HISTORIC LANDMARK COMMISSION JULY 22, 2019 DEMOLITION AND RELOCATION PERMITS HDP-2019-0252 1408 EAST CESAR CHAVEZ STREET

PROPOSAL

Demolish a ca.1906-1910 house.

ARCHITECTURE

One-story, wing-and-gable plan frame house with horizontal wood siding; partial-width porch, and 2:2 wood and single-light fixed-pane metal windows.

RESEARCH

The house appears to have been built between 1906 and 1910 on a lot subdivided from the adjoining Stavely estate. It was a rental property for most of its lifespan.

From 1912-1918, it was inhabited by masons and stonecutters, who were most likely working on materials for the new post office building (now UT's Claudia T. Johnson Hall at 220 W. 6th St.). From 1927-1939, it was occupied by William J. Criswell and his family; he was employed by the City Water, Power, and Light Division for the duration of his residence at the house.

Other occupants from the 1940s onward included the Goushe family, dry-goods salesmen; Gussie Adams, a clerk; Louis and Henrietta Martinez, an installer and a laundress; Earl Wesson, a trucker; and the Davis family, who operated a retirement home next door.

STAFF COMMENTS

The property was recommended contributing to a local and National Register historic district by the East Austin Historic Resource Survey (2016).

Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain a moderate degree of integrity.
- 3) Properties must meet two historic designation criteria for landmark designation (City of Austin Land Development Code, Section 25-2-352).
 - a. Architecture. The house is constructed in the Folk Victorian/National Folk style.

b. Historical association. There do not appear to be significant historical associations.

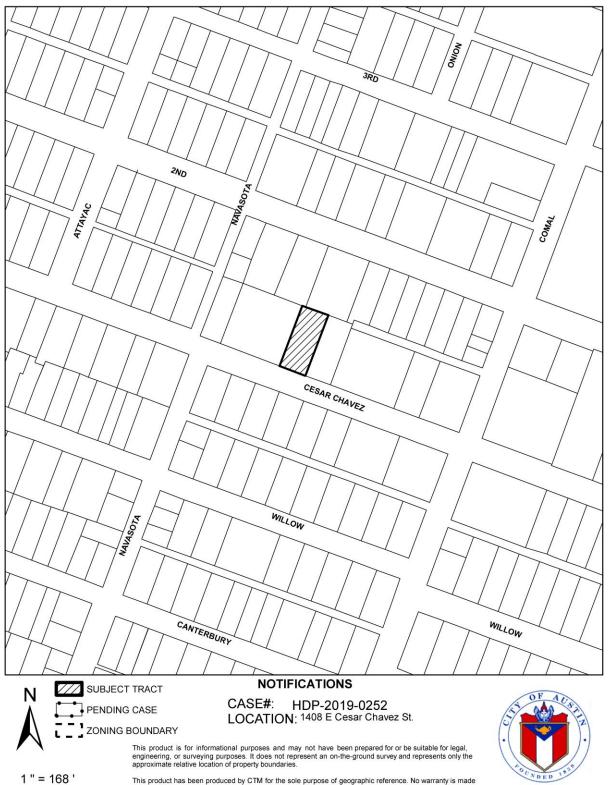
c. **Archaeology**. The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.

d. **Community value**. The property does not appear to have a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, a neighborhood, or a particular group.

e. Landscape feature. The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.

STAFF RECOMMENDATION

Encourage rehabilitation and adaptive re-use, then relocation over demolition, but release the permit upon completion of a City of Austin Documentation Package, consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history, for archiving at the Austin History Center. Though the house is part of an extant Folk Victorian grouping of buildings – a style that defined railroad-era South East Austin -- it does not appear to meet the criteria for individual designation as a historic landmark.



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Photo: Citywide Historic Building Scan, August 2018



Photo: Texas Historical Commission, 1980

Occupancy History

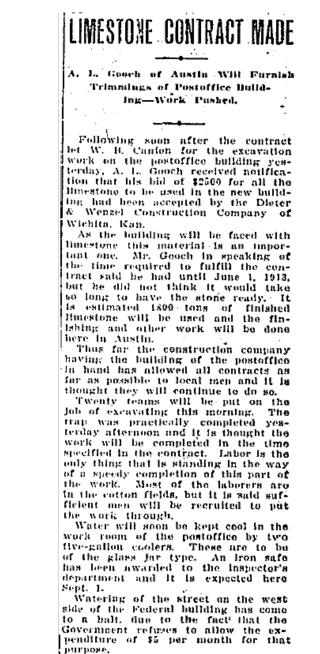
City Directory Research, Austin History Center By City Historic Preservation Office, May, 2019

1992	Leonor Montelongo, renter Mirthala Montelongo, renter Martha Montelongo, renter Delia Montelongo, renter Ana M. Montelongo, renter	
1985-86	Jimmie G. and Sarah V. Ramos, renters	
1981	Vacant	
1977	Cecelia Rodriguez, renter	
1973	Vacant	
1968	Carney E. and Lola M. Davis, owners Davis Home for the Elderly, 1410 E. 1 st St.	
1965	Address not listed	
1962	Vacant	
1959	John J. Coy, renter	
1955	Earl J. and Ora F. Wesson, renters Trucker	
1952	A. Louis A. and Henrietta Martinez, renters Installer, Dill's Plant worker, Capitol Laundry and Cleaning	
	B. Luke G. Rodriguez, renter	
1949	Gussie O. Adams, renter Wid. Claude A. Adams Clerk, Texas Employment Commission	
1947	Abed and Huson Goushe, renters Salesman	
	Essa Goushe, renter Austin Exchange Dry Goods, 401 ½ E. 6 th St.	
1944-45	Abed and Huson Goushe, renters Salesman	
1941	Abed and Huson Goushe, renters Salesman	
1939	William J. and Dora E. Criswell, renters Gatekeeper	

	Harold L. Criswell, renter Clerk	
1937	William J. and Dora E. Criswell, renters Gatekeeper; City Water, Light, & Power	
	Harold L. Criswell, renter Yard clerk, SP Lines	
1935	William J. and Dora E. Criswell, renters Gatekeeper; City Water, Light, & Power	
	Harold L. Criswell, renter	
1932-33	William J. and Dora E. Criswell, renters Employee; City Water, Light, & Power	
1929	William J. and Dora E. Criswell, renters Machinist	
1927	William J. and Dora E. Criswell, renters Boiler repairman; City Water, Light, & Power	
	Lorene Criswell, renter Teacher	
1924	E. C. and Virginia Harsch, renters Barber	
1922	E. C. and Virginia Harsch, renters Barber, University Barber Shop Marvin Holeman, renter	
1920	W. T. and Bonnie Ward, renters Agent, San Jacinto Life Insurance Company	
1918	Ezro and Naomi M. Beghe, owners Stonecutter, A.L. Gooch	
1916	Ezro Beghe, renter Stonecutter, A.L. Gooch	
1914	Adis Whitaker, renter Granite cutter, A.l. Gooch	
	Charles Seaborn, renter Bricklayer	
1912-13	Adis Whitaker, renter Granite cutter, A.l. Gooch	
1910-11	Hardie K. Davis, renter Davis & Company tailors, cleaning, and pressing; 1008 Congress Ave.	

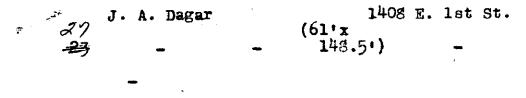
- 1909-10 1408 not listed 1406 E. 1st St.: Miss Celia Stavely, dressmaker
- 1906-07 1408 not listed 1406 E. 1st St.: Miss Celia Stavely, dressmaker
- 1905 1408-1406 not listed Celia Stavely listed at 1400 E. 1st St.

Background Information



Local masons and stonecutters were hired to work on the Austin post office. Several of these craftsmen occupied the house at 1408 E. Cesar Chavez St. <u>The Austin Statesman</u>; Aug. 28, 1912.

Building Permits



frame garage

20047 - 7-22-40

None

Building permit for garage, 7-22-40

OWNER N John A Doger	ADDRESS 1408 East 1 st. St.			
	r.60.37 of S .1485 ft. _{BLK}			
Of West 31 ft. OL 20 SUBDIVISION Unplatted				
OCCUPANCY Res.	·			
BLDG. PERMIT # 169173	OWNERS DATE12-7-77 ESTIMATE600.00			
<u>CONTRACTOR</u> Same	NO. OF FIXTURES			
WATER TAP REC#	SEWER TAP REC#			
<u>Repair & aemodel res to min standrs.</u>				
Remodel permit, 12-7-77				
OWNER Gilbert Rodriquez	ADDRESS 1408 East 1st Street			
PLAT 27 LOT Ctr.	60.37 of South 148.5 ft. BLK.			
of West 31 ft. SUBDIVISION Unplatted				
OCCUPANCY Residence				
BLDG. PERMIT # 173192	DATE 5-24-78 ESTIMATE 2,000.00			
ONTRACTOR	NO. OF FIXTURES			
WATER_TAP_REC#	SEWER_TAP_REC#			
REpair and remodel res to min standards				

Remodel permit, 5-24-78