



CITY OF AUSTIN Development SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704; (512) 978-4000

Residential New Construction and Addition Permit Application

Property Information

Project Address: 4316 Duval St. Austin, TX 78751

Tax Parcel ID: 215987 0220080307

Legal Description: ABS 310 Sur 10 Gray 60x125 FT

Zoning District: SF3-HD-NCCP-NP

Lot Area (sq ft): 7,575.00

Neighborhood Plan Area (if applicable): Hyde Park

Historic District (if applicable): Hyde Park

Required Reviews

Is project participating in S.M.A.R.T. Housing? Y ☒ N

(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)

Does project have a Green Building requirement? Y ☒ N

(If yes, attach signed conditional approval letter from Austin Energy Green Building)

Is this site within an Airport Overlay Zone? Y ☒ N

(If yes, approval through Aviation is required)

Does this site have a septic system? Y ☒ N

(If yes, submit a copy of approved septic permit)

Does the structure exceed 3,600 square feet total under roof? Y ☒ N

(If yes, Fire review is required)

Is this property within 200 feet of a hazardous pipeline? Y ☒ N

(If yes, Fire review is required)

Is this site located within an Erosion Hazard Zone? Y ☒ N

(If yes, EHZ review is required)

Is this property within 100 feet of the 100 year floodplain?

☒ Y ☐ N (Proximity to floodplain may require additional review time.)

Are there protected size trees onsite or on adjacent sites? ☒ Y ☐ N

(If yes, [click here](#) for more information on the tree permit process.)

Was there a pre-development consultation for the Tree Review? Y ☒ N

Proposed impacts to trees: (Circle all that apply)

☒ Root zone ☐ Canopy ☐ Removal ☐ None/Uncertain

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) ☒ Y ☐ N

Does this site currently have: water availability? ☒ Y ☐ N

(If no, contact Austin Water Utility to apply for

wastewater availability? ☒ Y ☐ N

water/wastewater taps and/or service extension request.)

Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? ☒ Y ☐ N

(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☒ N

(If yes, submit approved auxiliary and potable plumbing plans.)

(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y ☒ N

(If yes, contact the Development Assistance Center for a Site Plan Exemption)

Is this site within the Waterfront Overlay? Y ☒ N

(LDC 25-2 Subchapter C Article 3)

Is this site within the Lake Austin Overlay? Y ☒ N

(LDC 25-2-180, 25-2-647)

Does this site front a paved street? ☒ Y ☐ N

(If no, contact Development Assistance Center for Site Plan requirements.)

Is this site adjacent to a paved alley? ☒ Y ☐ N

(Public Works approval required to take access from a public alley.)

Does this site have a Board of Adjustment (BOA) variance? Y ☒ N

Case # _____ (if applicable)

Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☒ N

(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☒ N

(If yes, construction material recycling is required per LDC 25-11-39)

Existing Use: vacant single-family residential duplex residential ☒ two-family residential other: _____

Proposed Use: vacant single-family residential duplex residential ☒ two-family residential other: _____

Project Type: new construction ☒ addition addition/remodel other: _____

Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? ☒ Y ☐ N

(Note: Removal of all or part of a structure requires a demolition permit application.)

existing bedrooms: 3

bedrooms upon completion: 5

baths existing: 2.0

baths upon completion: 4.0

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Construction of a 2 bedroom, 2 bath addition on the existing 2 bedroom, 1 bath main house. Garage/garage apartment will not be affected.

Trades Permits Required (Circle as applicable): ☒ electric ☒ plumbing ☒ mechanical (HVAC) concrete (R.O.W.)

Job Valuation

Total Job Valuation:
\$ 80,000

Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar.

Amount for Primary Structure: \$ 80,000
Elec: ☒ Y ☐ N | Plmbg: ☒ Y ☐ N | Mech: ☒ Y ☐ N
Amount for Accessory Structure: \$ 0
Elec: ☐ Y ☐ N | Plmbg: ☐ Y ☐ N | Mech: ☐ Y ☐ N

Total Remodeled Floor Area
0 sq ft.
(work within existing habitable square footage)

Please utilize the Calculation Aid on the last page of the Additional Information, page 7, as a guide to complete the following calculations and to provide supplemental information for thorough review.

Site Development Information**Area Description**

Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.

Area Description	Existing Sq Ft		New/Added Sq Ft		Total Sq Ft	
	Bldg 1	Bldg 2	Bldg 1	Bldg 2	Bldg 1	Bldg 2
a) 1 st Floor conditioned area	1,070	0	405		1,475	0
b) 2 nd Floor conditioned area	0	570	362		362	570
c) 3 rd Floor conditioned area					0	0
d) Basement					0	0
e) Covered parking (garage or carport)		570			0	570
f) Covered patio, deck, porch, and/or balcony area(s)	179				179	0
g) Other covered or roofed area					0	0
h) Uncovered wood decks	328	50			328	50
Total Building Area (total a through h)	1,577	1,190	767	0	2,344	1,190
i) Pool					0	0
j) Spa					0	0
k) Remodeled Floor Area, excluding Addition / New Construction					0	0

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground-level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Total Building Coverage (sq ft): 3,534.00 % of lot size: 47 46.7%

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. For an uncovered wood deck that has drainage spaces between the deck boards and that is located over a pervious surface, 50 percent of the horizontal area of the deck is included in the measurement of impervious cover. (LDC 25-1-23)

Total Impervious Cover (sq ft): 3,398.25 % of lot size: 45 44.9%

Setbacks

Left side of existing house is over the left 5' build line.

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-492) ☒ Y ☐ N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) ☒ Y ☐ N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3 or 25-2-778) Y ☒ N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Building Height: 21 ft 8 in Number of Floors: 2

Parking (LDC 25-6 Appendix A & 25-6-478)

of spaces required: 3 # of spaces provided: 4

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC 25-6-353) ☒ Y ☐ N

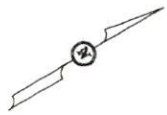
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.
existing sidewalk and driveways on site

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N

Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft

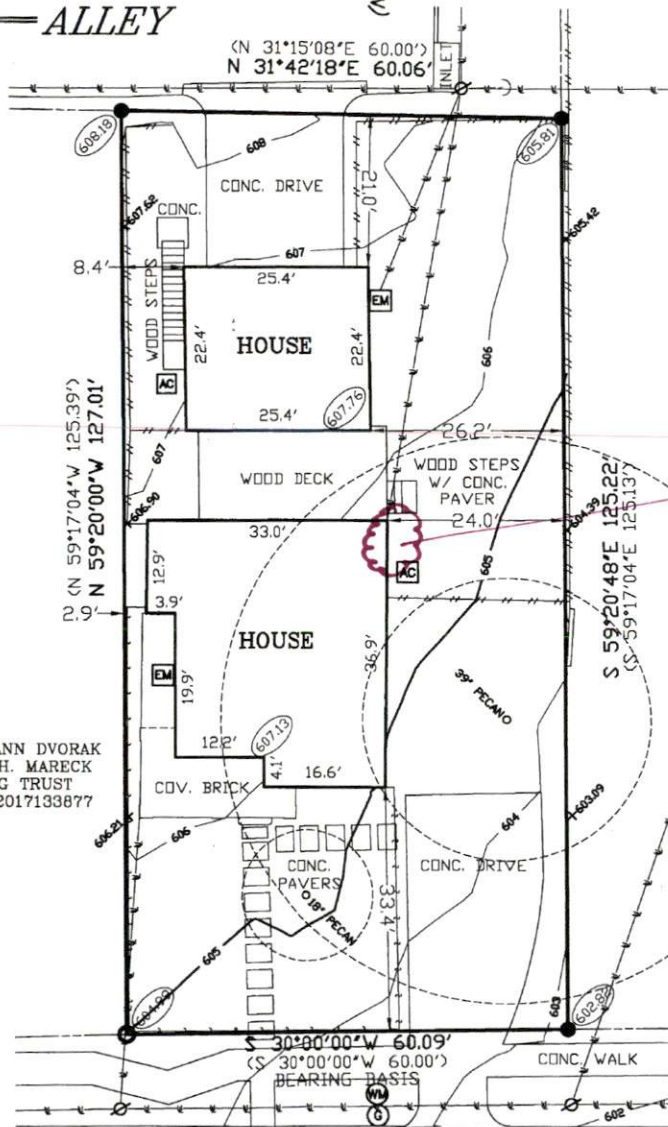
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☒ N
(If yes, drainage review is required)

SCALE: 1"=20'



E. 44th STREET
(NO R.O.W. DEPICTED)

ALLEY



KAREN ANN DVORAK
JAMES H. MARECK
LIVING TRUST
DOC.# 2017133877

ALBERT R. MOORE
SUBDIVISION
VOL. 388, PG. 380
D.R.T.C.TX.
BLOCK "1"
LOT 1

**WALL TO BE MODIFIED/
DEMO'ED TO ALLOW
ACCESS TO NEW ADDITION**

*** IMPORTANT NOTICE ***

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT THIS LOT.

SURVEYOR'S NOTES

() DENOTES RECORD INFORMATION

THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

BENCHMARK USED FOR VERTICAL DATUM IS THE TOP OF HIGHEST FLOOR AS SHOWN ON ELEVATION CERTIFICATE PERFORMED BY ALL STAR LAND SURVEYING ON 05/13/2010 FOR CHRISTOPHER CARTY.

IMPERVIOUS COVERAGE

TOTAL LOT AREA.....7575 SQ.FT.
FRONT HOUSE.....1070 SQ.FT.
REAR HOUSE.....570 SQ.FT.
CONC./BRICK.....1368 SQ.FT.
WOOD (50% VALUE).....189 SQ.FT.
TOTAL IMP. COVERAGE.....3197 SQ.FT.
.....42.2%

4316 DUVAL STREET

(NO R.O.W. DEPICTED)

LEGAL DESCRIPTION:

0.173 OF AN ACRE OF LAND, MORE OR LESS, OUT OF THE THOMAS GRAY SURVEY, TRAVIS COUNTY, TEXAS, SAME BEING THAT CERTAIN TRACT OF LAND CONVEYED TO MARY ANN LIND AS RECORDED IN VOL. 816, PG. 361, DEED RECORDS, TRAVIS COUNTY, TEXAS.

REFERENCE: CHRIS CARTY



Roger L. Way



ALL POINTS SURVEYING

1714 FORTVIEW ROAD - SUITE 200

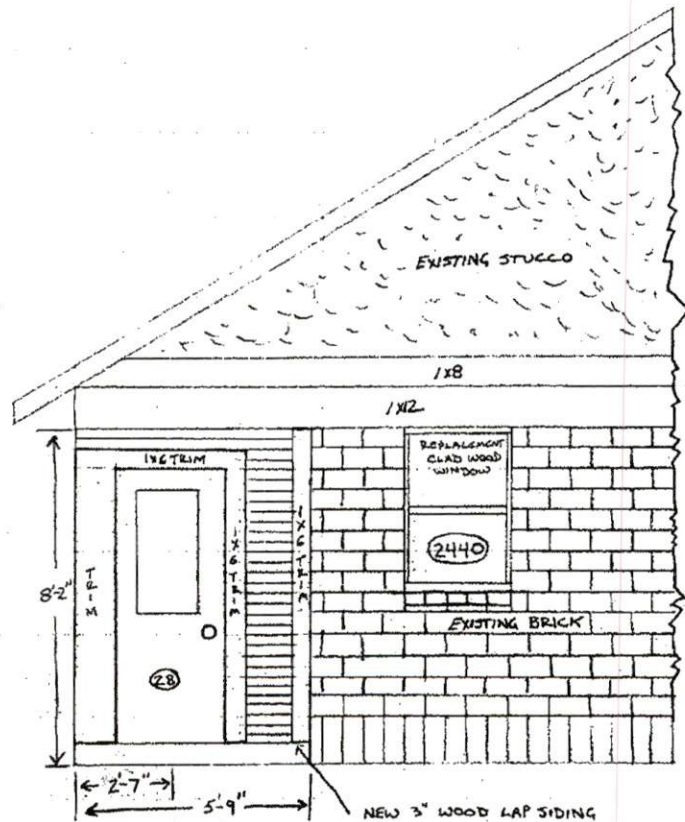
AUSTIN TX. 78704

TELE.: (512) 440-0071 - FAX: (512) 440-0199

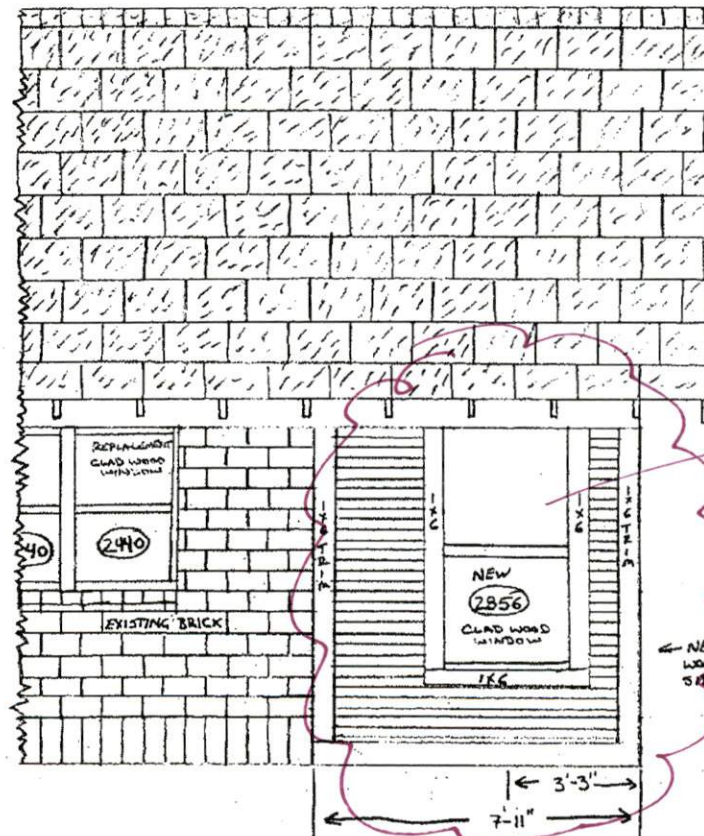
FIRM REGISTRATION # 10118800

Field Work	By	Date:
CR		04-01-19
Drafting	SCN	

SURVEY DATE: 04-09-19
Job No. 03B24119
SCALE: 1"=20'



West Elevation



North Elevation

4316 Duval St.
Elevations
 $\frac{1}{2}'' = 1'$



FRONT OF HOUSE



LEFT / SOUTH SIDE OF HOUSE



LEFT / SOUTH SIDE OF HOUSE



RIGHT / NORTH SIDE OF HOUSE



RIGHT / NORTH SIDE OF HOUSE

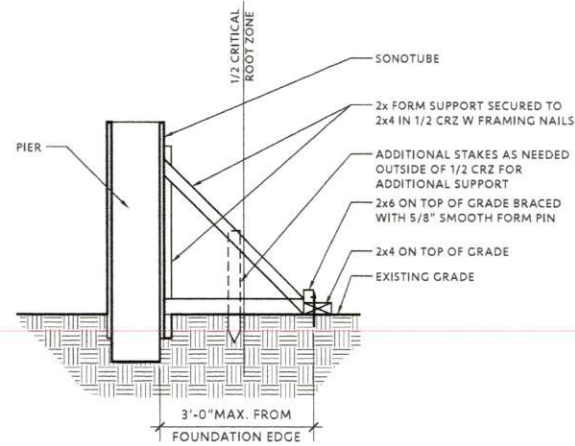


BACK OF HOUSE

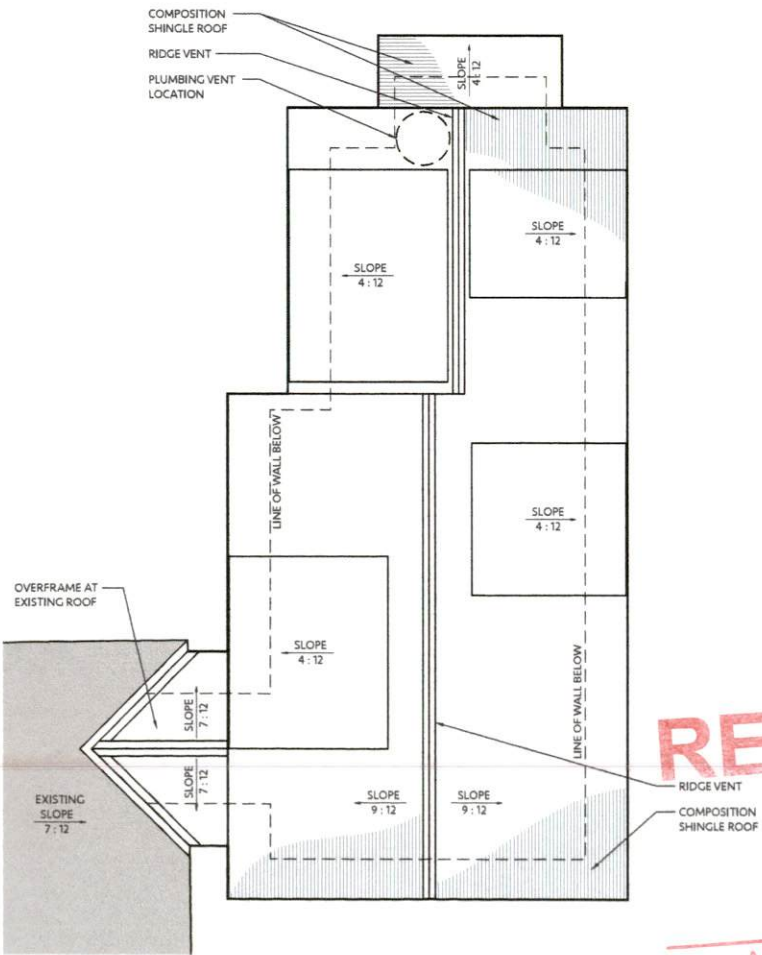


WALL TO BE MODIFIED
WINDOW TO BE REMOVED
AND RE-FRAMED AS CASED
OPENING INTO NEW ADDITION

- TREE NOTES:**
1. PROTECTED TREES ON SITE ARE A 39" PECAN
 2. TREE SPECIFICS:
 - A. EXCAVATION AROUND THE WEST FACE OF ADDITION ADJACENT TO THE PECAN WILL NOT HAVE AN OVERCUT.
 - B. FOUNDATION WILL BE 5" MIN. FROM THE 1/2 CRZ.
 - C. NO SPOILS FROM ANY EXCAVATION IN THE 1/2 CRZ.
 - D. BRACING FOR FOUNDATION CONCRETE FORMS WILL BE CONSTRUCTED IN SUCH A MANNER THAT THE BRACING IN THE 1/2 CRZ WILL BE PER DETAIL 02/A-1.1
 3. IF A CONCRETE LINE PUMP IS TO BE USED ON SITE, WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
 4. IF A CONCRETE TRUCK OR HEAVY EQUIPMENT IS TO BE USED ON SITE OR WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
 5. PROTECTED TREES AND TREES BEING COUNTED TOWARDS MITIGATION REQUIREMENTS WILL BE PROTECTED BY:
 - A. INSTALLING 5' CHAIN LINK FENCING AROUND THE 1/2 CRZ.
 - B. STRAPPING 2x4 PLANKS, MINIMUM 6' TALL, AROUND PROTECTED TREE TRUNKS AND ROOT FLARES.
 - C. INSTALLING AN 8" LAYER OF MULCH WITHIN THE 1/2 CRZ.



02 FOUNDATION BRACE
SCALE: 1/2" = 1'-0"

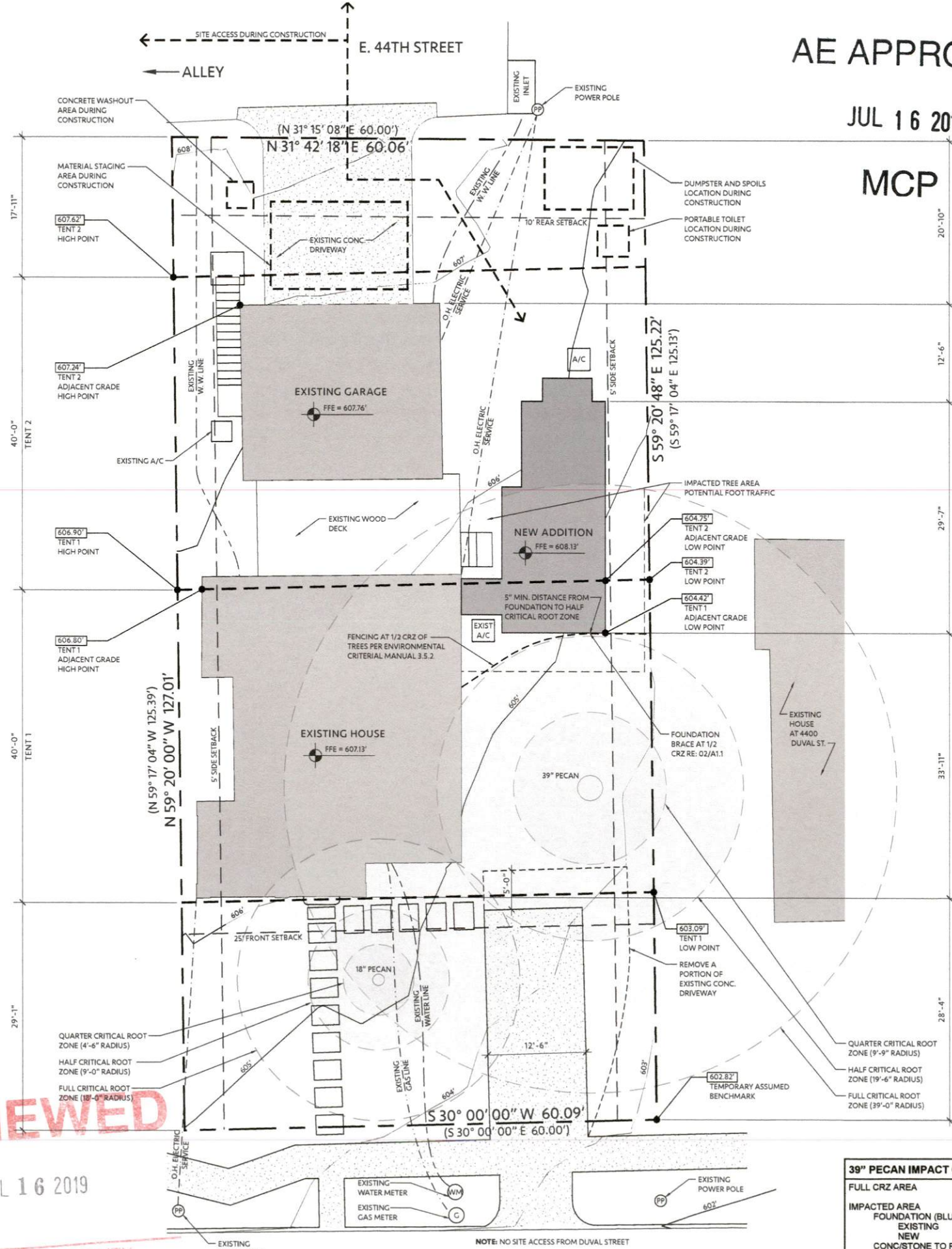


03 ROOF PLAN
SCALE: 1/8" = 1'-0"

REVIEWED

AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS

JUL 16 2019



01 SITE PLAN
SCALE: 1/16" = 1'-0"

AE APPROVED

JUL 16 2019

MCP

SITE INFORMATION:	
LOT ZONING:	SF-3-HD-NCCP-NP
TOTAL LOT AREA:	7575 SF
F.A.R.:	
EXISTING	
CONDITIONED SPACE	
FRONT HOUSE	1070.00 SF
REAR HOUSE	570.00 SF
FRONT PORCH	179.00 SF
	(LESS 179.00 SF)
GARAGE	570.00 SF
	(LESS 450.00 SF)
	120.00 SF
NEW CONSTRUCTION	
ADDITION	
FIRST FLOOR	405.00
SECOND FLOOR	362.00
	767.00 SF
TOTAL	33.4% OR 2527.00 SF
TOTAL ALLOWABLE	40.0% OR 3030.00 SF
IMPERVIOUS COVER:	
EXISTING	
FOUNDATIONS	
FRONT HOUSE	1070.00 SF
REAR HOUSE	570.00 SF
FRONT PORCH	179.00 SF
DRIVEWAYS	1054.00 SF
OTHER CONCRETE/BRICK/STONE	135.00 SF
WOOD DECK	189.00 SF
DRIVEWAY TO REMOVE	-212.75 SF
NEW CONSTRUCTION	
FOUNDATION	405.00 SF
A/C PAD	9.00 SF
TOTAL	44.9% OR 3398.25 SF
TOTAL ALLOWABLE	45.0% OR 3409.00 SF

PER SUBCHAPTER F,
3.3.3.A
PER SUBCHAPTER F,
3.3.2.A.2.a

FRONT YARD IMPERVIOUS COVER	
FRONT YARD LOT AREA:	1748.25 SF
DRIVEWAY	353.75 SF
CONCRETE PAVERS	118.50 SF
TOTAL	27.0% OR 472.25 SF

CODE COMPLIANCE:	
BUILDING CODE	IRC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-241)
ENERGY CODE	IECC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-261)
ELECTRICAL CODE	NEC 2017 (W/ LOCAL AMENDMENTS SEC. 25-12-111)
MECHANICAL CODE	UMC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-131)
PLUMBING CODE	UPC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-151)
FIRE CODE	IFC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-171)
ACCESSIBILITY CODE	TAS 2012 (W/ LOCAL ORD. NO. 20140130-021, SEC. R320)

LEGAL DESCRIPTION:

0.173 OF AN ACRE OF LAND, MORE OR LESS, OUT OF THE THOMAS GRAY SURVEY, TRAVIS COUNTY, TEXAS, SAME BEING THAT CERTAIN TRACT OF LAND CONVEYED TO MARY ANN LIND AS RECORDED IN VOL. 816, PG. 361, DEED RECORDS, TRAVIS COUNTY, TEXAS.

AVERAGE AGGREGATE GRADE LEGEND:	
TENT 1 -	605.81'
TENT 2 -	605.98'
OVERALL -	605.76'

39" PECAN IMPACT CALCULATION:	
FULL CRZ AREA	4769.7 SF
IMPACTED AREA	
FOUNDATION (BLUE)	
EXISTING	1339.9 SF
NEW	288.3 SF
CONC/STONE TO REMAIN (GREEN)	420.9 SF
WOOD DECK (ORANGE)	69.4 SF
POTENTIAL FOOT TRAFFIC (PINK)	248.8 SF
TOTAL	49.17% OR 2345.3 SF
TOTAL ALLOWABLE	50.00% OR 2384.9 SF
UNIMPACTED AREA	
PERVIOUS COVER (YELLOW)	2424.4 SF

- GENERAL SITE PLAN NOTES:**
1. REPORT ANY AND ALL ERRORS, DISCREPANCIES, OR OMISSIONS TO THE ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF ANY WORK.
 2. VERIFY LOCATION OF HOUSE AND DRIVEWAY LAYOUT WITH OWNER AND ARCHITECT.
 3. FINAL GRADING TO PROVIDE FOR POSITIVE DRAINAGE FROM THE FOUNDATION.
 4. SITE INFORMATION IS BASED ON A PROFESSIONAL SURVEY PROVIDED BY THE OWNER.

15 JUL 2019

NAME Cary Addition

ADDRESS 4316 Duval Street

CITY Austin TX 78741

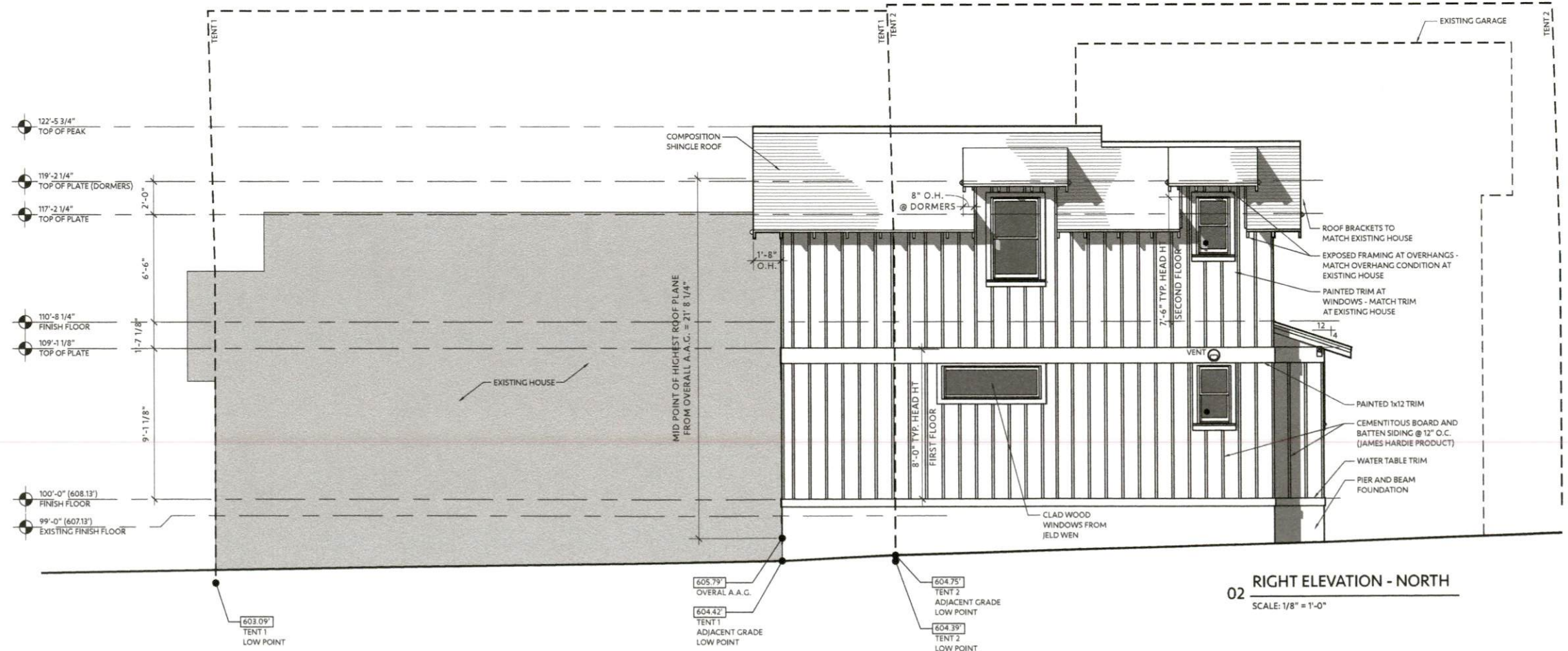
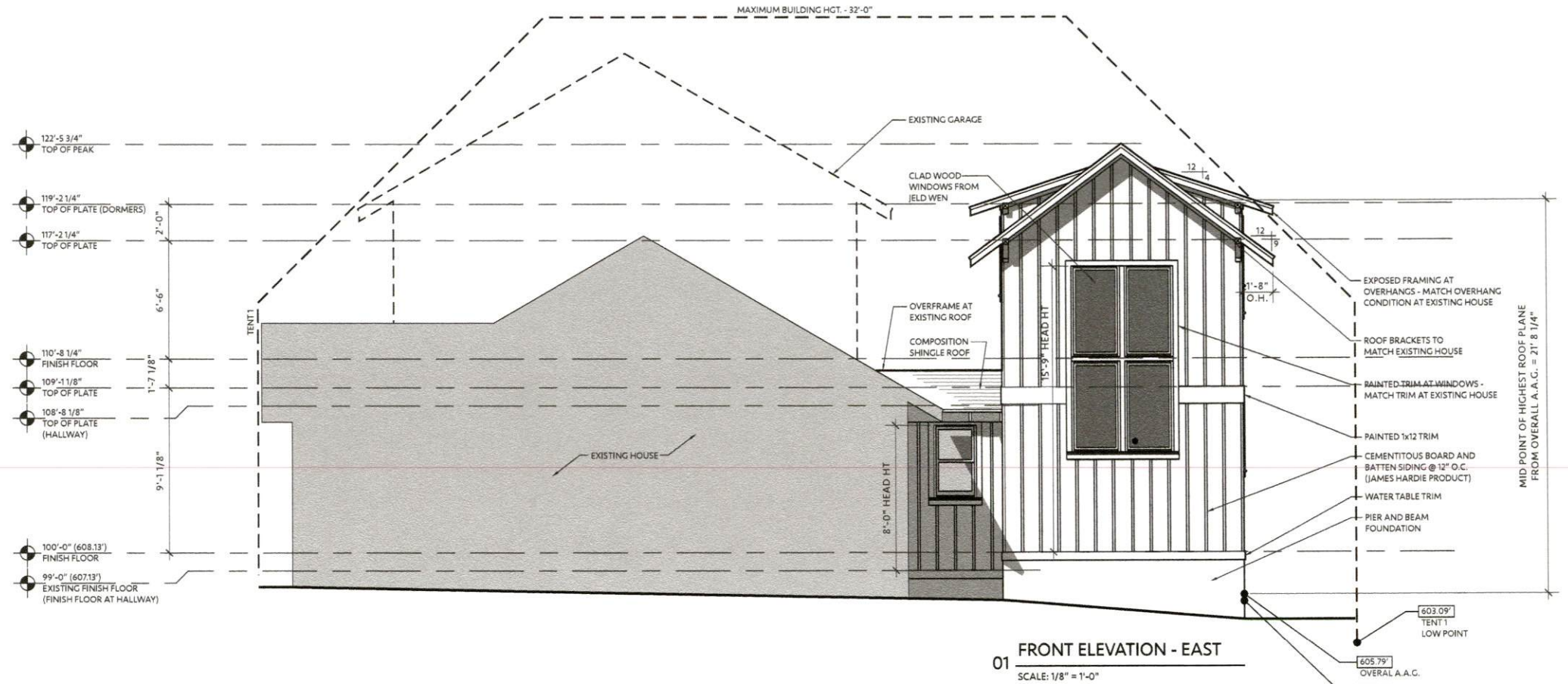
THE BROWN ARCHITECTURE

5400 DEE LANE SUITE 200 AUSTIN TX 78746

1 of 5

A-1.1

THE BROWN ARCHITECTURE



SYMBOL LEGEND

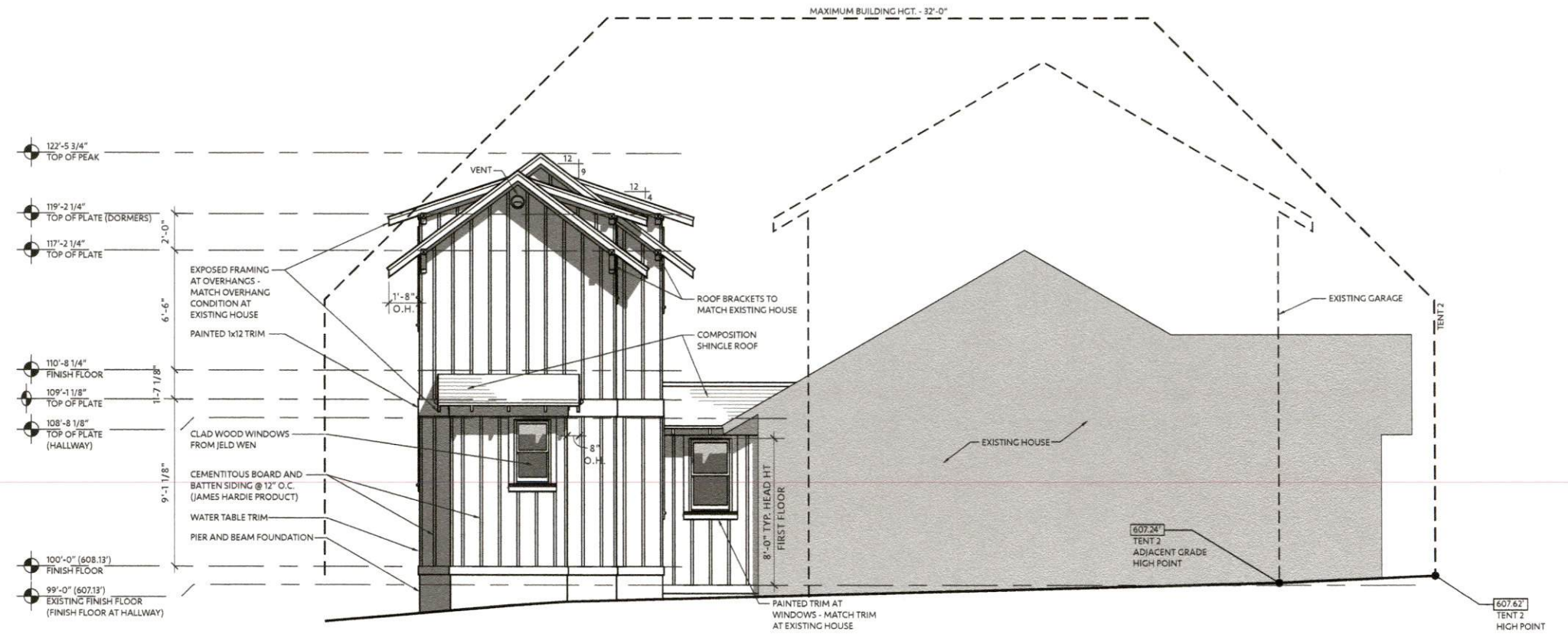
TEMPERED GLASS: ●



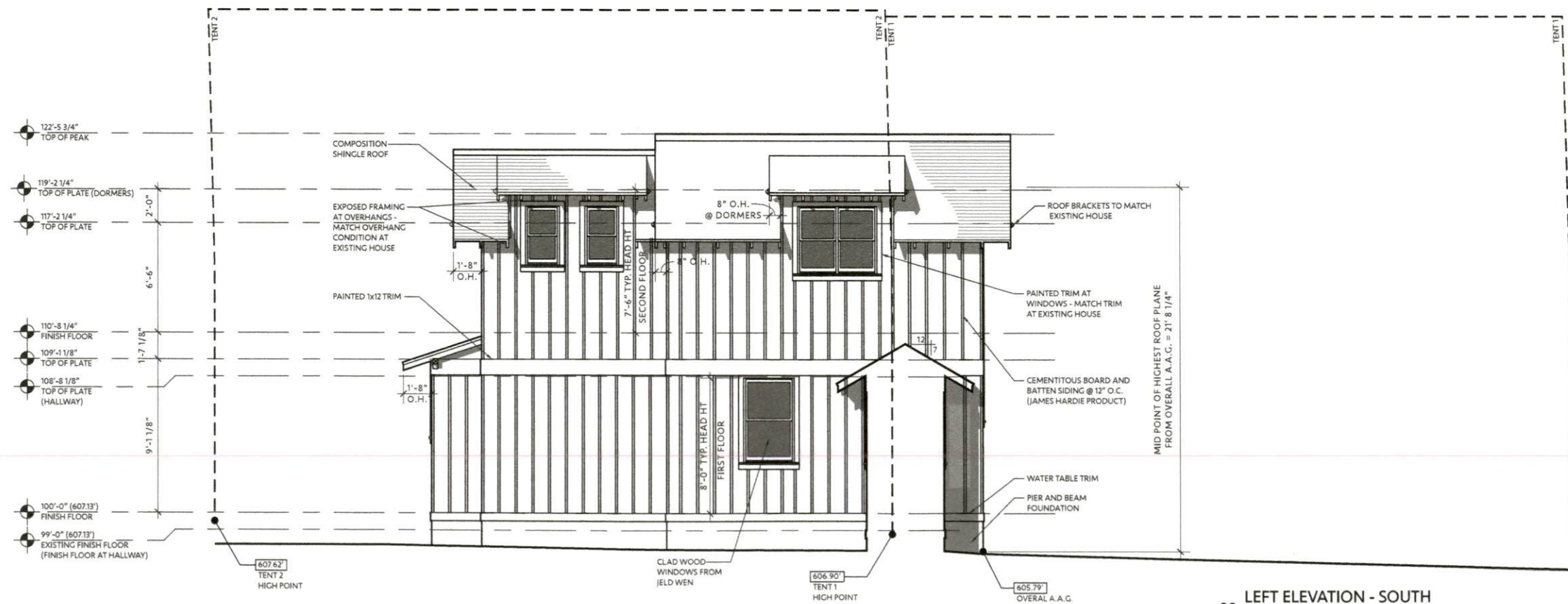
DATE 15 JUL. 2019
 PROJECT Carty Addition
 ADDRESS 4316 Duval Street
 CITY Austin TX 78751
 FIRM TIM BROWN ARCHITECTURE
 5450 BEE CREEK STE 202 AUSTIN, TX 78746
 4 of 5

A-3.1





01 REAR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



02 LEFT ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND
TEMPERED GLASS: ●



DATE 15 JUL. 2019
BY Carty Addition
PROJECT 4316 Duval Street
CITY Austin TX 78751
TIM BROWN ARCHITECTURE
5450 BEE CHASE STE 200 AUSTIN, TX 78746
5 of 5

A-3.2

