____ ROW # _____ Tax # _____

Section 1: Applicant Statement

Street Address: 1200 W 29th Street Austin, TX 78703

Subdivision Legal Description:

LOT 1 BELMONT

Lot(s): 1 Block(s): _____

Outlot: _____ Division: Belmont

Zoning District: _____

I/We Perry Hunt; David Weekley Homes on behalf of myself/ourselves as authorized agent for Anand Rajan and Srimathi Rangarajan affirm that on Month May ☐, Day 15 ☐, Year 2019 ☐, hereby apply for a hearing before the Board of Adjustment for consideration to (select appropriate option below):

☐ Erect ☐ Attach ☐ Complete ☐ Remodel ☐ Maintain ☒ Other: Build

Type of Structure: Single Family Residence

Portion of the City of Austin Land Development Code applicant is seeking a variance from:

LDC-25-2-1604-1&2 -Garage Placement-(1)may not be closer to the front lot line than the frontmost exterior wall of the 1st floor of the building facade(2)if the parking structure is less than 20 ft behind the building facade, width of the parking structure may not exceed 50% of of the width of the building facade, measured parallel to the front lot line, or line determind by B.O

Section 2: Variance Findings

The Board must determine the existence of, sufficiency of, and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional supporting documents.

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

I contend that my entitlement to the requested variance is based on the following findings:

Reasonable Use

The zoning regulations applicable to the property do not allow for a reasonable use because:

The lot has a slope that requires the garage to be on a lower level by itself, which means the lower level cannot meet the 50% requirement.

Hardship

a) The hardship for which the variance is requested is unique to the property in that:

This lot slopes about 10 feet from left to right, and there are large, protected trees on the left side. If those were not there, we could place the garage on the left side, which also requires the garage to be dropped(or else the garage would be 8' above grade).

b) The hardship is not general to the area in which the property is located because:

The house across the street has a similar issue (garage dropped lower than the rest of the house) due to the slope, but it was built prior to the 'garage placement' being adopted. Otherwise, a vast majority of lots do not have this sort of slope, especially with trees on the high sides of the lot.

Area Character

The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The house across the street has this layout already. The prior home on this same lot also had the garage dropped down on a lower level. The intent of the 'garage placement' tool was to make sure the garage did not dominate the front elevation, and the design absolutely follows the intent of the code.

Parking (additional criteria for parking variances only)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed in the City of Austin Land Development Code Chapter 25-6, Appendix A with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonably require strict or literal interpretation and enforcement of the specific regulation because:

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

Section 3: Applicant Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Applicant Signature: [Signature] Date: 5/15/19

Applicant Name (typed or printed): PERRY HUNT; DAVID WEEKLEY HOMES

Applicant Mailing Address: 9000 WATERFORD CENTRE BLVD

City: AUSTIN State: TX Zip: 78758

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 4: Owner Certificate

I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Owner Signature: [Signature] Date: 5/14/2019

Owner Name (typed or printed): SRIMATHI RANGARAJAN

Owner Mailing Address: 9013 CATTLE CHUTE CROSSING,

City: AUSTIN State: TX Zip: 78717

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 5: Agent Information

Agent Name: PERRY HUNT; DAVID WEEKLEY HOMES

Agent Mailing Address: 9000 WATERFORD CENTRE BLVD

City: AUSTIN State: TX Zip: 78758

Phone (will be public information): _____

Email (optional – will be public information): _____

Section 6: Additional Space (if applicable)

Please use the space below to provide additional information as needed. To ensure the information is referenced to the proper item, include the Section and Field names as well (continued on next page).

Additional Space (continued)

We are requesting a variance from LDC-25-2-1604-1&2 -Garage Placement-(1)may not be closer to the front lot line than the frontmost exterior wall of the 1st floor of the building facade(2)if the parking structure is less than 20 ft behind the building facade, width of the parking structure may not exceed 50% of of the width of the building facade, measured parallel to the front lot line, or line determind by B.O. This lot has a slope that requires the garage to be on a lower level by itself, which means that the lower level cannot meet the 50% requirement. We are requesting to change the 50% requirement to 224%. The lot slopes about 10 feet from left to right and has many large protected trees on the left side. If those trees were not there, we could place the garage on the left side on the home, but it would also require the garage to be dropped. Pushing the garage face back 20' behind the rest of the home would cause a significant increase of concrete/impervious coverage. This would also cause the the driveway slope to become greater from the street to the garage because the lot slopes from front left to back right. Placing the garage at the same level as the upper living would create a 7' rise from the street to the garage. We would then have to create and engineered bridge connecting the street to the driveway and the driveway would then become extremely challenging to get in and out of and park on. The previous home on this same lot had the garage dropped on a lower level. The house across the street has a similar layout(garage dropped lower than the rest of the house) due to the slope, but was built prior to the 'garage placement' being adopted. Otherwise, a majority of lots do not have this sort of slope, especially with trees on the high side of the lot. The intent of the 'garage placement' tool was to make sure that the garage did not dominate the front elevation, and the design absolutely follows the intent of the code.

SAVE



FEE WAIVER FORM














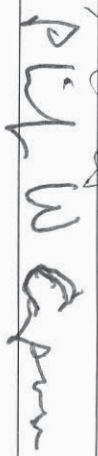
I, ANAND KATIAN, am applying for a variance from the Board of Adjustment regarding Section 25-2-1604f the Land Development Code. The variance would allow me the ability to construct a garage facing the front yard placed lower than the main level, with a width less than 50% of the width of the building facade.

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
FRED FALBO	1303 B W. 29TH ST,	
<u>Christina Riley</u>	1304 W. 29TH ST.	
<u>R. Denton</u>	3000 Belmont Cir	<u>C. Hentrich</u>
<u>Thomas W. Papp</u>	3803 Oakmont Cir	<u>Paulina Ward</u>
<u>Michael Eckelhardt</u>	1402 W. 29TH ST	
Paul Terveit	1106 W. 29TH ST,	
Misty Reid	1301 W. 29TH ST.	<u>Misty Reid</u>

FEE WAIVER FORM

By signing this form, I understand that I am declaring my support for the variance being requested.

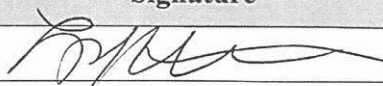
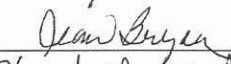
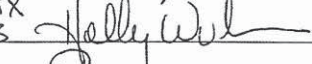
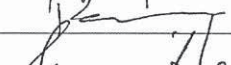

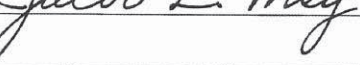
Property Owner Name (Printed)	Address	Signature
Lindsey Hanna	3081 Belmont Cir 78103	
David Bragan	2822 B Woodbridge Dr. 78103	
Holly Mearns	2903 Oakhurst Ave Austin TX 78103	
Paul Damien	1104 W. 29th St.	
Susan Heard	1103 Belmont Pkwy	
Rebecca Dyer	2907 Oakhurst Ave.	
Mendy H/brecht	2817 Woodbridge Dr.	
LANCE Pharris	1201 Belmont Pkwy	
Leif Johnson	1105 Belmont Pkwy	
Chaine Oswalt	3004 Belmont Ln.	
Mark Felis	2822 Woodbridge Dr.	
Philip Capron	1203 BECMONT PKWY	

<https://mail.google.com/mail/u/0/#inbox/FMfcgxwCgpdRKKLcsSnsGgNpfjqktdV?projector=1&messagePartId=0.3>

[illegible]

FEE WAIVER FORM

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
Lindsey Hanna	3001 Belmont Cir 78703	
Jean Bryan	2822 B Woodbridge Dr. 78703	
Holly Wukasch	2903 Oakhurst Ave Austin TX 78703	
PAUL DAMIEN	1104 W 29th St.	
SUSAN HEARD	1103 Belmont Pkwy	
Jacob L. Mey	1100 W 29th St.	

SCALE: 1"=20'



LEGEND

---	WOOD FENCE
---X---	CHAIN LINK FENCE
---	WIRE FENCE
---	UTILITY LINE
---	WROUGHT IRON FENCE
AC	A/C UNIT
EM	ELEC. METER
G	GAS METER
WM	WATER METER
●	IRON ROD FND.
△	NAIL SET
○	PIPE FND.
○	UTILITY POLE
○	GUY ANCHOR
---	B.L. BUILDING LINE
---	D.E. DRAINAGE EASEMENT
---	P.U.E. PUBLIC UTILITY EASEMENT

BELMONT
SECTION TWO
VOL. 7, PG. 86
LOT 8

* IMPORTANT NOTICE *

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1.

SURVEYOR'S NOTES

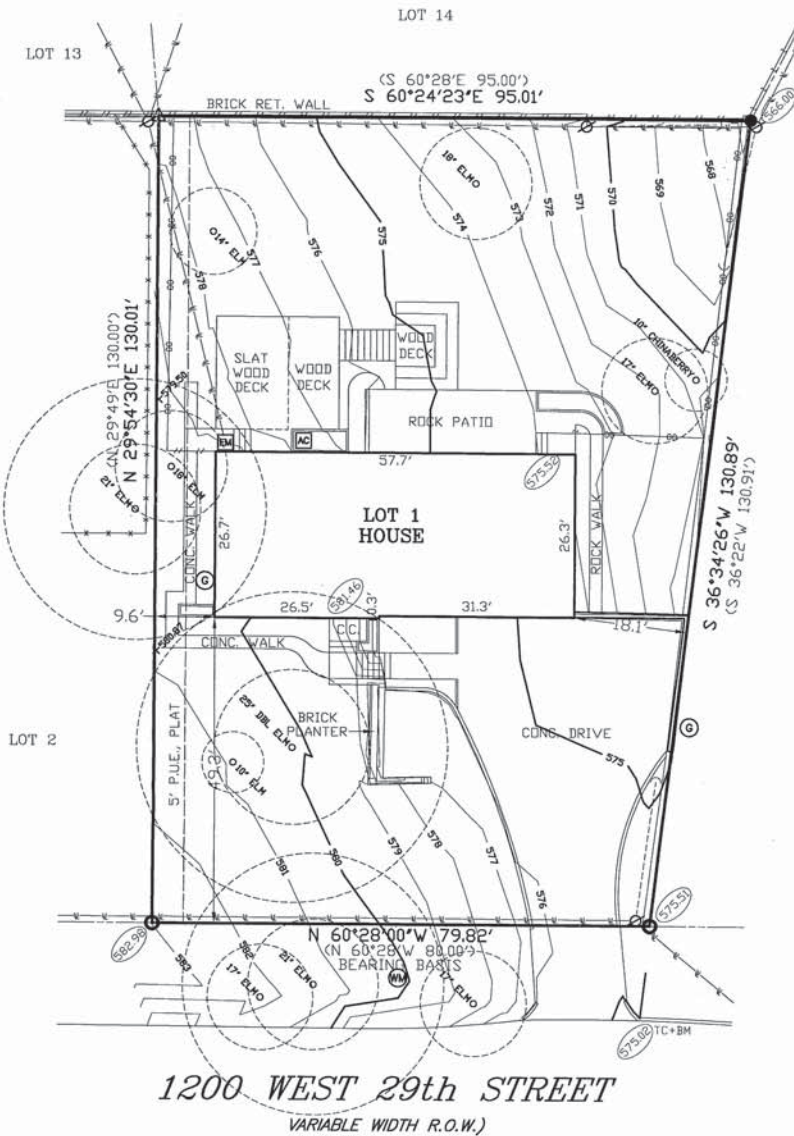
() DENOTES RECORD INFORMATION

THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT AREA SUMMARY

TOTAL LOT AREA.....11360 SQ.FT.



1200 WEST 29th STREET
VARIABLE WIDTH R.O.W.)

LOT No. 1 BLOCK "A"
SECTION 2 PHASE 1
CITY TRAVIS COUNTY, TEXAS
SUBDIVISION / ADDITION BELMONT
Book 5 Page(s) 173
Volume Slide
Document No. Official Public Records of County, Texas
Reference: WEEKLEY



Roger L. Way



ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200
AUSTIN TX. 78704

TELE.: (512) 440-0071 - FAX: (512) 440-0199

FIRM REGISTRATION # 10118900

By: Date:
FIELD WORK WW 02-16-18
DRAWING SCN
SURVEY DATE: 02-20-18
Job No. 02B21118
SCALE: 1"=20'

EXHIBIT 3 EXPLANATION

IF WE PLACE THE GARAGE AT THE SAME LEVEL AS THE UPPER LIVING AND PLACE IT ON THE RIGHT SIDE IT WILL CREATE OVER A 7' RISE FROM THE STREET TO THE GARAGE. WE WOULD HAVE TO CREATE AN ENGINEERED BRIDGE CONNECTING THE STREET TO THE DRIVEWAY AND THE DRIVEWAY WOULD BE EXTREMELY CHALLENGING TO GET IN AND OUT OF AND PARK ON.

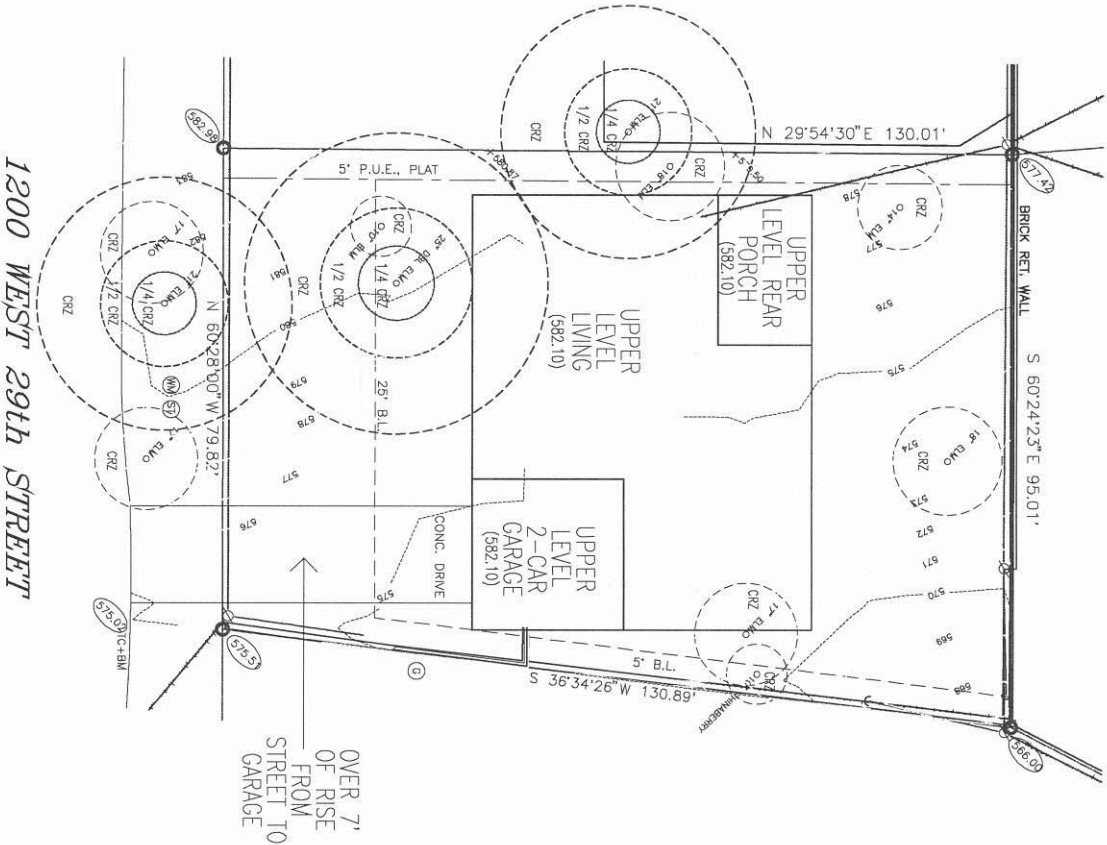
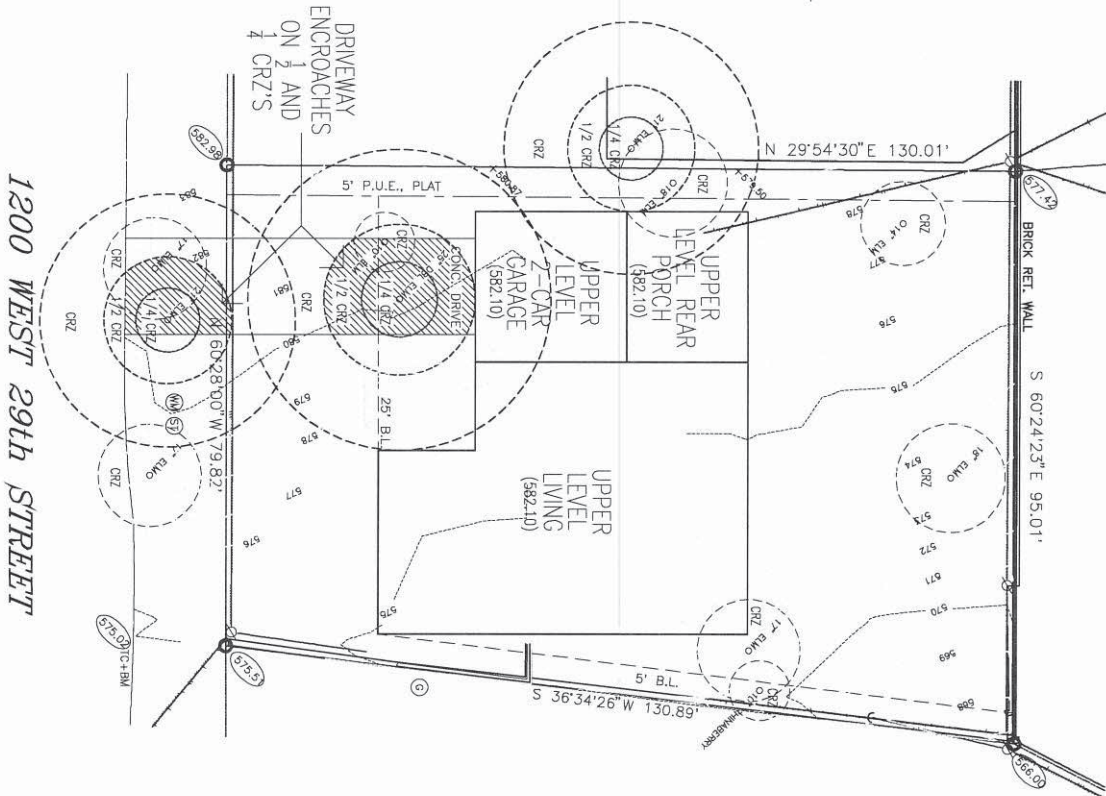


EXHIBIT 1 EXPLANATION

IF WE REVERSE THE SWING OF THE HOUSE TO HAVE THE GARAGE ON THE LEFT, THE DRIVEWAY WILL ENCRONCH ON THE $\frac{1}{4}$ AND $\frac{1}{4}$ CRITICAL ROOT ZONES OF THE 25" DBL ELM IN THE FRONT YARD WHILE PLACING THE TRUNK OF THE TREE IN THE MIDDLE OF THE DRIVEWAY. THE DRIVEWAY WILL ALSO ENCRONCH ON THE $\frac{1}{4}$ AND $\frac{1}{4}$ CRITICAL ROOT ZONES OF THE 21" ELM IN THE FRONT YARD WHILE PLACING THE TRUNK OF THE TREE IN THE MIDDLE OF THE DRIVEWAY. BOTH OF THESE TREES ARE PROTECTED THEREFOR THIS OPTION IS NOT POSSIBLE. ANY OPTION THAT HAS THE GARAGE ON THE LEFT WILL HAVE THIS SAME ISSUE.



NORTH
9799 A
PLT PLAN-1
AUSTIN

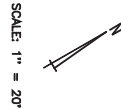
1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.:
2158
Job No.:
0036
Lot: 1
Blk:
Sect:

David Weekley Homes

Scale: 1" = 20'-0"
Date: Rev.:

© Weekley Homes L.P. 2006
The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.



SCALE: 1" = 20'



March 12, 2019

D. D. W. Homes

LEGEND

- WOOD FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- UTILITY LINE
- WROUGHT IRON FENCE
- A/C UNIT
- ELEC. METER
- GAS METER
- WATER METER
- IRON ROD FND.
- MAIL SET
- PIPE FND.
- UTILITY POLE
- GUY ANCHOR
- BUILDING LINE
- D.E.
- EASEMENT
- P.U.E.

IMPORTANT NOTICE

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF TITLE REPORT AND WITHOUT ANY INSURANCE COVERAGE ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 1.

SURVEYOR'S NOTES

() DENOTES RECORD INFORMATION
THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.
ALL POINTS WERE NOT MADE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT AREA SUMMARY

TOTAL LOT AREA.....11360 SQ.FT.

NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY

NOTE:

A FULL RESIDENTIAL SPRINKLER SYSTEM, DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE NFPA 13D OR THE 2012 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY

NOTE:

HOME TO BE EQUIPPED WITH FIRE SPRINKLER SYSTEM PER NFPA 13D OR IRC SECTION P2904 (2012). THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THEIR LICENSE. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS.

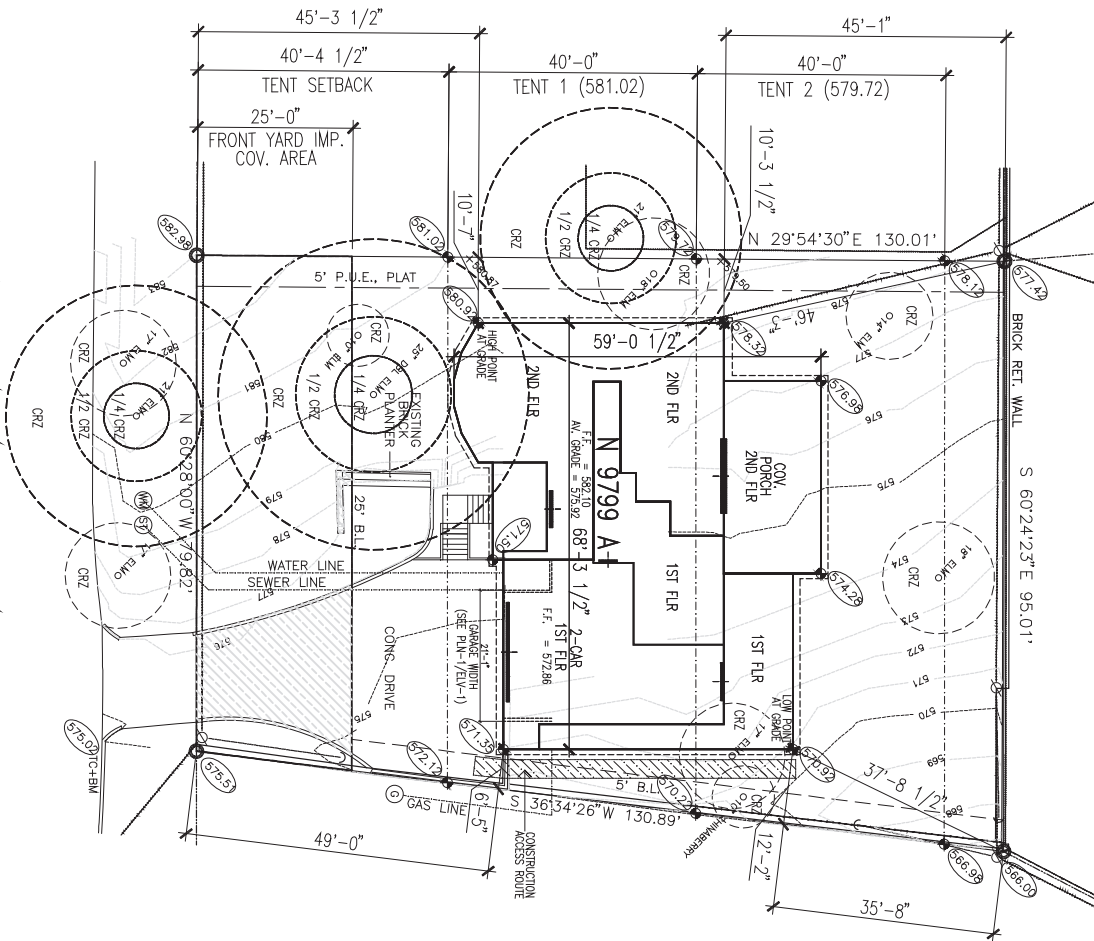
FRONT YARD- IMP. %
TOTAL AREA = 2,032 SQ.FT.
IMPERVIOUS = 491 SQ.FT.
24.16% COVERED

AVERAGE GRADE CALC

HIGH POINT GRADE = 580.92
LOW POINT GRADE = 570.92
TOTAL = 1,151.84
12
AVERAGE GRADE = 575.92

BUILDER TO PAY FEE IN LIEU
OF POURING CITY SIDEWALK

1200 WEST 29th STREET



NORTH
9799 A
PLT PLAN-1
AUSTIN

1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.:
2158
Job No.:
0036
Lot: 1
Blk:
Sect:

David Weekley Homes
Date: _____ Scale: 1" = 20'-0"
Rev.: _____

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~~NOT ORIGINAL DWH PLAN~~
~~THIS PLAN HAS BEEN~~
~~REVISED BY 3RD PARTY~~



Do u like

THE FOLLOWING APPLIES TO ALL TREES 19" AND LARGER ON SITE:

1. A MINIMUM OF SEVEN OF THE CRZ MUST BE PRESENTED AT NATURAL GRADE, WITH NATURAL GROUND COVER.
2. NO CUT OR TILL GREATER THAN FOUR (4) INCHES WILL BE LOCATED WITHIN THE 1/2 CRZ.
3. NO CUT OR TILL IS PERMITTED WITHIN THE 1/4 CRZ.
4. REMOVAL/PRUNING MUST BE 25% OF THE COUNTRY MUST BE APPROVED BY AN ARBORIST PRIOR TO PERFORMING THE REMOVAL. TAKE PHOTOS OF ANY TREES PRIOR TO REMOVAL/PRUNING.

NONE OF THE FOLLOWING WILL IMPACT ANY OF THE 1/2-CRZ OF ANY TREES ON THIS SITE: ACCESS ROUTE MATERIAL STAGING AREA, SPOILS, PORT-A-POTTY, OR CONCRETE WASHOUT AREA.



NORTH
9799 A
PLT PLAN-2

**1200 W. 29TH ST.
AUSTIN, TEXAS**

Proj. No.:	2158
Job No.:	0036

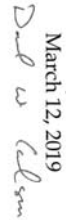
Lot:	1
Blk:	
Sect:	

David Weekley Homes

	Scale: 1/8" = 1'-0"
Date:	Rev.:

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NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY



THE FOLLOWING APPLIES TO ALL TREES 19" AND LARGER ON SITE:

1. A MINIMUM OF 5% OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.

2. NO CUT OR FILL GREATER THAN 4" INCHES WILL BE LOCATED WITHIN THE 1/2 CRZ.

3. NO CUT OR FILL IS PERMITTED WITHIN THE 1/4 CRZ.

4. TRIMMING/PRUNING MUST BE 25% OF THE CANOPY MUST BE APPROVED BY AN ARBORIST PRIOR TO PERFORMING THE TRIMMING. THE PHOTOS OF ANY TREES PRIOR TO TRIMMING/PRUNING.

[illegible]



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March 12, 2019
J W Cullen



NORTH
9799 A
FS-2

1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.:
2158
Job No.:
0036

Lot:	1
Blk:	
Sect:	

David Weekley Homes

	Scale: $1/8" = 1'-0"$
Date:	Rev.:

© Weekley Homes L.P. 2005
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I-3/22

March 12, 2019



H.C.B.D.C.
HOMES & COMMUNITIES
INCORPORATED

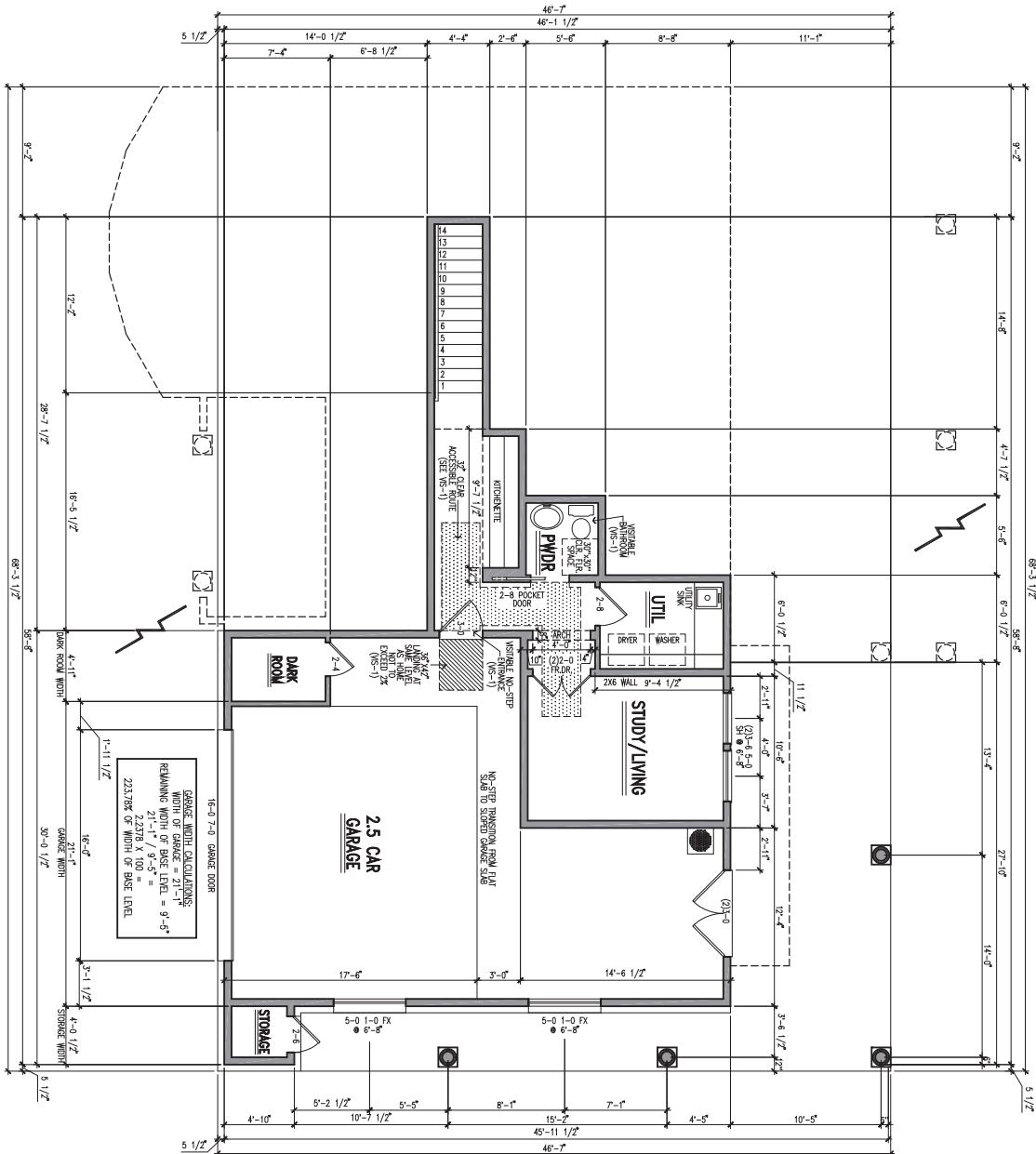
David W. Weekley

ITEM	FAIR	IMP. CON.	BUDG. CON.	GROSS	NET
COA. WAX, ALLOWED	40	45.00K	40.00K	445	445
FLOOR 1 LIVING	445	445	445	445	445
FLOOR 2 LIVING	2,334	1,168	1,168	2,334	2,334
FLOOR 3 LIVING	608			608	546
TOTAL LIVING	3,407			3,407	3,327
FRONT PORCH	127	127			
REAR PORCH 1ST FLR	**424	424	424		
REAR PORCH 2ND FLR	478	478			
2.5-CAR GARAGE	446	696	696	664	
DARK ROOM	41	41	41		
STORAGE ROOM	23	23	23		
SIDEWALK/PLANTER	107				
DRAINAGE	1,309				
A/C/ FWD (2)	18				
TOTAL AREA	4,201	4,836	3,402		
LOT AREA	11,360	11,360			
FINAL CALCULATION	3888	42,57%	29,95%		

COAGE AREA OF 200 SQFT IS DERIVED FROM FAIR.
PER SECTION 3.3.2 OF COMPLETION STANDARDS
--PORCH AREA OF 200 SQFT IS DERIVED FROM FAIR.
PER SECTION 3.3.2 OF COMPLETION STANDARDS
DESIGNER CERTIFIES THAT ALL CEILINGS OVER 15' ARE COUNTED TWICE
(INCLUDING STAIRWELLS)

**NOTE: ALL 1ST FLR. CEILING HEIGHTS
8'-0" UNLESS NOTED OTHERWISE**

**ADVANCED FRAMING- 2x6 WALLS AT EXTERIOR
PERIMETER AND ALL INSULATED WALLS
UNLESS NOTED OTHERWISE**



**NOT ORIGINAL DMH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY**

NOTE:
A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE NFPA 13D OR NFPA 13R STANDARDS SHALL BE INSTALLED IN THIS PROPERTY.

NOTE:
HOME TO BE EQUIPPED WITH FIRE SPRINKLER SYSTEM PER NFPA 13D OR NFPA 13R (2012). THE PLAN MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS. THE NFPA 13D SYSTEMS MUST BE DESIGNED AND INSTALLED WITH THE NFPA 13D ENDORSEMENT ON THEIR LICENSE. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, AND APPROVED BY THE SPRINKLER CONTRACTOR PRIOR TO COVERING THE WALLS AND CEILINGS.

David Weekley Homes

Scale: 1/8" = 1'-0"
Rev.:
Date:

Proj. No.: 2158
Lot: 1
Blk:
Job No.: 0036
Sec:

**1200 W. 29TH ST.
AUSTIN, TEXAS**

**9799 A
PLN-1**

AUSTIN

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I-3/23

March 12, 2019

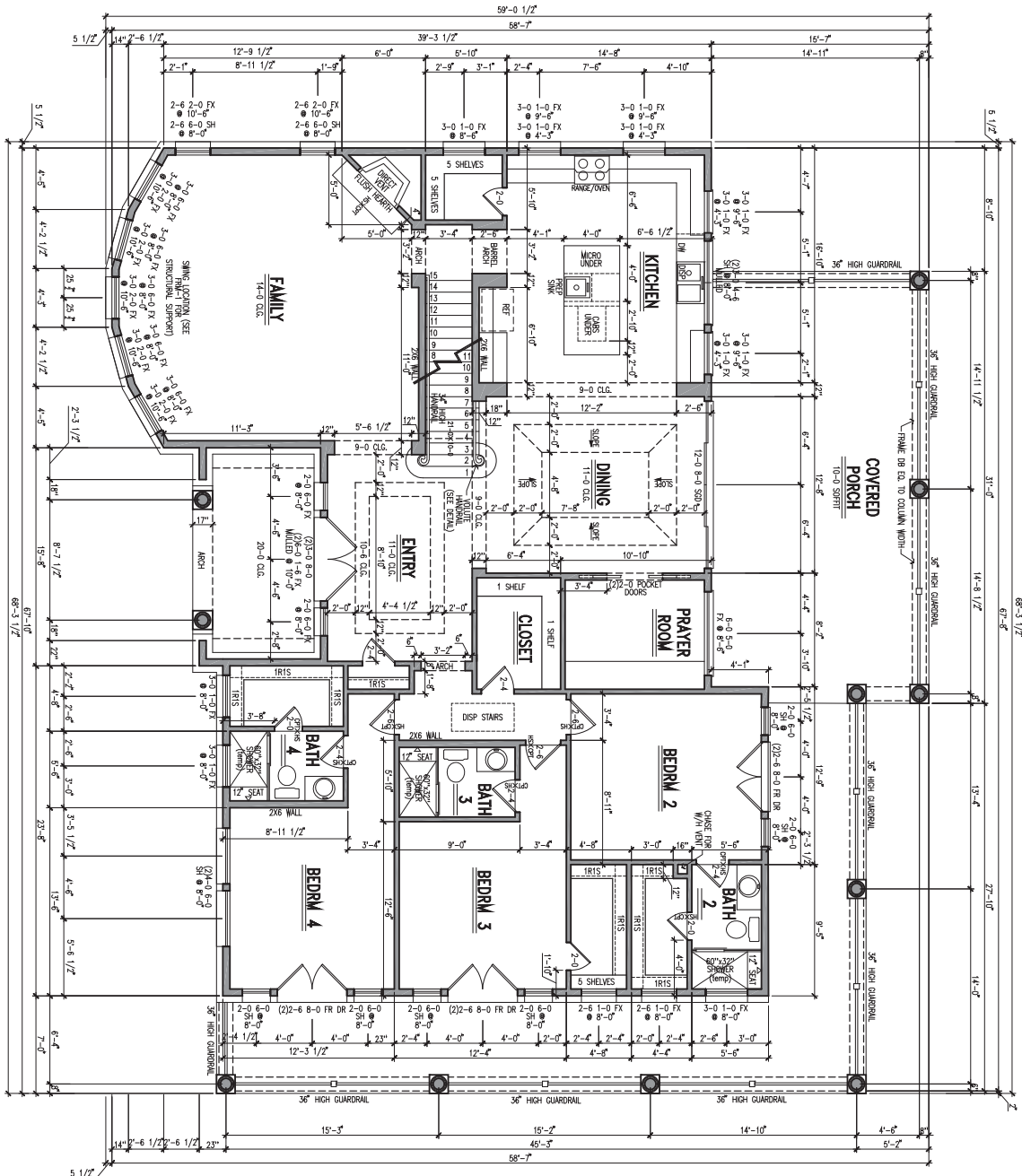
3rd Party



N.C.B.D.C.

NOTE: ALL 2ND FLR. CEILING HEIGHTS
10'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2x6 WALLS AT EXTERIOR
PERIMETER WALLS AND ALL INSULATED WALLS
UNLESS NOTED OTHERWISE



NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
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NORTH
9799 A
PLN-2
AUSTIN

1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.: 2158
Job No.: 0036
Lot: 1
Blk:
Sect:

David Weekley Homes
Scale: 1/8" = 1'-0"
Date: Rev.:

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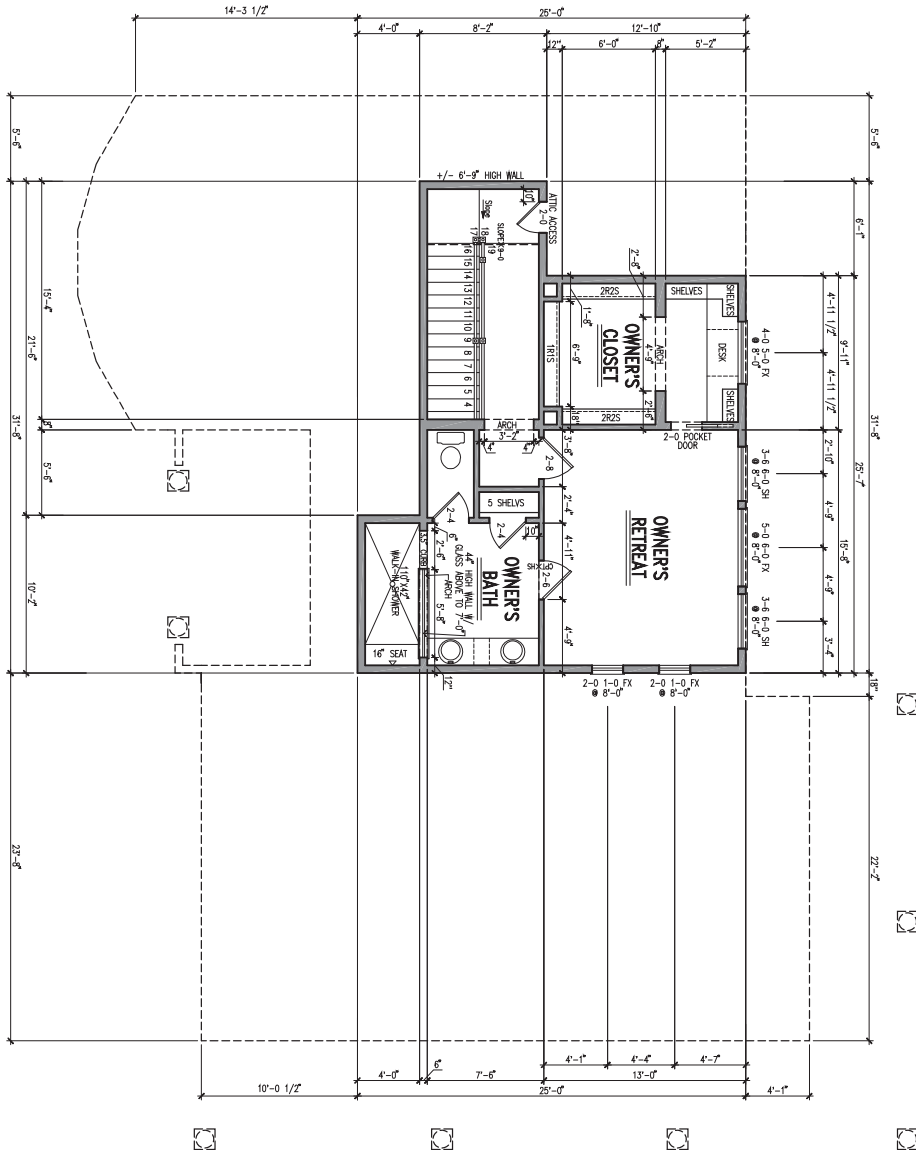
I-3/24



March 12, 2019
David W. Nelson

NOTE: ALL 3RD FLR. CEILING HEIGHTS
9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2x6 WALLS AT EXTERIOR
PERIMETER WALLS AND ALL INSULATED WALLS
UNLESS NOTED OTHERWISE



NOT ORIGINAL DMH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY

NORTH
9799 A
PLN-3
AUSTIN

1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.: 2158
Job No.: 0036
Lot: 1
Blk:
Sect:

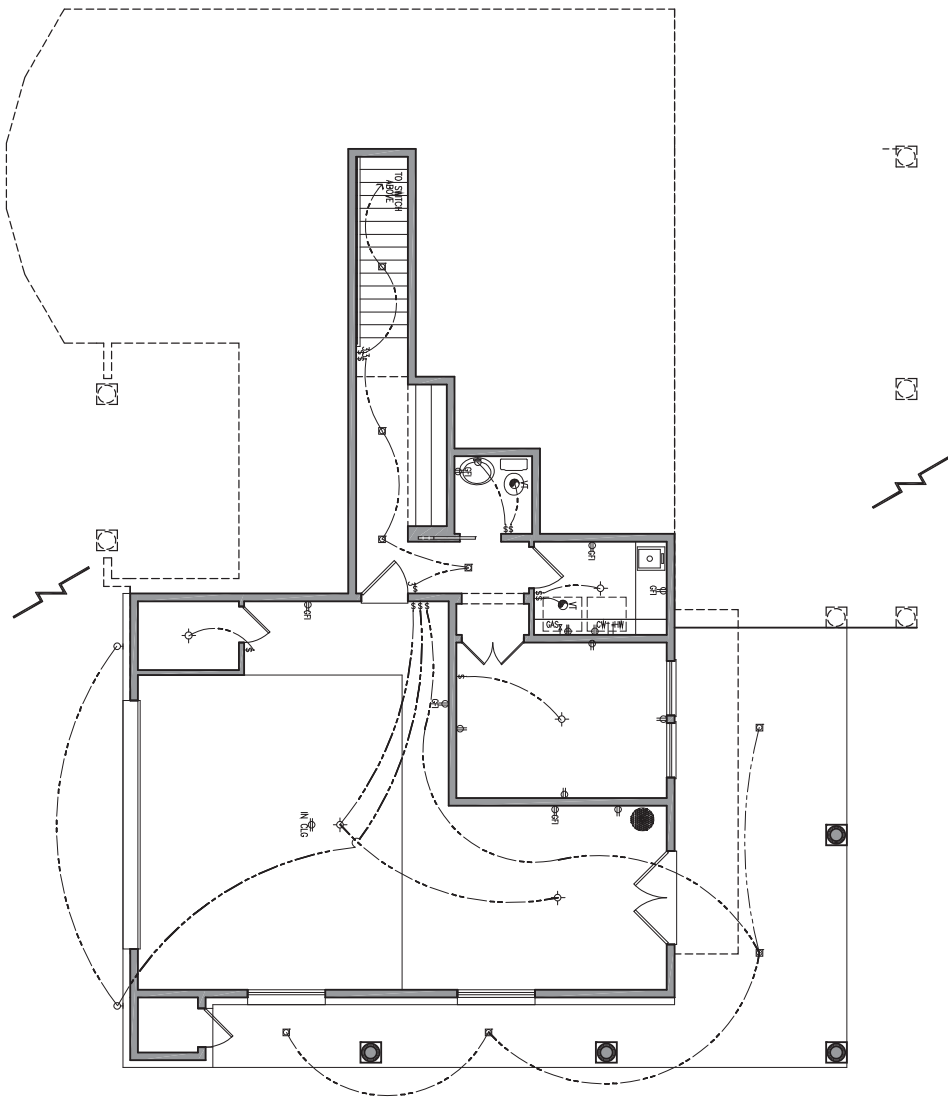
David Weekley Homes
Scale: 1/8" = 1'-0"
Date: Rev.:

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1-13/25

UTILITY LEGEND			
11" OUTLET	STANDARD SINK	DOOR BELL	
12" A.F.F. (U.N.O.)	(3 OR 4 WAY AS NOTED)	DOOR BELL CHIMES	
GROUND FAULT INTERRUPTER	SURFACE MOUNTED LIGHT	CHIMNEY W/ CHIMNEY CAP	
(GROUND FLOOR AS NOTED)		TELE. CABLE ROUTING	
1/2" FUEL HOT OUTLET	WALL MOUNTED LIGHT	HOSE BIB	
220 OUTLET	RECESS CEN LIGHT	POE TAP	
(3P A.F.F. & GROUND)	(RETRAIL AS NOTED)	COLD/HOT WATER SUPPLY	
PHONE LINE	EXHAUST VENT		
CABLE TELEVISION	SHOCK DETECTOR		
	(CARBON MONOXIDE AS NOTED)		

- CENTRAL TEXAS General Notes**
1. AIR-TO-ACCESS: MINIMUM 22" x 24" FREE L.S.C.
 2. ALL FRAMING MEMBERS TO COMPLY WITH L.S.C.
 3. PROVIDE CHIMNEY WITH NATIONAL/CITY ELECTRICAL CODE.
 4. ALL EXTERIOR CHIMNEYS WITH NATIONAL/CITY ELECTRICAL CODE.
 5. ALL EXTERIOR CHIMNEYS WITH NATIONAL/CITY ELECTRICAL CODE.
 6. ALL EXTERIOR CHIMNEYS WITH NATIONAL/CITY ELECTRICAL CODE.
 7. ALL PLYWOOD TO COMPLY WITH L.S.C. / CITY PLUMBING CODE.
 8. SHOCK DETECTORS IN ALL BEDROOMS AND ONE IN HALLWAY L.S.C. AND MANDATORY.
 9. SHOCK DETECTORS IN ALL BEDROOMS AND ONE IN HALLWAY L.S.C. AND MANDATORY.
 10. GFI ON ALL BATHS & EXTERIOR PLUGS & ON PLUGS WITHIN 6' OF KITCHEN SINK.
 11. HANGY LIGHTS TO BE 12" ABOVE WINDOW.
 12. HANGY LIGHTS TO BE 12" ABOVE WINDOW.
 13. PROVIDE (1) 8" x 16" CHIMNEY VENTS LOCATED 6' A.F.F. L.S.C.
 14. ALL ELECTRICAL PLUGS TO BE 6' TO TOP FROM FLOOR IN ROOMS WITH WALL MOUNTED.
 15. ALL ELECTRICAL PLUGS TO BE 6' TO TOP FROM FLOOR IN ROOMS WITH WALL MOUNTED.
 16. SHOCK DETECTOR TO BE LOCATED OUTSIDE OF ATTIC SPACE 1'-0" FROM CEILING.
 17. SHOCK DETECTOR TO BE LOCATED OUTSIDE OF ATTIC SPACE 1'-0" FROM CEILING.
 18. PROVIDE GAS AT APPLIANCES PER COMBUSTION REQUIREMENTS.



NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY

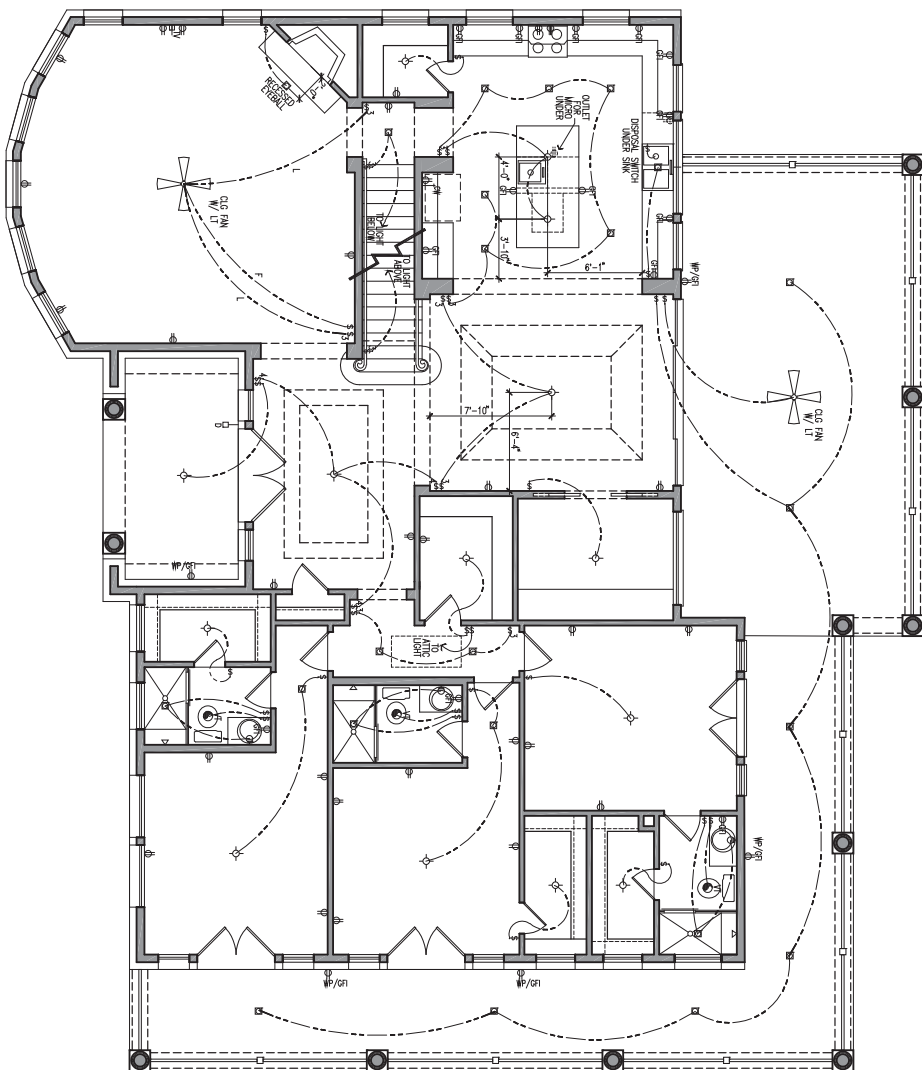


March 12, 2019
David W. Holmes

NORTH 9799 A ELE-1 AUSTIN	1200 W. 29TH ST. AUSTIN, TEXAS	Proj. No.: 2158	Lot: 1	David Weekley Homes	Scale: 1/8" = 1'-0"	© Weekly Homes L.P. 2005. The measurements, dimensions, and other specifications, shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.
		Job No.: 0036	Blk: Sect:			

CENTRAL TEXAS General Notes

11W OUTLET	4	STANDARD SHUTTER	P ²	DOOR BELL
12 FZ (A.C.)	5	3 or 4 W (AS NOTED)	DOOR	
13 220 OUTLET	6	DOOR BELLS	DOOR BELLS	
14 220 OUTLET	7	DOOR BELLS	DOOR BELLS	
15 220 OUTLET	8	DOOR BELLS	DOOR BELLS	
16 220 OUTLET	9	DOOR BELLS	DOOR BELLS	
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272 220 OUTLET	265	DOOR BELLS	DOOR	

[illegible]

NOT ORIGINAL DWH PLAN
THIS PLAN HAS BEEN
REVISED BY 3RD PARTY



March 12, 2019
Dad w/ Clem

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Measurements, dimensions, and other
indications, shown on this document,
are guidelines for construction use only.
Actual specifications of the finished
structure may vary. This document may
be relied on as a representation of
the completed structure will look like.

David Weekley Homes

	Scale: $1/8" = 1'-0"$
Date:	Rev.:

Proj. No.: 2158	Lot: 1
Job No.: 0036	Blk:
	Sect:

**1200 W. 29TH ST.
AUSTIN, TEXAS**

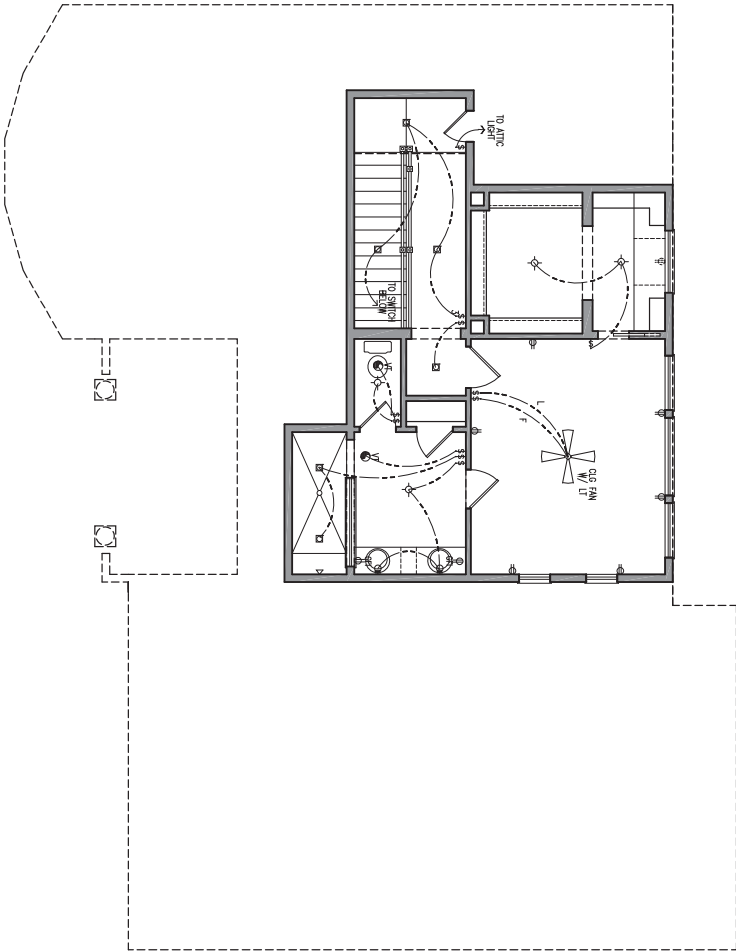
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13/27

UTILITY LEGEND	
11" RAIN	STANDARD SINK
12" A.F.F. (U.A.O.)	3" OR 4" W/V AS NOTED
GROUND FAULT INTERRUPTER (GFI) (W/WHEN PROCP AS NOTED)	SURFACE MOUNTED LIGHT
1/2" W/V HOT OUTLET	WALL MOUNTED LIGHT
220 OUTLET (2P A.F.F. & UNLTY)	RECESS (ON LIGHT) (RETRBL AS NOTED)
PHONE LINE	EXHAUST VENT
CABLE TELEVISION	SHOKE EXTRACTOR
	36" (CHRON WINDOW AS NOTED)
	DOOR BELL
	DOOR BELL CHIMES
	DOOR BELL W/CS
	HOSE BB
	CAS TAP
	COLD/HOT WATER SUPPLY

- CENTRAL TEXAS General Notes**
1. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.
 2. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.
 3. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.
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 16. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.
 17. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.
 18. ALL ACCESS: MINIMUM 22"x30" PER I.B.C.



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March 12, 2019
David W. Nelson

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1200 W. 29TH ST.
AUSTIN, TEXAS

Proj. No.: 2158
Job No.: 0036
Lot: 1
Blk:
Sect:

David Weekley Homes
Date: Scale: 1/8" = 1'-0"
Rev.:

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BUREAU DIRECTORS
OF
COMMERCIAL INSURANCE

MEMBER OF THE
NATIONAL ASSOCIATION
OF INSURANCE
COMPANIES

March 12, 2019

UNLESS OTHERWISE NOTED ALL MEMBERS TO BE NO. 2 GRADE MATERIAL SPACED 9" O.C.

ALL BEAMS USED FOR FLOOR SUPPORT ARE TO BE FLOORED WHEN POSSIBLE.

WATER HEATER, POWER DRAIN AND PUMP IS REQUIRED. WATER HEATER LOCATION MAY VARY PER ROOM REQUIREMENTS.

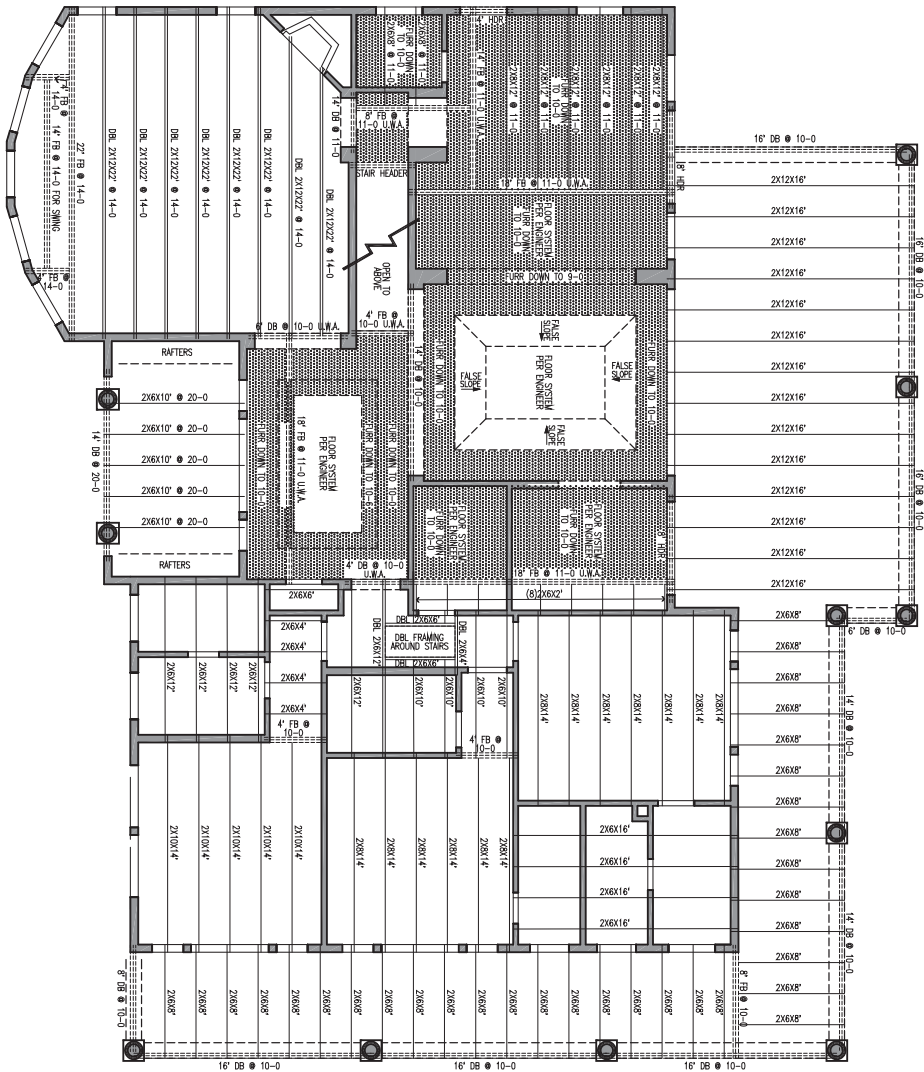
BEACONS SHALL BE PROVIDED FOR DESIGNATED ALIVE STORAGE PER COMMITMENT REQUIREMENTS.

FFBB - BEAM ROOF BRACING.

REFERS TO BEAM DETAIL FOR ALL BRACERS AND JOISTS SHOWN AS A "TIE".

ALL JOIST AND BEAMS TO BE SOUTHERN YELLOW PINE MATERIAL.

ADVANCED FRAMING: 2x6 WALLS AT EXTERIOR PERIMETER WALLS AND ALL INSULATED WALLS UNLESS NOTED OTHERWISE



March 12, 2019
Dad is Celine



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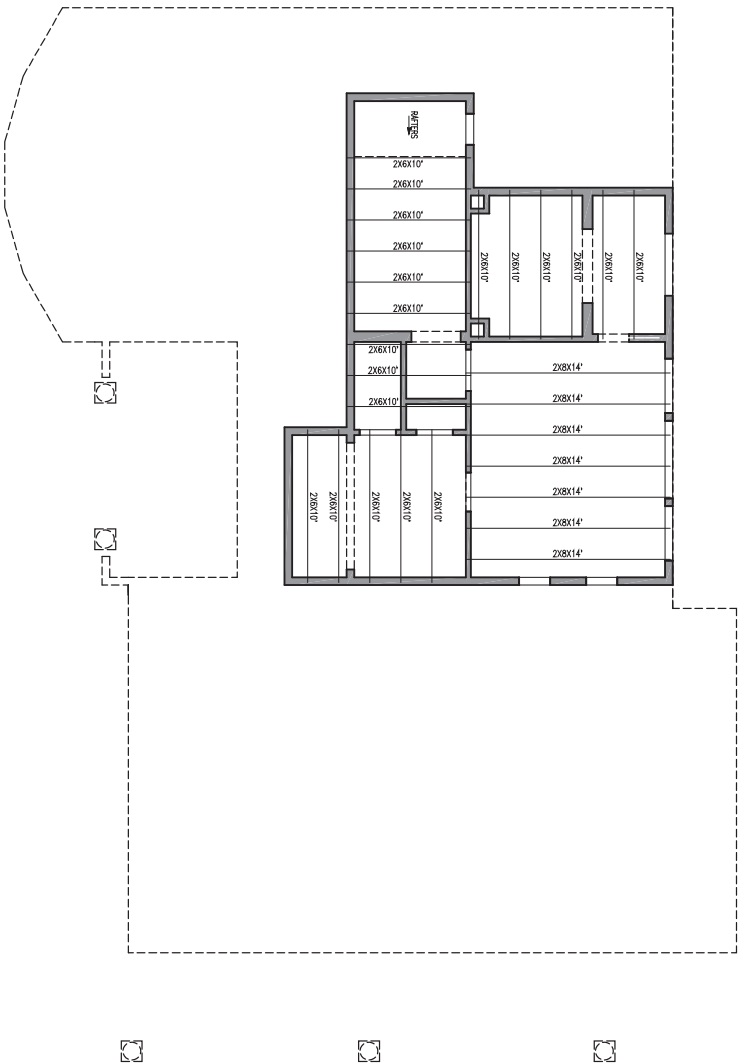
AUSTIN

FRAMING PLAN (TEXAS)

UNLESS OTHERWISE NOTED ALL MEMBERS TO BE NO. 2 GRADE MATERIAL, SPACED @ 24" O.C.
ALL BEAMS USED FOR PLUMB SUPPORT ARE TO BE NOTED WHEN POSSIBLE.
WATER RESISTANT, PROTECT, DRAIN AND PAV. AS REQUIRED. WATER RESISTANT LOCATION MAY VARY FOR DESIGN OR FOR REQUIREMENTS.
DECKING SHALL BE PROVIDED FOR DESIGNATED ATTIC STORAGE (PER COMMUNITY REQUIREMENTS).
BTRB = BEAM FOR ROOF BRACING.
REFER TO DETAIL FOR ALL PARTS AND JOISTS SHOWN AS A "TAB."
ALL JOIST AND BEAMS TO BE SHOWN YELLOW PINE MATERIAL.

NOTE: ALL 3RD FLR. CEILING HEIGHTS 9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2x6 WALLS AT EXTERIOR PERIMETER WALLS AND ALL INSULATED WALLS UNLESS NOTED OTHERWISE



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March 12, 2019

David W. Holmes

David Weekley Homes

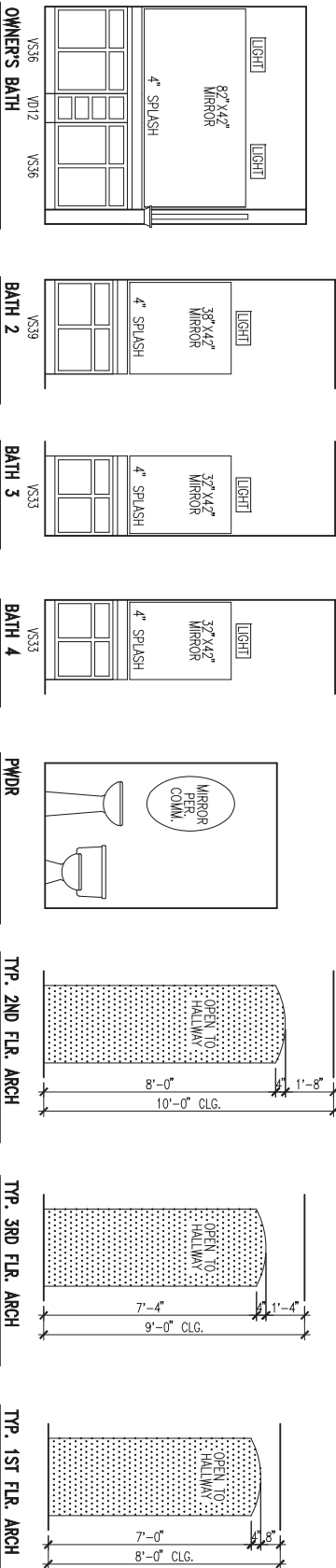
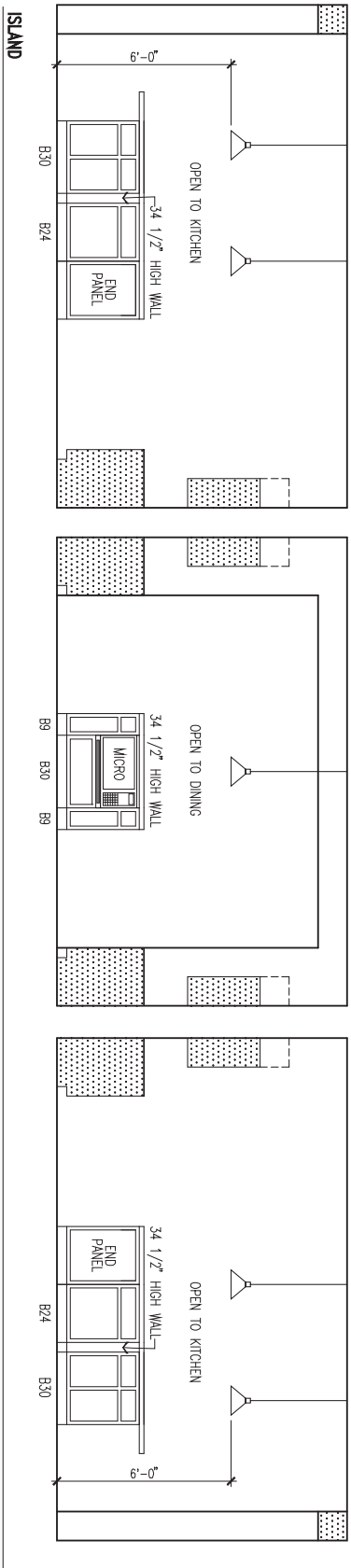
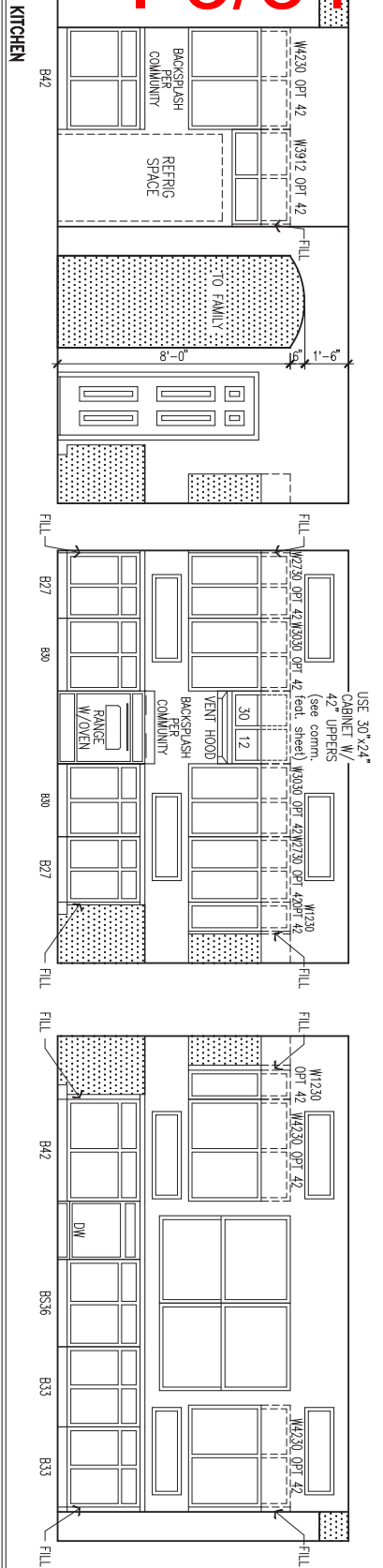
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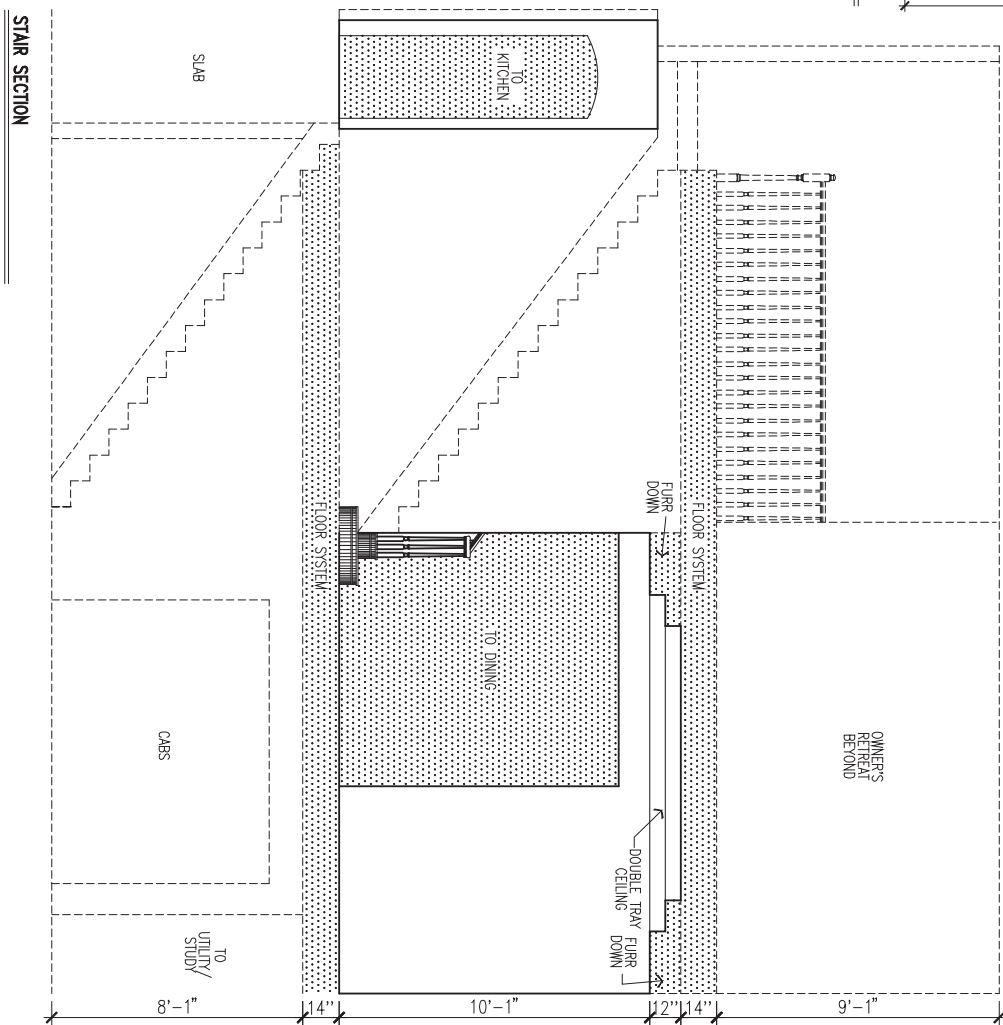
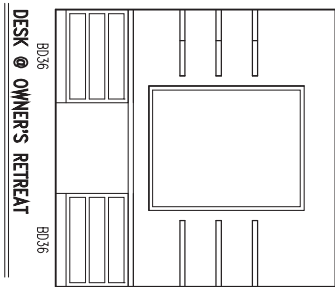
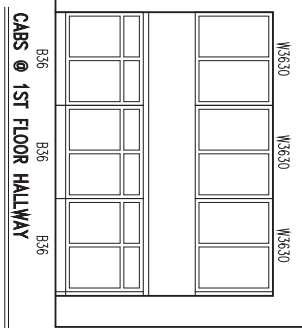
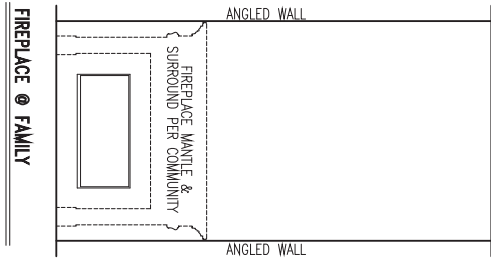
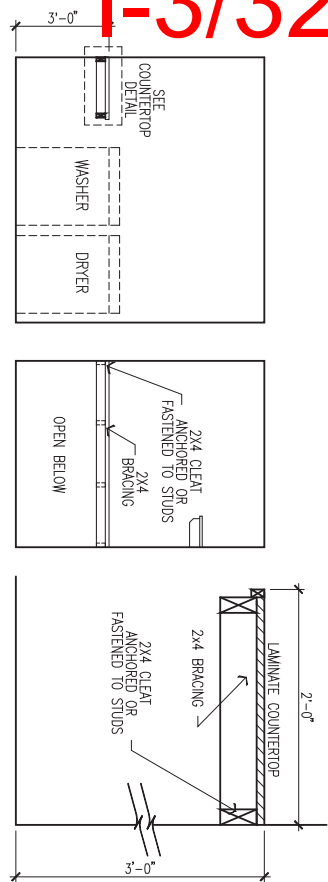
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Job No.:
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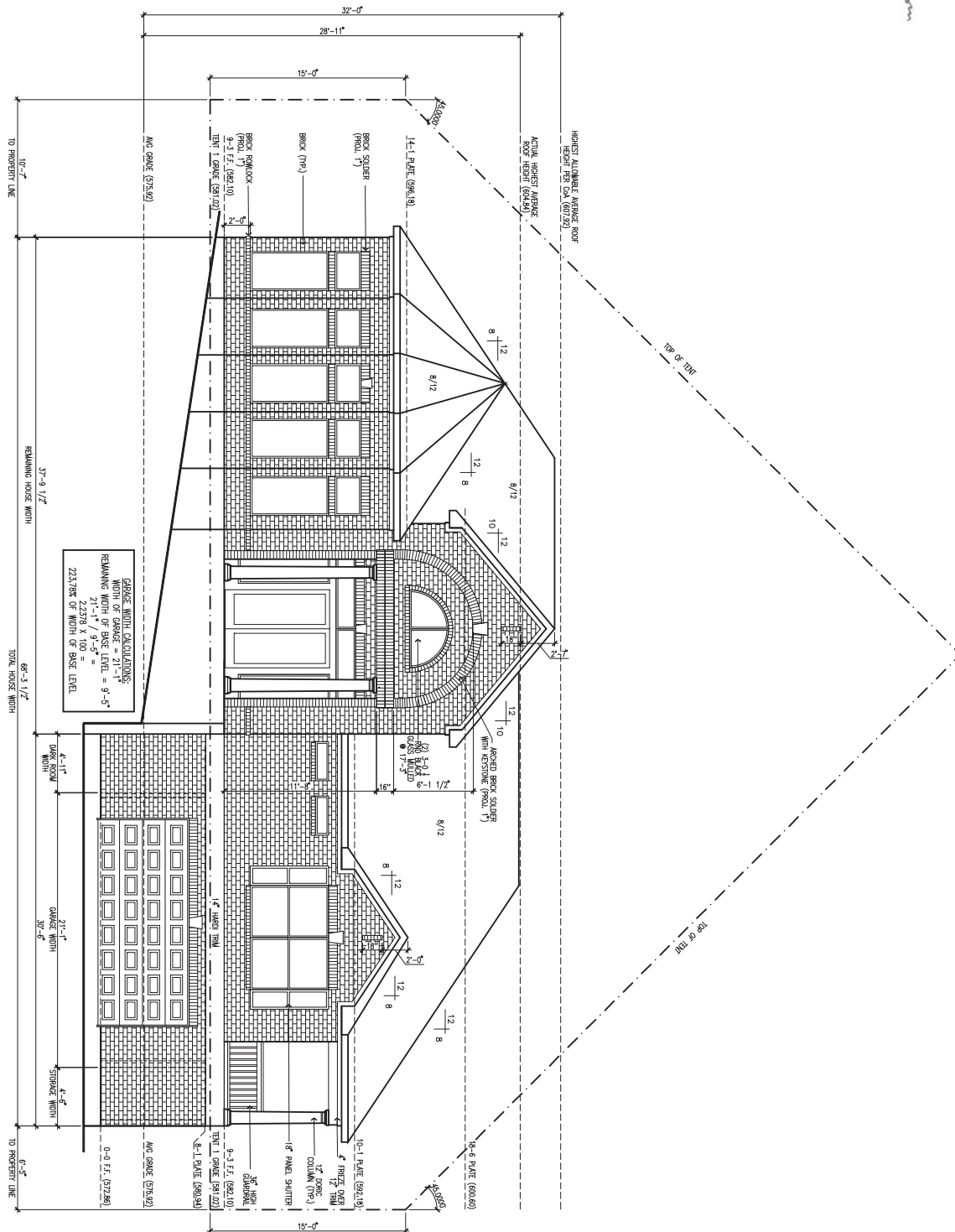
N.C.B.D.C.
March 12, 2019
David W. Cline



N.C.B.D.C.
March 12, 2019
Dad is Clean

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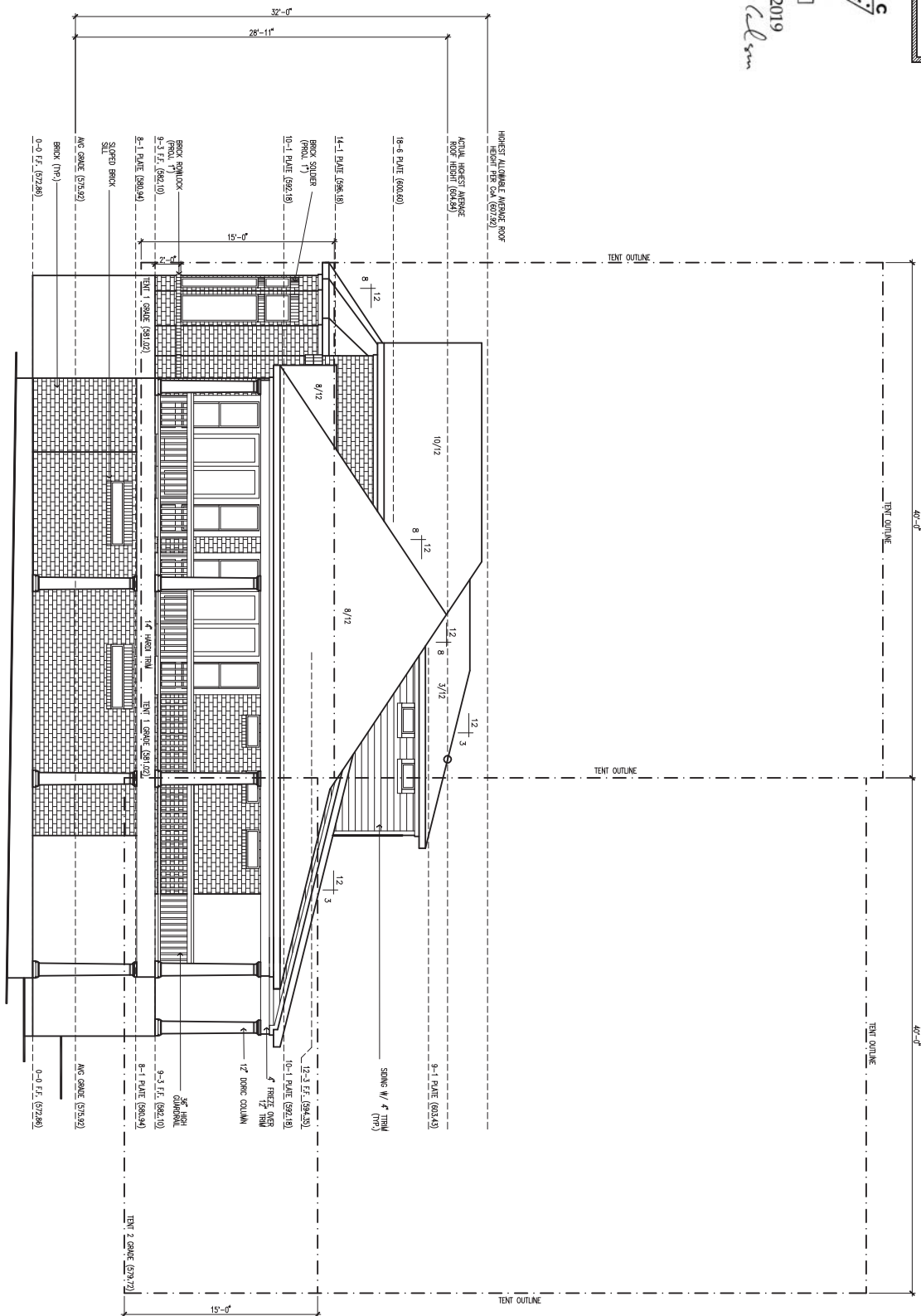


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Dad is Clesm



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Dad is calm

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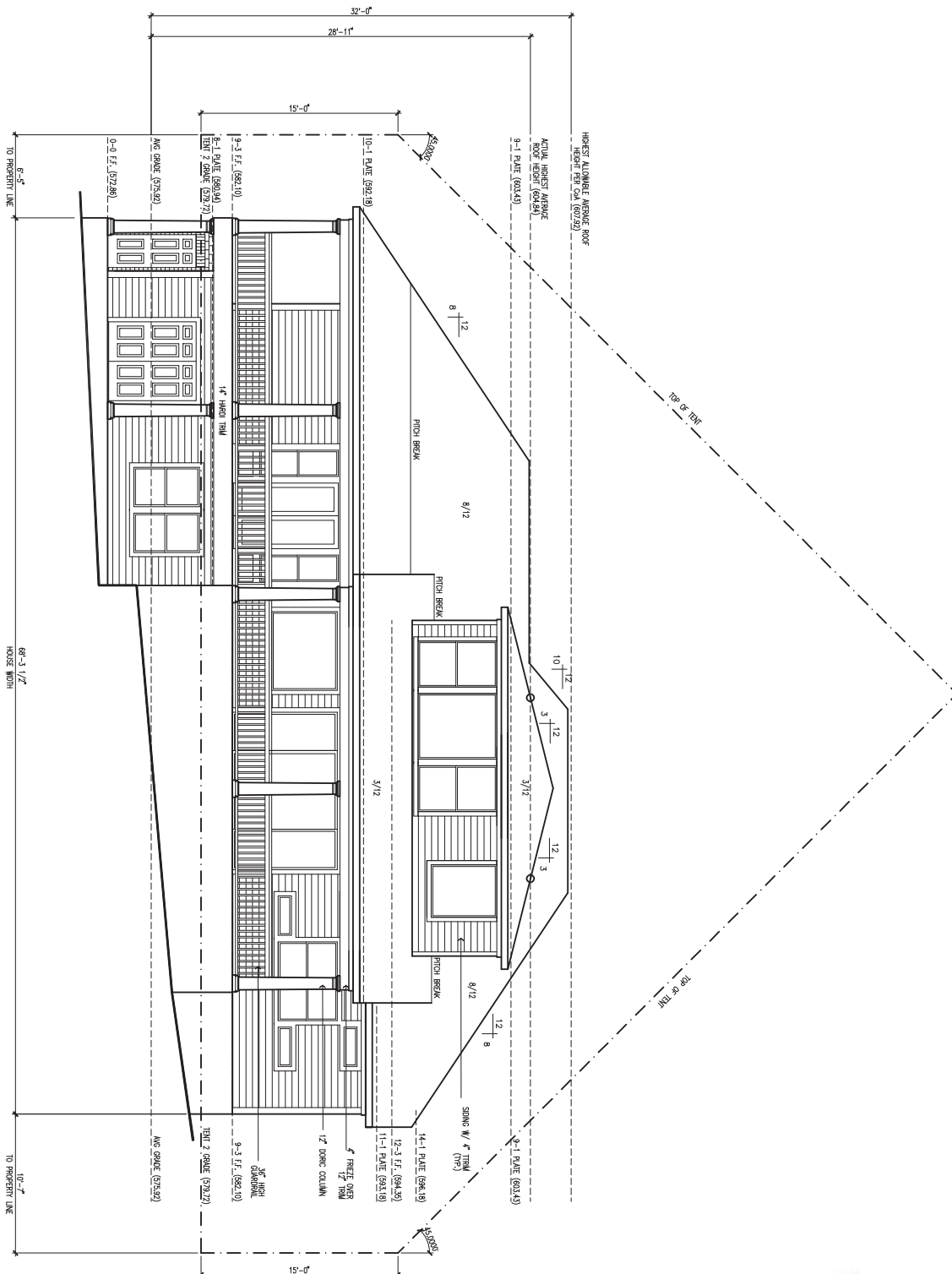
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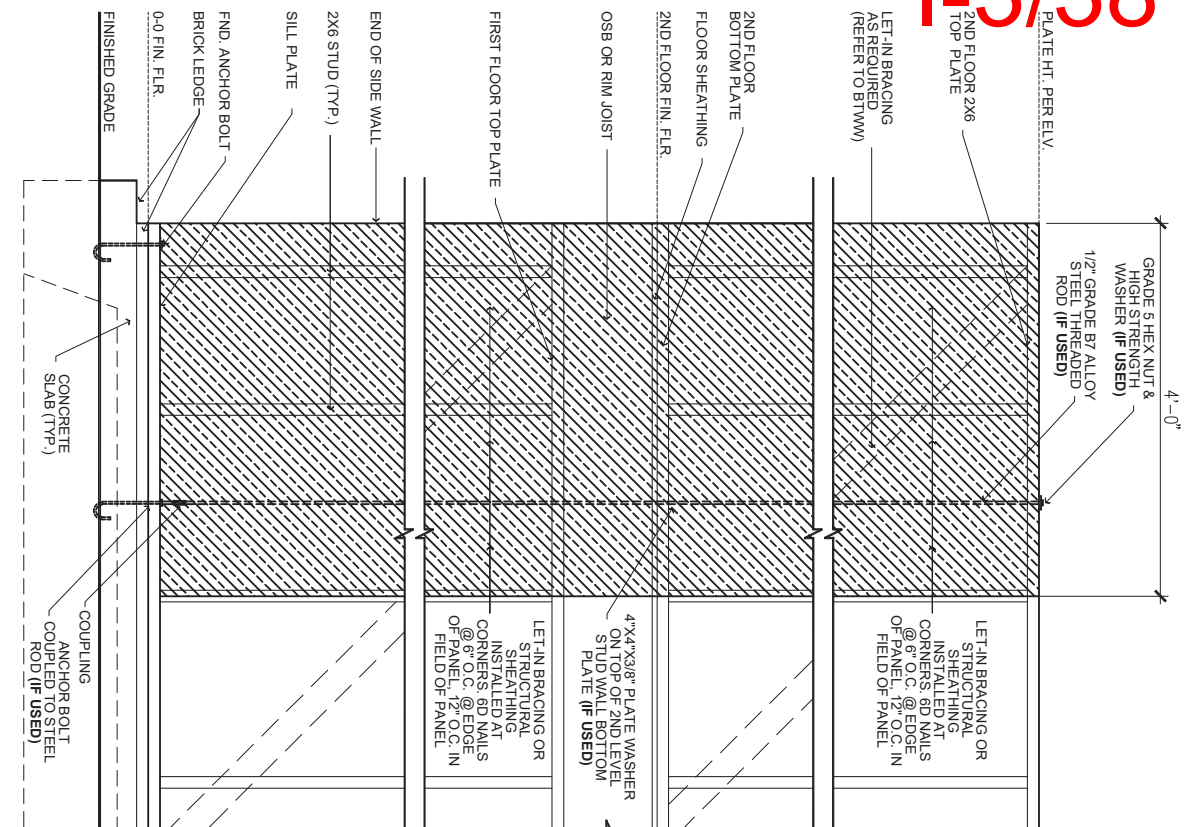




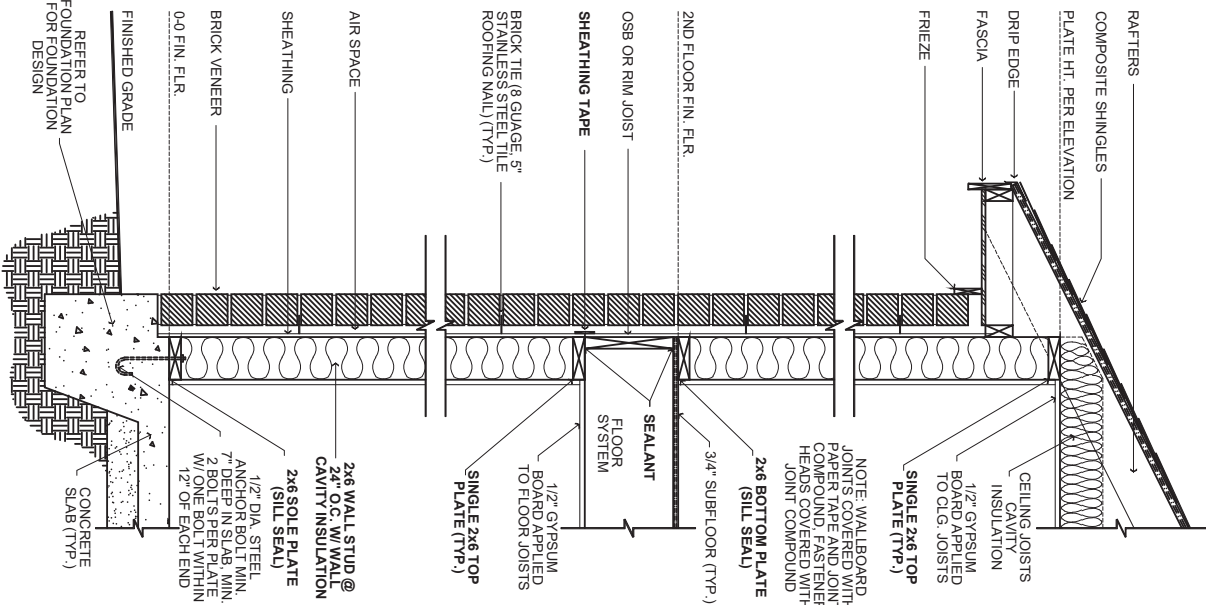


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SCALE: 3/4" = 1'-0"



SCALE: 3/4" = 1'-0"

ADVANCED FRAMING 2006 IRC REFERENCES

SINGLE TOP PLATE

-IRC 2000 and 2010, in Section R602.3, Top plate
Exception: A single top plate may be installed in stud walls, provided that the plate is adequately tied at corners, and intersecting walls by a minimum 3-in.-by-6-in. or 0.036 steel plate (76 mm by 152 mm by 0.014 in.) gvanized steel plate that is nailed to each wall or segment of wall by six 8-d nails on each side, provided that the corners or joints are centered over the studs with a tolerance of no more than 1 inch (25.4 mm). The top plate may be omitted over masonry walls that are adequately tied to adjacent wall sections with steel plates or equivalent tied as previously described.

-IRC 2000 and 2010, in Figure 602.3(2) The figure also states "Single or Double top plate."

• RC (table R602.3.1): For top or side piers to stand (end wall), two 16d fasteners are required.

- **IBC 2000 and 2003, Section R607.2:** "Nonbearing walls. Load-bearing headers are not required in interior or exterior nonbearing walls. A single, full 2-inch-by-4-inch (51 mm by 102 mm) member may be used as a header in interior or exterior nonbearing walls for openings up to 8 feet (2.438 m) in width if it is set vertical distance to the parallel nailing surfaces above and below the opening (6.10 mm). For such nonbearing headers, no cripples or blocking is required above the header."

- IRC 2000 and 2003 Table R702.3.5 Minimum Thickness and Application of Gypsum Board :
Allows the use of 24-inch-on-center framing for fastening gypsum board with either fasteners or adhesive 1/2 inch thickness or greater.

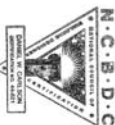
- IRC 2000 and 2003 Section R703 Exterior Coverings: Structural sheathing and siding requirements are based on Table R703.4. Note that footnote "a" specifies that the table is based on 16 inches on center and that studs spaced 24-inches-on-center siding shall be applied to sheathing approved for that spacing.

- IBC 2003 Section R602.10.2 Seismic Design Category D2: In Seismic Design Category D2, cripple walls shall be braced in accordance with Table R602.10.1.

- IRC 2000 and 2003, Section R602.3 Design and Construction: Exterior walls of wood-frame construction shall be designed and constructed in accordance with the provisions of this chapter and Figures R602.3(1) and R602.3(2) or in accordance with AF and PA's NDS. Components of exterior walls shall be fastened in accordance with Table R602.3(1) through R602.3(4). [Excerpt]

- IRC 2000 and 2003, Figure R602.3(2). (Note: A third stud and/or partition intersection backing studs shall be permitted to be omitted through the use of wood back-up cleats, metal drywall clips, or other approved devices that will serve as adequate backing for the facing materials.

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Dad w/ Elson

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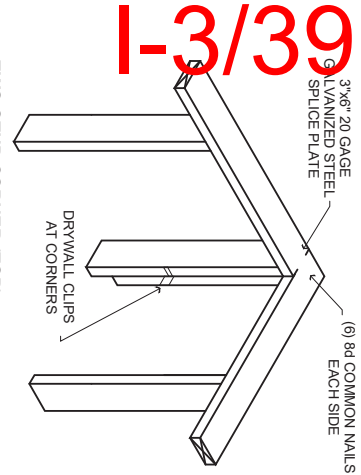
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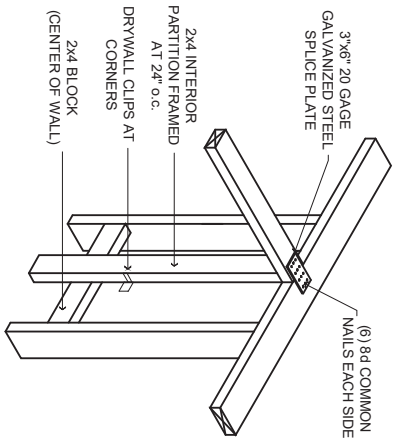
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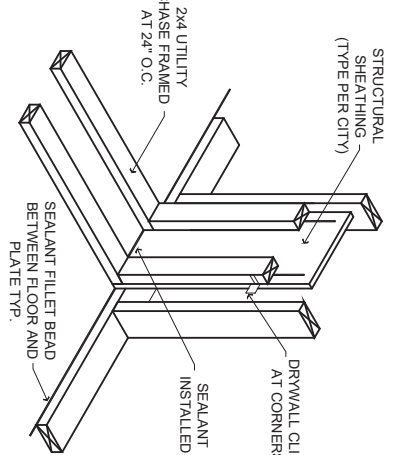
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TWO-STUD CORNER (TOP)

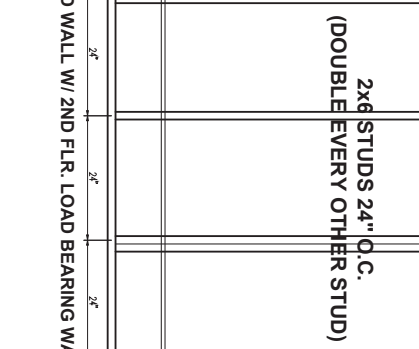
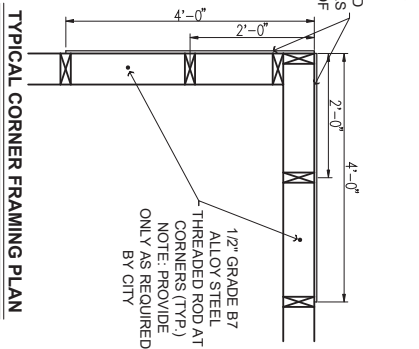
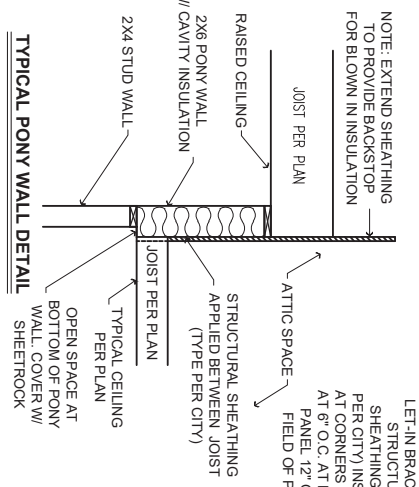


SINGLE TOP PLATE AT PARTITION

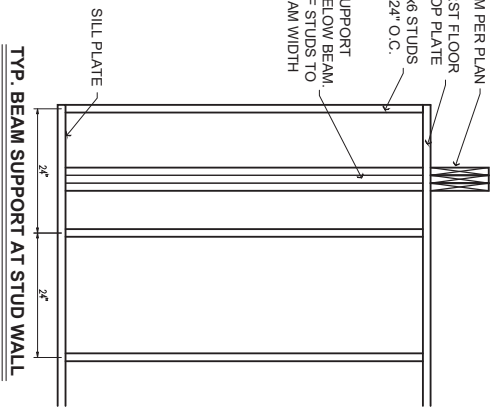
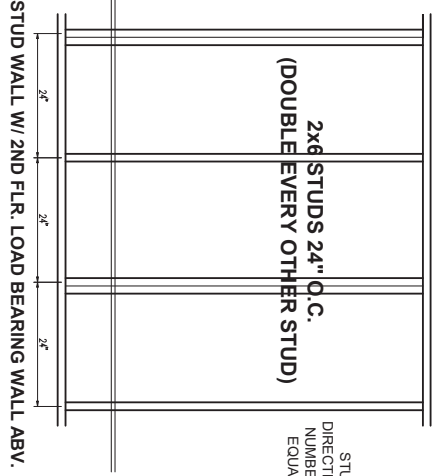
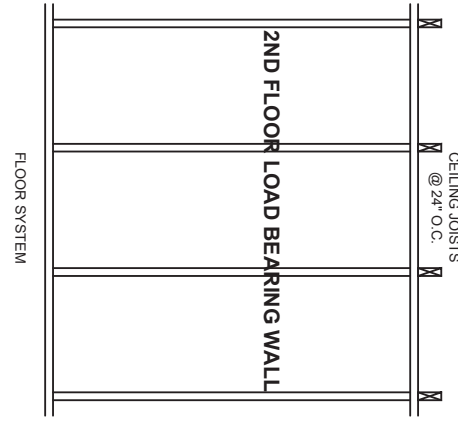


SINGLE TOP PLATE UNDER SINGLE TOP PLATE

AIR SEALING AT MECH CHASE



ADVANCED FRAMING CONNECTIONS AND SPACING



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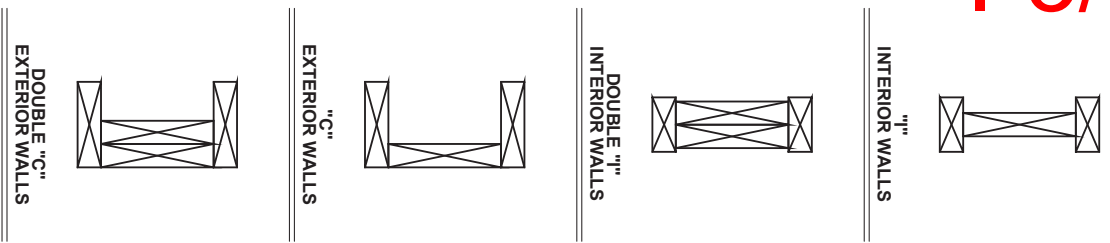
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HEADER CONFIGURATIONS
REFERENCE SCHEDULE FOR SIZES



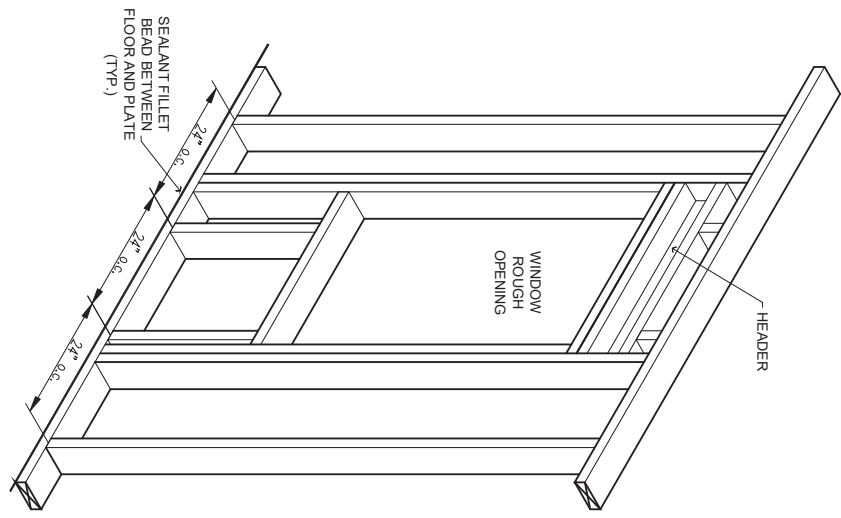
HEADER SCHEDULE

	HEADER SIZE	MAX SPAN	DIAGRAM
ROOF LOADING EXTERIOR WALL	(1) 2X8	4' - 1"	
	(1) 2X12	5' - 6"	
	(2) 2X12	9' - 0"	
	PER ENGINEER	> 9' - 0"	
ROOF LOADING INTERIOR WALL	(1) 2X8	3' - 1"	
	(1) 2X12	4' - 2"	
	(2) 2X12	6' - 1"	
	PER ENGINEER	> 6' - 1"	
ROOF AND FLOOR LOADING EXTERIOR WALL	(1) 2X8	3' - 1"	
	(1) 2X12	3' - 10"	
	(2) 2X12	5' - 5"	
	PER ENGINEER	> 5' - 5"	
ROOF AND FLOOR LOADING INTERIOR WALL	(1) 2X12	3' - 2"	
	(2) 2X12	4' - 5"	
	PER ENGINEER	> 4' - 5"	

NOTES

- ALL HEADERS SHOULD BE #2 SYP LUMBER.
- THIS TABLE ASSUMES 10 PSF D.L. / 16 PSF U.L. FOR RAFTERS, 10 PSF D.L. / 20 PSF U.L. FOR CEILING JOIST, AND 10 PSF D.L. / 40 PSF U.L. FOR FLOOR JOISTS/TRUSSES. FOR ANY LOADS (PSF) EXCEEDING THESE AMOUNTS, REFER TO THE IRC HEADER SCHEDULE TABLES R602.4(1) AND R602.4(2).
- STUD SIZE AND SPACING SHALL BE PER TABLE R602.3(5) OF THE IRC. WHERE ADVANCED FRAMING TECHNIQUES REQUIRE SPACING AT 24 INCHES O.C., EVERY OTHER STUD SHALL BE DOUBLED TO BE EQUIVALENT TO THE 16 INCHES O.C. SPACING OF THE PERSPECTIVE TABLE.
- THE ABOVE HEADER SCHEDULE IS NOT SITE SPECIFIC AND MAY BE USED AT ANY LOCATION.

ADVANCED
FRAMING
HEADERS



LOAD BEARING WALL OPENING

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March 12, 2019
David W. Calson

R320.2 COMPLIANCE REQUIRED AT PLAN REVIEW -- A PERMIT APPLICATION THAT IS SUBJECT TO THIS SECTION MUST INCLUDE DETAILED PLANS PREPARED BY A REGISTERED DESIGN PROFESSIONAL OR OTHER CERTIFIED PROFESSIONAL DEMONSTRATING COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THIS SECTION.



R320.5 VISIBILITY BATHROOM ROUTE.—A BATHROOM GROUP OR HALF BATH DESIGNATED FOR VISIBILITY UNDER SECTION R320.3 MUST BE ACCESSIBLE BY AN EXTERIOR DESIGNATED WALKING SURFACE 30.0 IN. (762 MM) OR MORE WIDE, THROUGH THE ROOM, DINING ROOM, AND KITCHEN AND LEVEL WITH RAMPED OR FLUSH CHANGES AT DOOR THRESHOLDS.

DIAGRAM C - THRESHOLD AT NO-STEP ENTRANCE

R320.7 EXTERIOR VISTABLE ROUTE -- A VISIBLE ENTRANCE APPROVED UNDER SECTION R320.6 MUST HAVE AT LEAST ONE VISIBLE ROUTE WITH A CROSS SLOPE OF NO GREATER THAN TWO PERCENT (1:50) THAT ORIGINATES FROM A GARAGE, DRIVEWAY, PUBLIC STREET, OR PUBLIC SIDEWALK. A RAMP INCLUDED IN AN EXTERIOR VISIBLE ROUTE MUST COMPLY WITH THE RESIDENTIAL CODE.



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I-3/42



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I-3/43



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