

AREA TO BE DEMOLISHED
EXISTING WALL TO BE REMOVED
EXISTING WALL TO REMAIN
NEW STUD WALL

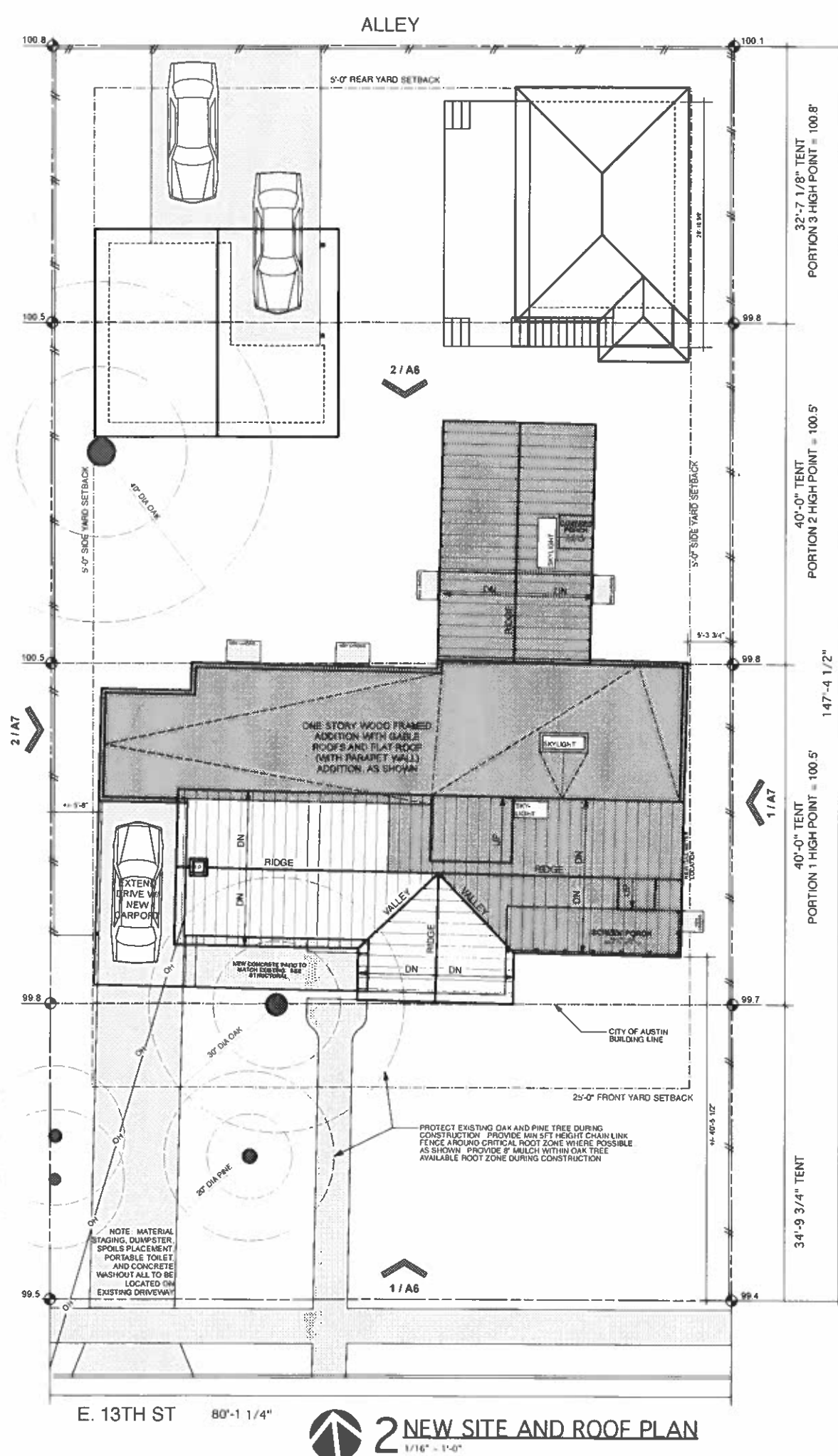
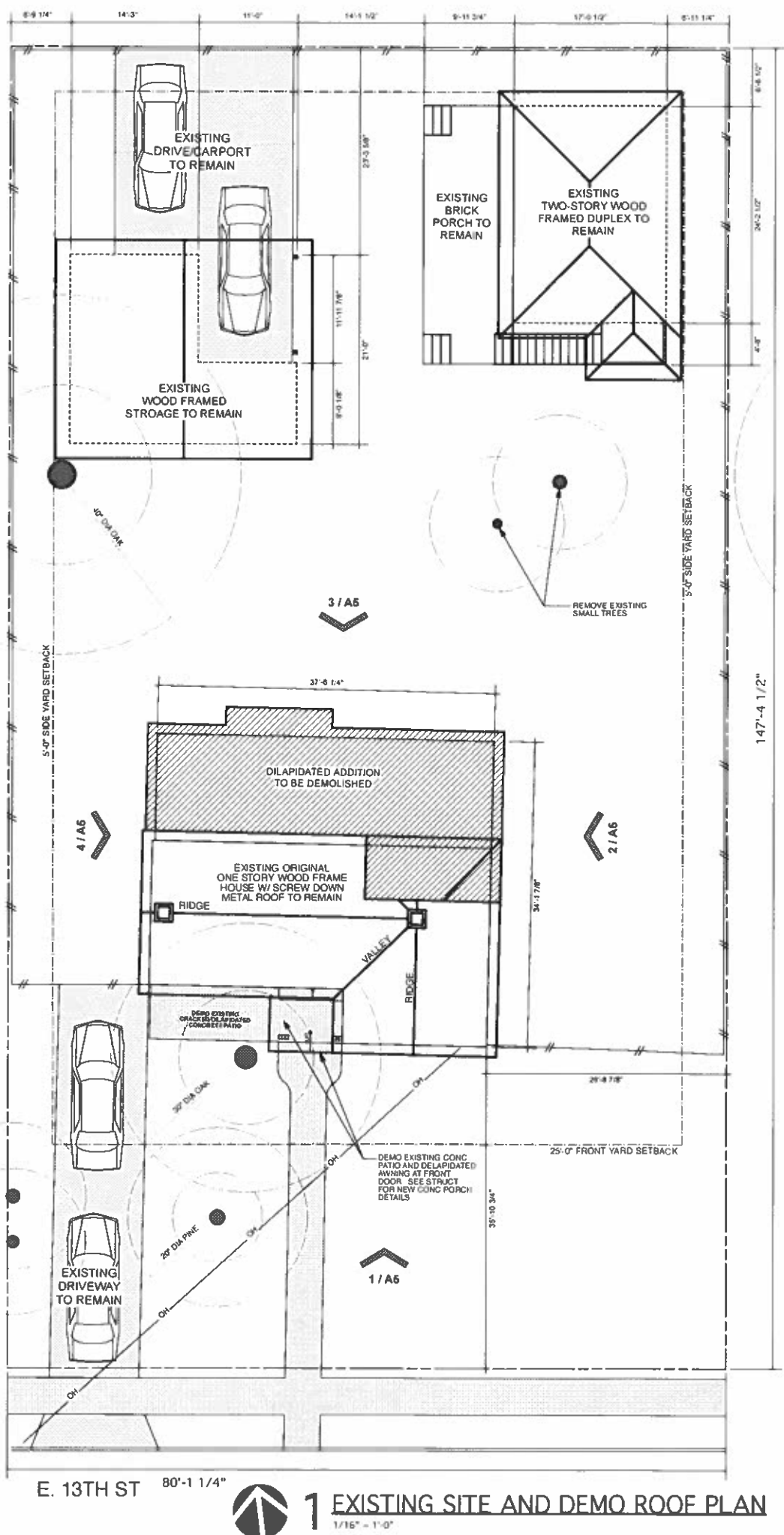
EXTERIOR ELEVATION KEY
INTERIOR ELEVATION KEY
SECTION KEY
SPOT ELEVATION KEY
DOOR DESIGNATION
WINDOW DESIGNATION
DETAIL KEYS

GENERAL NOTES

CEILING HEIGHTS VARY. SEE ELEVATIONS AND BUILDING SECTIONS FOR DIMENSIONS.
FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD.
ALL NEW INTERIOR WALLS TO BE STUD GRADE 2X4 NO. 2 SYP WITH STUDS AT 16" ON CENTER WITH 1/2" SMOOTH PLYWOOD BOARD SHEATHING ON BOTH SIDES, U.N.O.
ALL NEW EXTERIOR WALLS TO BE STUD GRADE 2X4 NO. 2 SYP WITH STUDS AT 16" ON CENTER WITH 1/2" SMOOTH PLYWOOD BOARD SHEATHING ON THE INSIDE FACE AND 1/2" DENSEGLASS OR PLYWOOD SHEATHING ON THE OUTSIDE FACE, U.N.O.
ALL EXTERIOR WALLS TO HAVE MIN R19 SPRAY FOAM INSULATION. ALL ROOFS TO HAVE MIN R38 SPRAY FOAM INSULATION. ALL FLOORS TO HAVE MIN R13 SPRAY FOAM INSULATION.
PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT, INCLUDING CABINETS, APPLIANCES, HARDWARE, FIXTURES, FITTINGS, AND ALL OTHER WALL OR CEILING MOUNTED ITEMS.
PROVIDE GALVANIZED METAL FLASHING AT LOCATIONS OF ALL NEW WINDOWS AND DOORS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS, APPLIANCES, DOORS, WINDOWS & EQUIPMENT AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO ORDERING AND PERFORMING WORK.
CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY VARIATION IN THE DIMENSIONS NOTED FOR ANY MATERIALS, APPLIANCES, DOORS, WINDOWS, EQUIPMENT, CONSTRUCTION OR INSTALLATION BEFORE CONTINUING WORK.
DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION BEFORE CONTINUING WORK.
CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
MECHANICAL CONTRACTOR TO EVALUATE MECHANICAL SYSTEM REQUIREMENTS AND MAKE RECOMMENDATIONS AS NECESSARY FOR NEW WORK. MECHANICAL CONTRACTOR TO COORDINATE VENT, EQUIPMENT AND AIR DISTRIBUTER SELECTIONS AND LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO ANY HVAC WORK.
ELECTRICAL CONTRACTOR TO EVALUATE ELECTRICAL SYSTEM REQUIREMENTS AND MAKE RECOMMENDATIONS AS NECESSARY FOR NEW WORK. ELECTRICAL CONTRACTOR TO REVIEW AND COORDINATE FUTURE AND EQUIPMENT LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO ANY ELECTRICAL WORK.
PLUMBING CONTRACTOR TO EVALUATE PLUMBING AND GAS SYSTEM REQUIREMENTS AND MAKE RECOMMENDATIONS AS NECESSARY FOR NEW WORK. PLUMBER TO REVIEW AND COORDINATE FUTURE, CLEAN OUT AND VENTING LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO ANY PLUMBING WORK.
CONTRACTOR SHALL VERIFY THAT ALL NEW WORK MEETS CURRENT CODE REQUIREMENTS PRIOR TO PERFORMING WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CODE DISCREPANCY PRIOR TO PERFORMING WORK.
CONTRACTOR SHALL REQUIRE THAT ALL SUBCONTRACTORS VERIFY THAT THEIR PROPOSED WORK AND BIDS ARE IN COMPLIANCE WITH CURRENT CODE REQUIREMENTS PRIOR TO PERFORMING WORK.

GENERAL INFORMATION		
* SIZE 11,805 SQFT.		
FNG. SF-3		
MAXIMUM BUILDING COVERAGE 40% (4,722 SQFT.)		
MAXIMUM IMPERVIOUS COVERAGE 45% (5,312 SQFT. ALLOWED)		
EXISTING COVERAGE		
AL EXISTING BUILDING COVERAGE: HOUSE (1156 SQFT), DUPLEX (1415 SF), RAGE SHED - NOT DITIONED (398 SF)	TOTAL IMPERVIOUS COVERAGE: CONC PORCH (1305SF) + CONC WALKS (1605SF), DUPLEX BRICK PATIO (2895SF), DUPLEX WOOD STAIRS (335SF X 50% = 167.5SF), COVERED PORCH/LANDINGS (35 SF), EXISTING FRONT AND BACK PARKING/DRIVEWAYS (4295SF + 562 SF = 991 SF), AC PAD (12 SF)	TOTAL EXISTING IMPERVIOUS COVER:
1967 SQFT	1,634 SQFT	3601 (30.50%)
PROPOSED NEW MAIN HOUSE RENOVATION		
AL NEW BUILDING COVERAGE: 2532SF TOTAL MAIN HOUSE - 1156SF FNG MAIN HOUSE = 55SF ADDED	TOTAL NEW IMPERVIOUS COVERAGE: EXTENDED FRONT DRIVE + CARPORT (1655SF), SCREEN PORCH (1105SF), COVERED PORCH (165SF), FLATWORK LANDINGS (425SF)	TOTAL NEW IMPERVIOUS COVER:
1,376 SQFT	333 SQFT	1683 (14.26%)
TOTAL IMPERVIOUS COVER (EXISTING AND NEW)		
675SF + 1376SF = 3343 SQFT	1,634SF + 333SF = 1967 SQFT	5310 (44.98%)

ITE PLAN LEGEND	SHEET INDEX
--- BUILDING FOOTPRINT BELOW	A1 EXISTING AND NEW SITE PLAN
--- ROOFLINES AND OVERHANG	A2 EXISTING AND DEMOLITION FLOOR PLAN
--- AREA OF DEMOLITION	A3 NEW FIRST FLOOR PLAN
--- CONCRETE	A4 NEW LOFT FLOOR PLAN
--- AREA OF ADDITION	A5 EXISTING EXTERIOR ELEVATIONS
	A6-7 NEW EXTERIOR ELEVATIONS
	A8-9 BUILDING SECTIONS
	A10-14 INTERIOR ELEVATIONS
	A15 SCHEDULES, ALLOWANCES, CABINETS, GENERAL NOTES
	A16 WALL SECTIONS
	MEP1-2 MECH, ELECT, PLUMB FLOOR PLAN
	SO-6.4 STRUCTURAL DRAWINGS (17 SHEETS)



REGISTERED ARCHITECT
STATE OF TEXAS

STUDIO 512
ARCHITECTURE + CONSTRUCTION
1902 E 11TH ST. AUSTIN, TX 78702 512.970.4497PH

SUSAN AND MITCH ORINGER RESIDENCE
MAIN HOUSE RENOVATION AND ADDITION
1504 E 13TH STREET, AUSTIN, TX 78702

B/D/PERMIT SET
5/6/19

A1
EXISTING AND NEW
SITE & ROOF PLANS
SHEET 1 OF 18



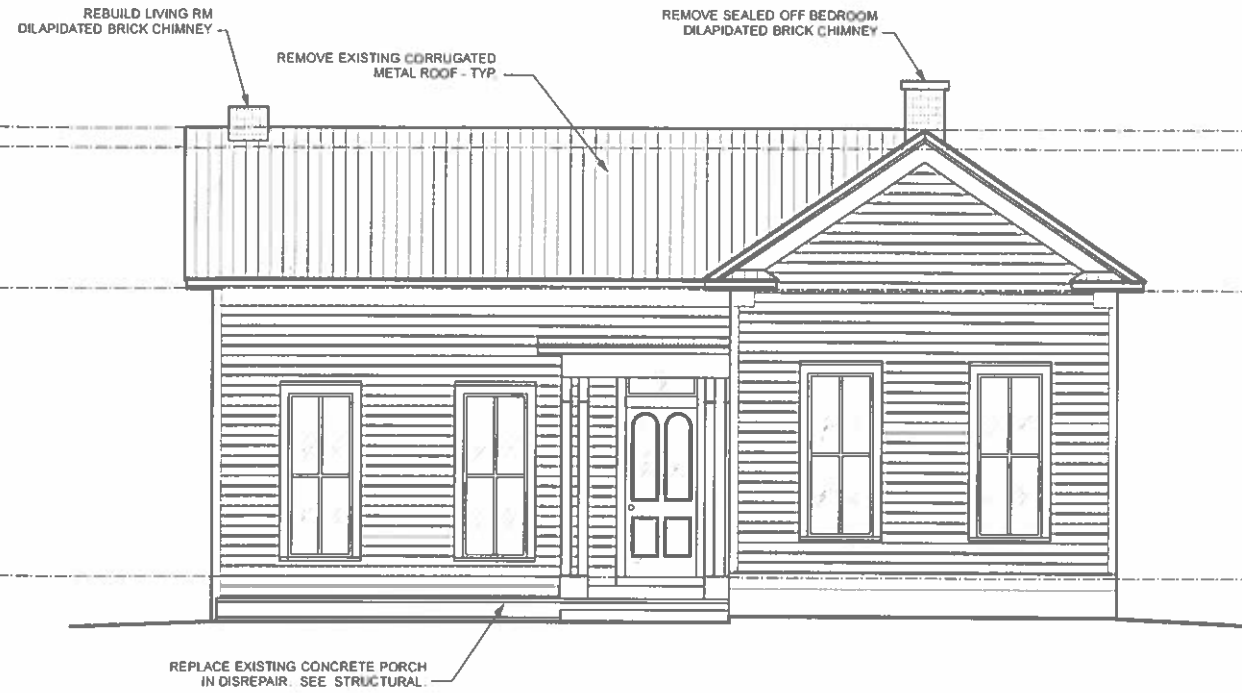
STUDIO 512
ARCHITECTURE | CONSTRUCTION
1902 E 11TH ST. AUSTIN, TX 78702 512.970.4497PH

SUSAN AND MITCH ORINGER RESIDENCE
MAIN HOUSE RENOVATION AND ADDITION
1504 E 13TH STREET, AUSTIN, TX 78702

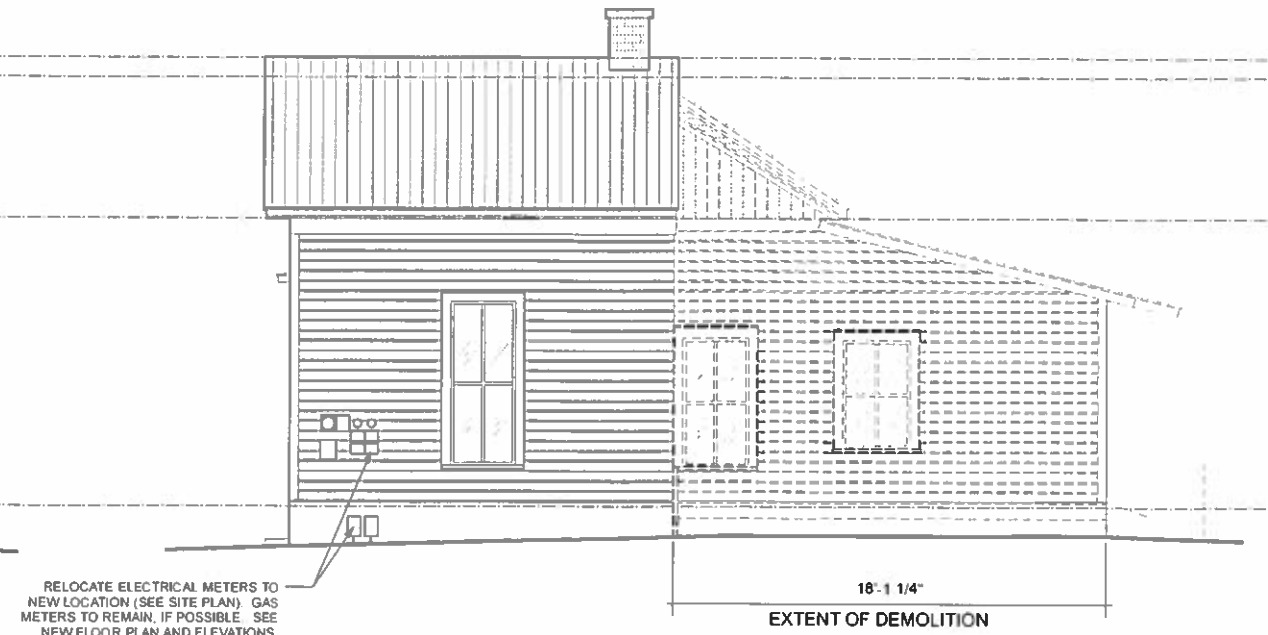
BID/PERMIT SET
5/6/19

A5
EXISTING EXTERIOR
ELEVATIONS

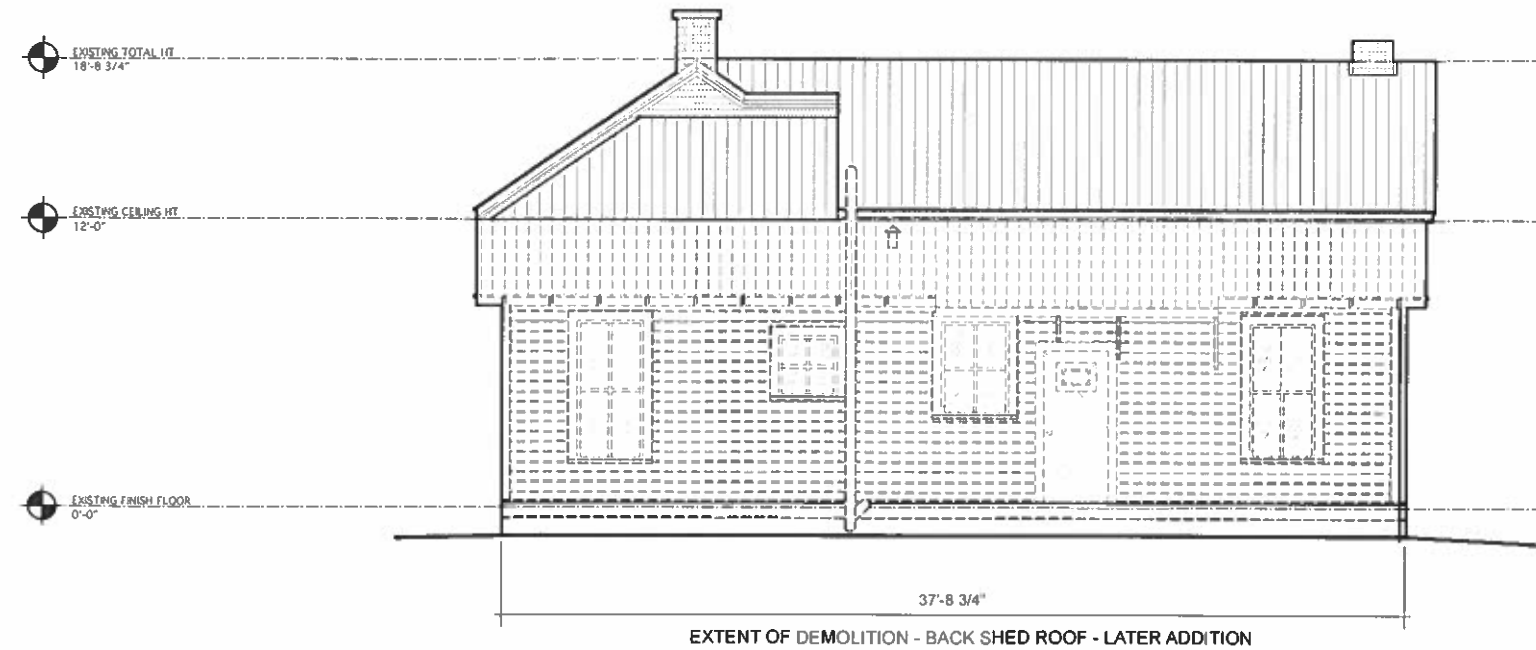
SHEET 5 OF 18



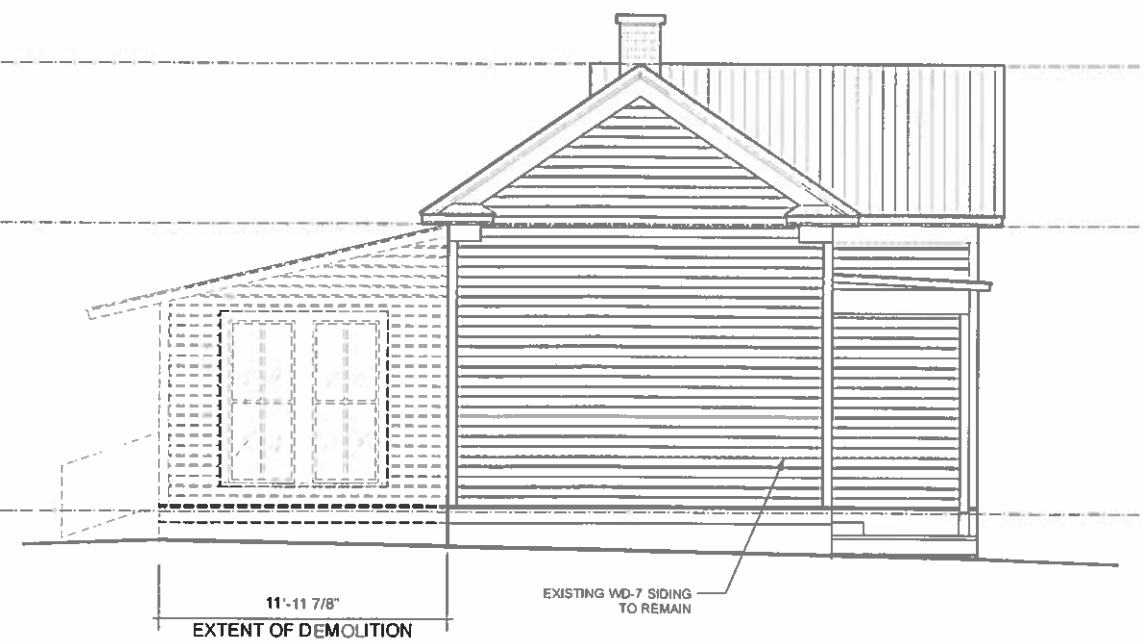
1 EXISTING SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



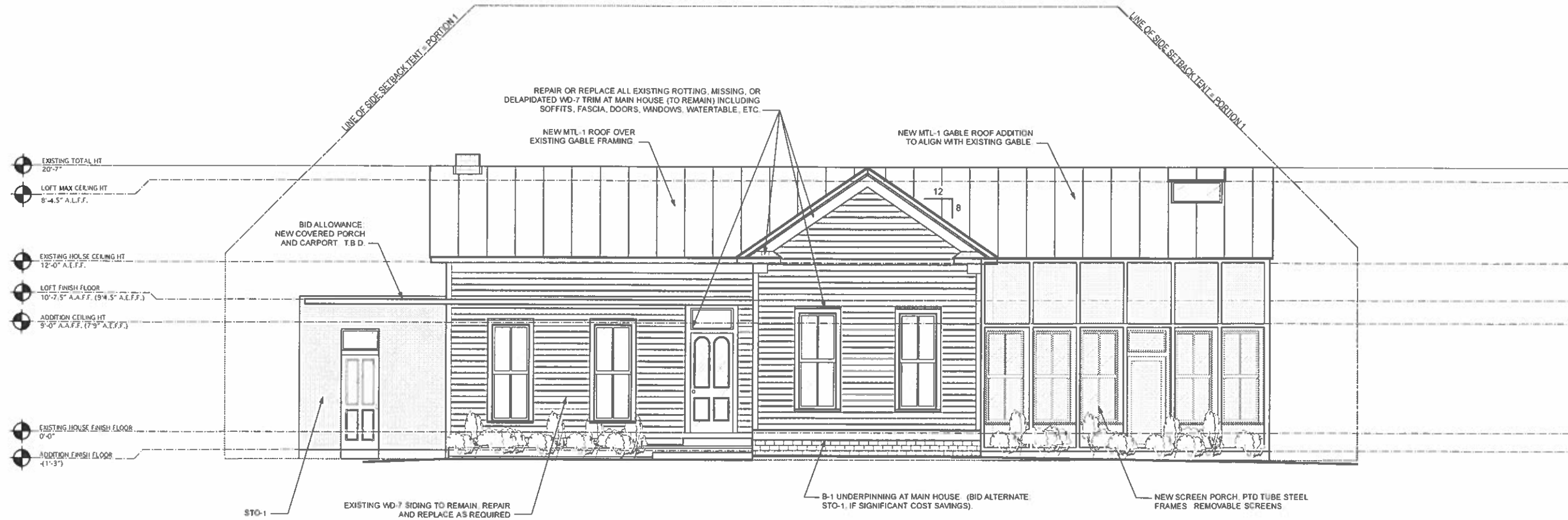
2 EXISTING EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



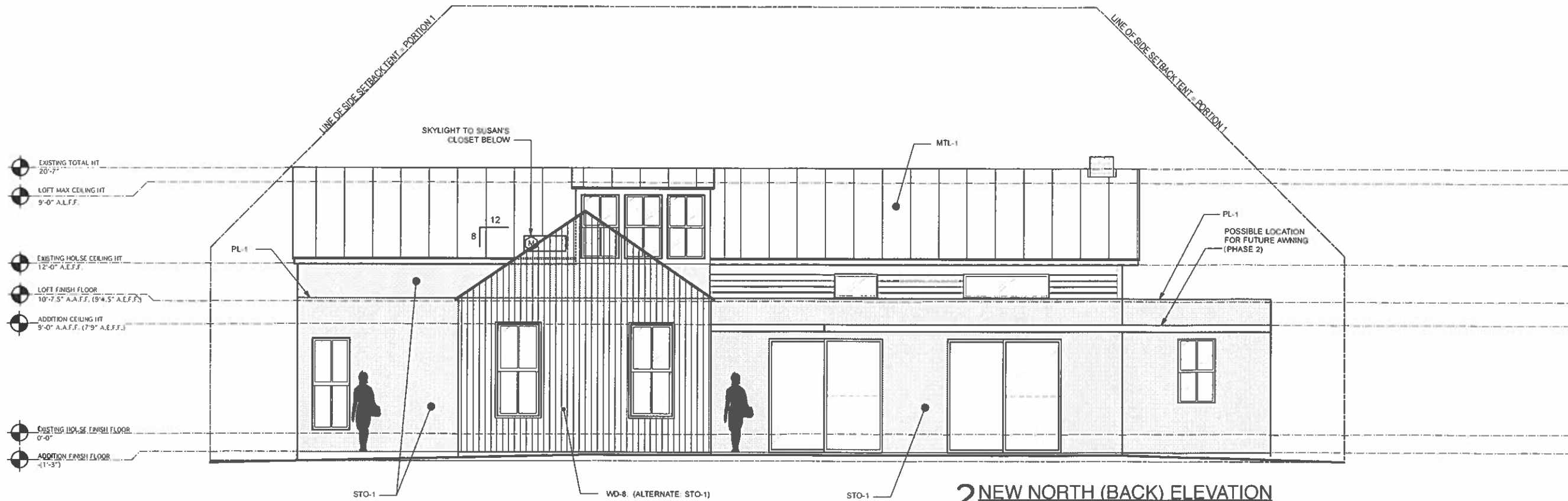
3 EXISTING NORTH (BACK) ELEVATION
SCALE: 1/8" = 1'-0"



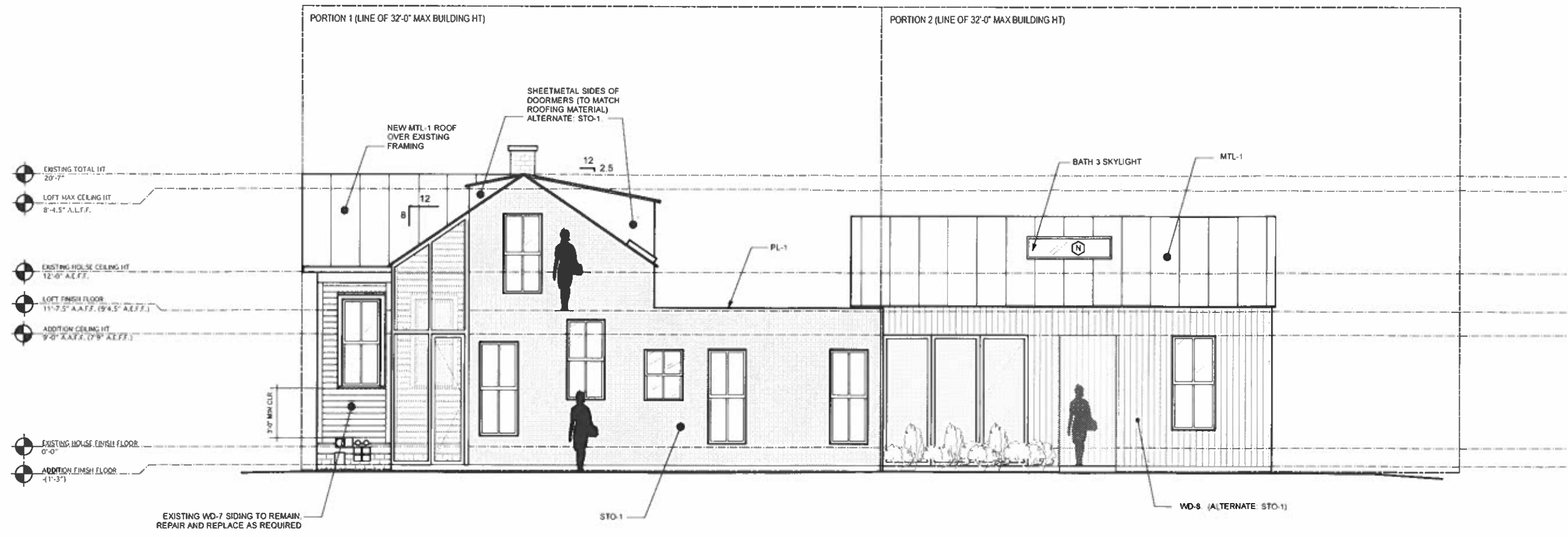
4 EXISTING WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



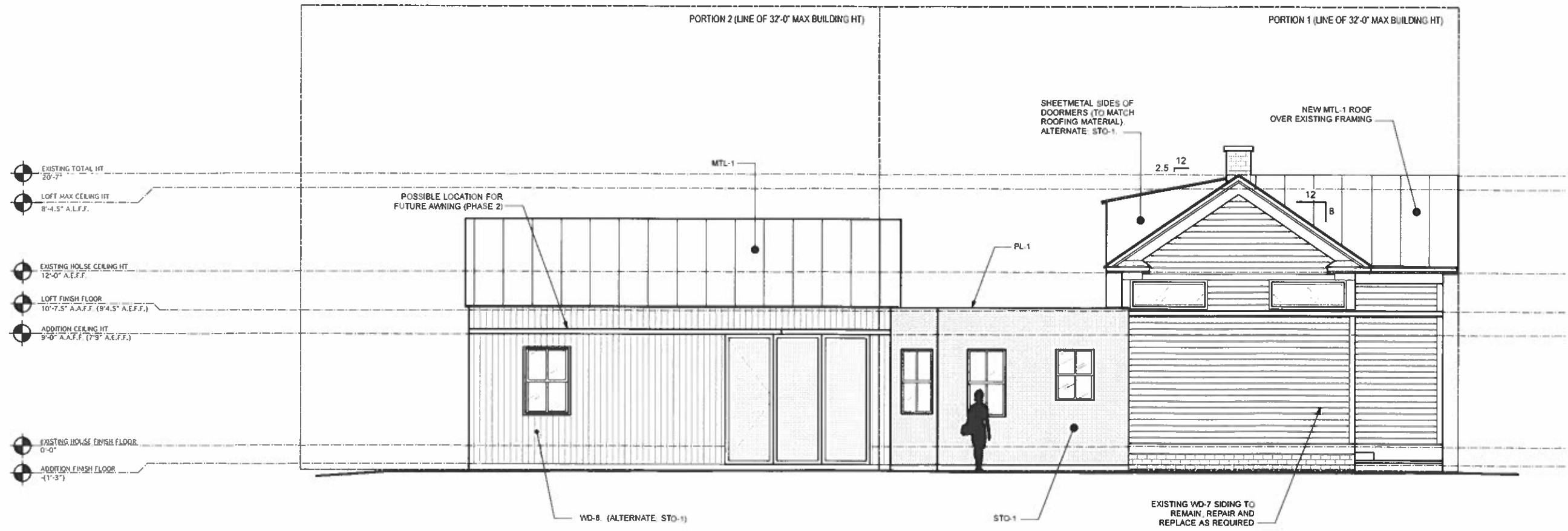
1 NEW SOUTH (FRONT) ELEVATION
SCALE 1/8" = 1'-0"



2 NEW NORTH (BACK) ELEVATION
SCALE 1/8" = 1'-0"



1 NEW EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



2 NEW WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"