

HISTORIC LANDMARK COMMISSION
JULY 22, 2019
DEMOLITION AND RELOCATION PERMITS
HDP-2019-0252
1408 EAST CESAR CHAVEZ STREET

PROPOSAL

Demolish a ca.1906-1910 house.

ARCHITECTURE

One-story, wing-and-gable plan frame house with horizontal wood siding; partial-width porch, and 2:2 wood and single-light fixed-pane metal windows.

RESEARCH

The house appears to have been built between 1906 and 1910 on a lot subdivided from the adjoining Stavely estate. It was a rental property for most of its lifespan.

From 1912-1918, it was inhabited by masons and stonecutters, who were most likely working on materials for the new post office building (now UT's Claudia T. Johnson Hall at 220 W. 6th St.). From 1927-1939, it was occupied by William J. Criswell and his family; he was employed by the City Water, Power, and Light Division for the duration of his residence at the house.

Other occupants from the 1940s onward included the Goushe family, dry-goods salesmen; Gussie Adams, a clerk; Louis and Henrietta Martinez, an installer and a laundress; Earl Wesson, a trucker; and the Davis family, who operated a retirement home next door.

STAFF COMMENTS

The property was recommended contributing to a local and National Register historic district by the East Austin Historic Resource Survey (2016).

Designation Criteria—Historic Landmark

- 1) The building is more than 50 years old.
- 2) The building appears to retain a moderate degree of integrity.
- 3) Properties must meet two historic designation criteria for landmark designation (City of Austin Land Development Code, Section 25-2-352).
 - a. **Architecture.** The house is constructed in the Folk Victorian/National Folk style.
 - b. **Historical association.** There do not appear to be significant historical associations.
 - c. **Archaeology.** The property was not evaluated for its potential to yield significant data concerning the human history or prehistory of the region.
 - d. **Community value.** The property does not appear to have a unique location, physical characteristic, or significant feature that contributes to the character, image, or cultural identity of the city, a neighborhood, or a particular group.
 - e. **Landscape feature.** The property is not a significant natural or designed landscape with artistic, aesthetic, cultural, or historical value to the city.




STAFF RECOMMENDATION

Encourage rehabilitation and adaptive re-use, then relocation over demolition, but release the permit upon completion of a City of Austin Documentation Package, consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history, for archiving at the Austin History Center. Though the house is part of an extant Folk Victorian grouping of buildings – a style that defined railroad-era South East Austin -- it does not appear to meet the criteria for individual designation as a historic landmark.

LOCATION MAP



1" = 168'

-  SUBJECT TRACT
-  PENDING CASE
-  ZONING BOUNDARY

NOTIFICATIONS

CASE#: HDP-2019-0252
LOCATION: 1408 E Cesar Chavez St.

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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PROPERTY INFORMATION



Photo: Citywide Historic Building Scan, August 2018



Photo: Texas Historical Commission, 1980

Occupancy History

City Directory Research, Austin History Center
By City Historic Preservation Office, May, 2019

1992	Leonor Montelongo, renter Mirthala Montelongo, renter Martha Montelongo, renter Delia Montelongo, renter Ana M. Montelongo, renter
1985-86	Jimmie G. and Sarah V. Ramos, renters
1981	Vacant
1977	Cecelia Rodriguez, renter
1973	Vacant
1968	Carney E. and Lola M. Davis, owners Davis Home for the Elderly, 1410 E. 1 st St.
1965	Address not listed
1962	Vacant
1959	John J. Coy, renter
1955	Earl J. and Ora F. Wesson, renters Trucker
1952	A. Louis A. and Henrietta Martinez, renters Installer, Dill's Plant worker, Capitol Laundry and Cleaning B. Luke G. Rodriguez, renter
1949	Gussie O. Adams, renter Wid. Claude A. Adams Clerk, Texas Employment Commission
1947	Abed and Huson Goushe, renters Salesman Essa Goushe, renter Austin Exchange Dry Goods, 401 ½ E. 6 th St.
1944-45	Abed and Huson Goushe, renters Salesman
1941	Abed and Huson Goushe, renters Salesman
1939	William J. and Dora E. Criswell, renters Gatekeeper

	Harold L. Criswell, renter Clerk
1937	William J. and Dora E. Criswell, renters Gatekeeper; City Water, Light, & Power
	Harold L. Criswell, renter Yard clerk, SP Lines
1935	William J. and Dora E. Criswell, renters Gatekeeper; City Water, Light, & Power
	Harold L. Criswell, renter
1932-33	William J. and Dora E. Criswell, renters Employee; City Water, Light, & Power
1929	William J. and Dora E. Criswell, renters Machinist
1927	William J. and Dora E. Criswell, renters Boiler repairman; City Water, Light, & Power
	Lorene Criswell, renter Teacher
1924	E. C. and Virginia Harsch, renters Barber
1922	E. C. and Virginia Harsch, renters Barber, University Barber Shop Marvin Holeman, renter
1920	W. T. and Bonnie Ward, renters Agent, San Jacinto Life Insurance Company
1918	Ezro and Naomi M. Beghe, owners Stonecutter, A.L. Gooch
1916	Ezro Beghe, renter Stonecutter, A.L. Gooch
1914	Adis Whitaker, renter Granite cutter, A.L. Gooch
	Charles Seaborn, renter Bricklayer
1912-13	Adis Whitaker, renter Granite cutter, A.L. Gooch
1910-11	Hardie K. Davis, renter Davis & Company tailors, cleaning, and pressing; 1008 Congress Ave.

1909-10 1408 not listed
 1406 E. 1st St.: Miss Celia Stavely, dressmaker

1906-07 1408 not listed
 1406 E. 1st St.: Miss Celia Stavely, dressmaker

1905 1408-1406 not listed
 Celia Stavely listed at 1400 E. 1st St.

Background Information

LIMESTONE CONTRACT MADE

**A. L. Gooch of Austin Will Furnish
 Trimnings of Postoffice Build-
 ing—Work Pushed.**

Following soon after the contract let W. H. Canton for the excavation work on the postoffice building yesterday, A. L. Gooch received notification that his bid of \$2500 for all the limestone to be used in the new building had been accepted by the Dieter & Wenzel Construction Company of Wichita, Kan.

As the building will be faced with limestone this material is an important one. Mr. Gooch in speaking of the time required to fulfill the contract said he had until June 1, 1913, but he did not think it would take so long to have the stone ready. It is estimated 1800 tons of finished limestone will be used and the finishing and other work will be done here in Austin.

Thus far the construction company having the building of the postoffice in hand has allowed all contracts as far as possible to local men and it is thought they will continue to do so.

Twenty teams will be put on the job of excavating this morning. The trap was practically completed yesterday afternoon and it is thought the work will be completed in the time specified in the contract. Labor is the only thing that is standing in the way of a speedy completion of this part of the work. Most of the laborers are in the cotton fields, but it is said sufficient men will be recruited to put the work through.

Water will soon be kept cool in the work room of the postoffice by two five-gallon coolers. These are to be of the glass jar type. An iron safe has been awarded to the inspector's department and it is expected here Sept. 1.

Watering of the street on the west side of the Federal building has come to a halt, due to the fact that the Government refuses to allow the expenditure of \$5 per month for that purpose.

Local masons and stonecutters were hired to work on the Austin post office. Several of these craftsmen occupied the house at 1408 E. Cesar Chavez St. The Austin Statesman; Aug. 28, 1912.

Building Permits

27 J. A. Dagar 1408 E. 1st St.
 23 (61' x 148.5')

frame garage

20047 - 7-22-40

None

Building permit for garage, 7-22-40

OWNER	M John A Dager	ADDRESS	1408 East 1 st. St.
PLAT	27	LOT	60.37 of S .1485 ft. BLK.
			of West 31 ft. OL 20
SUBDIVISION	Unplatted		
OCCUPANCY	Res.		
BLDG. PERMIT #	169173	DATE	12-7-77
		OWNERS ESTIMATE	600.00
CONTRACTOR	Same	NO. OF FIXTURES	
WATER TAP REC#	SEWER TAP REC#		
Repair & remodel res to min standrs.			

Remodel permit, 12-7-77

OWNER	Gilbert Rodriquez	ADDRESS	1408 East 1st Street
PLAT	27	LOT	60.37 of South 148.5 ft. BLK.
			of West 31 ft.
SUBDIVISION	Unplatted		
OCCUPANCY	Residence		
BLDG. PERMIT #	173192	DATE	5-24-78
		OWNERS ESTIMATE	2,000.00
CONTRACTOR	Owner	NO. OF FIXTURES	
WATER TAP REC#	SEWER TAP REC#		
REpair and remodel res to min standards			

Remodel permit, 5-24-78