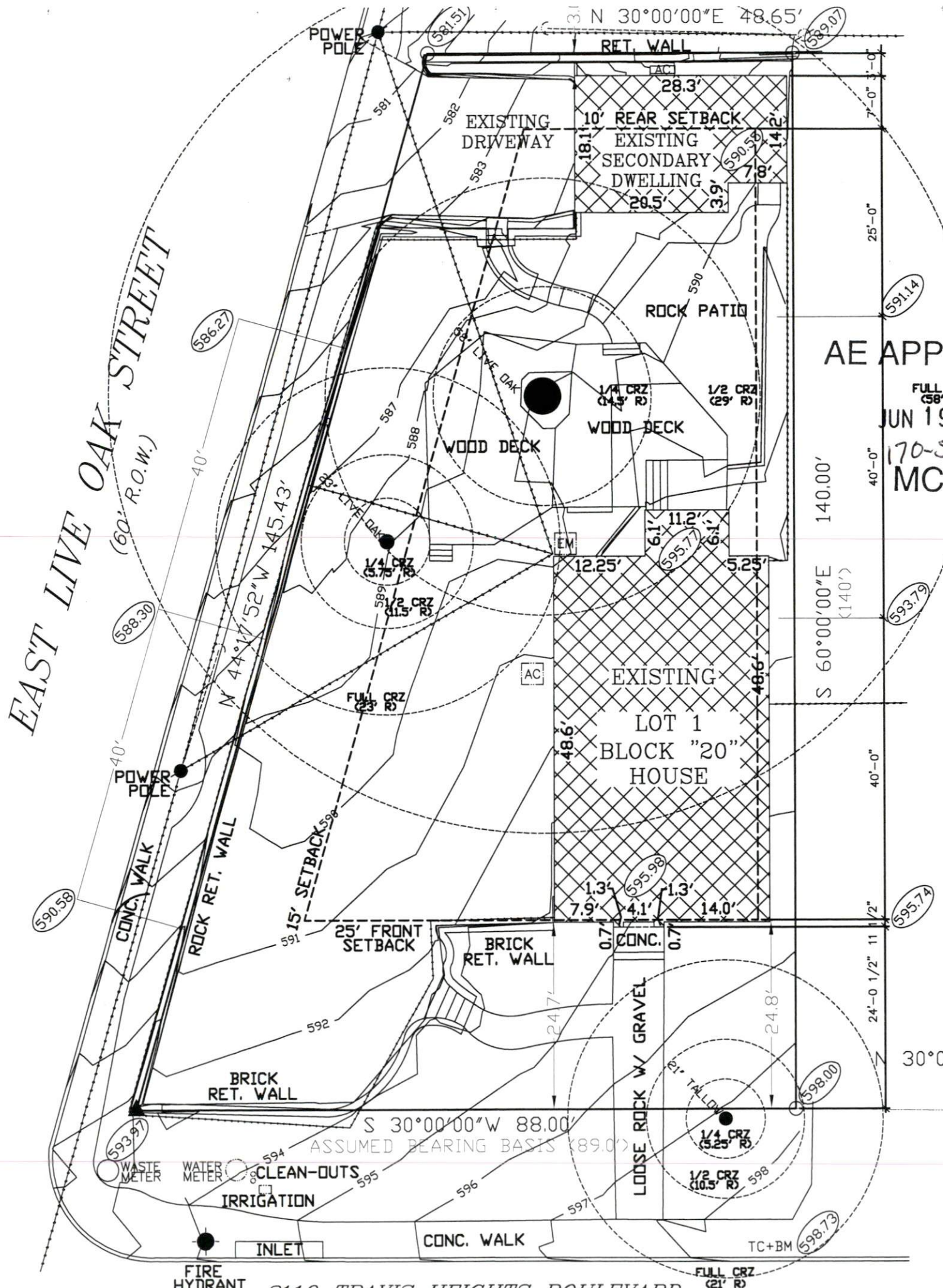


EXISTING IMPERVIOUS COVER	PROPOSED IMPERVIOUS COVER
DRIVEWAY 418 2ND BLDG FOOTPRINT 462 RETAINING WALLS 359.3 ROCK PATIO 409.3 SIDEWALK 369 STAIRS 6 A/C PAD 3 HOUSE FOOTPRINT 1462 <hr/> SUBTOTAL 3529.6	REMOVE EXISTING DRIVEWAY -418 NEW DRIVEWAY 376 NEW DRIVE STRIPS 188 MAIN HOUSE ADDITION 644.8 SECONDARY BUILDING ADDITION 122 REMOVE AREA OF RETAINING WALL -35 REMOVE ROCK PATIO -409.3 NEW SIDEWALK 193 NEW A/C PAD 23 CIE-50 REMOVE ROCK 362 -414.5 PATH STONES 22 <hr/> SUBTOTAL 360
VOID DECK 818.9 CIE-414.5 <hr/> SUBTOTAL 3944.1 TOTAL LOT AREA.....9566 SQ.FT. EXISTING IMPERVIOUS COVER = 4123X	<div style="border: 1px solid black; padding: 10px;">             TOTALS 3944 + 360 = 4304 SQ.FT.              TOTAL LOT AREA.....9566 SQ.FT.              PROPOSED IMPERVIOUS COVER = 44.95X           </div>
45% MAX, 4304.7 ALLOWABLE	

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"

**NOTE:**  
VERIFY LOCATION OF ADDITIONS AND DRIVEWAY WITH ARCHITECT  
AND OWNER PRIOR TO CONSTRUCTION.  
SURVEY ALL SETBACKS PRIOR TO CONSTRUCTION  
POSITIVE SITE DRAINAGE AWAY FROM BUILDING MUST BE MAINTAINED  
FINISH PORCHES MUST SLOPE A MINIMUM OF 1/4" PER FOOT AWAY FROM  
THE BUILDINGS.





REVIEWED

JUN 19 2019

Austin Water Utility

LEGEND

- WOOD FENCE
- UTILITY LINE
- WROUGHT IRON FENCE
- A/C UNIT
- ELEC. METER
- GAS METER
- WATER METER
- CALCULATED POINT
- AXLE FOUND
- NAIL FND.
- UTILITY POLE
- GUY ANCHOR
- FIRE HYDRANT
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT

LOT AREA SUMMARY

TOTAL LOT AREA.....9566 SQ.FT.

\* IMPORTANT NOTICE \*

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SURVEYOR'S NOTES

( ) DENOTES RECORD INFORMATION

THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.

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ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

CURRENT IMPERVIOUS COVER

DRIVEWAY	418
2ND BLDG FOOTPRINT	482
RETAINING WALLS	359.3
ROCK PATIO	409.3
STAIRS	323
A/C PAD	68
HOUSE FOOTPRINT	1462
SUBTOTAL	3529.6
WOOD DECK	818.9 (30% = 414.5)
SUBTOTAL	3944.1
TOTAL LOT AREA.....	9566 SQ.FT.
EXISTING IC =	41.23%

45% MAX, 4304.7 ALLOWABLE

LEGAL DESCRIPTION:

LOT 1, BLOCK 20, TRAVIS HEIGHTS  
VOL. 3, P. 15

SHEET INDEX

ARCHITECTURAL DRAWINGS:

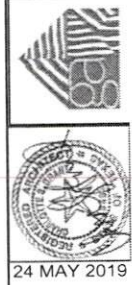
- A-1 EXISTING SITE PLAN
- A-2 PROPOSED AND DEMO SITE PLAN
- A-3 CONSTRUCTION STAGING AND TREE PROTECTION PLAN
- A-4 MAIN HOUSE EXISTING FLOOR PLANS
- A-5 MAIN HOUSE EXISTING EXT ELEVATIONS
- A-6 MAIN HOUSE PROPOSED BASEMENT AND MAIN LEVEL FLOOR PLANS
- A-7 MAIN HOUSE PROPOSED UPPER LEVEL PLAN
- A-8 MAIN HOUSE DEMOLITION FLOOR PLANS
- A-9 MAIN HOUSE PROPOSED ROOF PLAN
- A-10 MAIN HOUSE PROPOSED EXT ELEVATIONS (EAST AND NORTH ELEVATIONS)
- A-11 MAIN HOUSE PROPOSED EXT ELEVATIONS (WEST AND SOUTH ELEVATIONS)
- A-12 MAIN HOUSE PROPOSED SECTIONS AND VISTABILITY SLOPE WAIVER ANALYSIS
- A-E-13 MAIN HOUSE PROPOSED ELECTRICAL AND LIGHTING PLANS, ALL LEVELS
- A-14 MAIN HOUSE DETAILS AND GENERAL NOTES FOR ENTIRE PROJECT
- A-15 SECONDARY DWELLING EXISTING DRAWINGS (PLANS, BOTH LEVELS + EXT ELEVATIONS)
- A-16 SECONDARY DWELLING PROPOSED FLOOR PLANS, ALL LEVELS, SECTION/EAVE DETAIL
- A-17 SECONDARY DWELLING DEMOLITION PLANS
- A-18 SECONDARY DWELLING PROPOSED EXTERIOR ELEVATIONS, ALL SIDES
- A-E-19 SECONDARY DWELLING ELECTRICAL/LIGHTING
- A-20 TENT DIAGRAMS, ENTIRE PROJECT

STRUCTURAL DRAWINGS:

- S-1 MAIN HOUSE FOUNDATION LAYOUT
- S-2 MAIN HOUSE FOUNDATION DETAILS
- S-3 MAIN HOUSE FIRST STORY WALL FRAMING
- S-4 MAIN HOUSE FIRST STORY CEILING FRAMING
- S-5 MAIN HOUSE SECOND STORY FRAMING
- S-6 MAIN HOUSE ROOF FRAMING
- S-7 MAIN HOUSE TYPICAL CROSS SECTION
- S-1 SECONDARY DWELLING FOUNDATION LAYOUT
- S-2 SECONDARY DWELLING FOUNDATION DETAILS
- S-3 SECONDARY DWELLING BSMT WALL FRAMING
- S-4 SECONDARY DWELLING BSMT CEILING FRAMING
- S-5 SECONDARY DWELLING MAIN LVL WALL FRAMING
- S-6 SECONDARY DWELLING MAIN LVL CLNG FRAMING
- S-7 SECONDARY DWELLING ROOF WALL FRAMING
- S-8 SECONDARY DWELLING TYPICAL CROSS SECTION

EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"

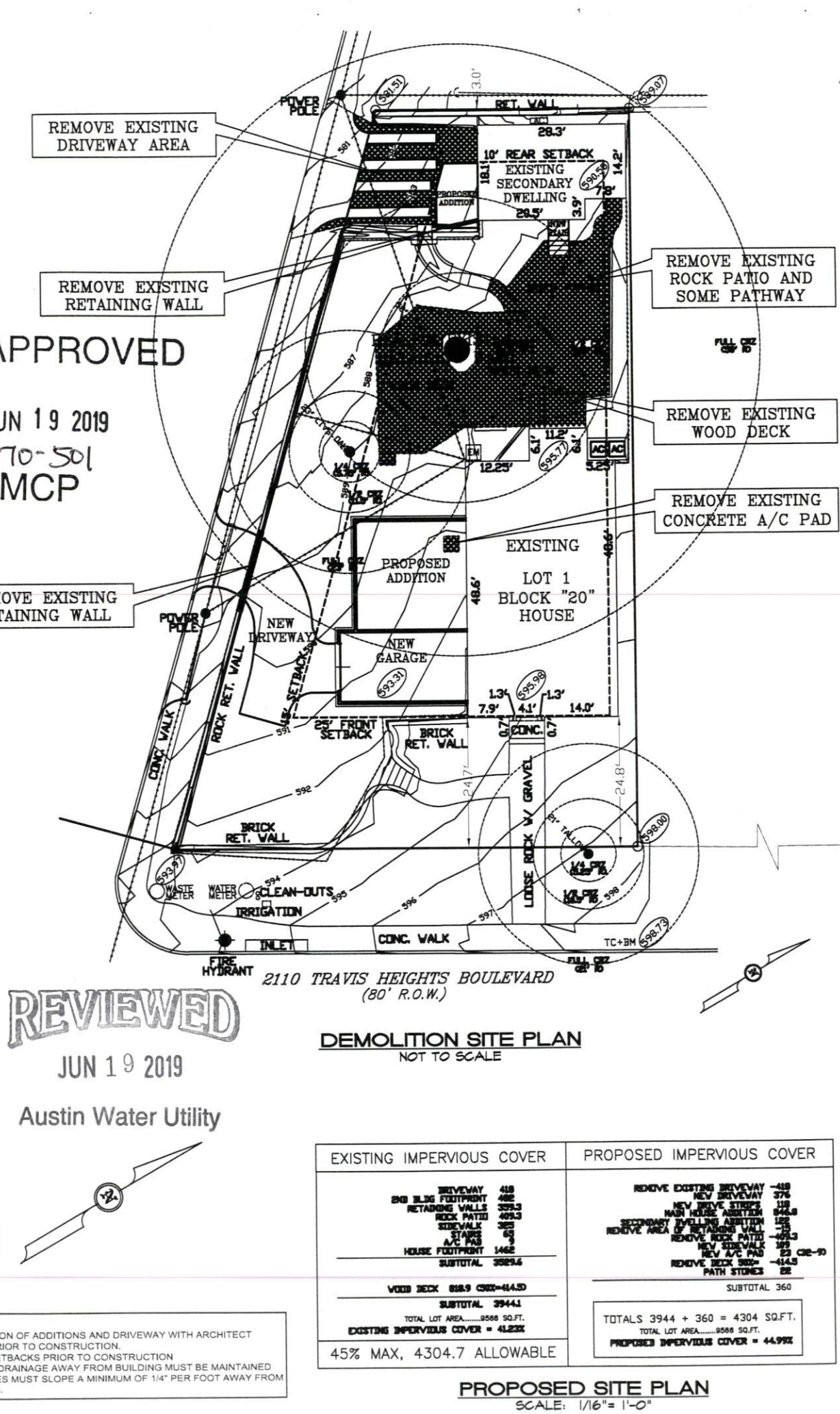
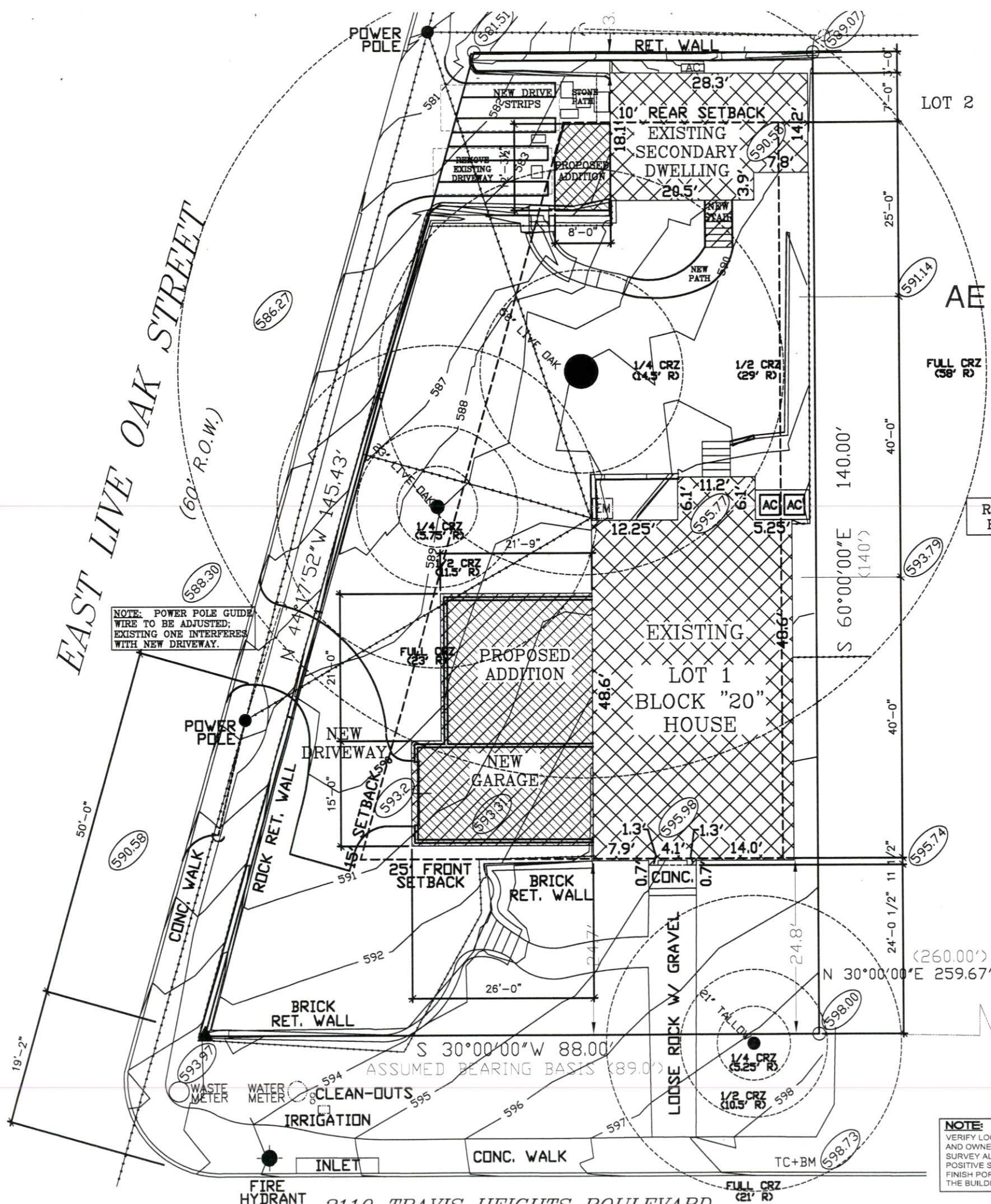
G R A N T  
ARCHITECTURE  
512.419.8888  
grantarchitecture@gmail.com



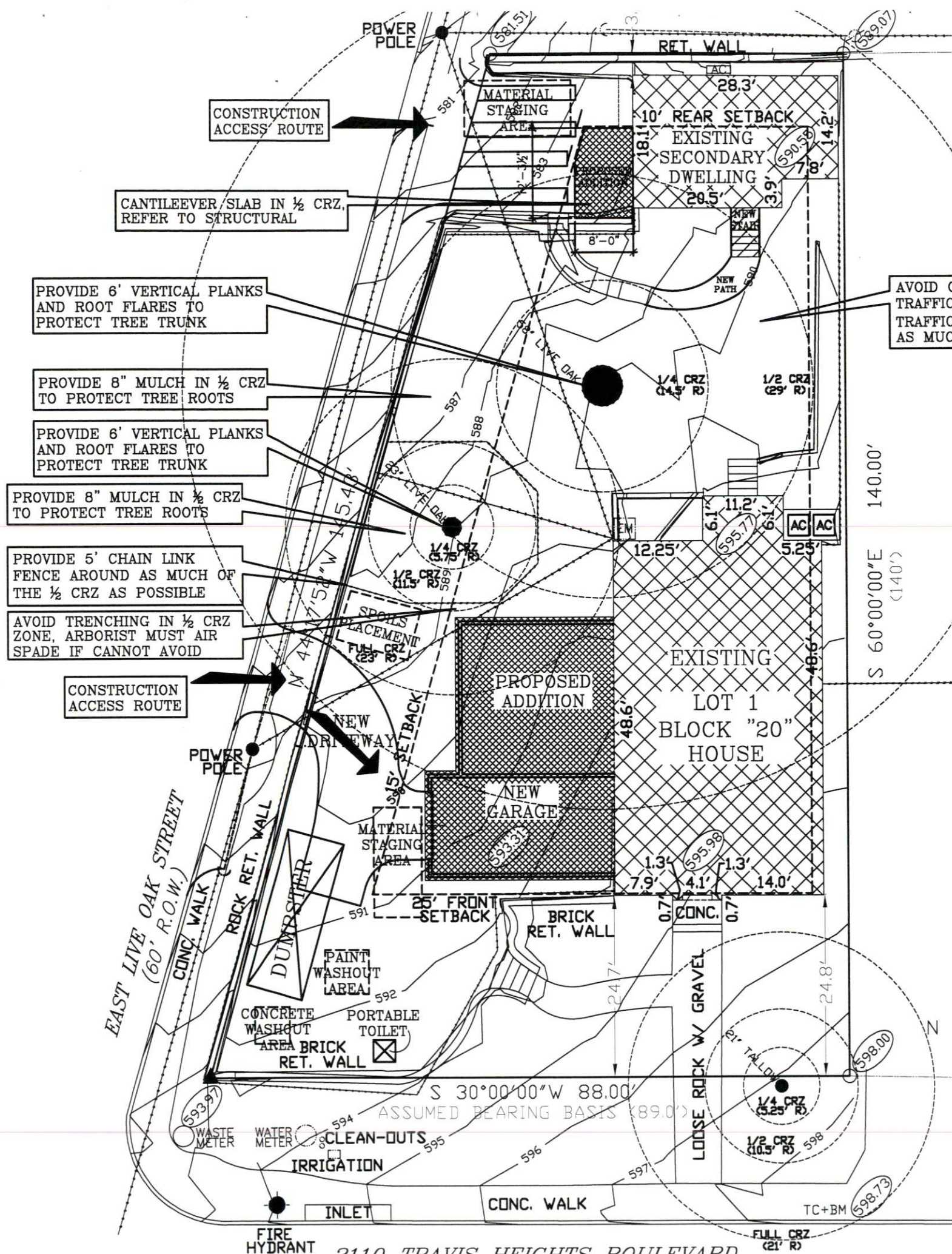
Dennett Residence  
2110 Travis Heights Boulevard  
Austin, Texas 78704

Drawn By: CSG  
Checked By: CSG  
Issue Date: 5-28-2019  
Revised:









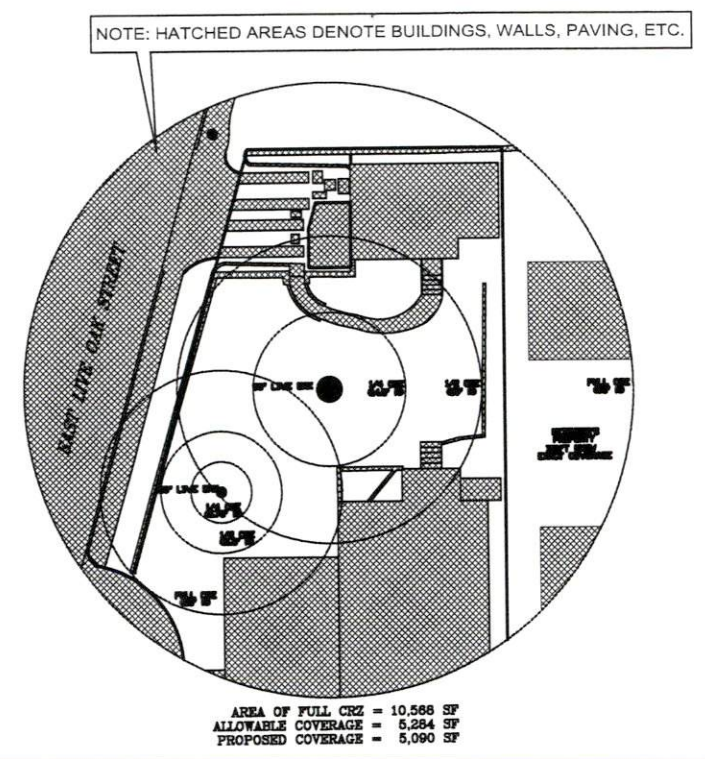
**LEGEND**

---	WOOD FENCE
---	UTILITY LINE
---	WROUGHT IRON FENCE
AC	A/C UNIT
EM	ELEC. METER
G	GAS METER
WM	WATER METER
CP	CALCULATED POINT
AF	AXLE FOUND
NF	NAIL FND.
UP	UTILITY POLE
GA	GUY ANCHOR
FH	FIRE HYDRANT
BL	BUILDING LINE
DE	DRAINAGE EASEMENT
PUE	PUBLIC UTILITY EASEMENT

**LOT AREA SUMMARY**  
 TOTAL LOT AREA.....9566 SQ.FT.

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**CRZ TREE COVERAGE DIAGRAM**  
 SCALE: NTS

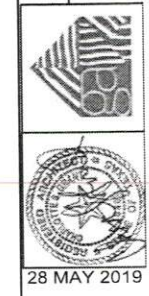
**NOTE: IF LOCATIONS NEED TO BE ADJUSTED THEN**  
 NO ACCESS ROUTES, DUMPSTERS, MATERIAL STAGING, OR SPOILS PLACEMENT WITHIN 1/2 CRZ  
 NO PORTABLE TOILETS, PAINT AND CONCRETE WASHOUT AREAS WITHIN FULL CRZ.

**NOTE:**  
 WASTEWATER AND WATER LINES WILL NOT BE ALTERED DURING CONSTRUCTION UNLESS ABSOLUTELY NECESSARY.

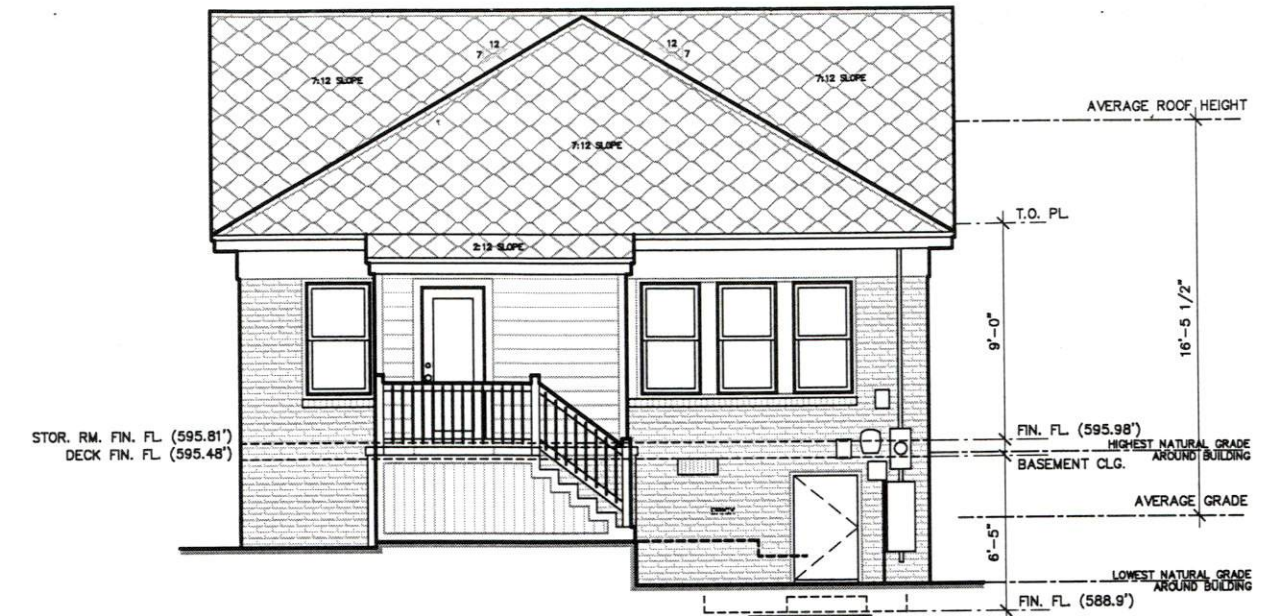
**NOTE:**  
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 SURVEY ALL SETBACKS PRIOR TO CONSTRUCTION  
 POSITIVE SITE DRAINAGE AWAY FROM BUILDING MUST BE MAINTAINED  
 FINISH PORCHES MUST SLOPE A MINIMUM OF 1/4" PER FOOT AWAY FROM THE BUILDINGS.

**TREE PROTECTION AND CONSTRUCTION STAGING SITE PLAN**  
 SCALE: 1/16" = 1'-0" OR AS NOTED

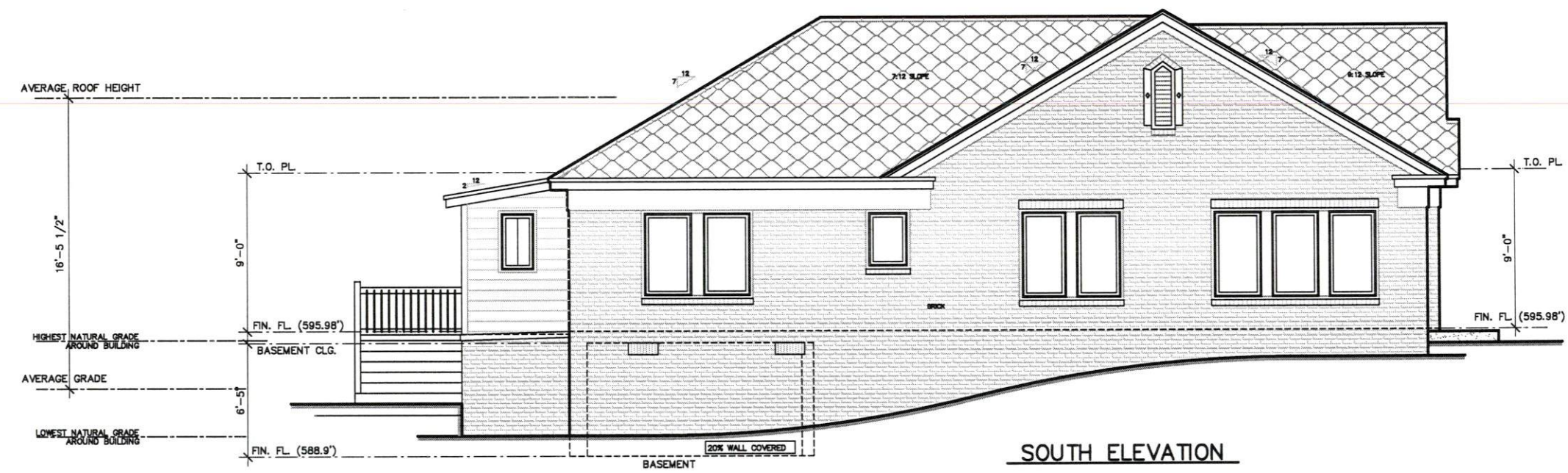




EAST (FRONT) ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

TOTAL BASEMENT WALL  
COVERAGE = 57%  
MAIN HOUSE, EXISTING ELEVATIONS  
SCALE: 1/8" = 1'-0"

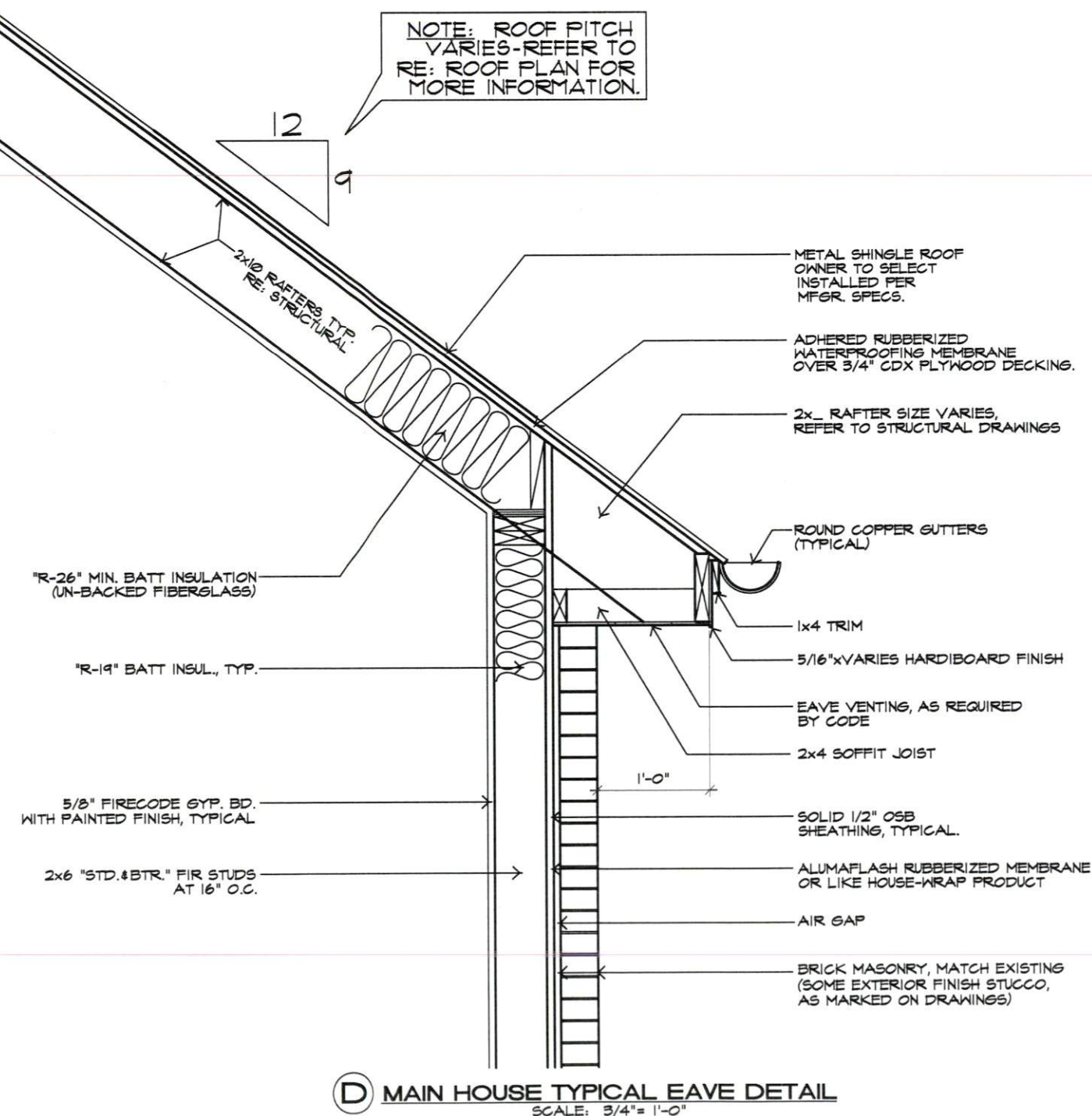
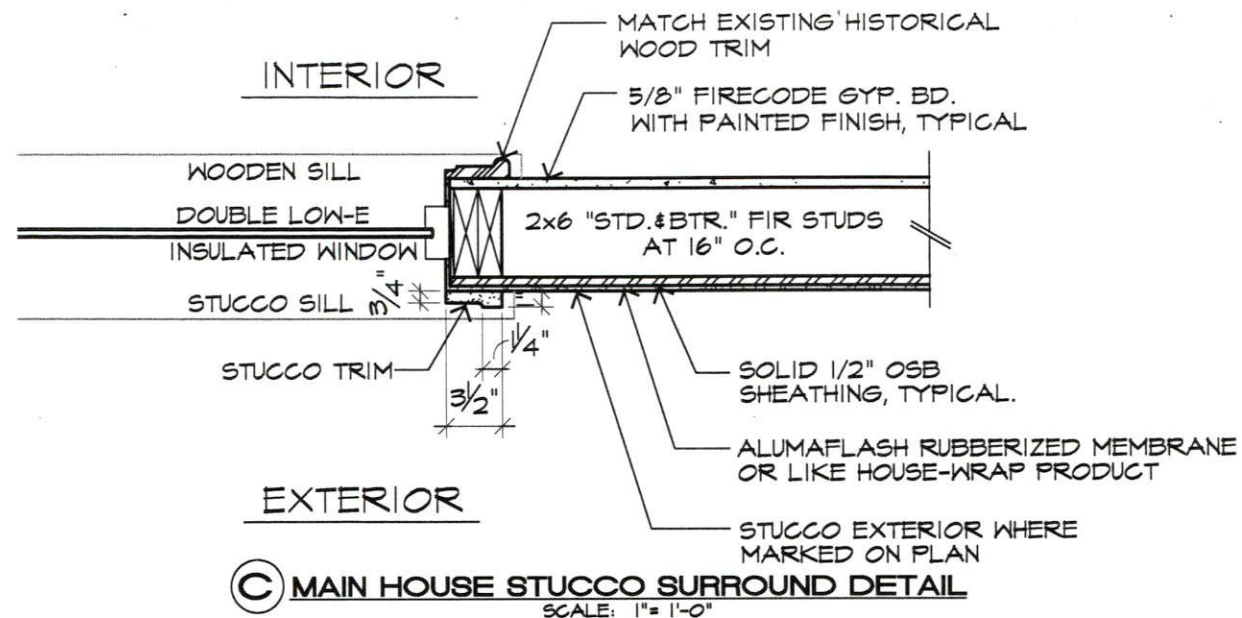












## GENERAL PROJECT NOTES:

Concrete to be 3000 psi on compacted fill, 95% density with continuous waterproof underlayment. Slope finish concrete on exposed porch a minimum of 1/8" per foot; refer structural. Refer to structural for all foundation and fill details and information.

Wall framing to be "standard and better" 2x6 fir studs at 16" o.c. with 1/2" OSB sheathing. Secondary Dwelling exterior wall material to be Hardi-board product with Trim or Stucco with Trim as noted on elevation, verify with architect and owner.

Main house exterior wall material to be Stucco with Trim or Brick masonry finish as noted on elevation, verify with architect and owner.

Match new brick to existing brick finish.

Masonry ties and weep holes to be installed per architect's drawings and building codes.

Use Alumaflash rubberized membrane or similar house-wrap product  
Minimum of R-19 batts to be installed in wall cavity; R-26 to be installed in roof framing.

Refer to structural drawings for all roof framing details, member sizes and connection details. Secondary dwelling roof material to be asphalt shingle or metal roof shingles. Samples to be provided to owner, owner to select style and color, install per manufacturer specifications. New eave condition with 4x6 shaped outriggers and gutter/downspouts, refer to drawings. Use rubberized waterproofing membrane, Alumaflash or similar material, under roofing material. Gutters and Downspouts to be installed per drawings, verify on site with architect.

Main house roof to be replaced with diamond pattern metal roof tiles, install per manufacturer specifications. Provide samples of size, style and color to owner for approval. Match existing eave conditions. Eave vents required, contractor follow code requirements. Use rubberized waterproofing membrane, Alumaflash or similar material, under roofing material. Gutters and Downspouts to be installed per drawings, verify on site with architect.

Windows to be double-paned, insulated glass; owner to select material. Slope all exposed exterior horizontal surfaces to drain min. 1/8" per foot. Provide owner with window manufacturer and pricing options.

For interior finish-out verify with Owner; painted gypsum board walls and ceilings assumed. 1x4 painted trim at windows, typical. 1x8 painted wood base, typical at secondary dwelling. Match existing trim and base in Main House unless otherwise directed by owner.

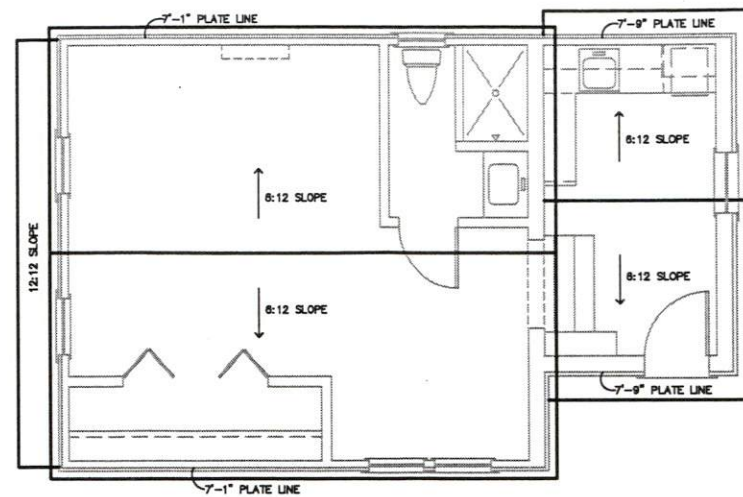
Painted doors with divided lights as marked on plans, typical. 2 panel painted interior doors. Floors as noted on drawings. Assume painted cabinetry, typical - verify with Owner.

For electrical and lighting refer to drawings, provide walk-through prior to sheetrock. For mechanical and plumbing coordinate with subcontractors and architect on-site. BBQ, Ranges, Dryers and Fireplaces require venting requirements per code and manufacturer's specifications-- coordinate with Architect on site. Contractor is responsible to uphold all code requirements.

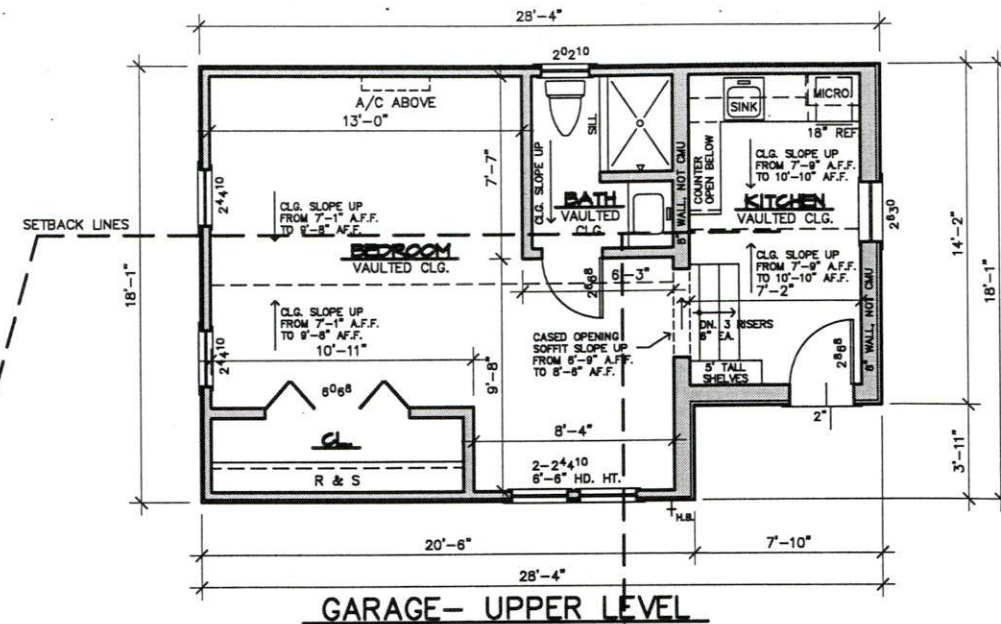
Maintain positive drainage away from structure. Coordinate drainage with Architect on-site. Contractor is to coordinate with Owner and Architect regarding site landscape and lighting during construction.

Contractor is to provide shop drawings for all cabinetry and cut stone work prior to installation. Contractor is responsible for meeting all building safety and local building codes.

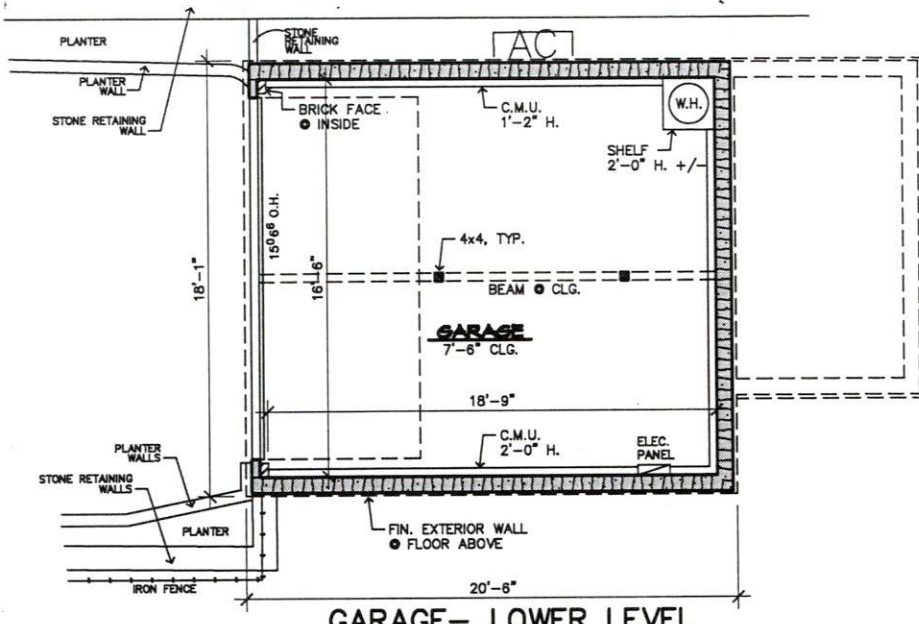




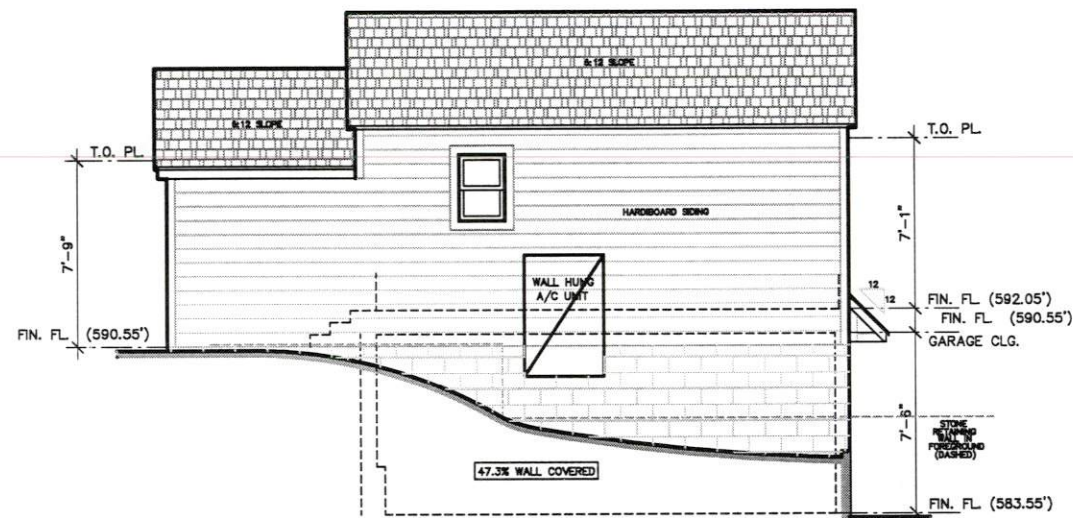
**GARAGE- ROOF PLAN**



**GARAGE- UPPER LEVEL**



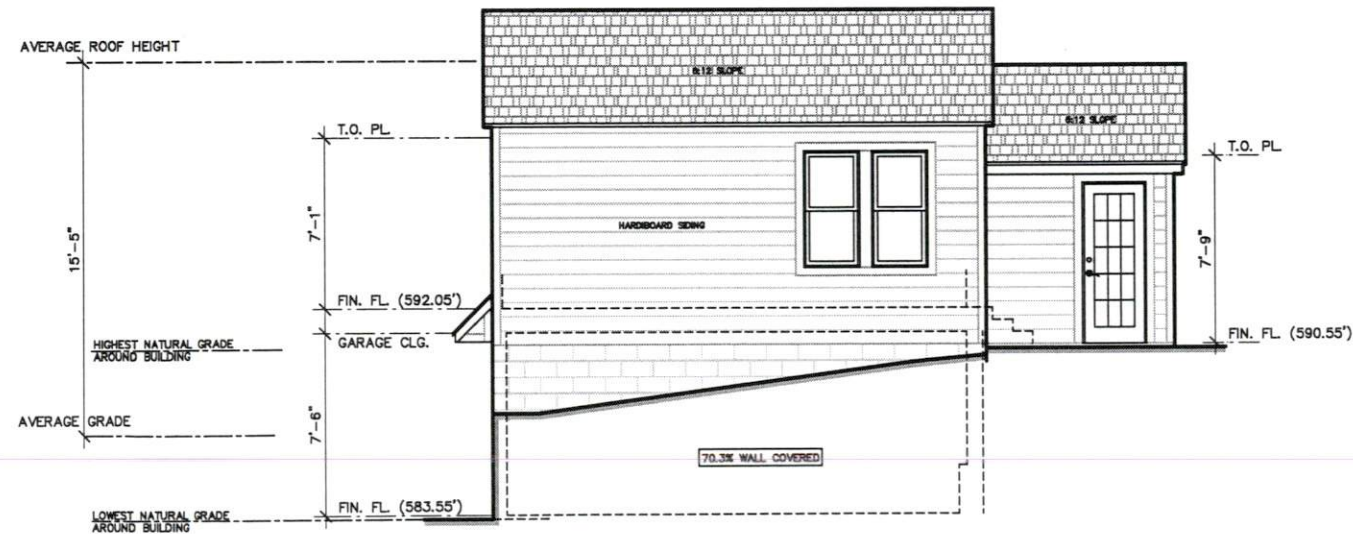
**GARAGE- LOWER LEVEL**



**WEST ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

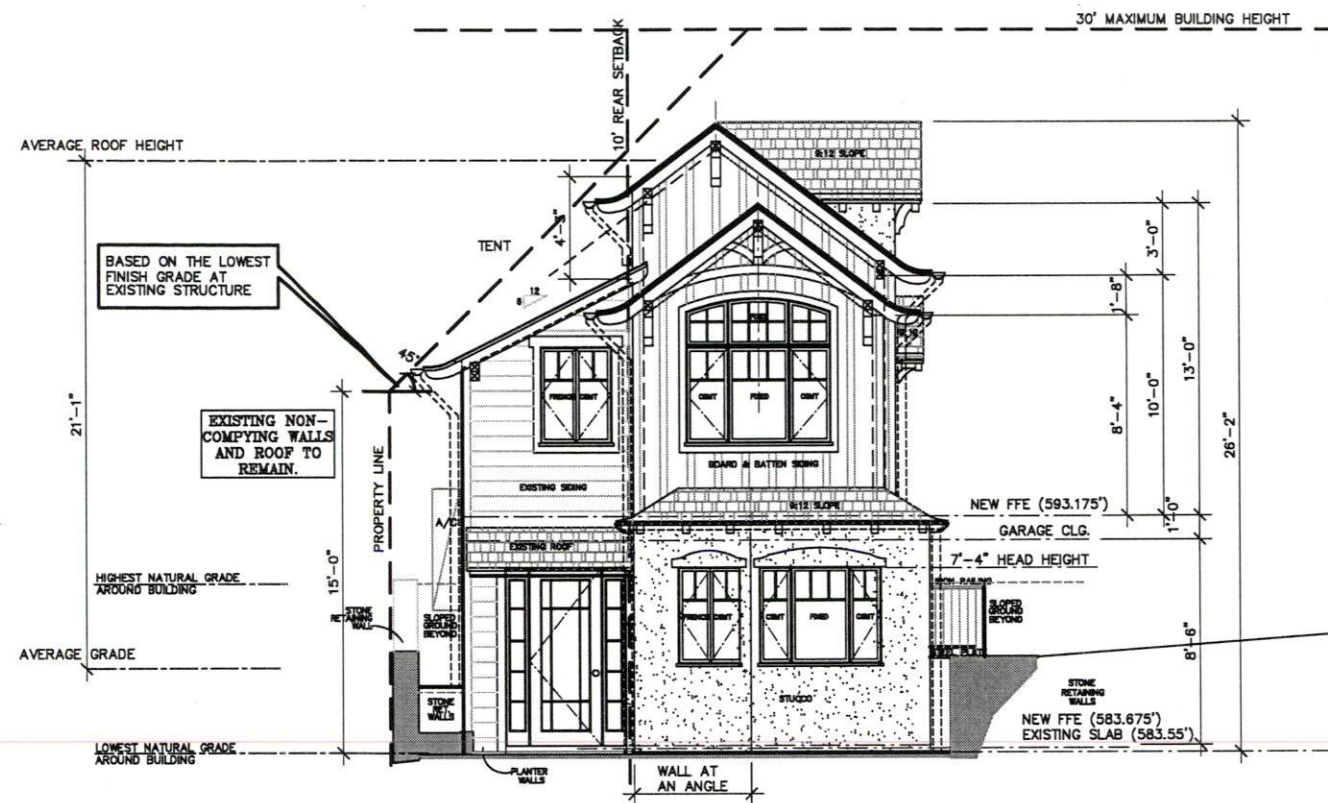
**SECONDARY DWELLING UNIT, EXISTING PLANS + ELEVATIONS**

TOTAL BASEMENT WALL COVERAGE = 59%

CARRIAGE HOUSE, HEATED & COOLED - 482 S.F.  
GARAGE - 358 S.F.

NOTE:  
WALLS ARE SHOWN 5" TO DRYWALL, NOT FRAMING.  
PLAN WAS FIELD MEASURED.  
FIELD VERIFY BEFORE CONSTRUCTION.

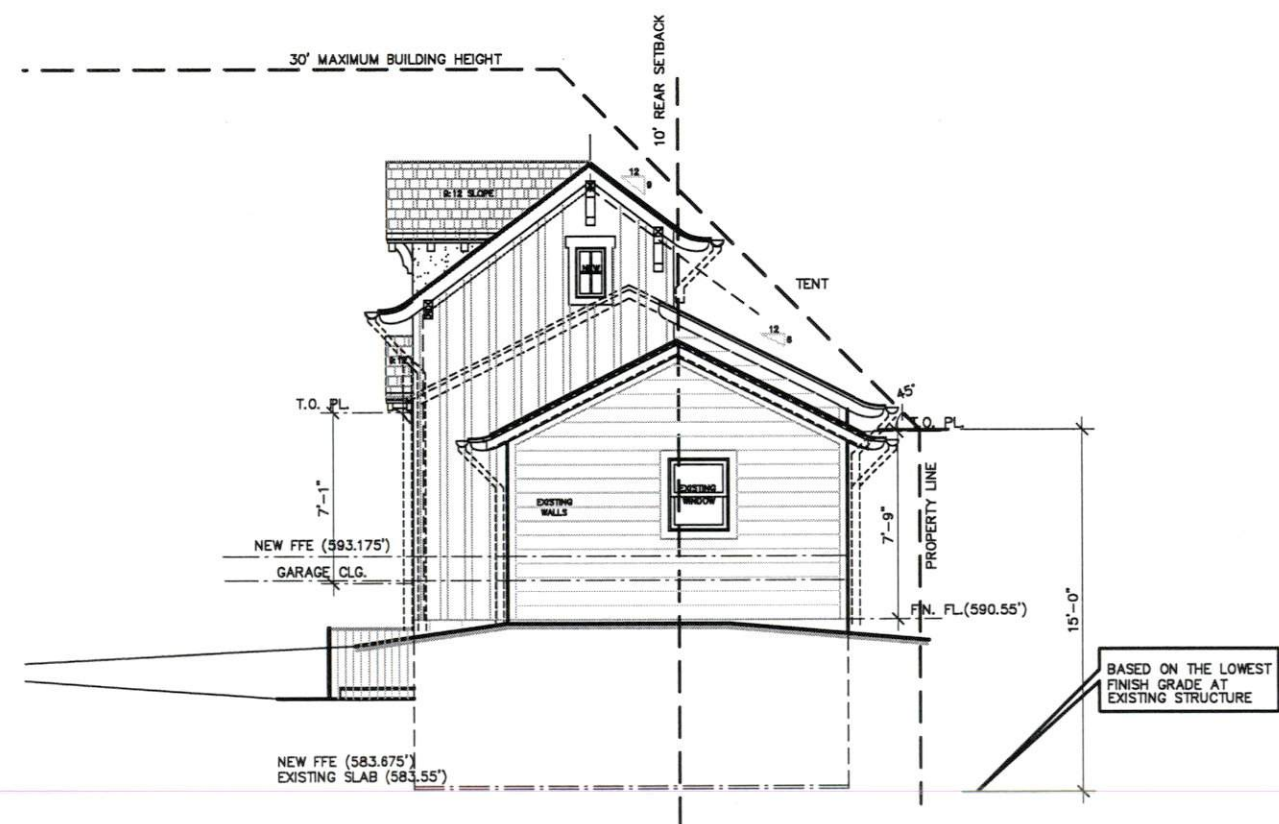




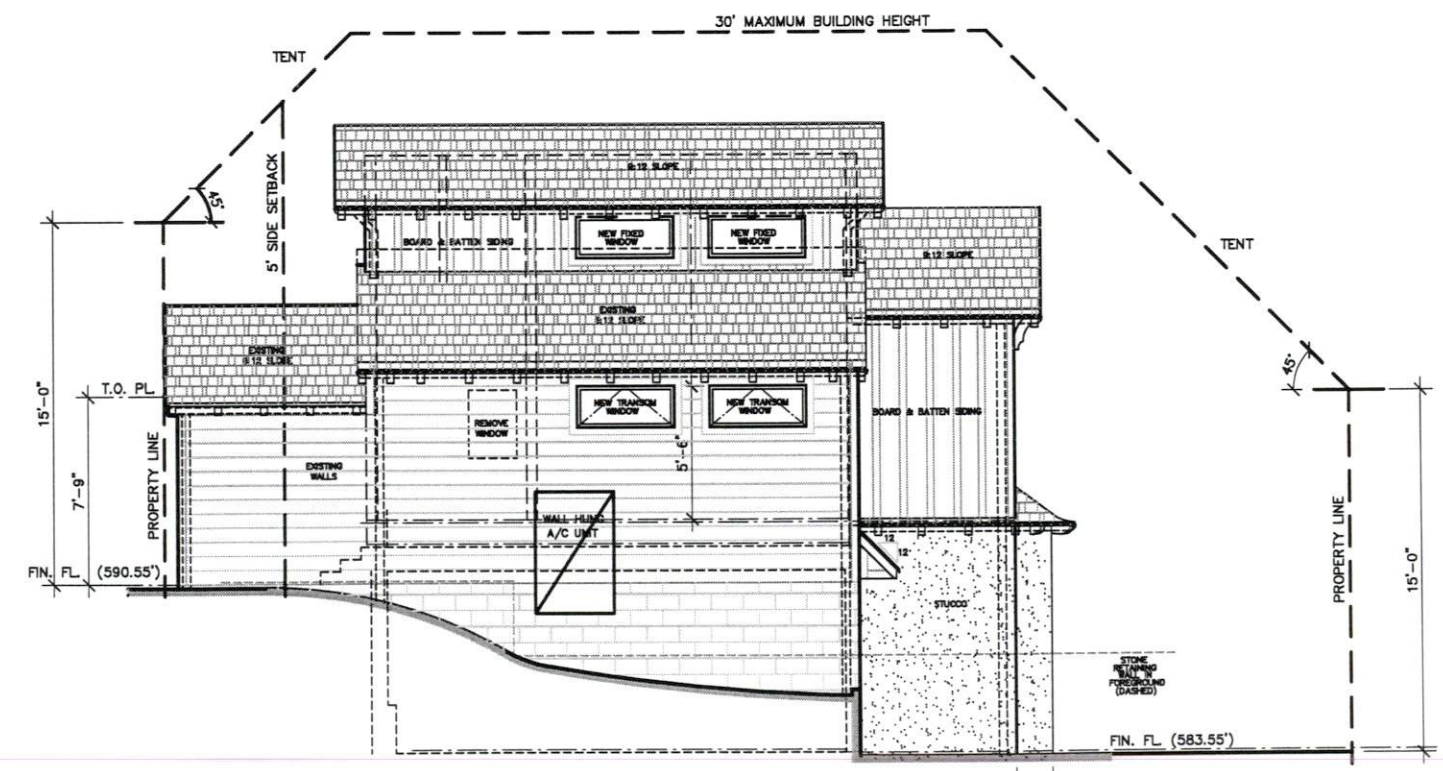
SOUTH ELEVATION



EAST ELEVATION

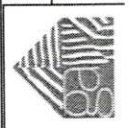


NORTH ELEVATION

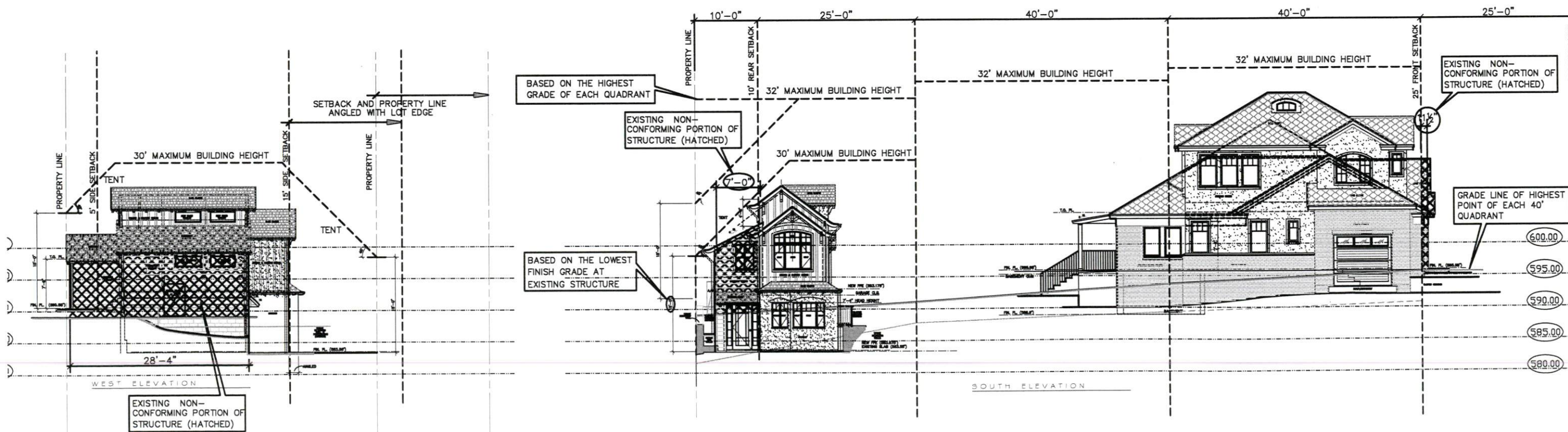
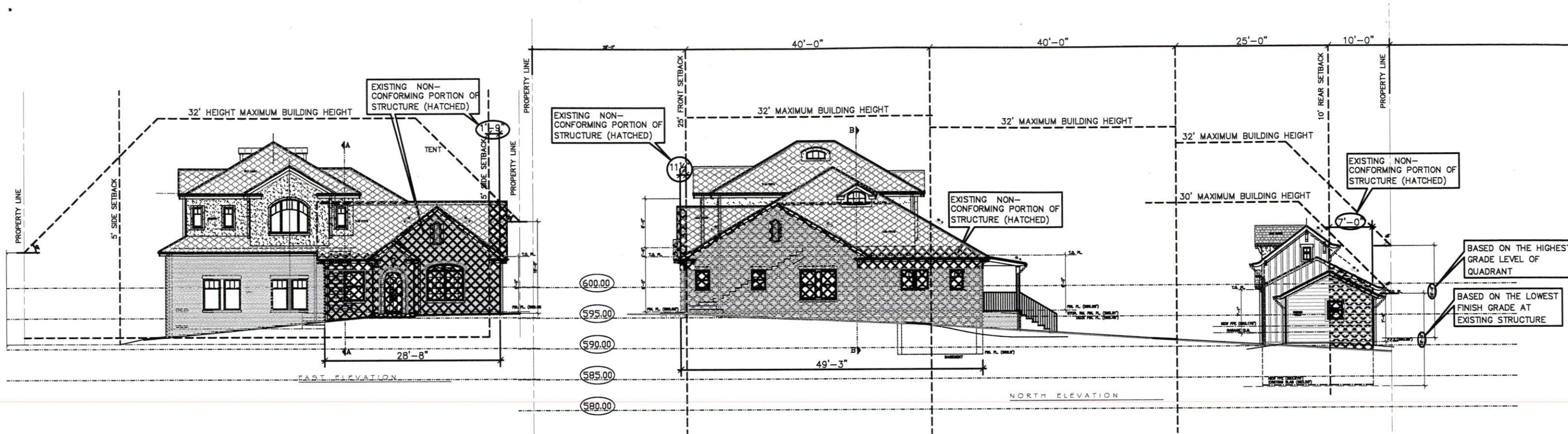


WEST ELEVATION

SECONDARY DWELLING UNIT - PROPOSED ELEVATIONS  
SCALE: 1/8" = 1'-0"







ENTIRE SITE, TENT DIAGRAMS  
SCALE: 1/16" = 1'-0"