

**PLANNING COMMISSION SITE PLAN  
CONDITIONAL USE PERMIT REVIEW SHEET**

**CASE NUMBER:** SPC-2018-0324C **ZAP DATE:** 7/9/2019

**PROJECT NAME:** Georgian Acres Park Development

**ADDRESS:** 500 East Powell Lane

**APPLICANT:** City of Austin Parks and Recreation Department (512) 974-9456

**AGENT:** CAS Consulting & Services (512) 222-1253

**CASE MANAGER:** Jeremy Siltala (512) 974-2945 or jeremy.siltala@austintexas.gov

**WATERSHED:** Little Walnut Creek (Suburban)

**APPLICATION REQUEST:** Sites zoned Public (P) greater than one acre in size are a Conditional Use that require Land Use Commission approval according to Land Development Code section 25-2-625.

**PROJECT DESCRIPTION:**

The applicant proposes a neighborhood park with gravel trails, seating, picnic tables, pavilion, basketball court, and playscapes with associated utility and drainage improvements on a 5-acre site.

**STAFF RECOMMENDATION:**

Staff recommends approval of the conditional use permit request. The site plan will comply with all other requirements of the Land Development Code prior to its release.

**SUMMARY STAFF COMMENT:**

The applicant proposes to construct a neighborhood park with associated improvements on an undeveloped 5-acre site.

**PROJECT INFORMATION:**

<b>SITE AREA</b>	217,669 SF, 4.997 acres
<b>ZONING</b>	Public (P)
<b>PROPOSED USE</b>	Neighborhood Park
<b>PROPOSED IMPERVIOUS COVER</b>	27,172 SF, 12.5%
<b>PROPOSED BUILDING COVERAGE</b>	6,714 SF, 3%
<b>PROPOSED BUILDING HEIGHT</b>	N/A
<b>PROPOSED F.A.R</b>	N/A
<b>PROPOSED VEHICULAR ACCESS</b>	John Nance Garner Circle
<b>PROPOSED PARKING</b>	2 automobile, 16 bicycle

**NEIGHBORHOOD ORGANIZATIONS:**

Austin Independent School District	Austin Lost and Found Pets
Austin Neighborhoods Council	Bike Austin
Friends of Austin Neighborhoods	Georgian Acres Neighborhood Association
Go Austin Vamos Austin – North	Hill Country Conservancy
Homeless Neighborhood Association	Neighborhood Empowerment Foundation
North Lamar/Georgian Acres Combined Neighborhood Plan Contact Team	
North Growth Corridor Alliance	SELTexas
Sierra Club, Austin Regional Group	

**CONDITIONAL USE PERMIT REVIEW AND EVALUATION CRITERIA**

The following evaluation is included to provide staff position on each point of the conditional use permit criteria. Section 25-5-145 of the Land Development Code states: "The Commission shall determine whether the proposed development or use of a conditional use site plan complies with the requirements of this section.

*A conditional use site plan must:*

1. Comply with the requirements of this title; Staff response: This application complies with the requirements of this title.
2. Comply with the objectives and purposes of the zoning district; Staff response: This application complies with the objectives and purposes of the zoning district.
3. Have building height, bulk, scale, setback, open space, landscaping, drainage, access, traffic circulation, and use that are compatible with the use of an abutting site; Staff response: This application is compatible with the abutting sites.
4. Provide adequate and convenient off-street parking and loading facilities; Staff response: Adequate parking and loading facilities have been provided.
5. Reasonably protect persons and property from erosion, flood, fire, noises, glare, and similar adverse effects; Staff response: The proposed project does not contribute to any of these adverse effects.

*A conditional use site plan may not:*

1. More adversely affect an adjoining site than would a permitted use; Staff response: The site plan will conform with all regulations and standards established by the Land Development Code prior to its release.
2. Adversely affect the safety or convenience of vehicular or pedestrian circulation, including reasonably anticipated traffic and uses in the area; Staff response: The project is not anticipated to have any detriment to safety or convenience.
3. Adversely affect an adjacent property or traffic control through the location, lighting, or type of signs; Staff response: No signage or lighting is proposed that would affect adjacent properties or traffic control.

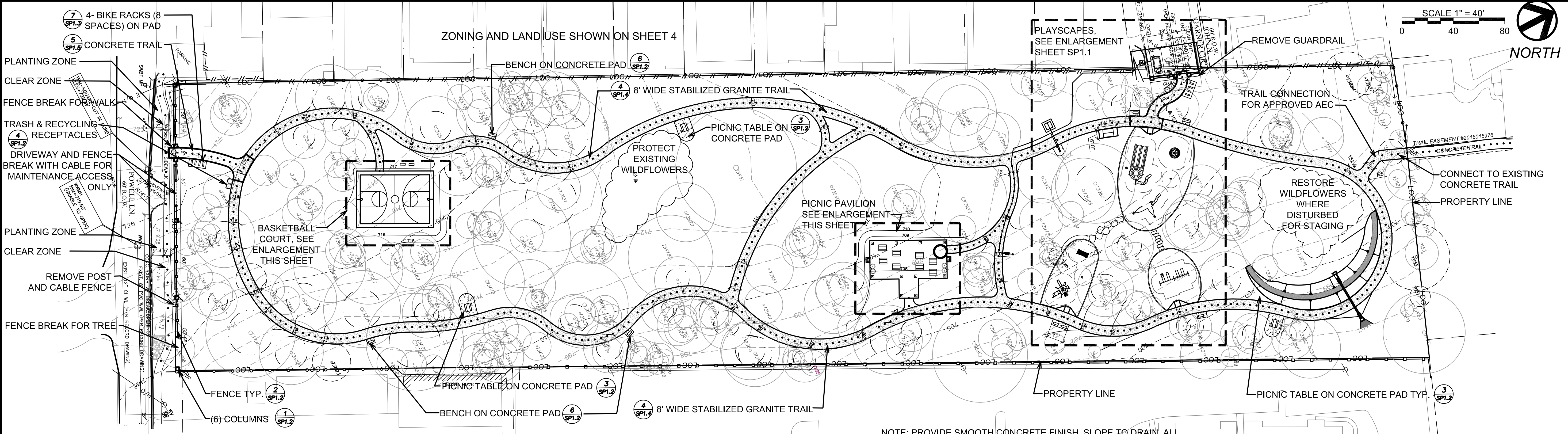
**COMMISSION ACTION:**

The Commission may either; approve, approve with conditions or deny the conditional use site plan permit.

To make a determination required for approval under [Section 25-5-145](#) (Evaluation of Conditional Use Site Plan), the Land Use Commission may require that a conditional use site plan comply with a condition of approval that includes a requirement for:

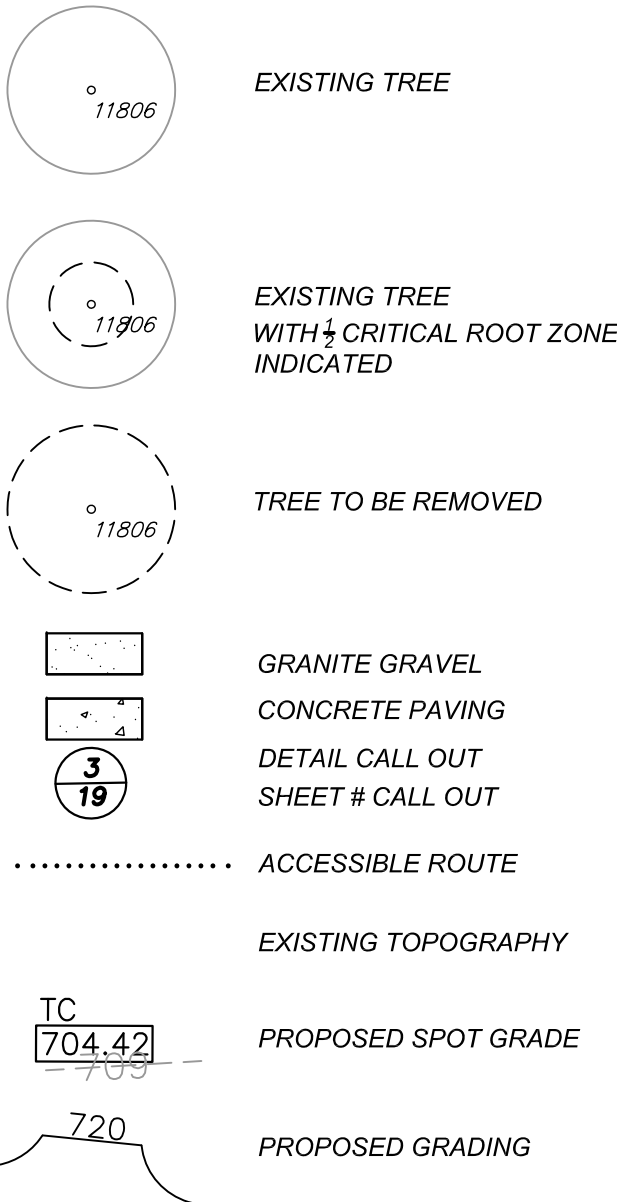
- 1) A special yard, open space, buffer, fence, wall, or screen;
- 2) Landscaping or erosion;
- 3) A street improvement or dedication, vehicular ingress and egress, or traffic circulation;
- 4) Signs;
- 5) Characteristics of operation, including hours;
- 6) A development schedule; or
- 7) Other measures that the Land Use Commission determines are required for compatibility with surrounding uses or the preservation of public health, safety, or welfare.





SITE PLAN

LEGEND



TRAIL AND WALKWAY NOTES:

- Plans indicate the approximate location/layout of loop trail and connections. Contractor shall stake layout for approval by PARD prior to construction. Set elevations of walkways for positive drainage.
- If conditions exist that are not adequately detailed in the plans, differ from documented site conditions or are in question the Contractor shall notify PARD prior to proceeding with work.
- All walkways shall have a running slope less than 5% (1' in 20') unless explicitly detailed as a ramp, and a cross slope of 2% max. (1' in 50'). All surfaces shall comply with the Texas Accessibility Standards.
- Contractor shall tie all walkway connections into existing walks or pavement with a smooth transition.
- Contractor is responsible for protection of concrete work from vandalism prior to curing. Contractor shall replace as necessary any section of damaged concrete walk at no additional cost to the Owner.
- Approval of these plans by the City of Austin indicates compliance with applicable City regulations only. Compliance with accessibility standards such as the 2010 Standards for Accessible Design or the 2012 Texas Accessibility Standards was not verified. The applicant is responsible for compliance with all applicable accessibility standards.

Required			
STREET YARD			
Total Street Yard Area	NA		
TREE MITIGATION			
<u>Trees to be removed and replacement</u>	<i>Size removed</i>	<i>% replacement</i>	<i>Replacement Caliper Inches</i>
Trees on Appendix F			
19" +	0"	100%	0"
8" - 18.9"	24"	50%	12"
Trees not on Appendix F			
19" +	0"	50%	0"
8" - 18.9"	<u>0"</u>	25%	<u>0"</u>
<b>Total</b>	<b>24"</b>		<b>12"</b>
Required			
PARKING LOT ISLANDS, MEDIANS OR PENNINSULAS			
All Parking is on street	NA		

Required			
BUFFER POINTS			
Required:	0		
Total Provided:	0		
Tree ID#	Species	Diam.	Inches to mitigate
T561	Hackberry	5"	NA
T3606	Live Oak	12"	@ 50% = 6"
T3683	Live Oak	12"	@ 50% = 6"
T3977	Live Oak	7"	NA
T547	Live Oak	6"	NA
Totals:	42	12	
Total inches proposed to plant	0		

SEE PARKING REQUIREMENT NOTES THIS SHEET

Request for Special Parking Determination  
Case Number: SP-2018-0324C  
Applicant's Name: Michael Merlwerth Phone #: 512-836-2388  
Location: 7908 Cameron Road, Suite D202 Date: 5/22/2019

Proposed Uses:		Office Use Only	
Type	Size	Parking Ratio	Required Parking
Playscape/Payground	3	1:1 playscape/area	3
Picnic Tables	3	1:1 table	3
Pavilion	1,800 SF	1:400 SF	5
Basketball Court	1	4:1 court	4
Hiking Trail	16,400 SF	5:1 acre	2
Total Vehicular Parking (before reductions)			17
Reduction for On-Street Parking LDC 25-6-478(E)(1)			2
Total Required Vehicle Parking On-Site (after reductions)			0*
Total Required Bicycle Parking			16*

Other Information:  
This parking determination was based on previous similar parks and amenity centers located on suburban roadways. Based on the scope of this project, Georgian Acres Park is intended to serve the surrounding neighborhood and be reached by visitors by foot, bicycle, and transit. On-street parking is permitted on John Nance Garner Circle adjacent to the park.

\*Greater reductions were permitted due to the park service area and its location with the adjacent residential neighborhoods. To encourage bicycle mobility, sixteen (16) bicycle parking spaces are required.  
Completed By: Natalia Rodriguez Development Services Department  
512-974-3099 Phone 5/22/2019 Date

LANDSCAPE NOTES:

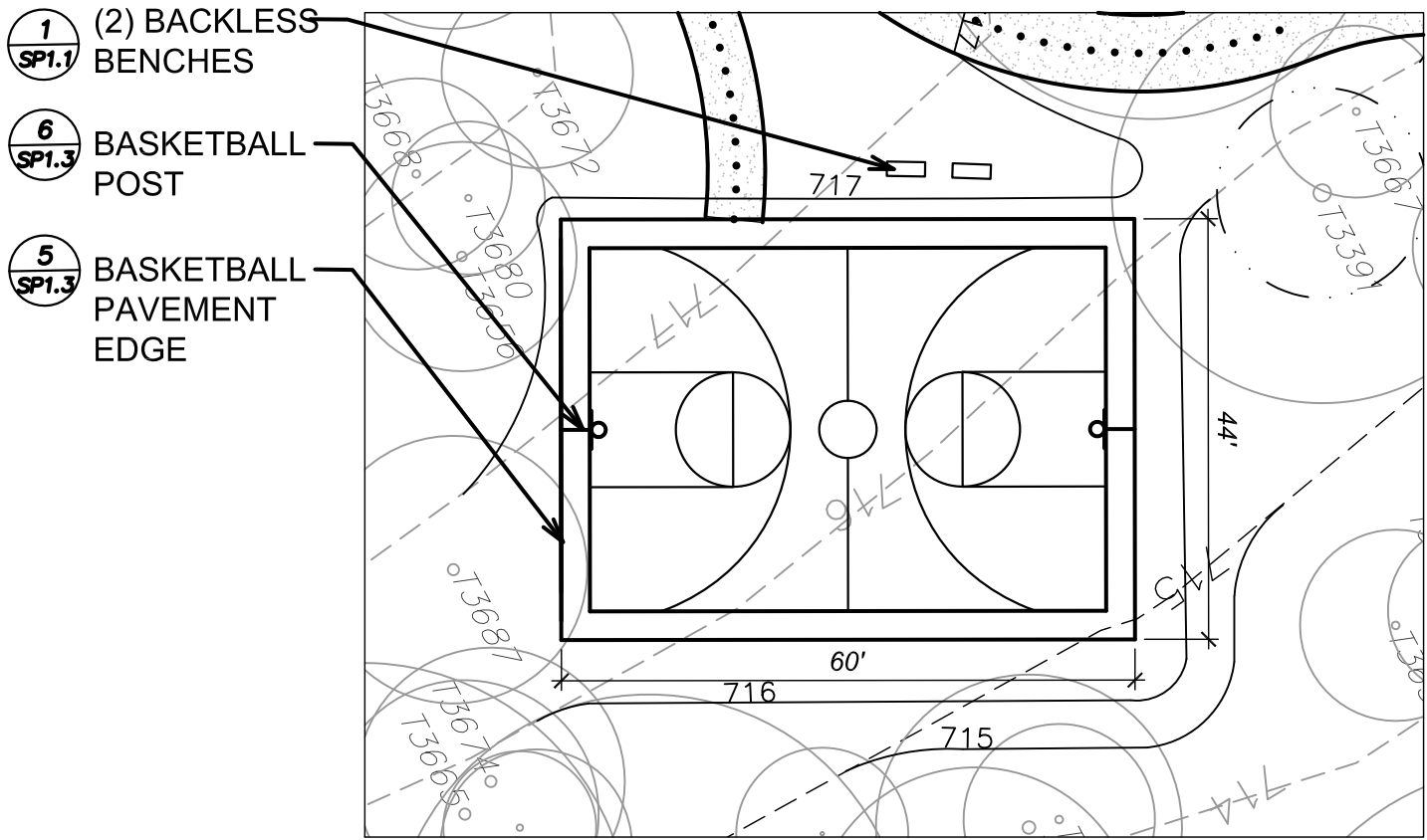
- If establishing vegetation during any stage of a drought, Section 6-4-30 may require a variance. Contact Austin Water Conservation Staff at waterusecompvar@austintexas.gov or call 512-974-2199.
- The Owner will continuously maintain the required landscaping in accordance with LDC 25-2-984.
- All landscape areas are to be protected by 6 inch wheel curbs, wheelstops or other approved barriers as per ECM 2.4.7

AEC APPROVAL FOR SUBCHAPTER E 2.3.1A:

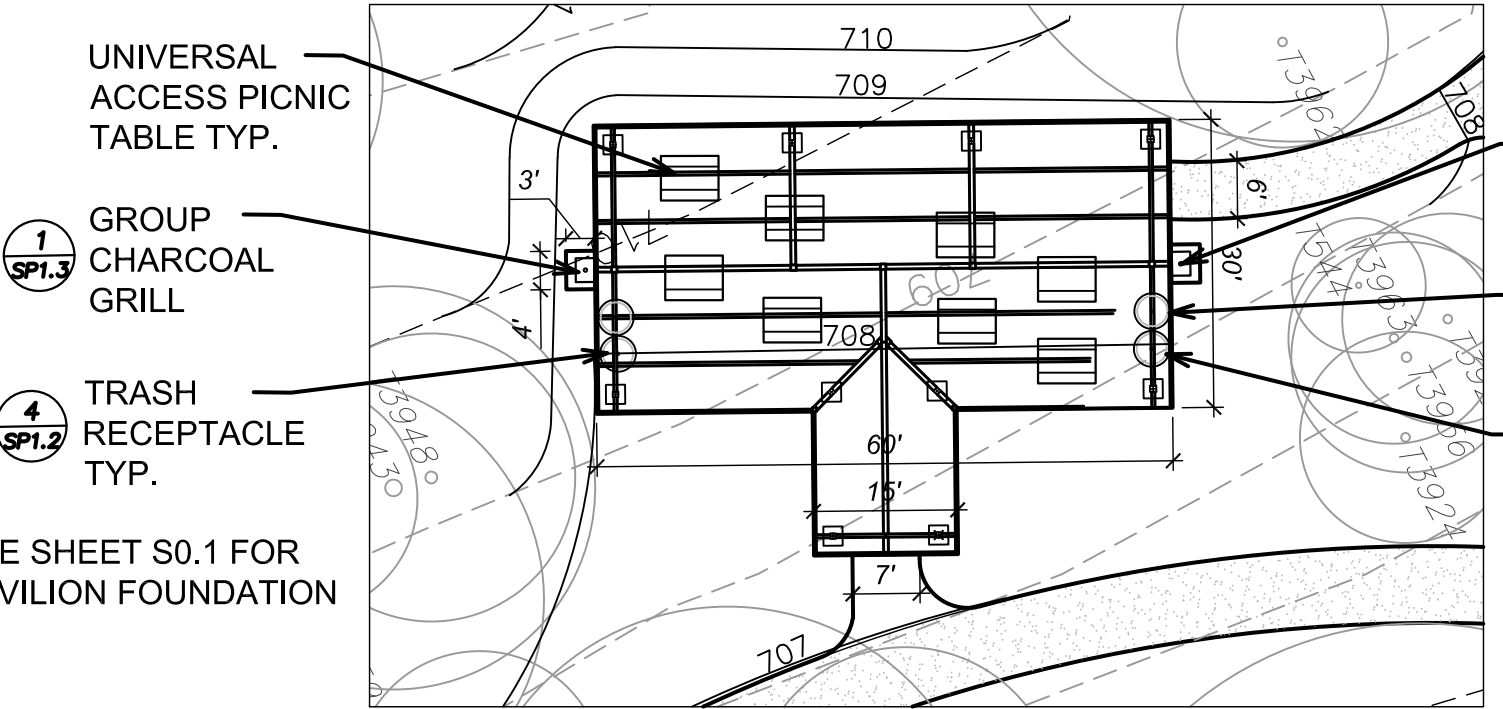
AEC has been approved for the vehicular connection between sites. The site is a park and does not propose a parking lot or drive aisles; therefore, a drive aisle connection is not feasible. The site proposes an alternative that meets the intent of this requirement by providing additional connectivity to the park.

- The following is provided as AEC:
- The site shall provide an 8 foot sidewalk connecting to the existing public sidewalk to the north of the property. This connection provides public connectivity from Oertli Lane right-of-way to the Georgian Acres Park.

NOTE: PROVIDE SMOOTH CONCRETE FINISH. SLOPE TO DRAIN. ALL COURT LINES SHALL BE PAINTED WITH WHITE TRAFFIC CONTROL PAINT. INTERIOR COURT LINES SHALL BE 2" WIDE AND THE BOUNDARY LINE SHALL BE 4" WIDE



BASKETBALL COURT



PICNIC PAVILION

Site Plan Notes

- All exterior lights will be full cut-off and fully shielded in compliance with Subchapter E 2.5 and will be reviewed during building plan review. Any change or substitution of lamp/light fixtures shall be submitted to the Director for approval in accordance with Section 2.5.2.E. Refer to 2.5.2.B. Fig. 42 for examples.
- This site is composed of 1 lot.
- No proposed structures are within 100 year flood plain.

Proposed Parking (see Special Parking Determination for required parking table this sheet)

Proposed Parking 1 Van Accessible Handicap (on street)\*  
1 Regular (on street)

\*Handicap parking space and aisle will meet all Federal and State requirements for Accessible Parking. Asphalt overlay may be required to meet slope requirements.

Buildings

No enclosed buildings are proposed for this site plan. Pavilion occupancy is <48.

Setbacks

Playscapes meet the minimum 50' compatibility setback for SF-5 or more restrictive zones

Cut & Fill

Site plan does not propose a cut or fill of 4' or greater

Site Data

Total Site Area - 4.997 AC  
Zoning - P-NP  
Proposed Use - Community Recreation Public  
Impervious Cover - 27,172 SF, 12.5% of site area  
Pavilion Foundations Type - Concrete Slab (FFE 708)

THIS DOCUMENT IS RELEASED FOR PERMIT REVIEW ONLY  
NOT FOR BIDDING OR CONSTRUCTION PURPOSES

SITE PLAN APPROVAL SHEET OF  
FILE NUMBER: SPC-2018-0324C APPLICATION DATE: Jul 25, 2018  
APPROVED BY COMMISSION ON UNDER SECTION 112 OF  
CHAPTER 25-6 OF THE CITY OF AUSTIN CODE  
EXPIRATION DATE: 25-6-01, LDC CASE MANAGER: J. Sibola  
PROJECT EXPIRATION DATE (ORD. #07005-A) DNPZ DOZ  
Director, Development Services Division ZONING P-NP  
RELIEVED FOR GENERAL COMPLIANCE  
Rev. 1 Correction 1  
Rev. 2 Correction 2  
Rev. 3 Correction 3  
First Plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

SPC-2018-0324C

GEORGIAN ACRES NEIGHBORHOOD PARK  
500 E. POWELL LANE  
SITE PLAN

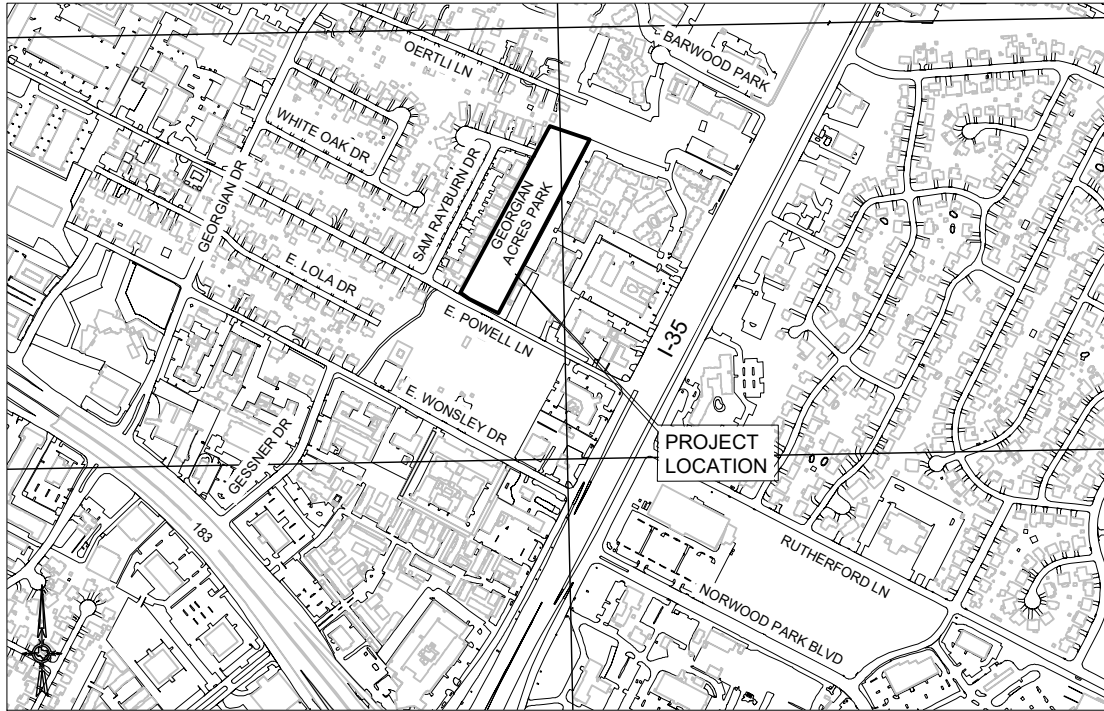
REVISIONS  
DIREKTOR Kim McNealey  
DIVISION MANAGER Rey Hernandez  
LANDSCAPE ARCHITECT D'Anne Williams  
APPROVED  
DRAWN BY DW

REGISTERED LANDSCAPE ARCHITECT  
DAINE WILLIAMS  
STATE OF TEXAS  
2413  
6/17/19

SCALE AS NOTED  
DATE 6/17/19  
SP - 1.0  
SHEET 12 OF 27



# GEORGIAN ACRES PARK DEVELOPMENT 500 EAST POWELL LANE



LOCATION MAP, MAPSCO GRID 526N, 526P

NTS