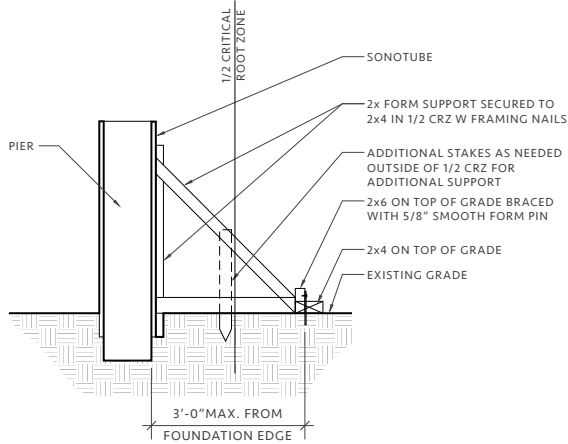
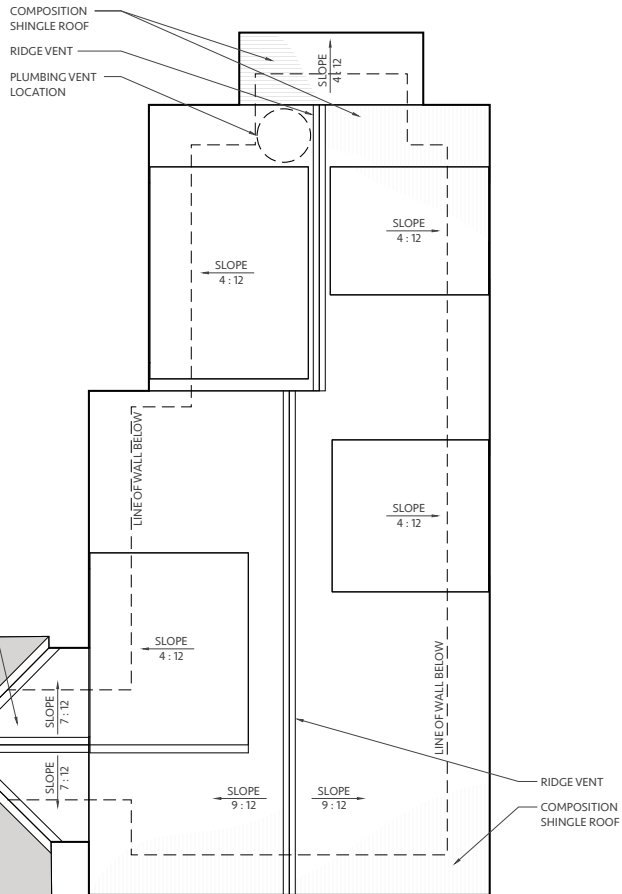


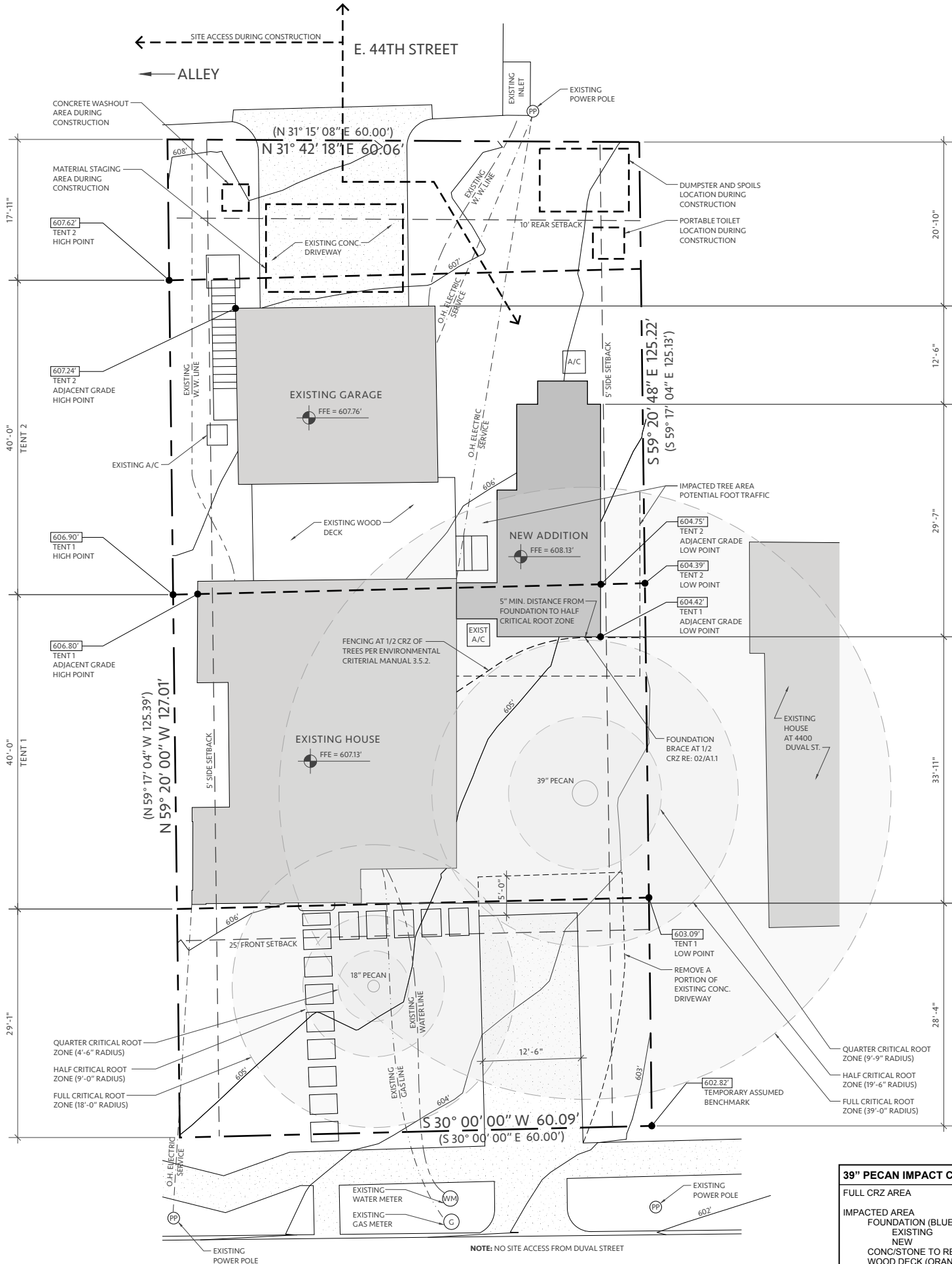
- TREE NOTES:**
1. PROTECTED TREES ON SITE ARE A 39" PECAN
 2. TREE SPECIFICS:
 - A. EXCAVATION AROUND THE WEST FACE OF ADDITION ADJACENT TO THE PECAN WILL NOT HAVE AN OVERCUT.
 - B. FOUNDATION WILL BE 5" MIN. FROM THE 1/2 CRZ.
 - C. NO SPOILS FROM ANY EXCAVATION IN THE 1/2 CRZ.
 - D. BRACING FOR FOUNDATION CONCRETE FORMS WILL BE CONSTRUCTED IN SUCH A MANNER THAT THE BRACING IN THE 1/2 CRZ WILL BE PER DETAIL 02/A-1.1
 3. IF A CONCRETE LINE PUMP IS TO BE USED ON SITE, WRAP CONNECTIONS OF CONCRETE LINE PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES
 4. IF A CONCRETE TRUCK OR HEAVY EQUIPMENT IS TO BE USED ON SITE OR WILL BE ROLLING OVER ANY AREA OF THE FULL CRZ OF PROTECTED TREES, PROVIDE 3/4" PLYWOOD OVER 2x4 LUMBER OVER 12" LAYER OF MULCH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL/ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MULCH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
 5. PROTECTED TREES AND TREES BEING COUNTED TOWARDS MITIGATION REQUIREMENTS WILL BE PROTECTED BY:
 - A. INSTALLING 5' CHAIN LINK FENCING AROUND THE 1/2 CRZ.
 - B. STRAPPING 2x4 PLANKS, MINIMUM 6' TALL, AROUND PROTECTED TREE TRUNKS AND ROOT FLARES.
 - C. INSTALLING AN 8" LAYER OF MULCH WITHIN THE 1/2 CRZ.



02 FOUNDATION BRACE
SCALE: 1/2" = 1'- 0"



03 ROOF PLAN
SCALE: 1/8" = 1'- 0"



NOTE: NO SITE ACCESS FROM DUVAL STREET

DUVAL STREET

01 SITE PLAN
SCALE: 1/16" = 1'- 0"



39" PECAN IMPACT CALCULATION:	
FULL CRZ AREA	4769.7 SF
IMPACTED AREA	
FOUNDATION (BLUE)	
EXISTING	1339.9 SF
NEW	268.3 SF
CONC/STONE TO REMAIN (GREEN)	420.9 SF
WOOD DECK (ORANGE)	69.4 SF
POTENTIAL FOOT TRAFFIC (PINK)	246.8 SF
TOTAL	49.17% OR 2345.3 SF
TOTAL ALLOWABLE	50.00% OR 2384.9 SF
UNIMPACTED AREA	
PERVIOUS COVER (YELLOW)	2424.4 SF

SITE INFORMATION:	
LOT ZONING:	SF-3-HD-NCCP-NP
TOTAL LOT AREA:	7575 SF
F.A.R.:	
EXISTING	
CONDITIONED SPACE	
FRONT HOUSE	1070.00 SF
REAR HOUSE	570.00 SF
FRONT PORCH	179.00 SF
(LESS 179.00 SF)	
GARAGE	570.00 SF
(LESS 450.00 SF)	
120.00 SF	
NEW CONSTRUCTION	
ADDITION	
FIRST FLOOR	405.00
SECOND FLOOR	362.00
767.00 SF	
TOTAL	33.4% OR 2527.00 SF
TOTAL ALLOWABLE	40.0% OR 3030.00 SF
IMPERVIOUS COVER:	
EXISTING	
FOUNDATIONS	
FRONT HOUSE	1070.00 SF
REAR HOUSE	570.00 SF
FRONT PORCH	179.00 SF
DRIVEWAYS	1054.00 SF
OTHER CONCRETE/BRICK/STONE	135.00 SF
WOOD DECK	189.00 SF
DRIVEWAY TO REMOVE	-212.75 SF
NEW CONSTRUCTION	
FOUNDATION	405.00 SF
A/C PAD	9.00 SF
TOTAL	44.9% OR 3398.25 SF
TOTAL ALLOWABLE	45.0% OR 3409.00 SF

PER SUBCHAPTER F,
3.3.3.A

PER SUBCHAPTER F,
3.3.2.A.2.a

FRONT YARD IMPERVIOUS COVER	
FRONT YARD LOT AREA:	1746.25 SF
DRIVEWAY	353.75 SF
CONCRETE PAVERS	118.50 SF
TOTAL	27.0% OR 472.25 SF

CODE COMPLIANCE:	
BUILDING CODE	IRC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-241)
ENERGY CODE	IECC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-261)
ELECTRICAL CODE	NEC 2017 (W/ LOCAL AMENDMENTS SEC. 25-12-111)
MECHANICAL CODE	UMC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-131)
PLUMBING CODE	UPC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-151)
FIRE CODE	IFC 2015 (W/ LOCAL AMENDMENTS SEC. 25-12-171)
ACCESSIBILITY CODE	TAS 2012 (W/ LOCAL ORD. NO. 20140130-021, SEC. R320)

LEGAL DESCRIPTION:	
0.173 OF AN ACRE OF LAND, MORE OR LESS, OUT OF THE THOMAS GRAY SURVEY, TRAVIS COUNTY, TEXAS, SAME BEING THAT CERTAIN TRACT OF LAND CONVEYED TO MARY ANN LIND AS RECORDED IN VOL. 816, PG. 361, DEED RECORDS, TRAVIS COUNTY, TEXAS.	

AVERAGE AGGREGATE GRADE LEGEND:	
TENT 1 -	605.61'
TENT 2 -	605.96'
OVERALL -	605.79'

GENERAL SITE PLAN NOTES:	
1. REPORT ANY AND ALL ERRORS, DISCREPANCIES, OR OMISSIONS TO THE ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF ANY WORK.	
2. VERIFY LOCATION OF HOUSE AND DRIVEWAY LAYOUT WITH OWNER AND ARCHITECT.	
3. FINAL GRADING TO PROVIDE FOR POSITIVE DRAINAGE FROM THE FOUNDATION.	
4. SITE INFORMATION IS BASED ON A PROFESSIONAL SURVEY PROVIDED BY THE OWNER.	

DATE
15 SEP. 2019

TIME
10:00 AM

BY
CARTY ADDITION

ADDRESS
4316 Duval Street

CITY
Austin

STATE
TX

ZIP
78751

PROJECT
TIM BROWN ARCHITECTURE

5400 HEE CREEK DR STE 205

AUSTIN, TX 78748

1 OF 3

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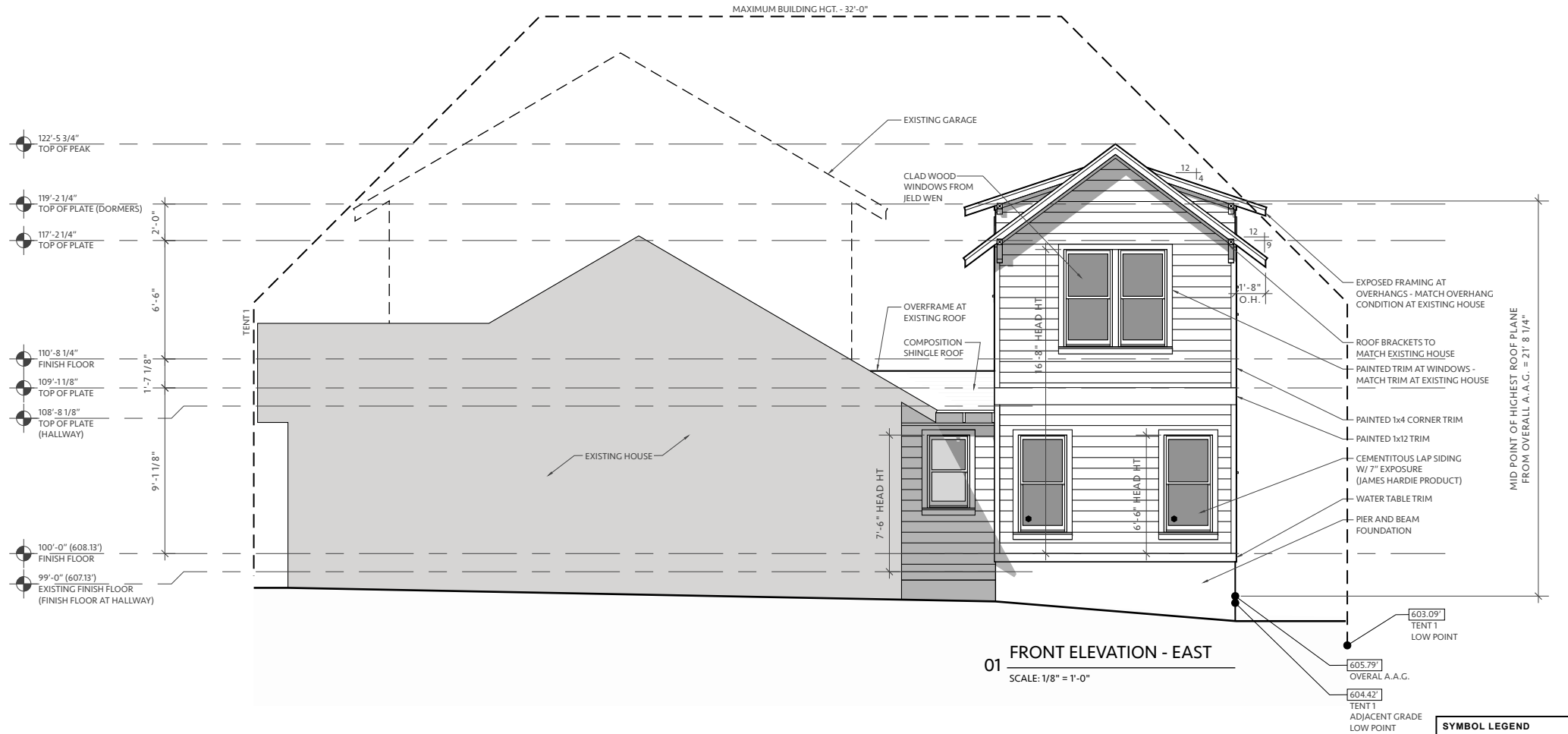
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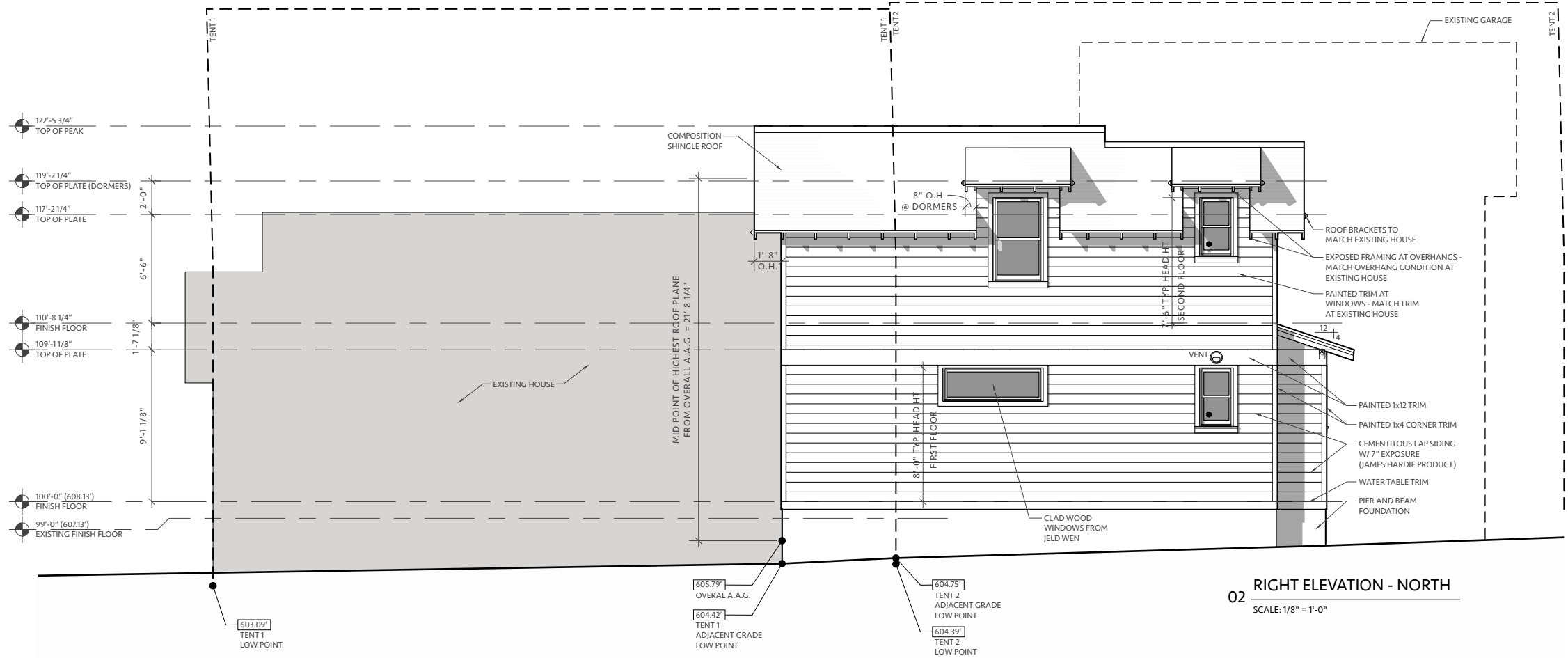
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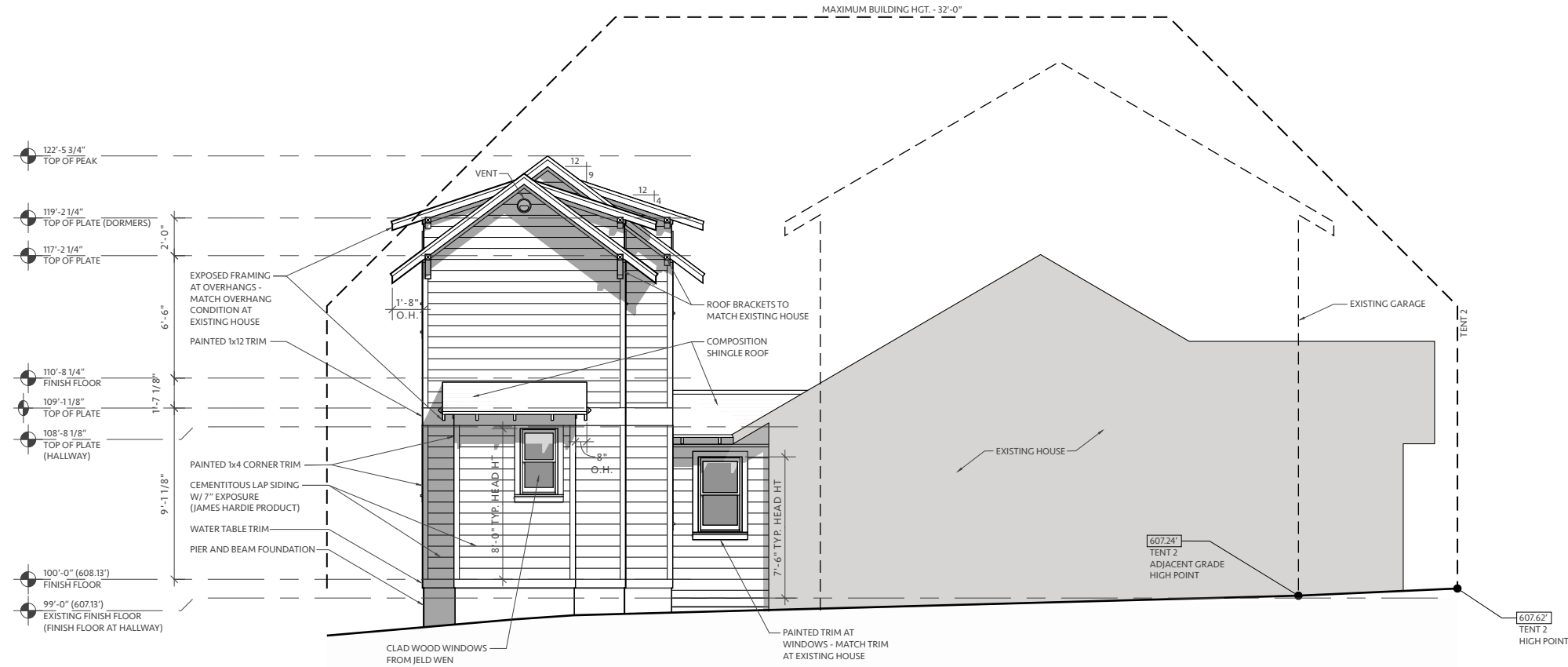
SYMBOL LEGEND	
TEMPERED GLASS:	●



NAME: Carty Addition
ADDRESS: 4316 Duval Street
CITY: Austin
STATE: TX
ZIP: 78751
TIM BROWN ARCHITECTURE
5400 DEE CREEK BLVD STE 202 AUSTIN, TX 78746

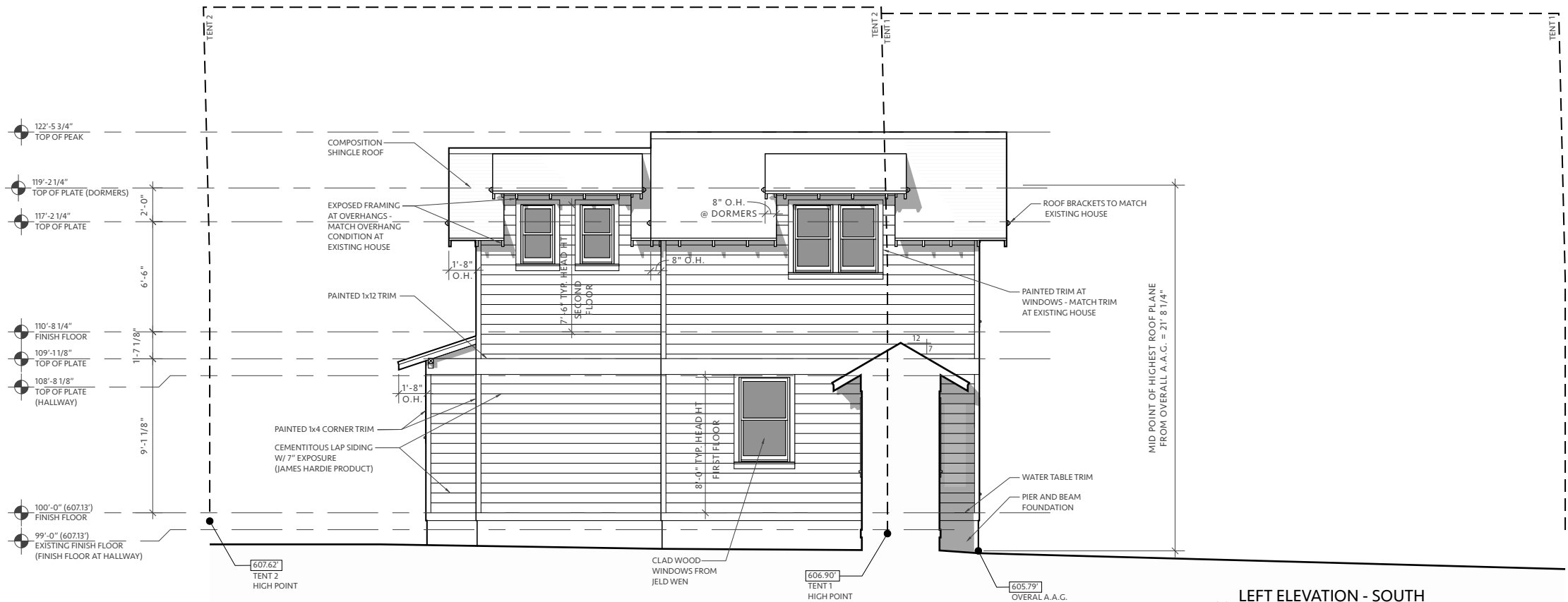
DATE: 15 SEP. 2019
JOB #
A-3.1
4 of 5





REAR ELEVATION - WEST

SCALE: 1/8" = 1'-0"



LEFT ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

SYMBOL LEGEND

TEMPERED GLASS: ●



DATE: 15 SEP. 2019
NAME: Carty Addition
ADDRESS: 4316 Duval Street
CITY: Austin
STATE: TX
ZIP: 78751
TIM BROWN ARCHITECTURE
5400 REE CAFE LN STE 202
AUSTIN, TX 78748
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