



# City of Austin Residential New Construction and Addition Permit Application

Residential Review, 2<sup>nd</sup> floor, One Texas Center  
505 Barton Springs, Austin, TX 78704 (512) 978-4000

## Property Information

Project Address: 1216 East 7th ST Austi, TX 78702	Tax Parcel ID: 192896
Legal Description: Lot 7* & E 20.8 FT of LOT 8 BLK 2 OLT 2-3 DIV B	
Zoning District: SF-3, <b>TODMP</b>	Lot Area (sq ft): 12,852.00
Neighborhood Plan Area (if applicable): Yes - <b>Central East Austin</b>	Historic District (if applicable):

## Required Reviews

Is project participating in S.M.A.R.T. Housing? Y <input checked="" type="checkbox"/> N (If yes, contact Austin Energy for Green Building Rating requirements. Attach signed certification letter from NHCD.)	Does project have a Green Building requirement? Y <input checked="" type="checkbox"/> N (If yes, contact Austin Energy for Green Building Rating requirements)
Is this site within an Airport Overlay Zone? Y <input checked="" type="checkbox"/> N (If yes, approval through Aviation is required)	Does this site have a septic system? Y <input checked="" type="checkbox"/> N (If yes, submit a copy of approved septic permit)
Does the structure exceed 3,600 square feet total under roof? Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)	Is this property within 200 feet of a hazardous pipeline? Y <input checked="" type="checkbox"/> N (If yes, Fire review is required)
Is this site located within an Erosion Hazard Zone? Y <input checked="" type="checkbox"/> N (If yes, EHZ review is required)	Is this property within 150 feet of the 100 year floodplain? Y <input checked="" type="checkbox"/> N (Proximity to floodplain may require additional review time.)
Is there a protected sized tree on this lot or adjacent lot(s)? Y <input checked="" type="checkbox"/> N Note: Include tree location(s) on plot plan.	(If yes, application for a tree permit with the <a href="#">City Arborist</a> is required)
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) <input checked="" type="checkbox"/> Y N	
Does this site currently have: water availability? <input checked="" type="checkbox"/> Y N wastewater availability? <input checked="" type="checkbox"/> Y N (If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.)	
Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y <input checked="" type="checkbox"/> N (If yes, contact Austin Water Utility Pipeline Engineering for review and approval)	
Does this site have or will it have an auxiliary water source? Y <input checked="" type="checkbox"/> N (Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)	
Does this site require a cut or fill in excess of four (4) feet? Y <input checked="" type="checkbox"/> N (If yes, contact the Development Assistance Center for a Site Plan Exemption)	
Is this site within the Waterfront Overlay? Y <input checked="" type="checkbox"/> N (LDC 25-2 Subchapter C Article 3)	Is this site within the Lake Austin Overlay? Y <input checked="" type="checkbox"/> N (LDC 25-2-180, 25-2-647)
Does this site front a paved street? <input checked="" type="checkbox"/> Y N (If no, contact Development Assistance Center for Site Plan requirements.)	Is this site adjacent to a paved alley? <input checked="" type="checkbox"/> Y N (Public Works approval required to take access from a public alley.)
Does this site have a Board of Adjustment (BOA) variance? Y <input checked="" type="checkbox"/> N Case # _____ (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y <input checked="" type="checkbox"/> N (If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)	

## Description of Work

Existing Use:	vacant	<input checked="" type="radio"/> single-family residential	<input type="radio"/> duplex residential	<input type="radio"/> two-family residential	other: _____
Proposed Use:	vacant	<input checked="" type="radio"/> single-family residential	<input type="radio"/> duplex residential	<input type="radio"/> two-family residential	other: _____
Project Type:	new construction	<input type="radio"/> addition	<input checked="" type="radio"/> addition/remodel	other: _____	
Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? <input checked="" type="checkbox"/> Y N (Note: Removal of all or part of a structure requires a demolition permit application.)					
# of existing bedrooms: 3	# of bedrooms upon completion: 4	# of baths existing: 2.5	# of baths upon completion: <b>3 Full 1/2 1/2</b>		
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.) <b>Add a new master bathroom, bathroom, two-garage, Library/Gallery. Renovate Kitchen</b>					
Trades Permits Required (Circle as applicable): <input checked="" type="checkbox"/> electric <input checked="" type="checkbox"/> plumbing <input checked="" type="checkbox"/> mechanical (HVAC) <input type="checkbox"/> concrete (R.O.W.)					



Job Valuation						
Total Job Valuation: \$ <u>123,000</u>  <small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	Amount of Total Job Valuation dedicated to all Addition and/or New Construction: \$ <u>0</u>  Amount for Primary Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N  Amount for Accessory Structure: \$ _____ Elec: <input type="checkbox"/> Y <input type="checkbox"/> N   Plmbg: <input type="checkbox"/> Y <input type="checkbox"/> N   Mech: <input type="checkbox"/> Y <input type="checkbox"/> N			Amount of Total Job Valuation dedicated to all Remodel/Repair: Bldg: \$ <u>95,000</u> Elec: \$ <u>8,500</u> Plmbg: \$ <u>11,500</u> Mech: \$ <u>8,000</u> TOTAL: \$ <u>123,000</u>		
<b>Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.</b>						
Site Development Information						
<b>Area Description</b> <small>Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.</small>	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 <sup>st</sup> Floor conditioned area	1,804.00		1,306.00		3,110.00	0.00
b) 2 <sup>nd</sup> Floor conditioned area	728.00		221.00		949.00	0.00
c) 3 <sup>rd</sup> Floor conditioned area					0.00	0.00
d) Basement					0.00	0.00
e) Covered parking (garage or carport)			476.00		476.00	0.00
f) Covered patio, deck, porch, and/or balcony area(s)	449.00		190.00		639.00	0.00
g) Other covered or roofed area	144.00				144.00	0.00
h) Uncovered wood decks					0.00	0.00
<b>Total Building Area</b> (total a through h)	3,125.00	0.00	2,193.00	0.00	5,318.00	0.00
i) Pool			200.00		200.00	0.00
j) Spa					0.00	0.00
<b>Building Coverage Information</b> <small>Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)</small>						
Total Building Coverage (sq ft): <u>4,225.00</u> % of lot size: <u>33</u>						
<b>Impervious Cover Information</b> <small>Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)</small>						
Total Impervious Cover (sq ft): <u>5,477.00</u> % of lot size: <u>43</u>						
<b>Setbacks</b> Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492)      Y <input checked="" type="checkbox"/> N						
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)      Y <input checked="" type="checkbox"/> N						
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778)      Y <input checked="" type="checkbox"/> N						
<b>Height Information</b> (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)			<b>Parking</b> (LDC 25-6 Appendix A & 25-6-478)			
Building Height: <u>28</u> ft <u>2</u> in      Number of Floors: <u>1</u>			# of spaces required: <u>2</u> # of spaces provided: <u>2</u>			
<b>Right-of-Way Information</b> Is a sidewalk required for the proposed construction? (LDC 25-6-353)      Y <input checked="" type="checkbox"/> N <small>*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</small>						
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? <input checked="" type="checkbox"/> Y      N						
Width of approach (measured at property line): <u>35.0</u> ft      Distance from intersection (for corner lots only): <u>200.0</u> ft						
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? (If yes, drainage review is required)      Y <input checked="" type="checkbox"/> N						



## Subchapter F

### Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 <sup>st</sup> Floor	1,804.00	1,306.00			3,110.00
2 <sup>nd</sup> Floor	728.00	221.00			949.00
3 <sup>rd</sup> Floor					0.00
Area w/ ceilings > 15'		622.00	Must follow article 3.3.5		622.00
Ground Floor Porch* (check article utilized)		190.00	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)		190.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic			Must follow article 3.3.3C, see note below		0.00
Garage**: (check article utilized)	Attached	476.00	<input checked="" type="checkbox"/> 200 sq ft (3.3.2 B 2b)	200.00	276.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	2,532.00	2,815.00			5,147.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 5,147.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 40 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☒ N

(Yes, if: a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☒ N

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

**\*Ground Floor Porch exemption:** A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**\*\*Garage and carport exemptions (in relation to primary structure):** Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

**\*\*\*Ordinance article 3.3.2 B 1** is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

**Basement exemption:** A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

**Habitable Attic exemption:** A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2) It is fully contained within the roof structure; 3) It has only one floor; 4) It does not extend beyond the footprint of the floors below; 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure; and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



*Pontiano Morales III*

May 5, 2019  
Cinco de Mayo

## INDEX OF DRAWINGS

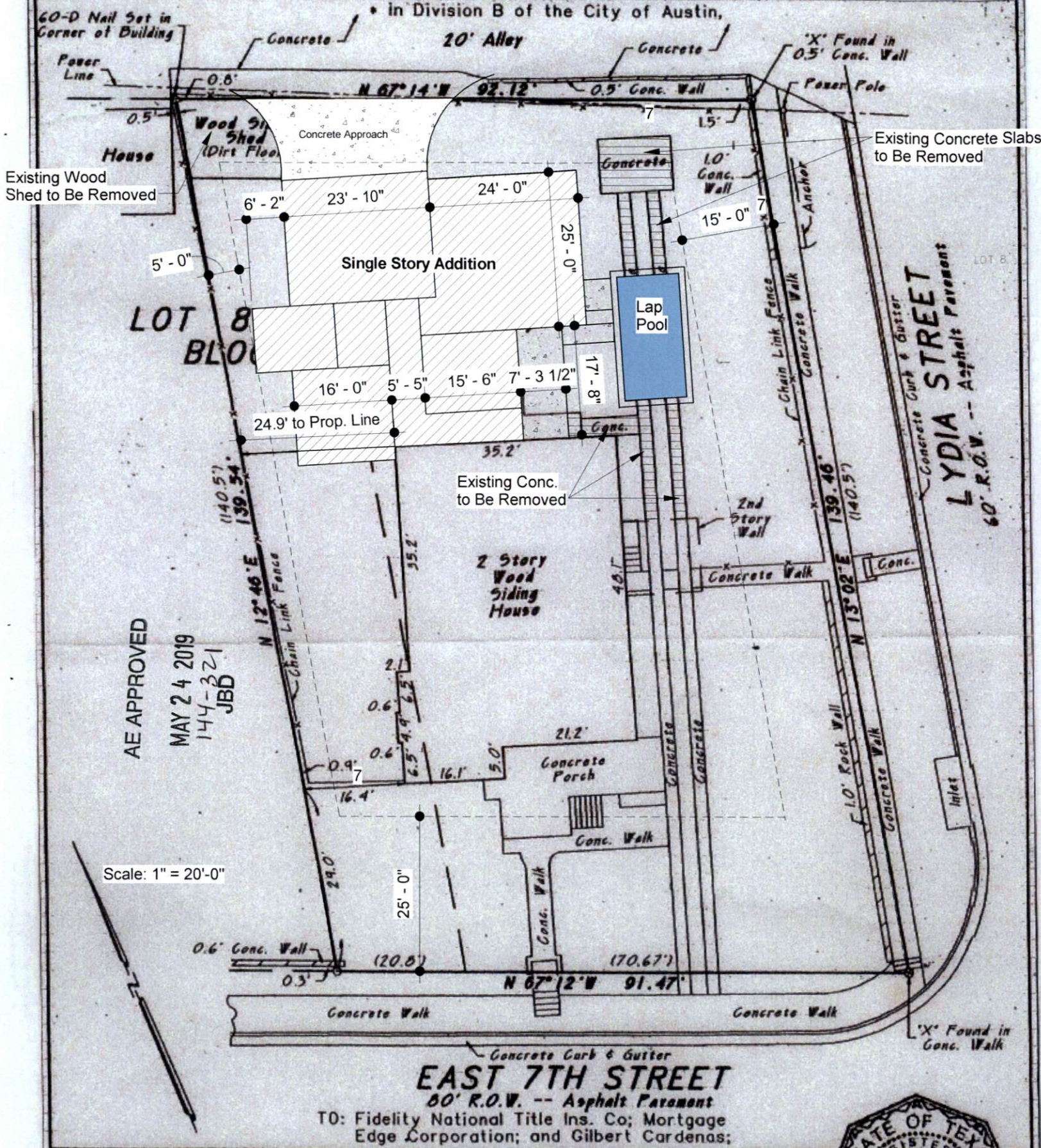
Note: Drawings are drawn for Compliance with the 2015 IRC and City of Austin Amendments

- A1 Cover Sheet
- A2 Site Plan
- A2A Tree & Topo Survey
- A3 Renovated Floor Plan
- A4 Demolition Floor Plan
- A5 Roof Plan & Door & Window Schedules
- A6 West & East Exterior Elevations
- A7 North & South Exterior Elevations
- A8 Electrical Floor Plan
- A9 Interior Elevations
- A10 Interior Elevations
- A11 Interior Elevations
- A12 Typical Wall Section & Gallery East Wall Elevation
- A13 Floor Finishes Floor Plan
  
- S1 General Structural Notes
- S2 Foundation Plan
- S3 Roof Framing & Lower Roof and Mezzanine Framing Plan
- S4 Structural Details
- S5 Structural Details
- S6 Bracing Methods & Details
- S7 Wind Bracing Plan

**PROPOSED HOUSE ADDITION**  
1216 East 7th Street, Austin, Texas 78702

**A1**





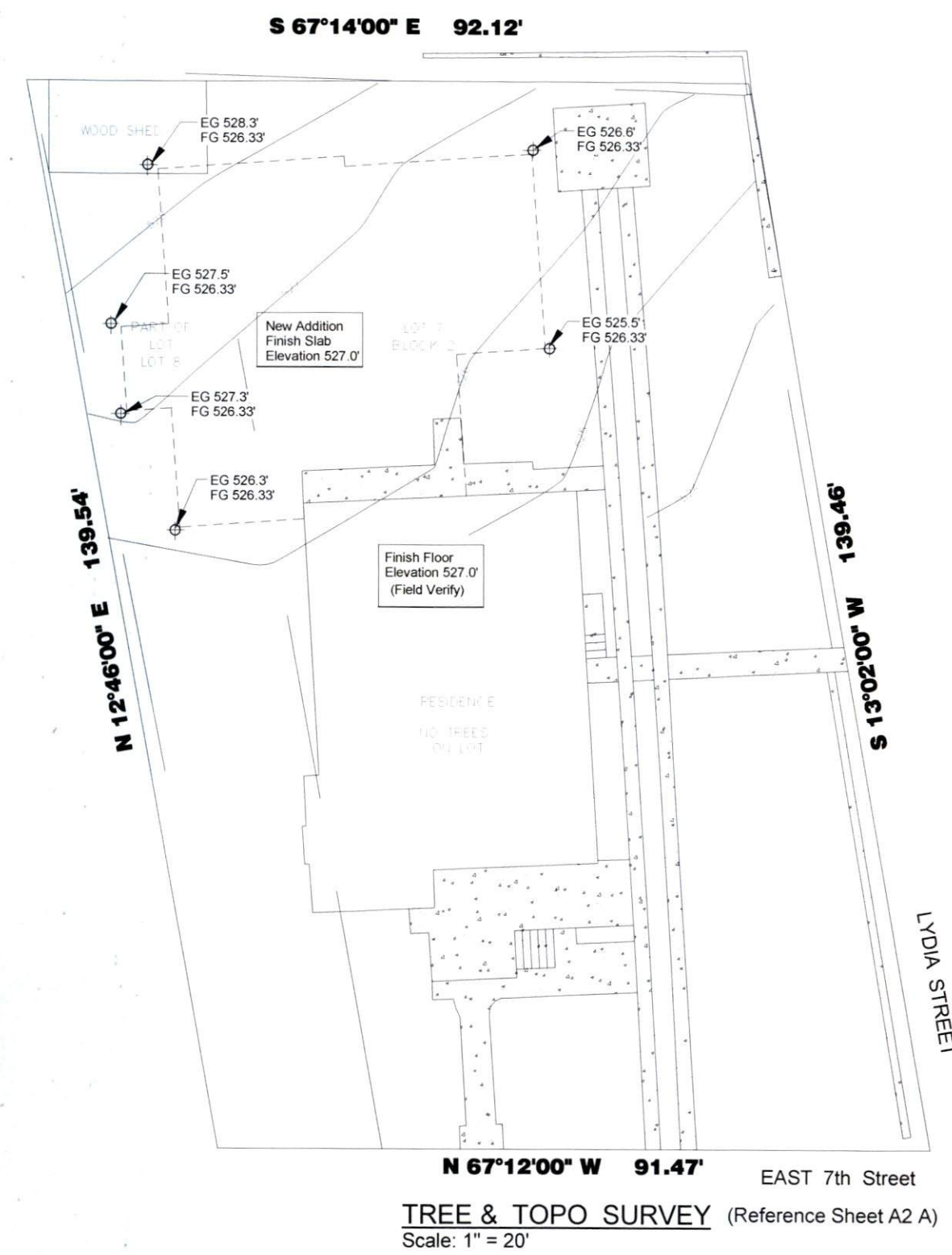
**LEGEND**

- Conc. Monument Found
- Iron Pipe Found
- Iron Rod Found
- Iron Rod Set
- ▲ Nail Found
- ▲ Nail Set
- ( ) Record Information

The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct, and that there are no visible discrepancies, conflicts, boundary line conflicts, encroachments, overlapping of improvements, visible utility easements or roadways, except as shown hereon, and that said property has access to and from a dedicated roadway, except as shown hereon.

The property described hereon is not located in a designated

STATE OF TEXAS  
REGISTERED  
DOUGLAS A. SEELIG  
1908  
PROFESSIONAL  
LAND SURVEYOR



**SITE CALCULATIONS**

Existing House	1804 SF
Existing Front Porch	449 SF
Existing Driveway	360 SF
Existing Sidewalks	356 SF
Existing AC Pads	18 SF
Existing Retaining Wall	61 SF
New Additions Conditioned Space	1306 SF
New Garage	476 SF
New Concrete Approach	390 SF
New Screened Patio	190 SF
New AC Pad	9 SF
Pool Coping	58 SF
<b>Total Impervious Cover:</b>	<b>5477 SF = 43 %</b>

**REVIEWED**

MAY 24 2019

AUSTIN WATER UTILITY  
CONSUMER SERVICE DIVISION - TAPS

REGISTERED ARCHITECT  
PANCINO MORALES III  
8124  
STATE OF TEXAS

Pancino Morales III

May 5, 2019  
Cinco de Mayo

**PROPOSED HOUSE ADDITION**

1216 East 7th Street, Austin, Texas 78702

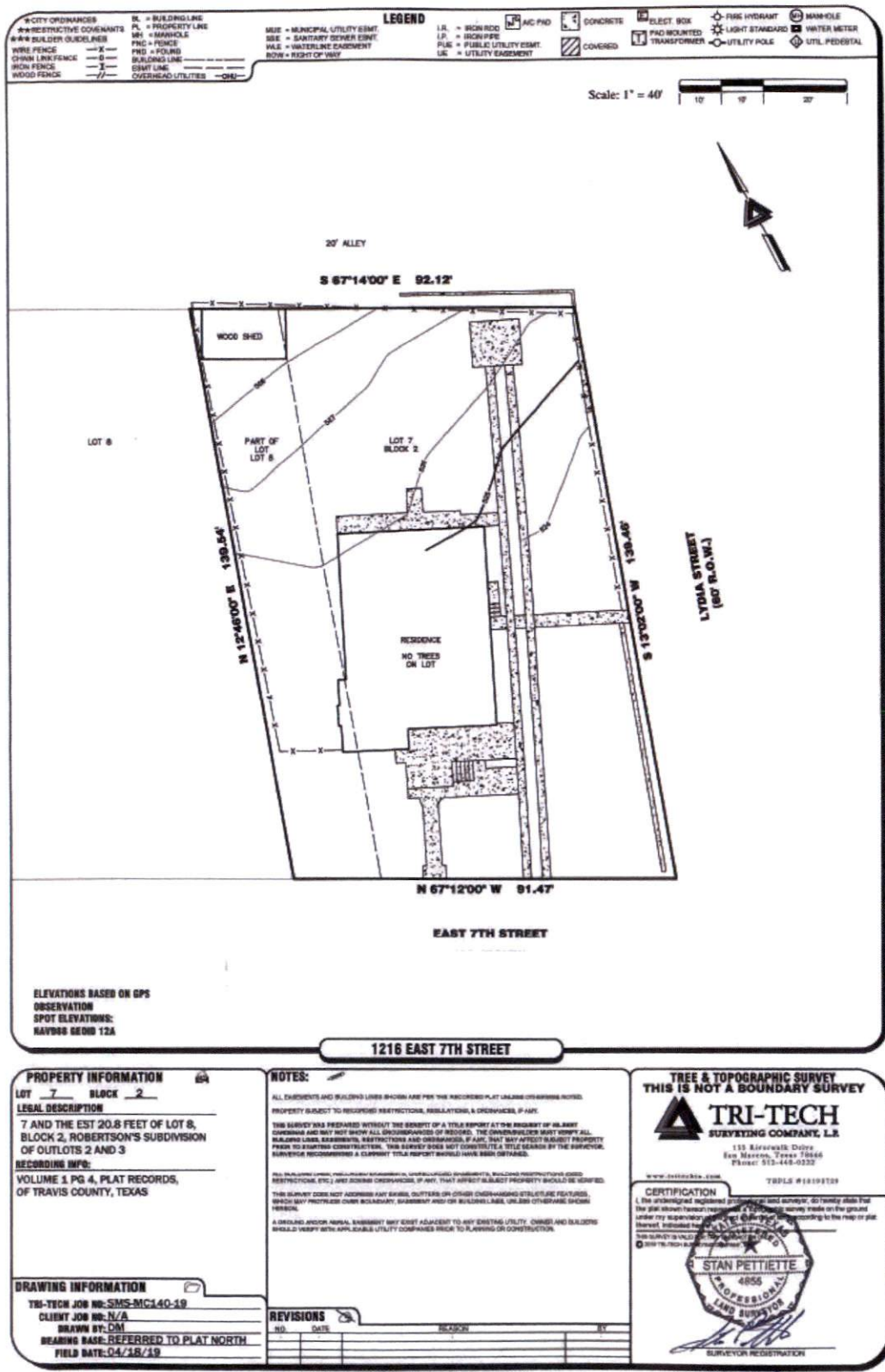
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*Ponce de Leon*

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**PROPOSED HOUSE ADDITION**  
1216 East 7th Street, Austin, Texas 78702

A2 A



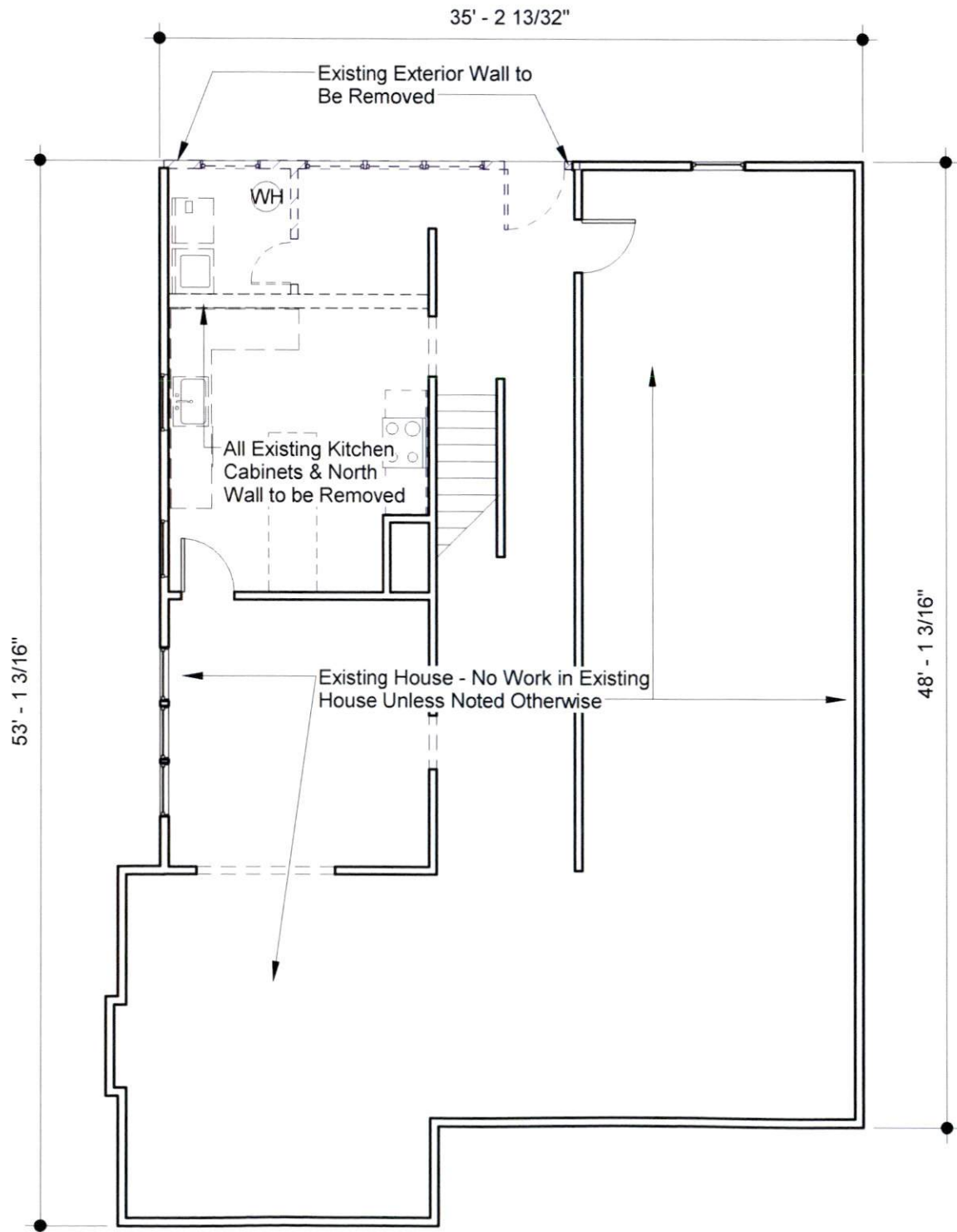
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GENERAL NOTES

1. All Cobcontractors are responsible for confirming and correlating all dimensions at job site. The Architect is not responsible for Construction means, methods, techniques, sequences or procedures for safety precautions and programs related to the construction.
2. All dimensions are to the face of studs, unless noted otherwise, and to the face of exterior siding.
3. All exterior windows shall have double pane Low-E Glazing.
4. Contractor shall install 2" x 6" or larger wood blocking at 34 inches above finish floor to the centerline of blocking at all bathroom walls, flush with the interior side of the studs and parallel to the floor.
5. All exterior studs shall be 2" x 6" studs at 16" o.c.; All interior studs shall be 2" x 4" studs at 16" o.c.; unless noted otherwise.
6. All construction shall be BIBS (blow-in-Blanket System) - R19 on exterior walls and R38 in all Roof Areas. No Roof Insulation in Screened Patio. All walls surrounding bathrooms, Master Bedroom and as shown on Floor Plans.
7. All Floor finishes shall be as selected by Owner, including all floor bases, and window sills & casings.
8. Standing Seam Metal Roof shall be as selected by Owner.
9. SD/CO = Combination Smoke Dector and Carbon Monoxide Alarm, reference Electrical Floor Plan.
10. Attic disappearing stairs shall be 25 1/2" x 54" Attic Access Stairs.
11. Reference drawing sheets A9, A10 and A11 for Interior Cabinet Elevations; note all furniture and appliances, light fixtures, cabinet hardware, plumbing fixtures shall be as selected by Owner.
12. In bathrooms install Frameless Safety Tempered Shower Glass Enclosures as selected by Owner.
13. Install Recessed Redi Niche Shower Shelf 14" H x 16" W in Shower Wall and 16" H x 28" W Recessed Niche in Wall by Free Standing Tub - Field Verify Placement with Owner.
14. All Gallery Book Cabinets with Adjustable Shelves shall be as Selected by Owner.
15. Interior Stairs shave have Pre-Finished 7 5/16" Risers and Pre-Finished 11" Treads with Typical 1" Nosing, and 1 1/2" Round Hardwood Handrail.
16. Owner Furnished and Contractor Install 10 - 3'w x 7'h Book Shelf Units in Gallary as directed by Owner.



EXISTING DEMO FLOOR PLAN

Scale: 1/8" = 1'-0"

PROPOSED HOUSE ADDITION  
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A4





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A5

DOOR SCHEDULE

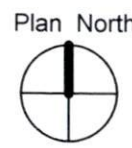
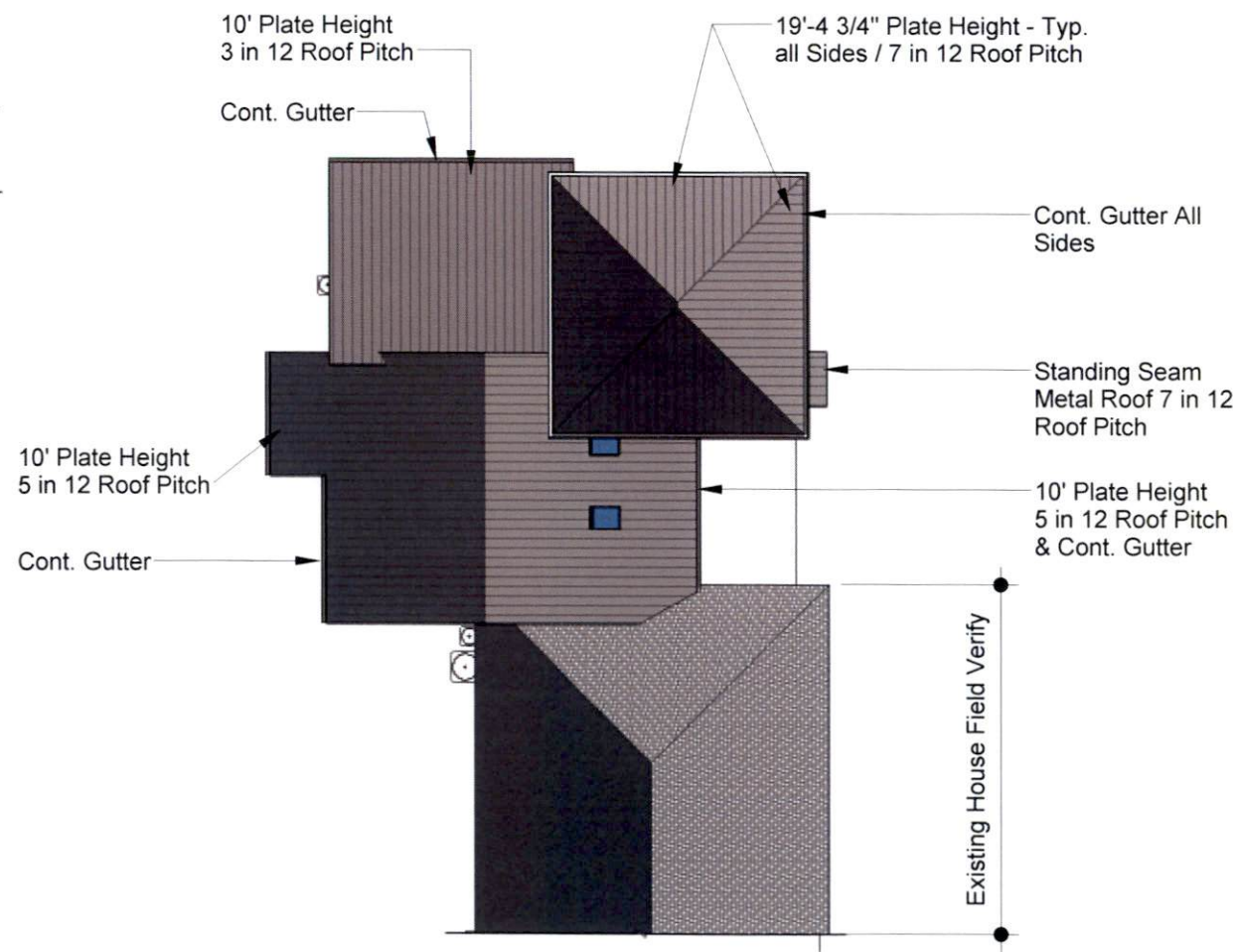
Note: All Doors and Hardware as Selected by Owner

- D1 16'-0" x 7'-0" Insulated Overhead Metal Door
- D2 6'-0" x 7'-0" Insulated Overhead Metal Door
- D3 2'-8" x 6'-8" x 1 3/4" Solid Core Wood Door
- D4 4'-0" x 8'-0" x 1 3/4" Insulated Metal Pocket Door
- D5 4'-0" x 8'-0" x 1 3/4" Solid Core Wood Pocket Door
- D6 2'-6" x 6'-8" x 1 3/4" Solid Core Wood Pocket Door
- D7 2'-0" x 6'-8" x 1 3/4" Insulated Metal Door
- D8 6'-0" x 8'-0" Sliding Glass Door
- D9 3'-0" x 8'-0" x 1 3/4" Screened Wood Door
- D10 6'-0" x 8'-0" Sliding Glass Door
- D11 3'-0" x 8'-0" x 1 3/4" Solid Core Wood Door
- D12 2'-6" x 6'-8" x 1 3/8" Hollow Core Wood Door
- D13 Pair 2'-6" x 6'-8" x 1 3/8" Hollow Core wood Doors
- D14 4'-0" x 8'-0" x 1 3/4" Solid Core Wood Pocket Door
- D15 Pair 2'-0" x 6'-8" x 1 3/4" french Wood Doors
- D16 2'-6" x 6'-8" x 1 3/4" Solid Core Wood Door
- D17 2'-6" x 6'-8" x 1 3/8" Hollow Core Wood Door
- D18 1'-4" x 6'-8" x 1 3/8" Hollow Core Wood Door
- D19 2'-0" x 6'-8" x 1 3/8" Hollow Core Wood Door
- D20 2'-6" x 6'-8" x 1 3/8" Hollow Core Wood Doors
- D21 2'-6" x 6'-8" x 1 3/4" Insulated Metal Pocket Door

WINDOW SCHEDULE

Note: All Windows as Selected by Owner with Insulated Low-E Glazing

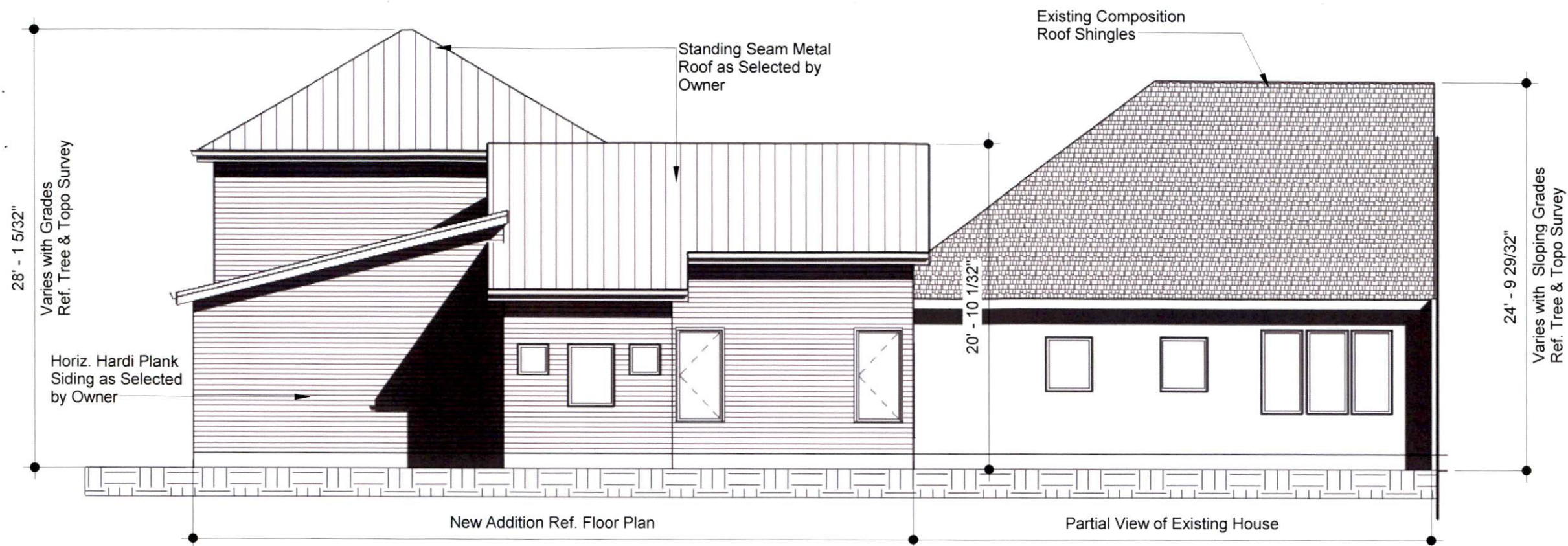
- W1 2'-0" x 2'-0" Fixed with Header at 18'-4 3/4" AFF
- W2 2'-0" x 2'-0" Fixed with Obscure Glazing & Header at 7'-0" AFF
- W3 3'-0" x 6'-0" Casement with Header at 8'-0" AFF
- W4 3'-0" x 6'-0" Casement with Header at 8'-0" AFF
- W5 3'-0" x 6'-0" Casement with Header at 8'-0" AFF
- W6 2'-0" x 2'-0" Fixed with Obscure Glass & Header at 7'-0" AFF
- W7 3'-0" x 4'-0" Fixed with Obscure Glass & Header at 7'-0" AFF



ROOF PLAN  
Scale: 1" = 20'-0"

Note: Standing Seam Metal Roof as Selected by Owner All New Roofs with 1'-0" Overhang Typ.





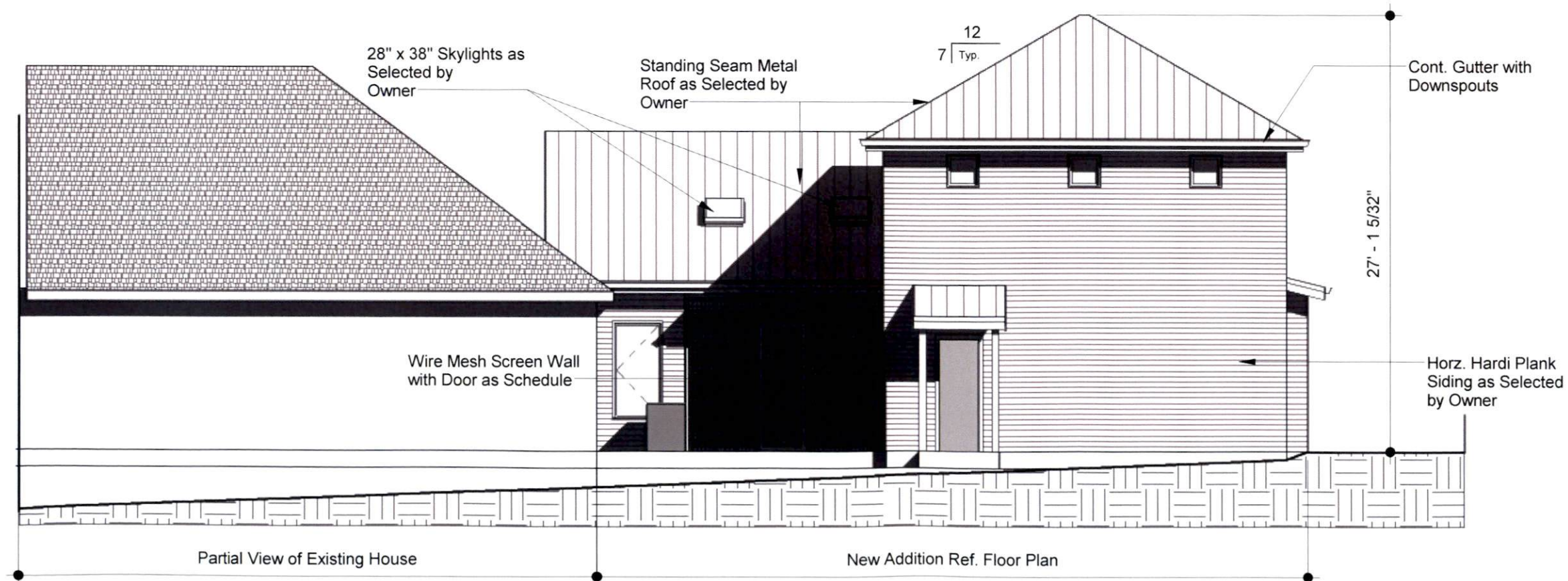
## WEST SIDE ELEVATION

Scale: 1/8" = 1'-0"



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## EAST SIDE ELEVATION

Scale: 1/8" = 1'-0"

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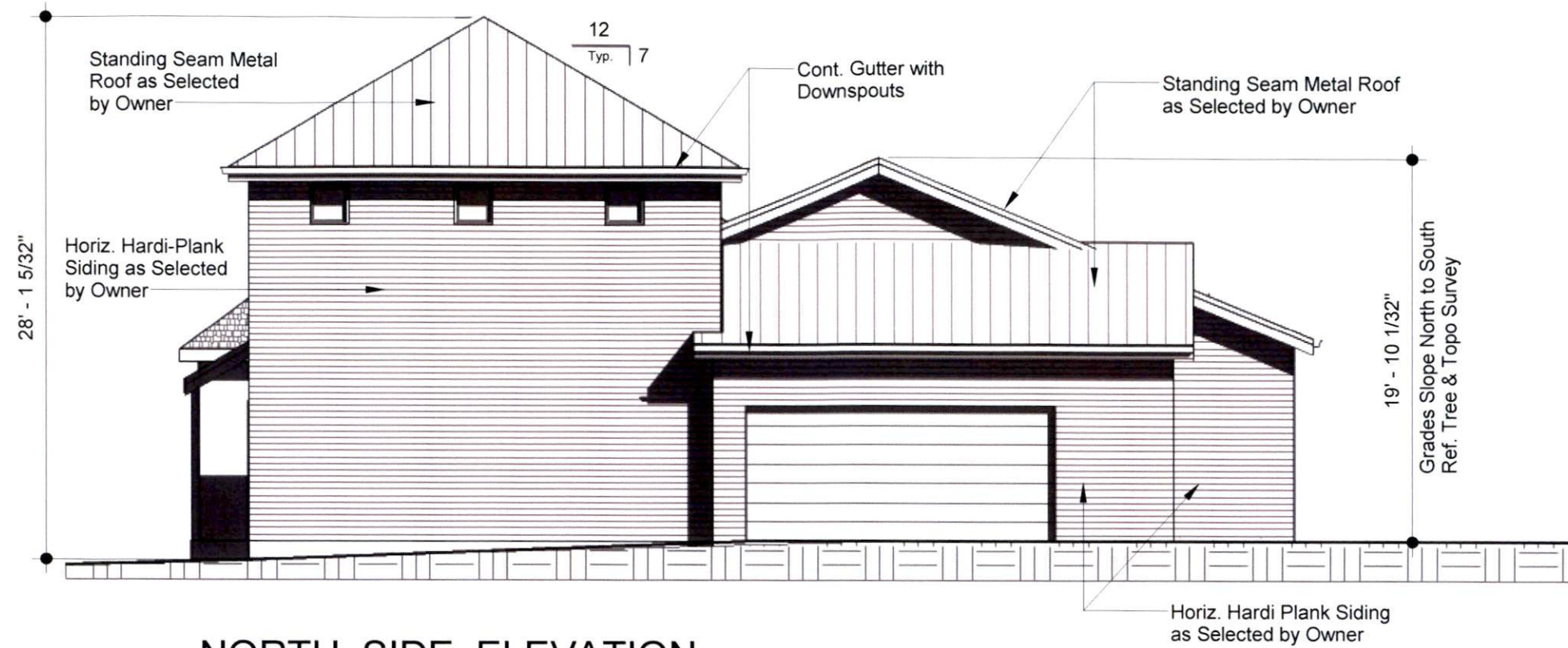
**A6**





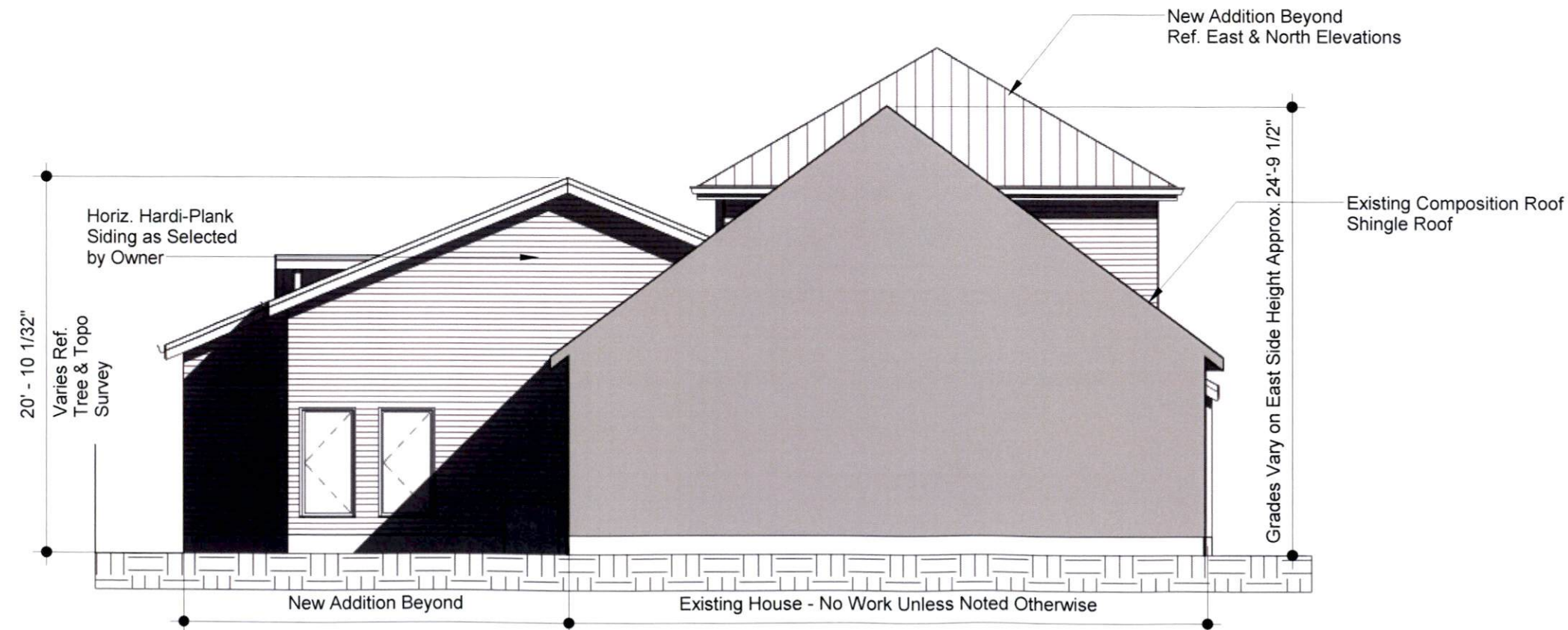
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May 5, 2019  
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### NORTH SIDE ELEVATION

Scale: 1/8" = 1'-0"



### SOUTH SIDE ELEVATION

Scale: 1/8" = 1'-0"

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**A7**